

GENERAL NOTES:

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2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS AND BY-LAWS.
3. DO NOT SCALE DRAWINGS.

REVISIONS

PROJECT NAME:

David Marshall

AREA: N/A SQFT APPROX

LOCATION:

484 Kenwood Ave

SHEET TITLE:

SITE PLAN

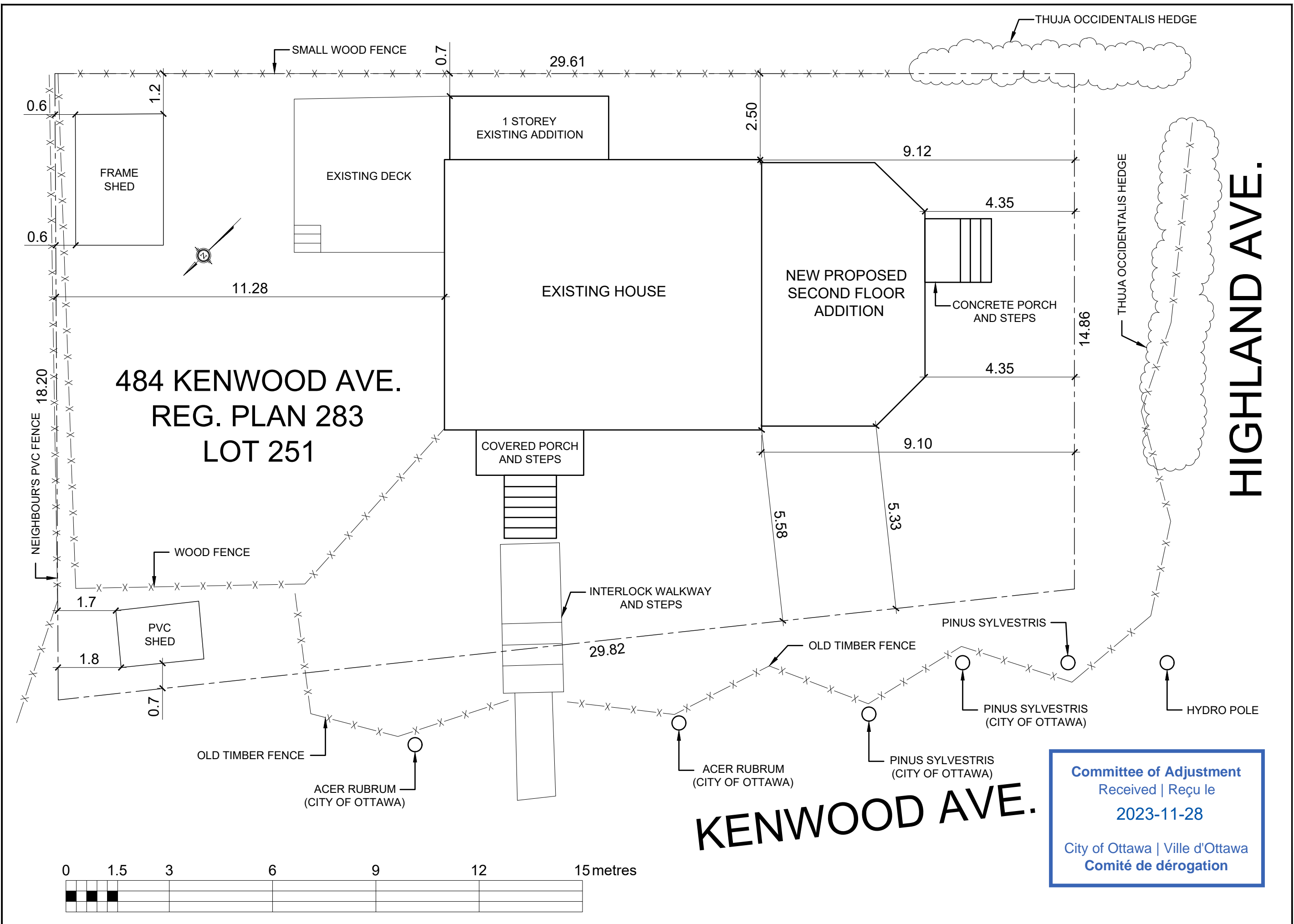
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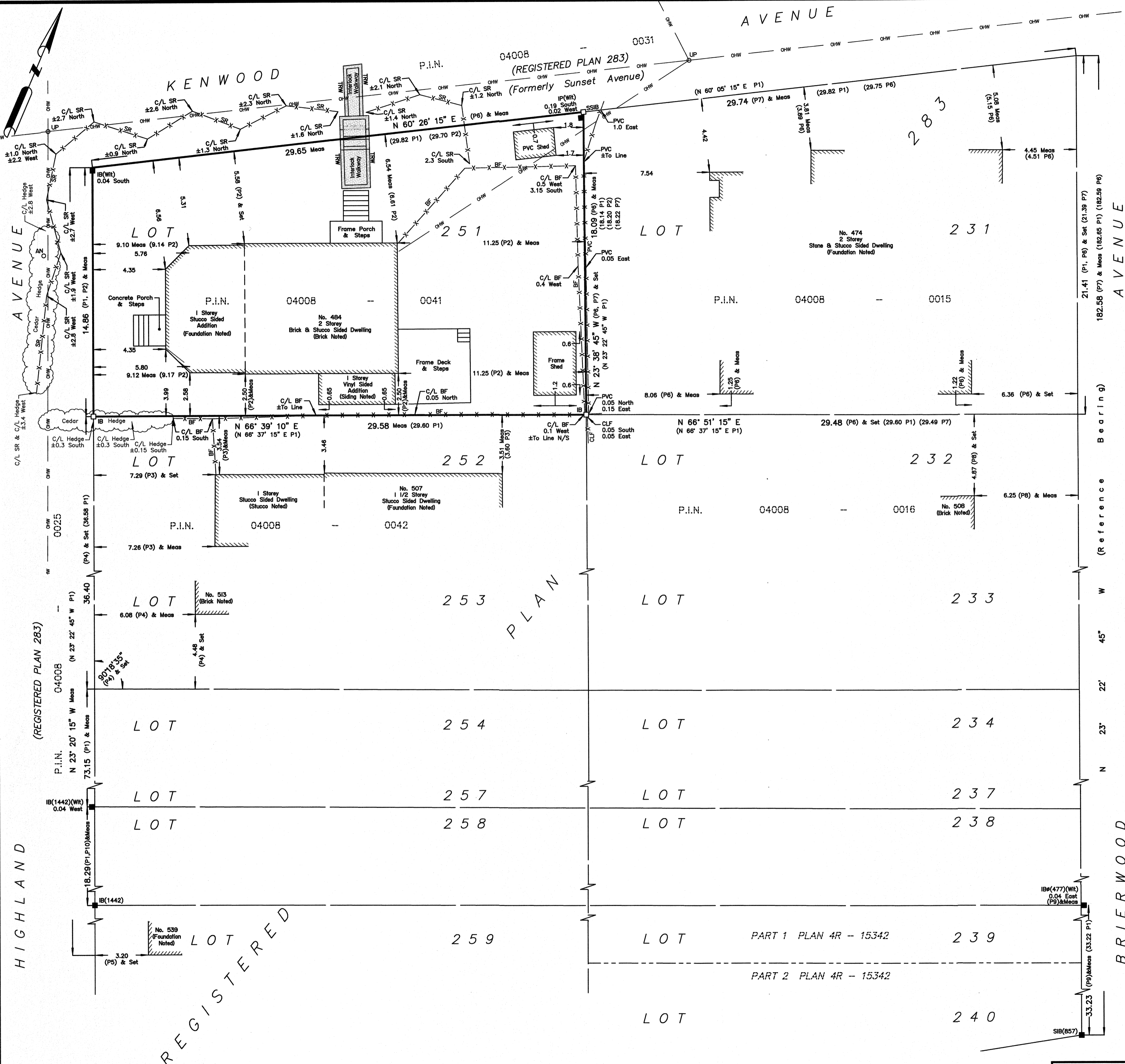
DRAWN: R LAROCQUE

PRINT DATE:
23/11/2023 - 2:44pm

S1.1



Committee of Adjustment
Received | Reçu le
2023-11-28
City of Ottawa | Ville d'Ottawa
Comité de dérogation

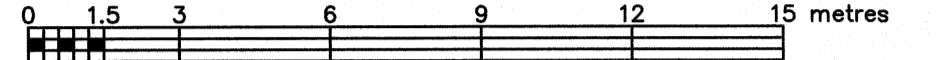


**SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of**

**LOT 251
REGISTERED PLAN 283
CITY OF OTTAWA**

FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 150



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 12°45'45" counter-clockwise was applied to bearings on P1.

For bearing comparisons, a rotation of 0°29'35" counter-clockwise was applied to bearings on P6, P7, P8.

Notes & Legend

Symbol	Denotes	Survey Monument Planted
□	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
IBØ	"	Round Iron Bar
IP	"	Iron Pipe
(Wit)	"	Witness
Meas	"	Measured
(P1)	"	Registered Plan 283
(P2)	"	Plan by (857) dated August 7, 1981 (Ref. No. 42-283(NP))
(P3)	"	Plan by (AOG) dated January 25, 1979
(P4)	"	Plan by (725) dated July 26, 1985 (Ref. No. 501-85)
(P5)	"	Plan by (647) dated July 6, 1971
(P6)	"	Plan by (857) dated January 17, 2017 (Ref. No. 56-283(NP))
(P7)	"	Plan by (1287) dated October 26, 2006 (Job No. 387-06)
(P8)	"	Plan by (857) dated October 6, 1986 (Ref. No. 46-283(NP))
(P9)	"	Plan 4R-15342
(P10)	"	Plan by (1442) dated May 13, 1993 (Ref. No. 93-25-86)
OHW	"	Overhead Wires
OP	"	Utility Pole
AN	"	Anchor
BF	"	Board Fence
SR	"	Snake Rail Fence
PVC	"	Plastic Vinyl Fence
C/L	"	Centreline
TRW	"	Timber Retaining Wall
- - -	"	Property Line

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PART 2

- REGISTERED RIGHTS-OF-WAY/EASEMENTS**
No rights-of-way or easements were found to be registered against the subject property.
- PROPERTY IMPROVEMENTS**
The location of the hedge, fence and shed in relation to the property lines are noted on the plan.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**
Compliance is not certified by this report.
- ADDITIONAL REMARKS**
Area of the subject property is 486.8 square metres.

THIS REPORT WAS PREPARED FOR:
Vala Home Improvement Inc. ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate

- I certify that:
- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
 - The survey was completed on the 26th day of October, 2023.

Oct 31/2023
Date

Emad Alrefaai
Emad Alrefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-64436

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL. (613) 727-8226 E-mail: fdsurveys@bellnet.ca

FILE No.: 324-23

PO BOX 179, K4C 1E6
TEL: (613) 852-7177

I HAVE REVIEWED THE PLANS AND
ACCEPT RESPONSIBILITY FOR THE
DESIGN.

INDIVIDUAL BCIN: 100692

X _____

STRUCTURAL REVIEW

GENERAL NOTES:

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REVISIONS

PROJECT NAME:

David Marshall

AREA: N/A SQFT APPROX

LOCATION:

484 Kenwood Ave

SHEET TITLE:

EXISTING FLR PLAN

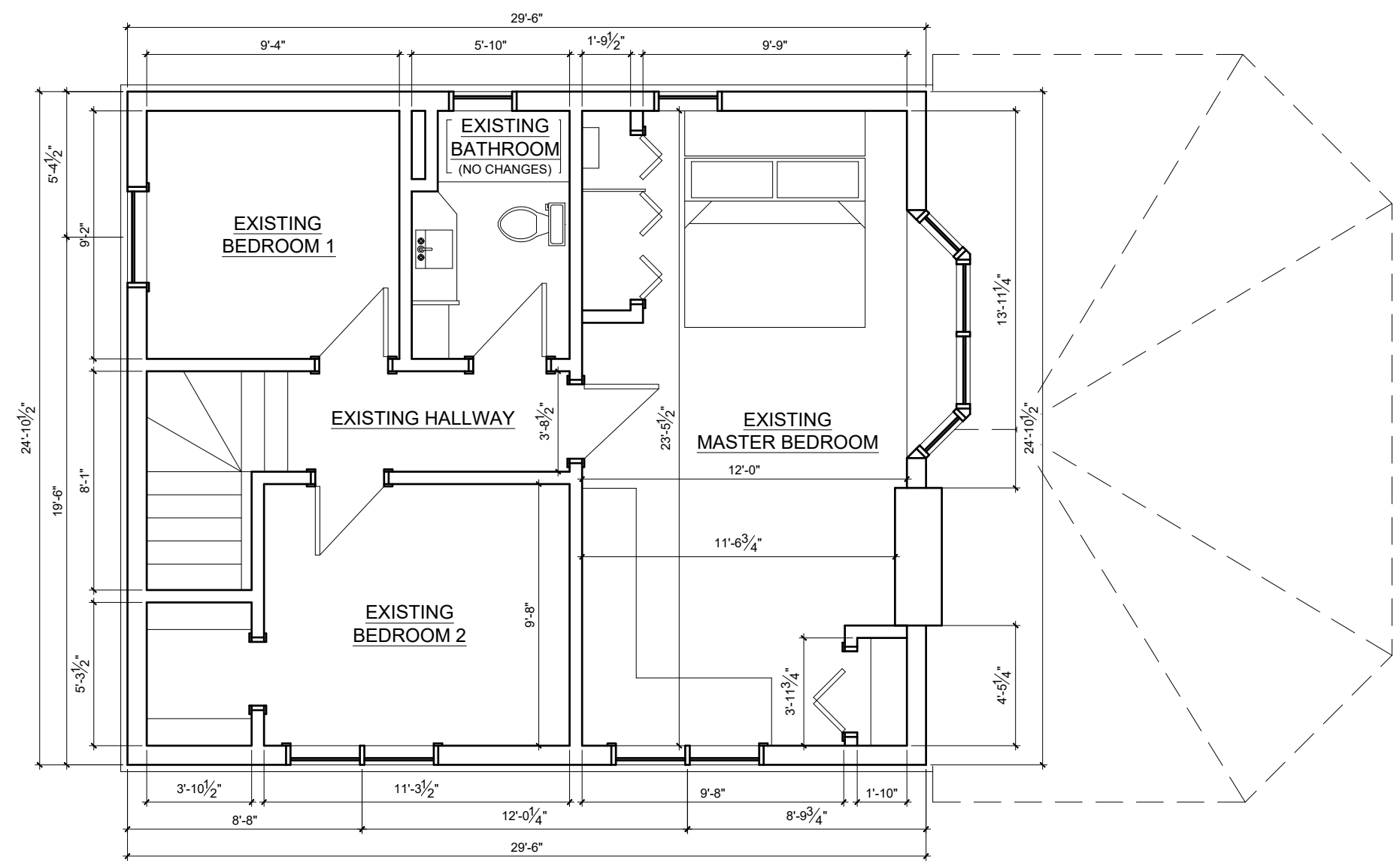
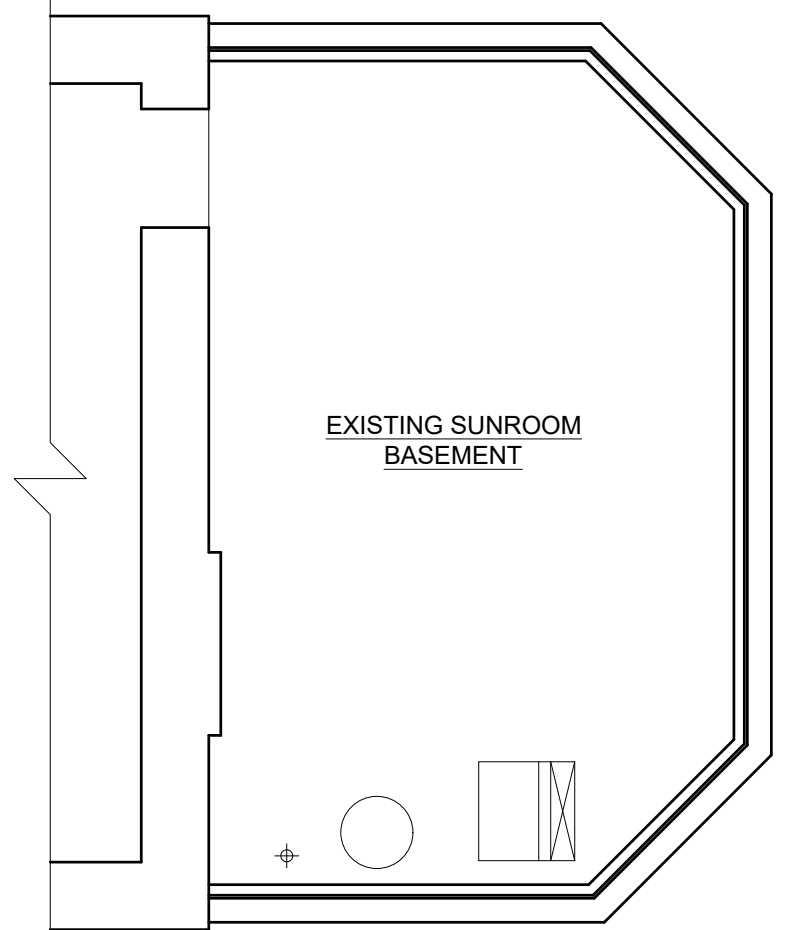
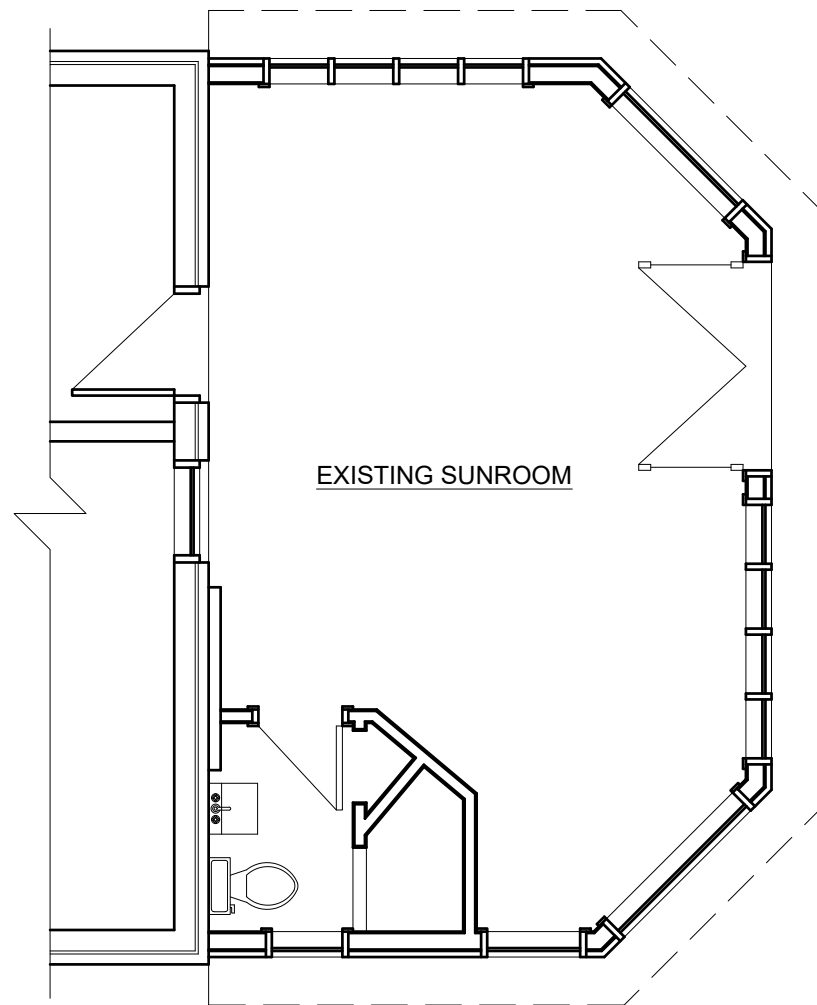
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DWG. NO.

DRAWN: R LAROCQUE

PRINT DATE:
21/07/2023 - 1:43pm

A0.1



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**2ND FLOOR
DEMOLITION PLAN**

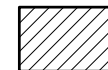
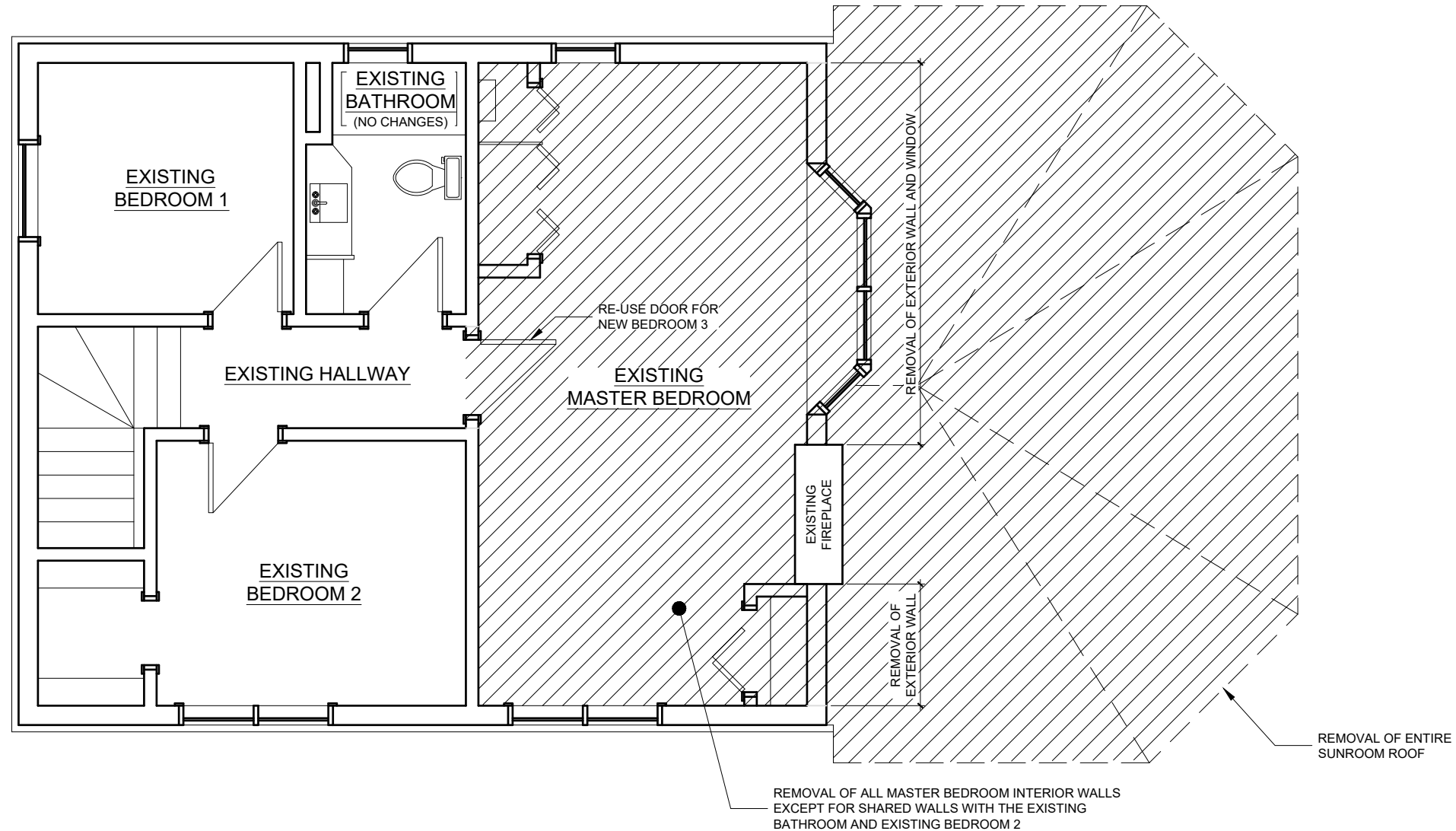
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A0.2



AREA OF DEMOLITION

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LOCATION:

484 Kenwood Ave

SHEET TITLE:

**ROOF
DEMOLITION PLAN**

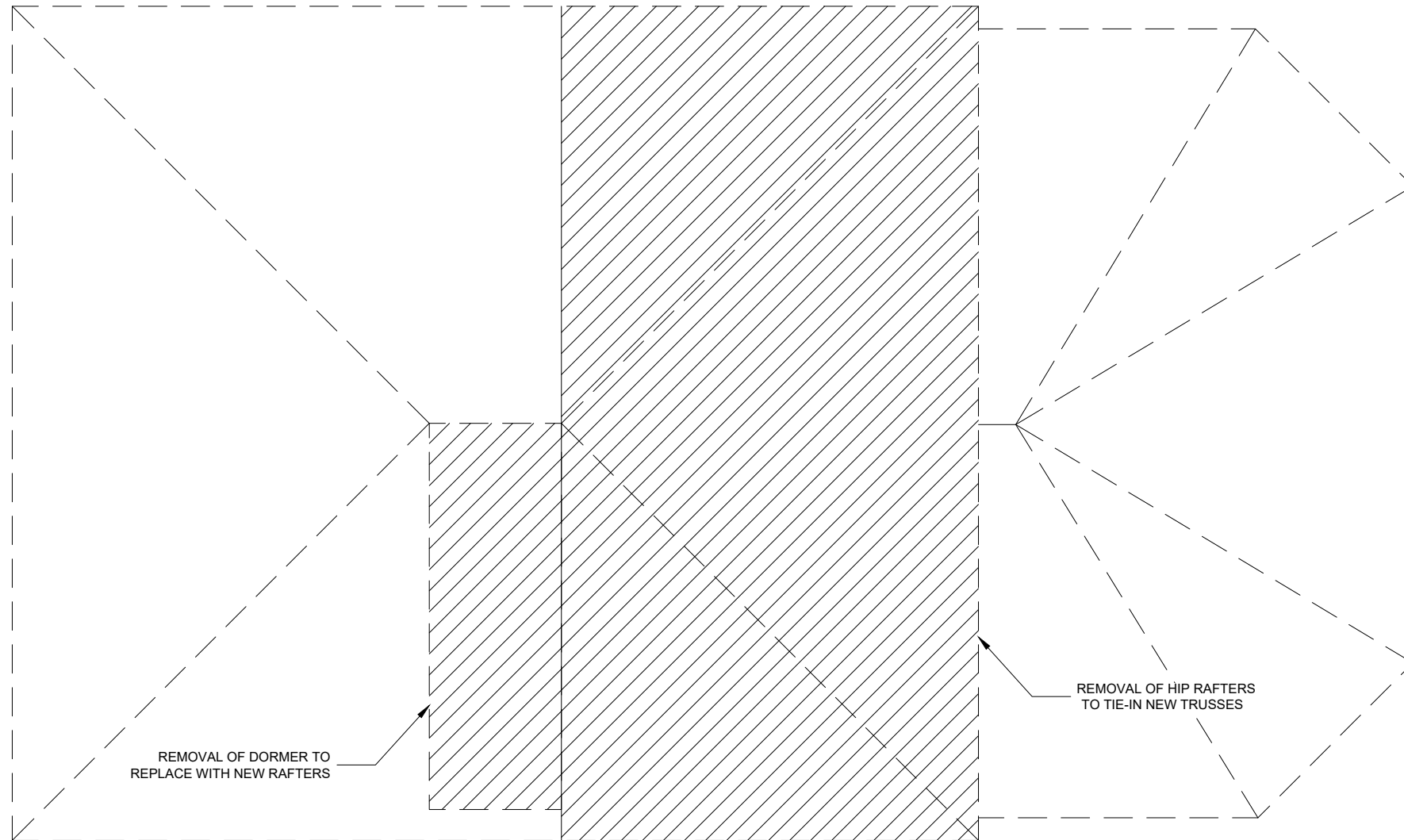
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DWG. NO.

DRAWN: R LAROCQUE

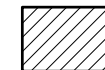
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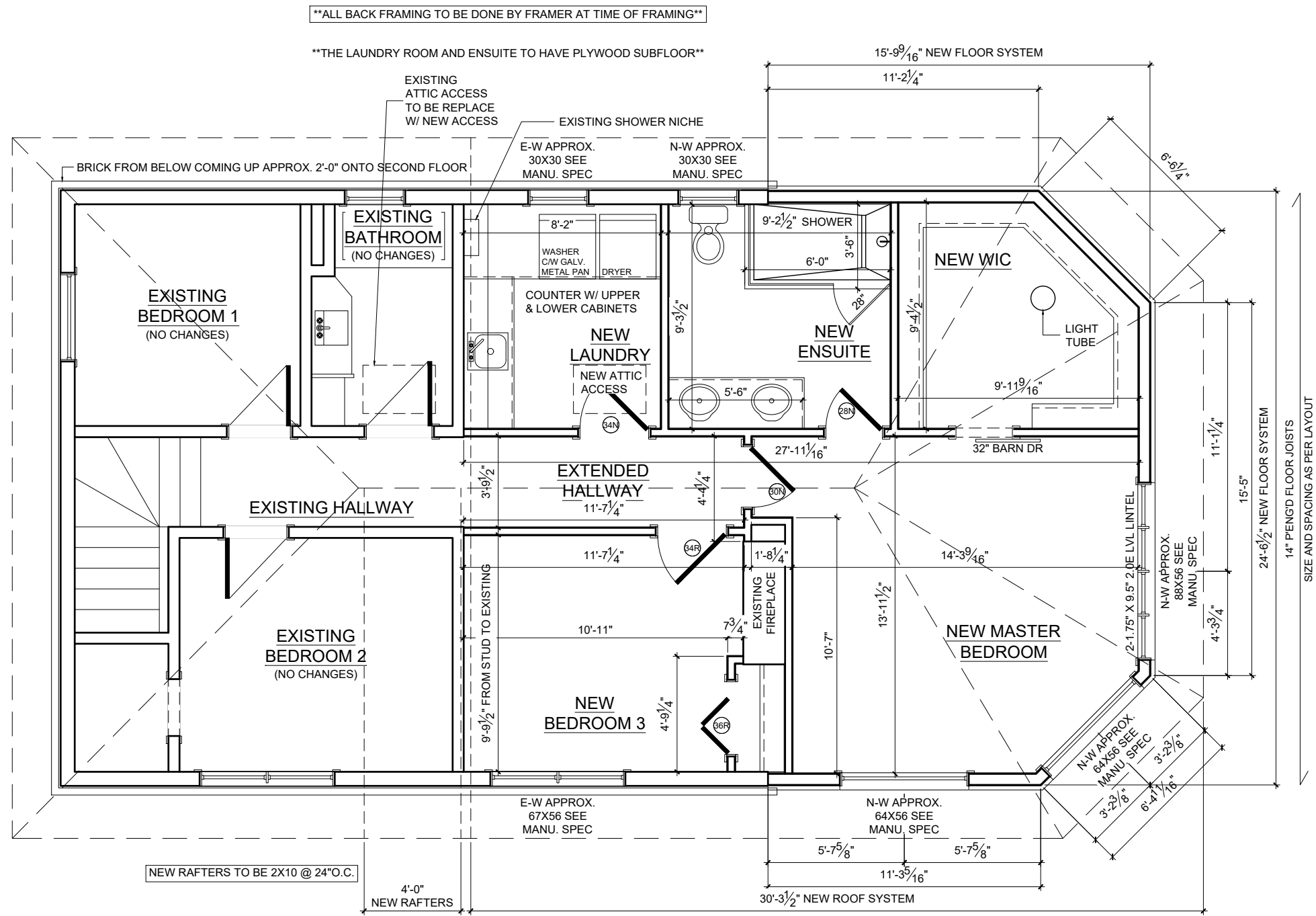


REMOVAL OF DORMER TO
REPLACE WITH NEW RAFTERS

REMOVAL OF HIP RAFTERS
TO TIE-IN NEW TRUSSES



AREA OF DEMOLITION



****ALL BACK FRAMING TO BE DONE BY FRAMER AT TIME OF FRAMING****

****THE LAUNDRY ROOM AND ENSUITE TO HAVE PLYWOOD SUBFLOOR****

NEW RAFTERS TO BE 2X10 @ 24"O.C.

GENERAL NOTES:

- BACKING REQUIRED @ TUB/SHOWER , AND TOILET FOR FUTURE GRAB BAR INSTALLATION AS PER OBC 9.5.2.3.(1)
- WATER RESISTANT FLOORING REQUIRED IN LAUNDRY AND BATHROOMS TYPICAL. MIN. 5/8" UNDERLAY REQUIRED FOR CERAMIC TILE.
- PROVIDE WATER PROOF WALL FINISH TO A MIN. HEIGHT OF:
 - 5'-11" ABOVE SHOWER FLOOR
 - 3'-11" ABOVE TUB WITH SHOWER
 - 16" ABOVE TUB WITHOUT SHOWER
- SMOKE ALARM TO BE INSTALLED IN EVERY BEDROOM (OBC 9.10.19.3);ALL SMOKE ALARMS ARE TO HAVE VISUAL SIGNALING COMPONENT WITH MIN. 175 CANDELLA IN BEDROOMS.
- TRUSS DESIGNS TO COMPLY WITH THE OBC AND CSA-086.1.
- ENSURE ACCESS TO ALL CLEANOUTS AND SHUTOFF VALVES.
- ALL LINTEL POSTS TO BE P2 UNLESS NOTED OTHERWISE.
- ALL LINTELS TO BE 2-2X10 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE W1 UNLESS NOTED OTHERWISE
- ALL INTERIOR WALLS TO BE W8 UNLESS NOTED OTHERWISE
- ALL WINDOWS TO HAVE BLOCKING AS PER DETAIL ON A4.2

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PO BOX 179, K4C 1E6
 TEL: (613) 852-7177
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REVISIONS

PROJECT NAME:
David Marshall
 AREA: N/A SQFT APPROX

LOCATION:
484 Kenwood Ave

SHEET TITLE:
2ND FLR PLAN

SCALE: 3/16" = 1'-0" DWG. NO.
 DRAWN: R LAROCQUE
 PRINT DATE: 21/07/2023 - 1:43pm **A1.1**

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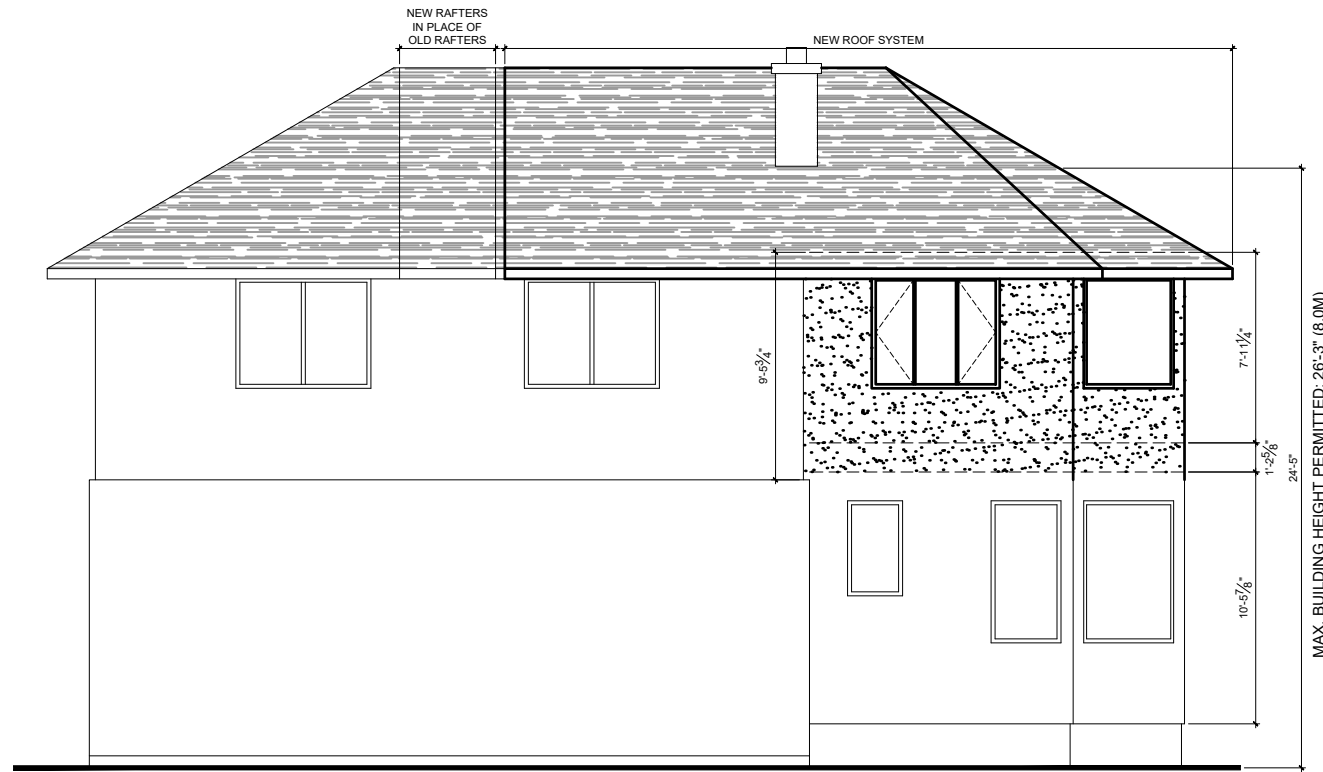
SHEET TITLE:

ELEVATIONS

SCALE: 1/8" = 1'-0" DWG. NO.

DRAWN: R LAROCQUE

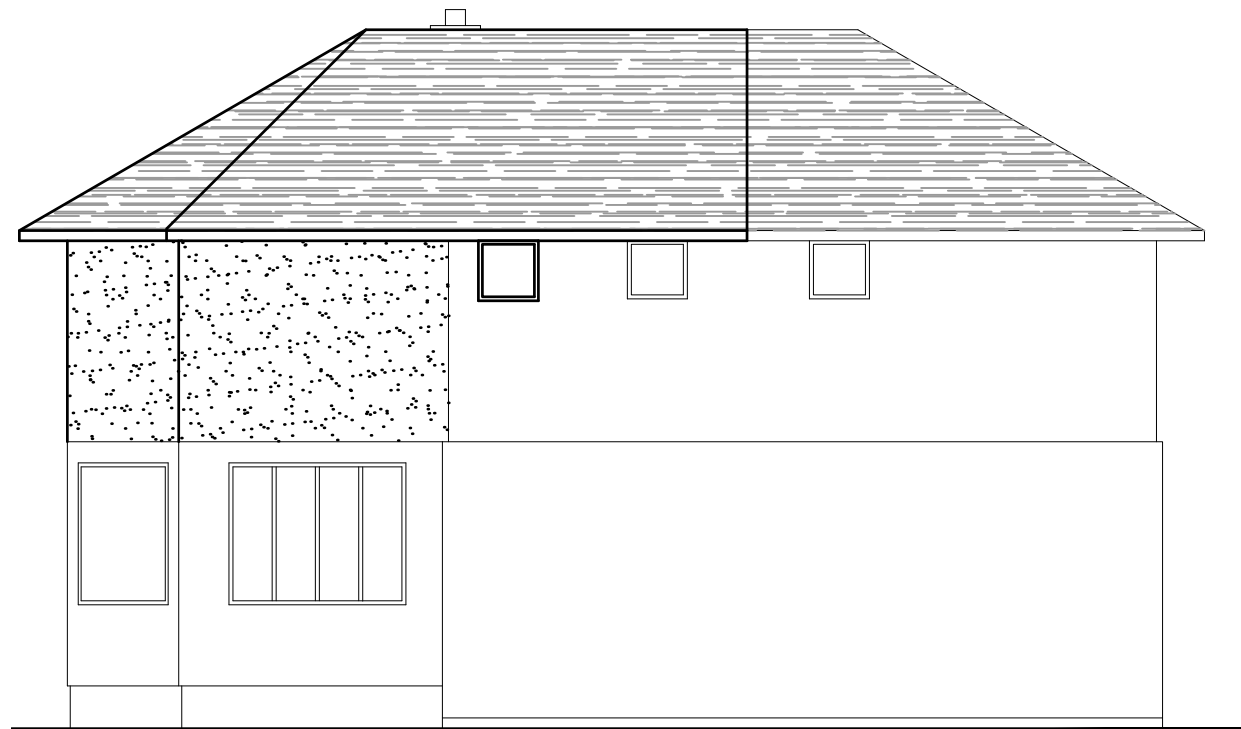
PRINT DATE: 21/07/2023 - 1:43pm **A2.1**



LEFT SIDE ELEVATION
 (KENWOOD AVENUE)



FRONT ELEVATION
 (HIGHLAND AVENUE)



RIGHT SIDE ELEVATION

- GENERAL NOTES:
1. ALL NEW WINDOWS & DOORS TO HAVE MIN. THERMAL EFFICENCY AS PER OBC
 2. ENSURE CONTROL OF RAINWATER PENETRATION FOR MASONRY VENEER
 3. ALL OVERHANG DIM. TAKEN FROM EXT. FINISH
 4. RAILING & GUARD SYSTEM TO BE INSTALL IF REQUIRED AS PER OBC 9.8.7 & 9.8.8.
 5. FASCIA BOARD TO BE 2X6 FOR ALL ROOFS

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REVISIONS

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LOCATION:

484 Kenwood Ave

SHEET TITLE:

ELECTRICAL PLAN

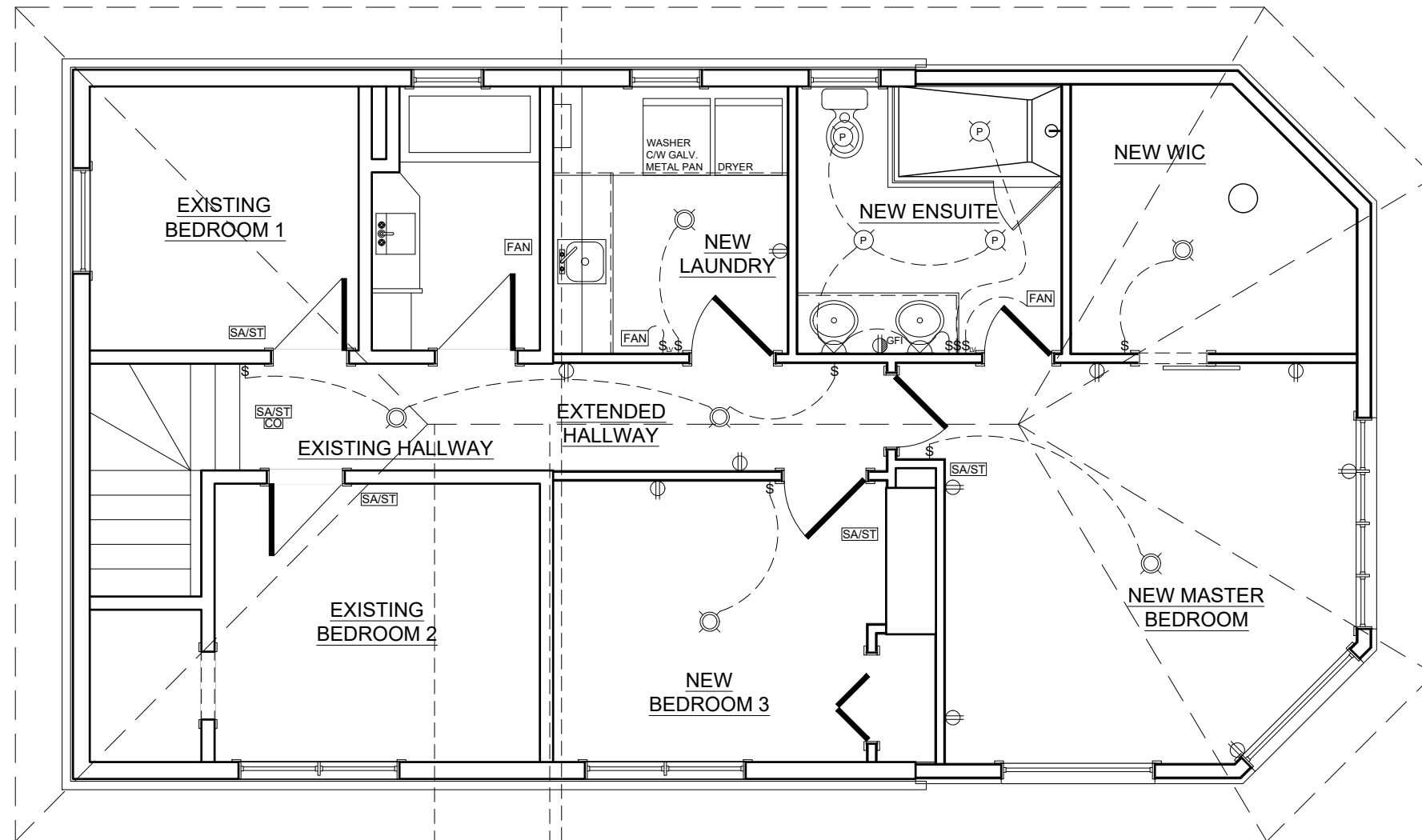
SCALE: 3/16" = 1'-0"

DWG. NO.

DRAWN: R LAROCQUE

PRINT DATE:
21/07/2023 - 1:43pm

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GENERAL NOTES:

1. ALL ELECTRICAL/ CABLE/ PHONE / CVAC LOCATION ARE APPROXIMATE
2. ALL ELECTRICAL OUTLETS INSTALLED AS A MINIMUM SHALL MEET THE O.B.C
3. ALL SA/ST IN BEDROOM TO BE APPROX. 2 FEET FROM DOOR
4. ALL SA/ST IN HALLWAYS TO BE IN FRONT OF STAIR LEADING UP/DN TO GROUND FLOOR
5. ALL SA/ST ON GROUND FLOOR TO LEAD TOWARD AN EXIT
6. NO MORE THAN 2 SA/ST TO BE VISIBLE AT THE SAME TIME

CONSTRUCTION ASSEMBLIES

W1) TYPICAL EXTERIOR HOUSE WALL CONS.

BRICK VENEER/SIDING
1" AIR SPACE FOR BRICK VENEER
AIR BARRIER
R5.15+7/16" OSB ISS WALL SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 INSULATION
6MIL POLY VAPOUR BARRIER
1/2" DRYWALL

W2) TYPICAL 2X4 GARAGE WALL CONS.

MASONRY VENEER/SIDING
1" AIR SPACE (MASONRY VENEER ONLY)
AIR BARRIER
OSB SHEATHING
2X4 WOOD STUDS @ 16" O.C.
1/2" DRYWALL
FUME PROOFING

W3) TYPICAL 2X6 GARAGE WALL CONS.

MASONRY VENEER/SIDING
1" AIR SPACE (MASONRY VENEER ONLY)
AIR BARRIER
OSB SHEATHING
2X6 WOOD STUDS @ 16" O.C.
1/2" DRYWALL
FUME PROOFING

W4) TYPICAL INT. GARAGE WALL CONS.

1/2" DRYWALL
AIR BARRIER
R5.6+7/16" OSB ISS WALL SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R22 INSULATION
6MIL POLY VAPOUR BARRIER
1/2" DRYWALL
FUME PROOFING

W5) TYPICAL BASEMENT FND. WALL CONS.

PLATON MEMBRANE BELOW GRADE
CEMENT PARGING ABOVE GRADE
2-15M TOP & BOTTOM WALL REINFORCING
8" CONCRETE FOUNDATIN WALL (20MPA) STD
9" CONCRETE FOUNDATIN WALL (20MPA) MASONRY
4" STYRO RAIL
6MIL POLY VAPOUR BARRIER
2X4 WOOD STUDS @ 24" O.C.
1/2" DRYWALL (FINISHED AREAS ONLY)

W6) TYPICAL OTHER FND. WALL CONS.

PLATON MEMBRANE BELOW GRADE
CEMENT PARGING ABOVE GRADE
2-15M TOP & BOTTOM WALL REINFORCING
8" CONCRETE FOUNDATIN WALL (20MPA) @ SIDING
9" CONCRETE FOUNDATIN WALL (20MPA) @ MASONRY
10" CONC. FDN WALL (20MPA) @ GARAGE DR W/ MASONRY

W7) TYPICAL KNEEWALL WALL CONS.

W1 ON TOP OF W5

W8) TYPICAL INTERIOR 2X4 WALL CONS.

1/2" DRYWALL
2X4 WOOD STUDS @ 16" O.C.
1/2" DRYWALL

W9) TYPICAL INTERIOR 2X6 WALL CONS.

1/2" DRYWALL
2X6 WOOD STUDS @ 16" O.C.
1/2" DRYWALL

R1) TYPICAL ROOF CONSTRUCTION

ROOF FLASHING (WHERE NEEDED)
ASPHALT ROOF SHINGLES
APPROVED EAVE PROTECTION
H-CLIPS AS REQUIRED
5/8" OSB ROOF SHEATHING
PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
R50 INSULATION
6MIL POLY VAPOUR BARRIER
1X4 WOOD STRAPPING @ 16" O.C.
1/2" DRYWALL

F1) TYPICAL FLOOR CONSTRUCTION

5/8" T&G OSB FLOOR SHEATHING
5/8 PLYWOOD FOR CERAMIC TILE AREAS
PRE-ENG FLOOR JOIST AS PER LAYOUT
BRIDGING AS PER MANUFACTURER
1X4 WOOD STRAPPING @ 16" O.C. (2ND FLOOR ONLY)
1/2" DRYWALL

BF1) TYPICAL FND. FLOOR CONSTRUCTION

CARPET OR LAMINATE OR NO FLOORING
3" CONCRETE FLOOR SLAB (25MPA)
6 MIL VAPOUR BARRIER
MIN. 4" CLEAR STONE

BF2) TYPICAL GARAGE FLOOR CONSTRUCTION

4" FIBRE REIN CONC FLOOR
32MPA 6%AE
MIN 6" CLEAR CRUSHED STONE
COMPACTED SAND FILL

C1) TYPICAL GARAGE CEILING CONSTRUCTION

2X4@16"O.C. DROPPED CEILING
6MIL POLY VAPOUR BARRIER
R32 INSULATION
AIR BARRIER
1/2" DRYWALL
FUME PROOFING

DOOR & WINDOW LEGEND	
DOOR	WINDOW
SIZE IN INCHES	N-W = NEW
= NEW	E-W = EXISTING
= REPURPOSED	R-W = REPURPOSED

STEEL LINTEL TABLE (O.B.C. 9.20.5.2.B)

	MINIMUM ANGLE SIZE (INCHES)			MAX. ALLOWABLE SPAN (FT)
	VERTICAL LEG	HORIZONTAL LEG	THICKNESS	4" BRICK
L1	3 1/2"	3 1/2"	1/4"	7'-6 1/2"
L2	4"	3 1/2"	1/4"	8'-1 5/8"
L3	5"	3 1/2"	3/16"	10'-1 1/4"
L4	5"	3 1/2"	7/16"	10'-7 1/2"
L5	5"	3 1/2"	1/2"	10'-11 1/8"
L6	6"	3 1/2"	7/16"	11'-7 3/8"
L7	6"	3 1/2"	1/2"	12'-4 1/2"
L8	6"	4"	1/2"	12'-6 3/8"
L9	7"	4"	7/16"	13'-1"
L10	7"	4"	1/2"	13'-11 1/4"

STRUCTURE LEGEND

STRIP FOOTINGS

TYP. 24X8 STRIP FOOTING

PAD FOOTINGS

F1-24X24X10 CONC FTG /3-15M BEW

F2-48X48X10 CONC FTG /5-15M BEW

COLUMNS

C1-3"DIA X0.188HSS ADJ. POST

POST

P2- 2-2X4 / 2-2X6

P3- 3-2X4 / 3-2X6

P4- 4-2X4 / 4-2X6

P5- 5-2X4 / 5-2X6

***ANY POST WITH AN ASTERISK (*)

MEANS THAT THERE NEEDS TO BE BLOCKING TO MATCH OR EXCEED THE NECESSARY BEARING IN THE FLOOR TO CARRY DOWN THE LOADS FROM THE FLOORS ABOVE***

BP - BEAM POCKET

RT - ROOF TRUSS

ALL POINT LOADS ARE "P2" U.N.O. WOOD POSTS SHALL BE MIN. SPF No.2

ELECTRICAL & MECHANICAL LEGEND

- SINGLE SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- SINGLE SWITCH W/ DIMMER
- THREE-WAY SWITCH W/ DIMMER
- FOUR-WAY SWITCH W/ DIMMER
- FURNACE SWITCH
- LOW VOLTAGE SWITCH
- DUPLEX OUTLET/SWITCH PLUG
- 220V OUTLET
- GFI GROUND FAULT INTERRUPTER
- WATERPROOF OUTLET
- CEILING LIGHT
- POT LIGHT
- SOFFIT LIGHT
- CHANDELIER
- HANGING LIGHT
- WALL MOUNT LIGHT
- PUCK LIGHT
- VALANCE LIGHT
- CEILING FAN
- SMOKE/VISUAL ALM. STROBE DET.
- CARBON MONOXIDE DET.
- HEAT RECOVERY VENT.
- BATHROOM EXHAUST FAN
- CONDUIT
- CABLEVISION OUTLET
- TELEPHONE OUTLET
- DATA LINE
- DOOR BELL
- FLOOR VENT
- FIREPLACE T.STAT(iv)
- CENTRAL VACUUM
- VAC PAN
- THERMOSTAT

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SHEET TITLE:

NOTES

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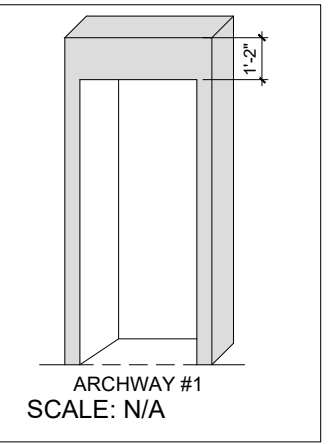
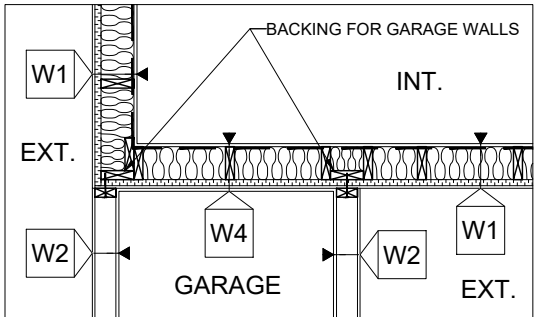
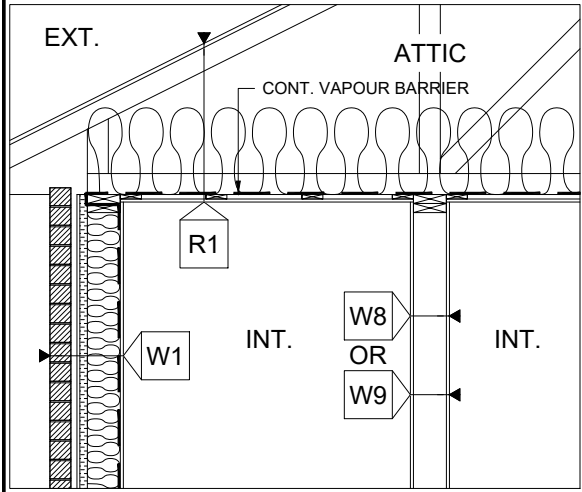
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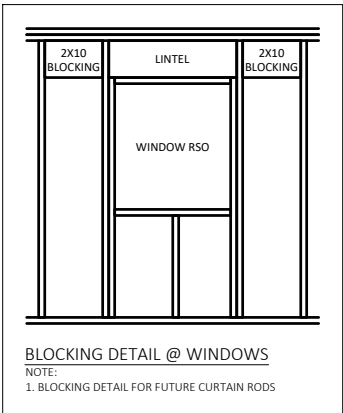
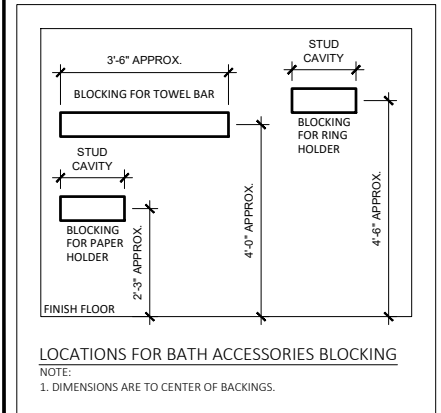
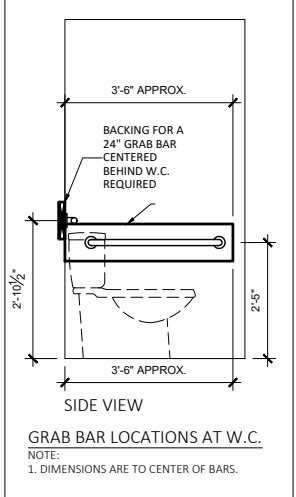
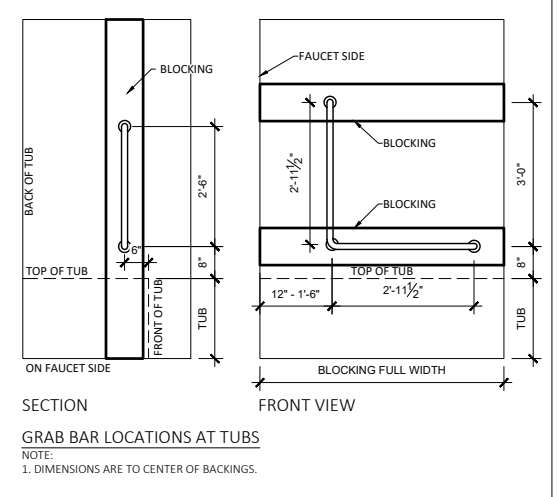
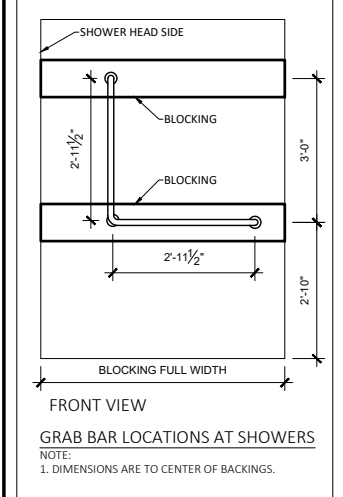
PRINT DATE:
21/07/2023 - 1:43pm

A4.1

DETAILS -SCALE: 3/8"=1'-0"



**ATTIC TO EXT. WALL CONT. VB
DETAILS -SCALE: 1/4"=1'-0"**



PO BOX 179, K4C 1E6
TEL: (613) 852-7177
I HAVE REVIEWED THE PLANS AND ACCEPT RESPONSIBILITY FOR THE DESIGN.
INDIVIDUAL BCIN: 100692
X _____

STRUCTURAL REVIEW

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO VALAHOME.
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS AND BY-LAWS.
 3. DO NOT SCALE DRAWINGS.

1.	REVISIONS
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PROJECT NAME:
David Marshall
AREA: N/A SQFT APPROX

LOCATION:
484 Kenwood Ave

SHEET TITLE:
DETAIL & SECTION

SCALE: 3/16" = 1'-0"	DWG. NO.
DRAWN: R LAROCQUE	A4.2
PRINT DATE: 21/07/2023 - 1:43pm	