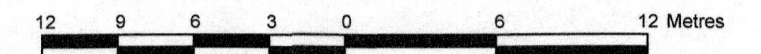


**SURVEYOR'S REAL PROPERTY REPORT
PART 1: PLAN OF SURVEY OF
LOT 28
REGISTERED PLAN 480
CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 300



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT:

1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 23rd day of February, 2022.

MARCH 22, 2022
Date

Emmett Ketchum
Emmett Ketchum
Ontario Land Surveyor

Notes & Legend

Denotes	
	Survey Monument Planted
	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IBØ	Round Iron Bar
Meas.	Measured
(P1)	Registered Plan 480
(P2)	Plan 4R-14315
(P3)	AKRJ Plan dated 21 February 1984
— OHW —	Overhead Wires
○ UP	Utility Pole
○ AN	Anchor
CLF	Chain Link Fence
+ 65.00	Location of Elevations

PART 2:

1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
No rights-of-way or easements were found to be registered against the subject property.
2. PROPERTY IMPROVEMENTS
A one storey brick sided dwelling and wood shed exist on the subject property. Cedar hedges and chain link fences exist along the northerly, southerly and westerly boundaries. Refer to the face of the plan for locations.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
4. ADDITIONAL REMARKS
The building ties are to the siding unless otherwise noted.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to Mike Brennan ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 (76°30' West Longitude) NAD-83 (Original).

For comparison purposes, a rotation of 0°31'20" counter clockwise was applied to the bearings on P1 and P3.

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
136 Prescott Street, Box 1340
Kemptville, Ontario K0G 1J0
Phone: (613) 258-1717 / Fax: (613) 258-4475
Email: Kemptville@aovltd.com

Ontario Land Surveyors Job No. 22-25-009 BRENNAN LT28 RP480 D F AR

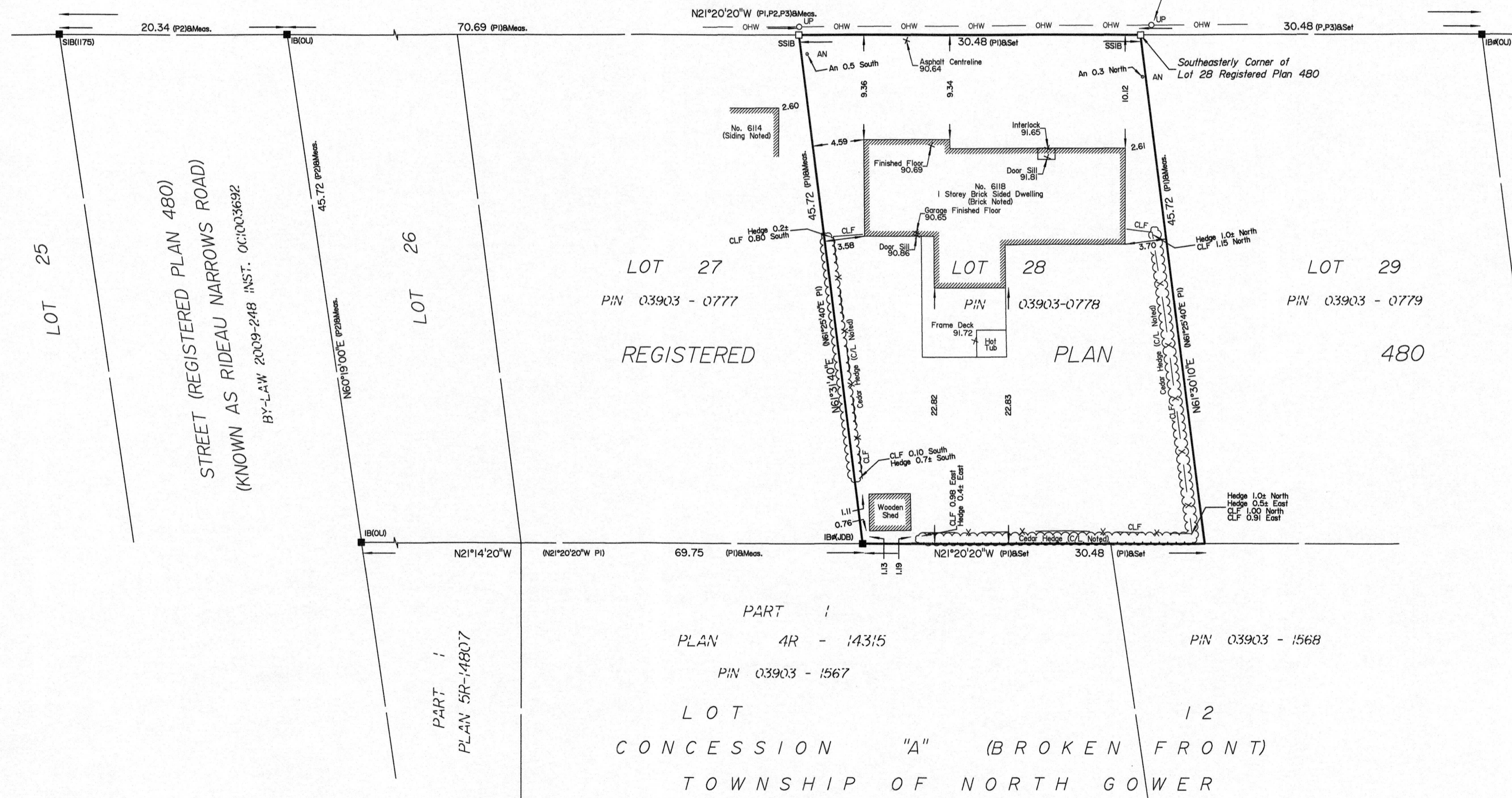
Committee of Adjustment
Received | Reçu le
2023-12-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation

STREET (REGISTERED PLAN 480)
(KNOWN AS JAMES BELL DRIVE)

BY-LAW 2009-248, INST. OC1003692

PIN 03903 - 0782

Site Benchmark
MAG Nail and Washer
in Utility Pole
Elevation=91.28



LOT 25
STREET (REGISTERED PLAN 480)
(KNOWN AS RIDEAU NARROWS ROAD)
BY-LAW 2009-248 INST. OC1003692

LOT 26

LOT 27
PIN 03903 - 0777

LOT 28
PIN 03903-0778

LOT 29
PIN 03903 - 0779

REGISTERED PLAN 480

PART 1

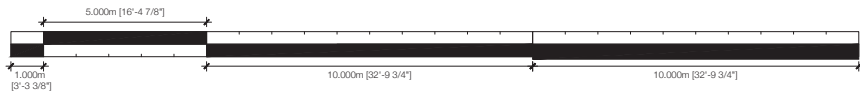
PLAN 4R - 14315

PIN 03903 - 1567

LOT 12
CONCESSION "A" (BROKEN FRONT)
TOWNSHIP OF NORTH GOWER

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2181030

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29 (3).

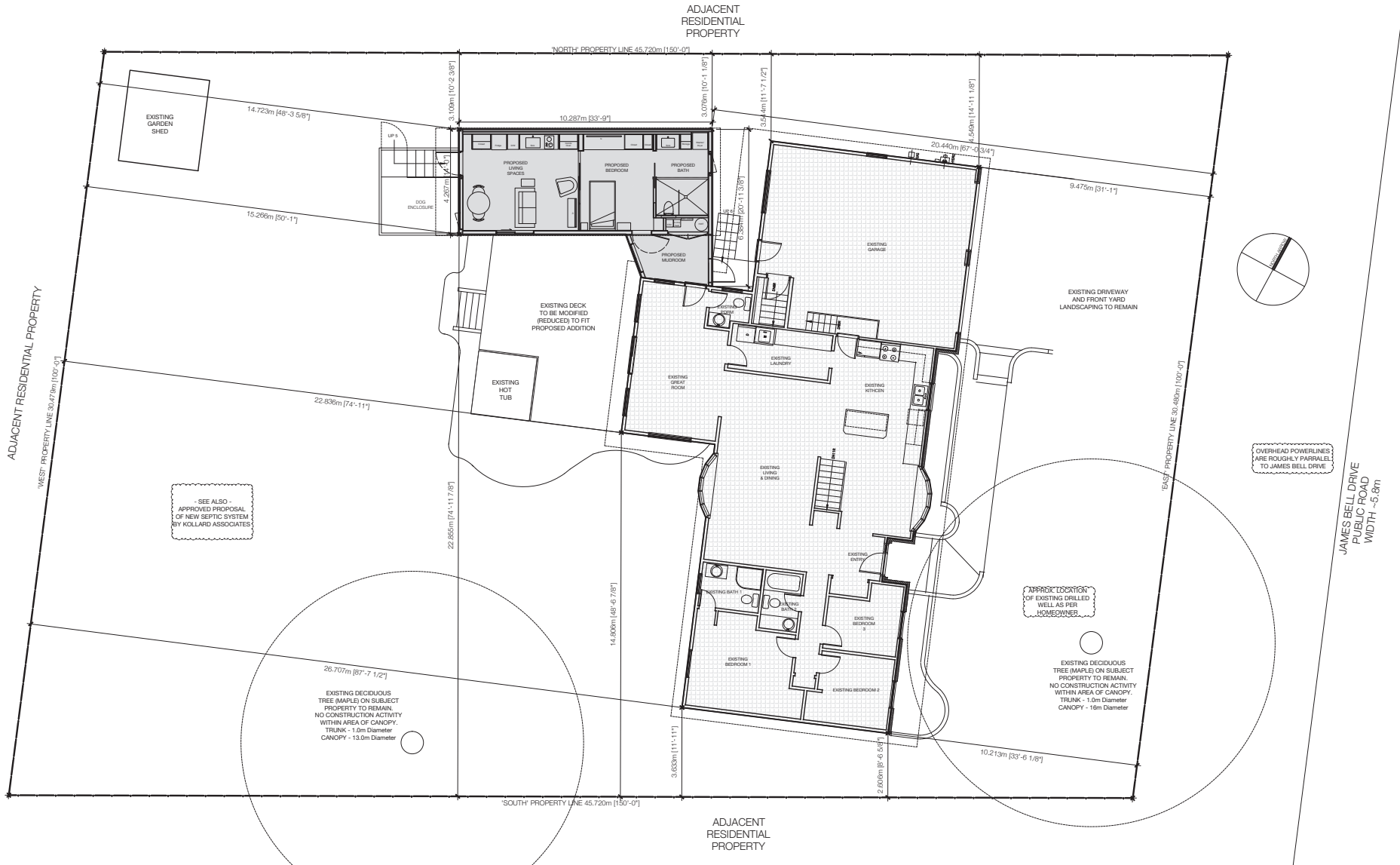


DRAWING LEGEND - DETAILS AS NOTED

- EXISTING DWELLING
- PROPOSED ADDITION
- NORTH ARROW

LOT AREA: 1382.01m²
 PARCEL COVERAGE:
 Existing House: 222.87m²
 Proposed Addition: 50.03m²
 Proposed Total: 272.90m²
 PROPOSED COVERAGE: 19.75%

REQUEST FOR MINOR VARIANCE:
 Increase to allowable lot coverage.
 RR10 Zone allows 15% maximum.
 Proposed lot coverage is 19.75%.

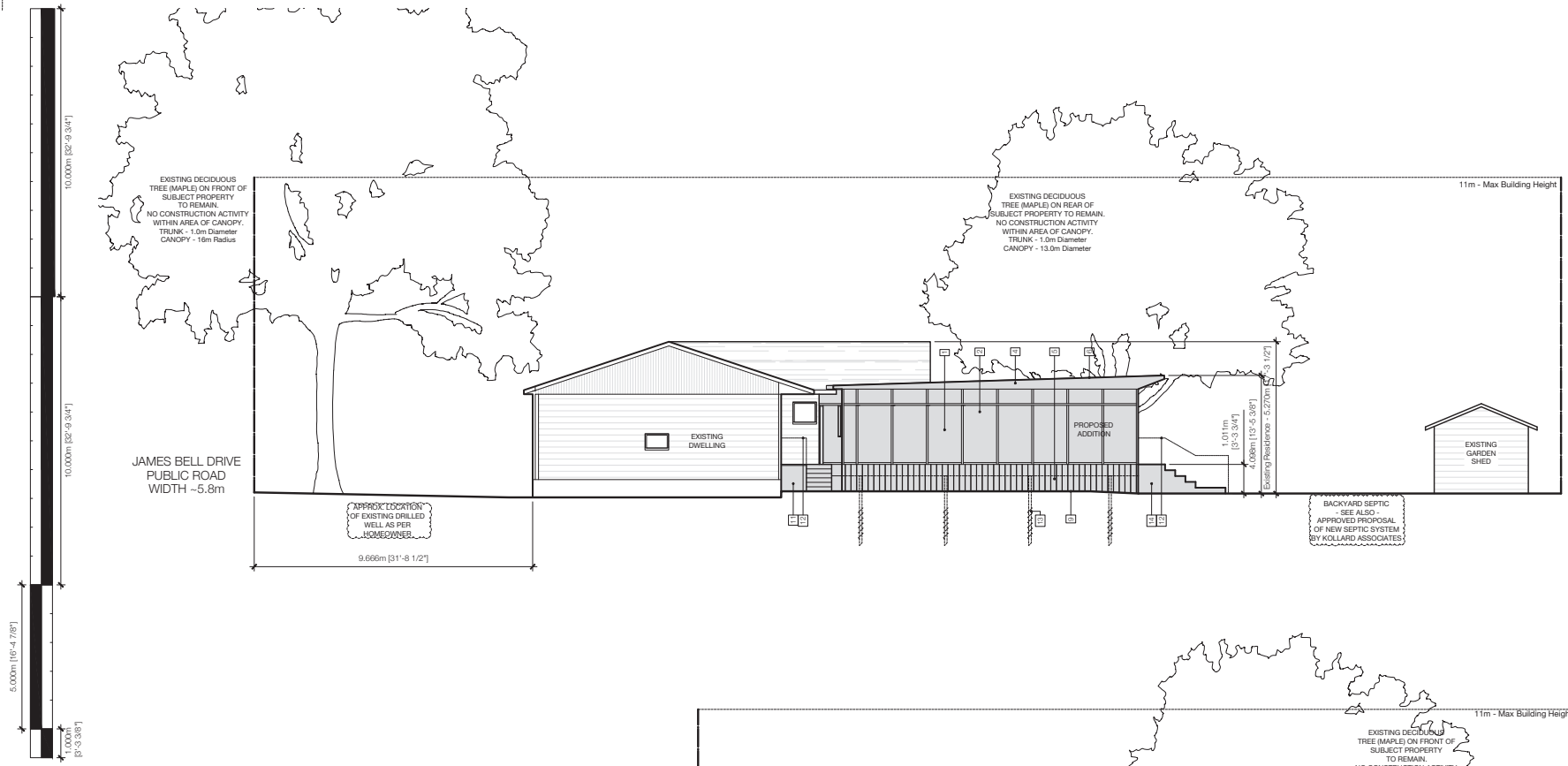


MANOTICK ADDITION
 6118 James Bell Drive, OTTAWA
 Lot 26, Registered Plan 480
 Calgary Alberta
 T 403 229 4300 | F 403 229 3821
 www.housebrand.ca

SITE PLAN
 SCALE: 1:150
 DRAWN BY: [Name]
 PLOTTED: November 16, 2023

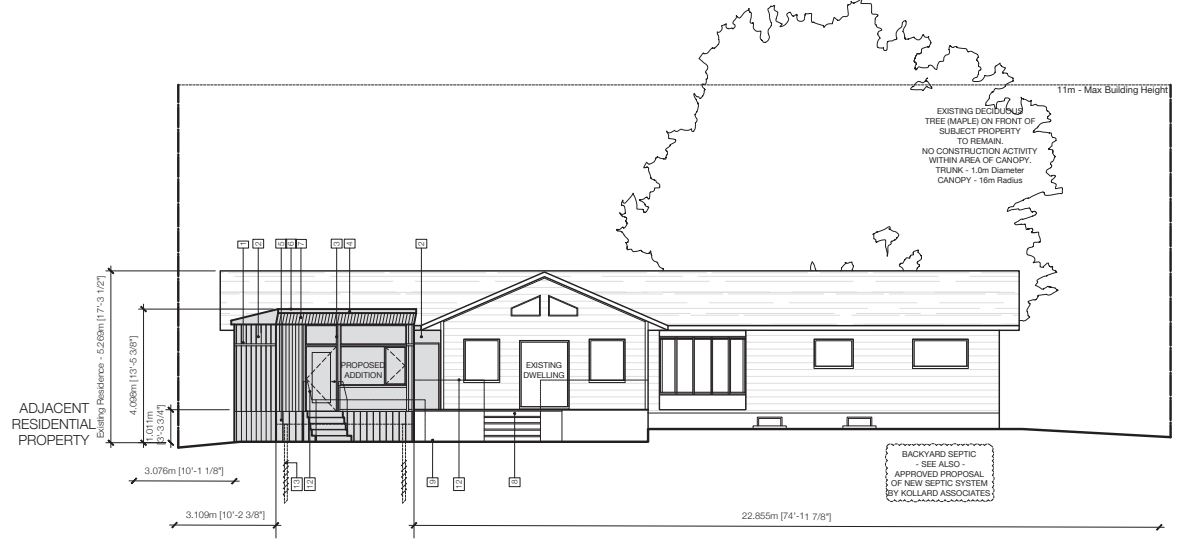
for MINOR VARIANCE APPLICATION ONLY

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DRAWING LEGEND - PROPOSED DETAILS AS NOTED

- | | | | |
|---|---|----|--|
| 1 | SOLID HATCH INDICATES SCOPE OF PROPOSED ADDITION | 7 | NEW NATURAL STAINED CEDAR TONGUE & GROOVE SIDING AND SOFFIT |
| 2 | NEW LIGHT GREY PAINTED HARDIE PANEL W/ RAISED BATTENS AS DRAWN | 8 | EXISTING DECK AND STEPS TO REMAIN |
| 3 | NEW WHITE VINYL WINDOW/DOOR FRAMES | 9 | FINISHED GRADE |
| 4 | NEW MEDIUM GREY PAINTED ROOF FASCIA & COLOR MATCHED DRIP FLASHING | 10 | NEW EXTERIOR LIGHTING - WALL SCONCE |
| 5 | NEW LIGHT GREY PAINTED "SMARTBOARD" PANEL DECK/SUITE SKIRTING | 11 | MODIFIED DECK WITH NEW STEPS |
| 6 | NEW LIGHT GREY LOW SLOPE ROOF MEMBRANE | 12 | OUTLINE OF EXISTING AND PROPOSED GUARDS AND RAILS - DETAILS AS REQUIRED BY BUILDING CODES - NEW PRODUCT TO COMPLEMENT EXISTING CONSTRUCTION |
| | | 13 | SCREW PILES AS PER STRUCTURAL ENGINEER'S DESIGN REQUIREMENTS. QUANTITY, SPECIFICATIONS AND LOCATIONS TO BE PROVIDED WITH FUTURE BUILDING PERMIT SUBMISSION |
| | | 14 | NEW WOOD LANDING AND STEPS TO MATCH EXISTING |



MANOTICK ADDITION
 6118 James Bell Drive, OTTAWA

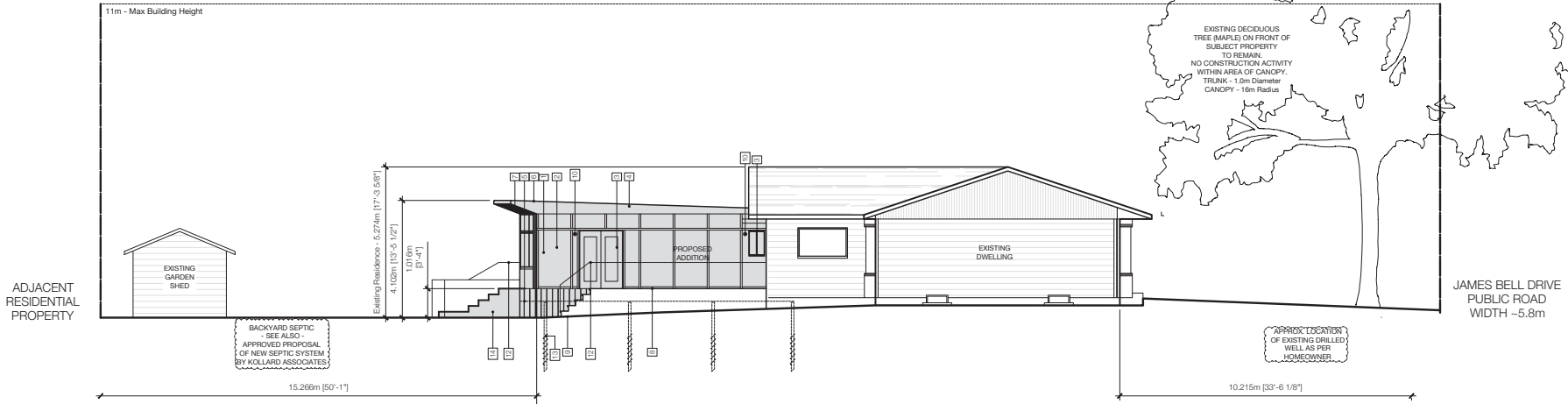
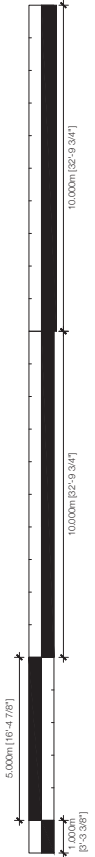
Calgary Alberta
 T 403 229 4530 | F 403 229 3821
 www.housebrand.ca

ELEVATION
 NORTH & WEST

SCALE: 1:150
 DRAWN BY: wrm
 PLOTTED: November 18, 2023

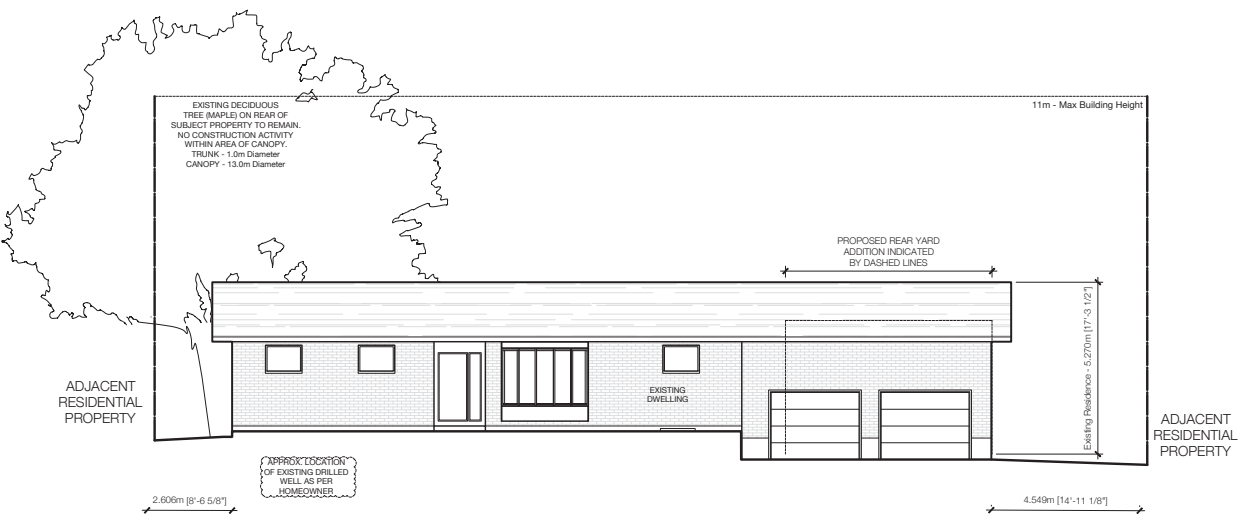
for MINOR VARIANCE APPLICATION ONLY

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DRAWING LEGEND - PROPOSED DETAILS AS NOTED

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ADJACENT RESIDENTIAL PROPERTY | ADJACENT RESIDENTIAL PROPERTY | ADJACENT RESIDENTIAL PROPERTY