

**Committee of Adjustment
Received | Reçu le**

Revised | Modifié le : 2023-12-05

**City of Ottawa | Ville d'Ottawa
Comité de dérogation**

LEGEND

ZONING INFORMATION:
ZONE: R4UD [481]

DWELLING TYPE: APARTMENT
DWELLING, LOW RISE, STACKED

	REQ.	EXIST.
MIN. LOT WIDTH:	10m	13.71m
MIN. LOT AREA:	420m ²	425m ²
MAX. BLDG. HT:	11m	7.9m
MIN. FRT. SETBACK:	4.5m	3.9m
MIN. REAR SETBACK:	9.5m	9.4m
MIN. SIDE SETBACK:	1.5m	1.5m

LANDSCAPE INFORMATION:

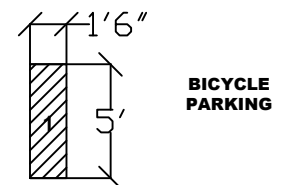
*** XX MUST BE LANDSCAPED ***

	REQ.	PROP.
TOTAL LOT	421m ²	
TOTAL REAR YARD	138m ²	
TOTAL LOT(%)	30%	32%
TOTAL LOT(ft ²)	126m ²	134m ²
TOTAL REAR YARD		
REAR YARD (%)	50%	53%
REAR YARD (ft ²)	69m ²	73m ²

XX MUST BE SOFT LANDSCAPED

	REQ.	PROP.
FRONT YARD (%)	40%	42.4%
FRONT YARD (ft ²)	22m ²	23m ²

GRADING INFORMATION:
ALL GRADING TO REMAIN AS BUILT



AMENITY SPACE:

Required: 15m² / dwelling unit

- Total amenity space : 75m²
- Total dwelling units : 4

= 75 / 4 = 18.75m²

Provided : 18.75m² / dwelling unit

Section 137 - Amenity Area

- Amenity area must be provided for a residential use that is a permitted use in the zone in which it is located, in accordance with Table 137.
- Amenity area must be located on the same lot as the use for which it is provided.
- Amenity area provided outdoors must not be located in a required front or corner side yard.
- Where amenity area is located outside at grade, it may be included in the calculation of landscaped area requirements.
- Minimum required communal amenity area may only be included as part of a required landscaped buffer where it is aggregated into areas of 54m² or more.

Table 137- Amenity Area (By-law 2014-189) (OMB Order File #PL150797 issued July 25, 2016 - By-law 2015-228)

I Land Use	II Total Amenity Area	III Communal Amenity Area	IV Layout of Communal Amenity Area
Apartment dwelling low-rise:	15m ² per dwelling unit up to eight units, plus 6m ² per unit in excess of 8.	100% of the amenity area required for the first eight units.	Communal amenity area required for the first eight units must: -be located at-grade and in the rear yard; -be landscaped; -consist of at least 80% soft landscaping, and -be located at grade and in the rear yard and may include one interior yard that abuts both the rear yard and interior side yard, unless the lot has access to a rear lane. (By-law 2019-41)
(12) In any R1 to R4 zone where parking is not required in Area A on Schedule 342			

ZONING REVIEW

SITE PLAN

**469-471 Wilbrod St.
OTTAWA, ONTARIO**

SCALE : 1:150

DEC 2023

2023-11-06

Committee of Adjustment

UCL 00 2021

City of Ottawa

JOB No. O - 156 - 92

PART I: PLAN OF
PART OF LOT 44
(North Wilbrod Street) AND
PART OF LOT 43
(South Stewart Street)
REGISTERED PLAN 6
CITY OF OTTAWA
REGIONAL MUNICIPALITY OF
OTTAWA - CARLETON
SCALE 1" = 15'

Surveyed by
Annis, O'Sullivan, Vollebek Ltd.
1992

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT:
The field survey represented on this plan was
completed on the 5th day of August, 1992.

Annis, O'Sullivan, Vollebek Ltd.
E. H. HERBERT
Ontario Land Surveyor

PART 2
This plan must be read in conjunction with
survey report dated August 11, 1992.

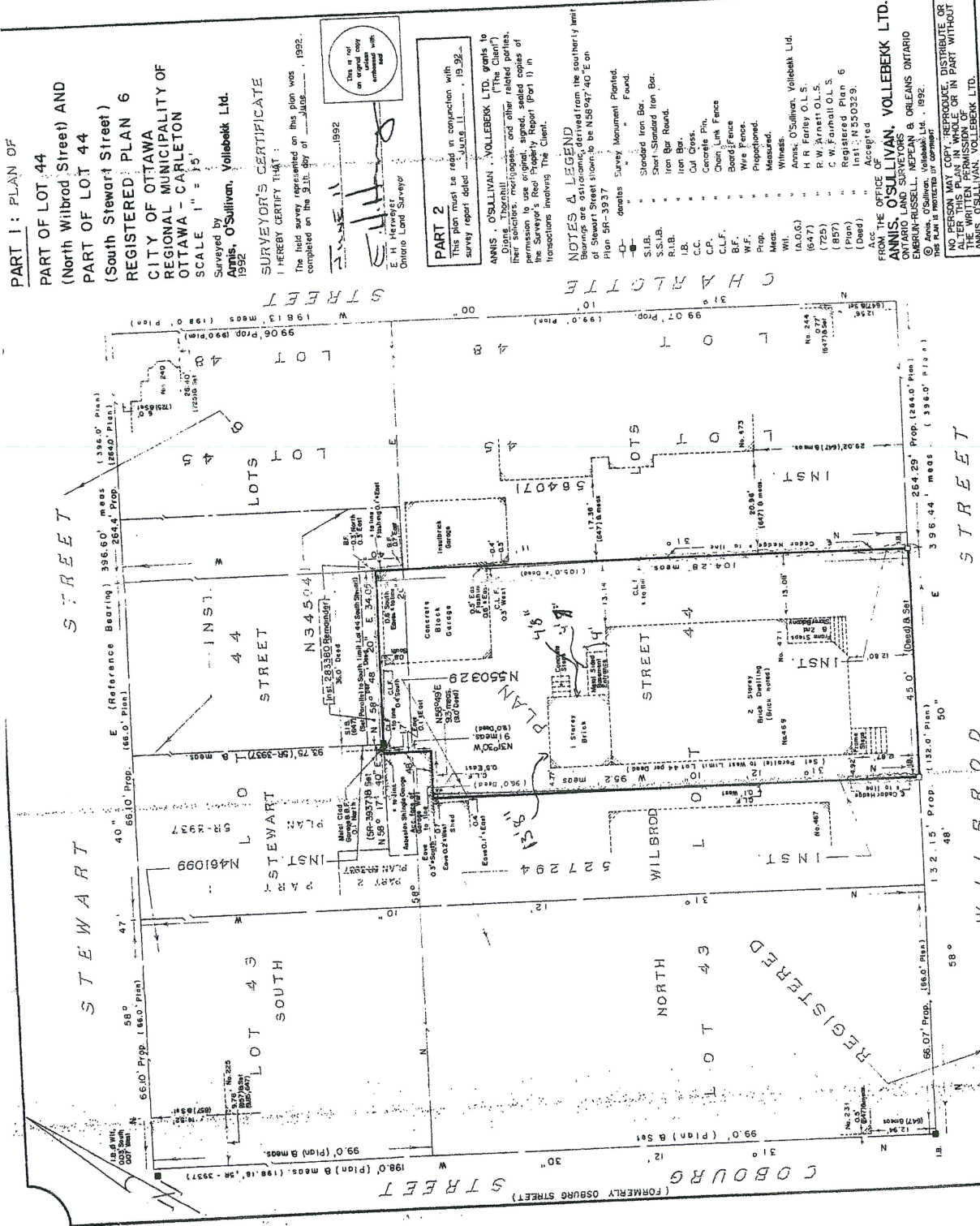
ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to
Diana Theriault and other related parties,
their successors, mortgagees and other related parties,
permission to use the Surveyor's Record Property Report (Part I) in
transactions involving The Client.

NOTES & LEGEND
Bearings are astronomic, derived from the southerly limit
of Stewart Street shown to be N30°47'40"E on
Plan 91-3937

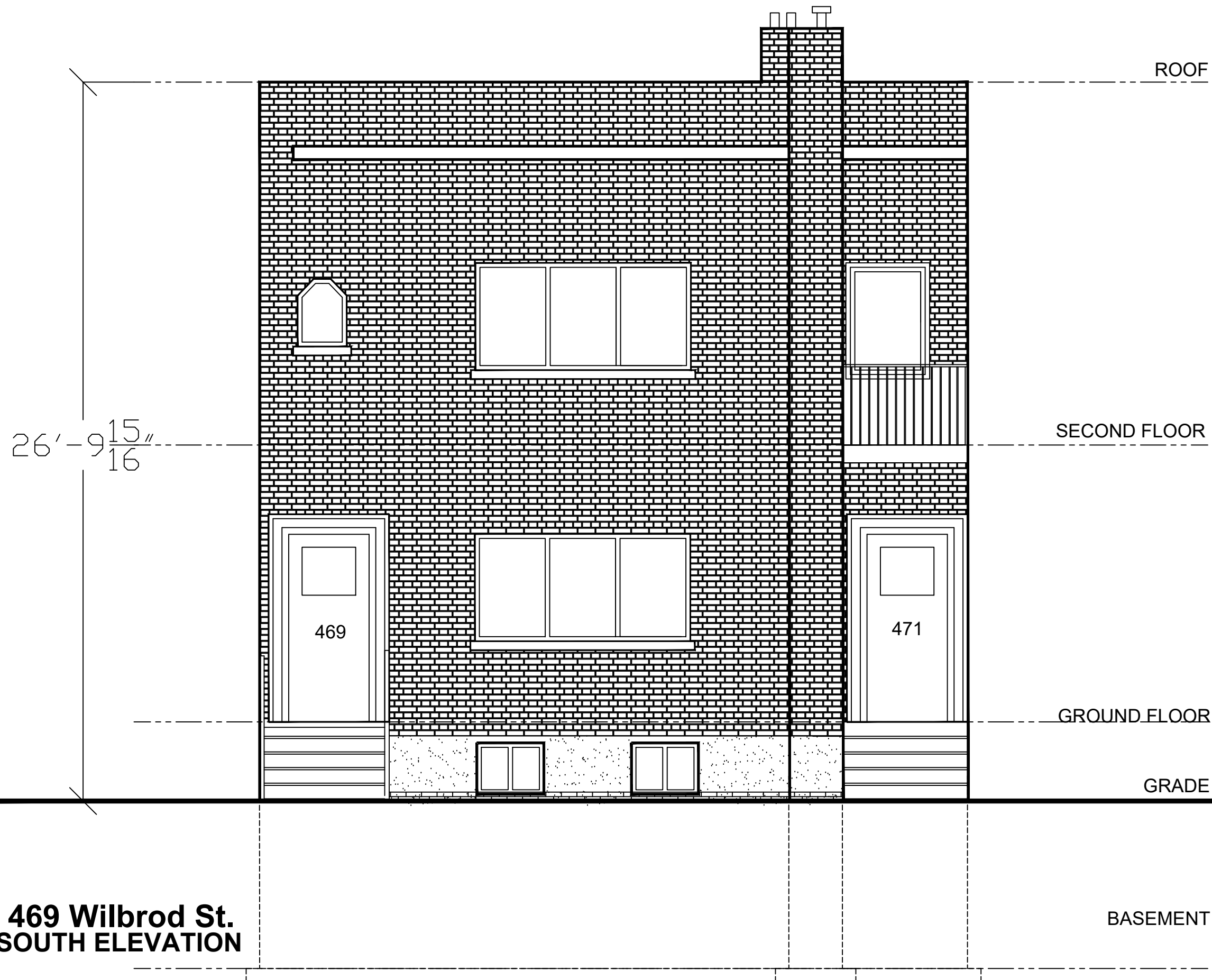
- details Survey Monument Found.
- S.I.B. Standard Iron Bar
- S.S.I.B. Short Standard Iron Bar
- R.I.B. Iron Bar Road
- I.B. Iron Bar
- C.C. Chain
- C.P. Chain Pin
- C.L.F. Chain Link Fence
- B.F. Boundary Fence
- W.F. Wire Fence
- Prop. Proposed
- Mess. Measured
- Witness
- Wh. Well
- (A.O.G.) (A.O.G.)
- (947) H.R. Farley O.L.S.
- (723) R.W. Barnett O.L.S.
- (192) C.W. Farnell O.L.S.
- (192) Registered Plan 6
- (192) Int'l. N550329
- (Acc) Accepted

FROM THE OFFICE OF
ANNIS, O'SULLIVAN, VOLLEBEK LTD.
ONTARIO LAND SURVEYOR & ORLEANS ONTARIO
ENGRUN-RUSSELL, Vollebek Ltd., 1992.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR
ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT
THE WRITTEN PERMISSION OF
ANNIS, O'SULLIVAN, VOLLEBEK LTD.



LEGEND



**469 Wilbrod St.
SOUTH ELEVATION**

ROOF

SECOND FLOOR

GROUND FLOOR

GRADE

BASEMENT

26' - 9 ¹⁵/₁₆"

**FIRE SAFETY
PLAN**

SOUTH ELEVATION

**469-471 Wilbrod St.
OTTAWA, ONTARIO**

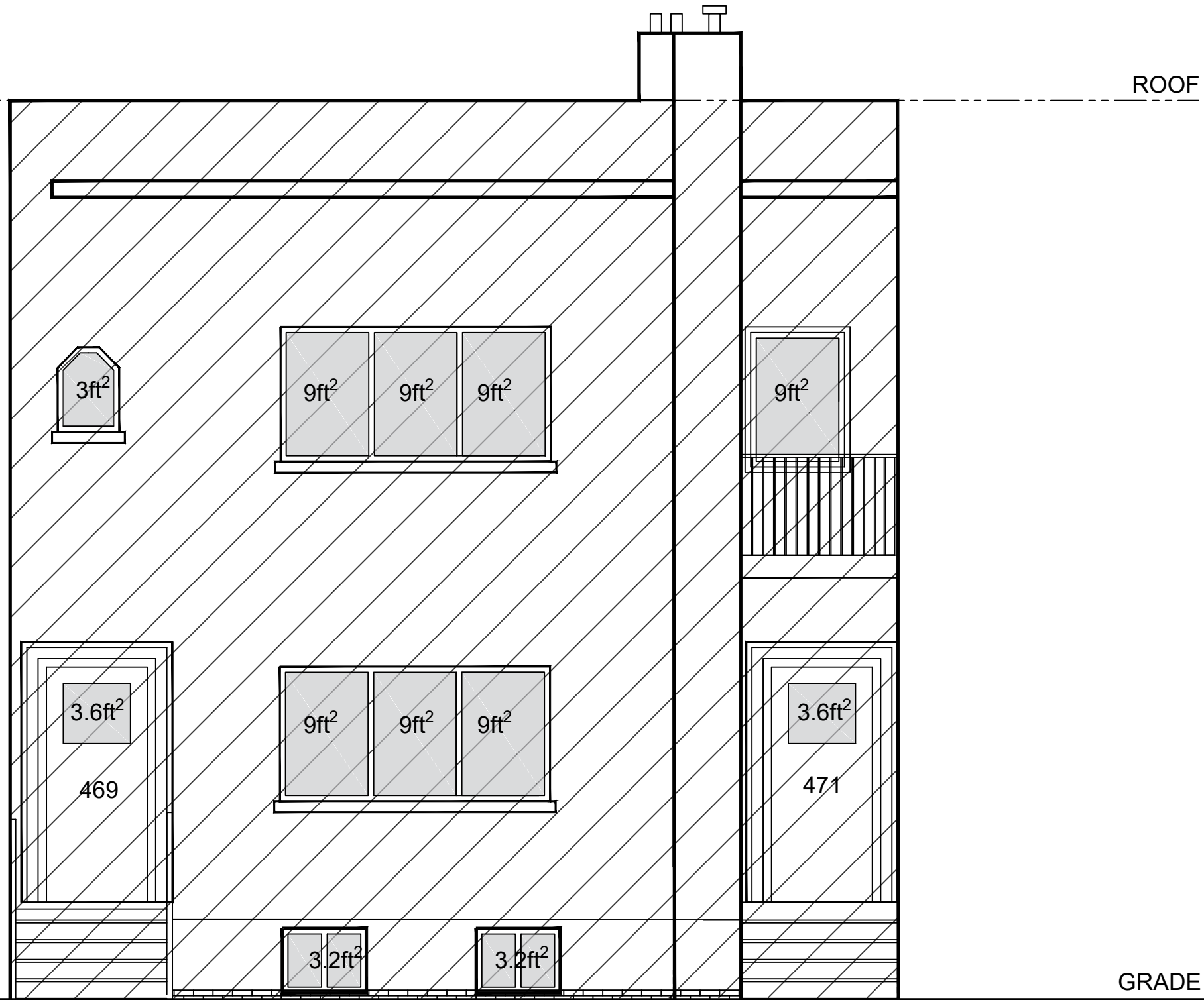
NOT TO SCALE

MARCH 2022

LEGEND

Total Facade Area: 672ft²

	REQ.	EXIST.
WINDOW AREA (%)	25%	11.84%
WINDOW AREA (ft ²)	168ft ²	79.5ft ²



**469 Wilbrod St.
SOUTH ELEVATION**

GRADE

BASEMENT

**FIRE SAFETY
PLAN**

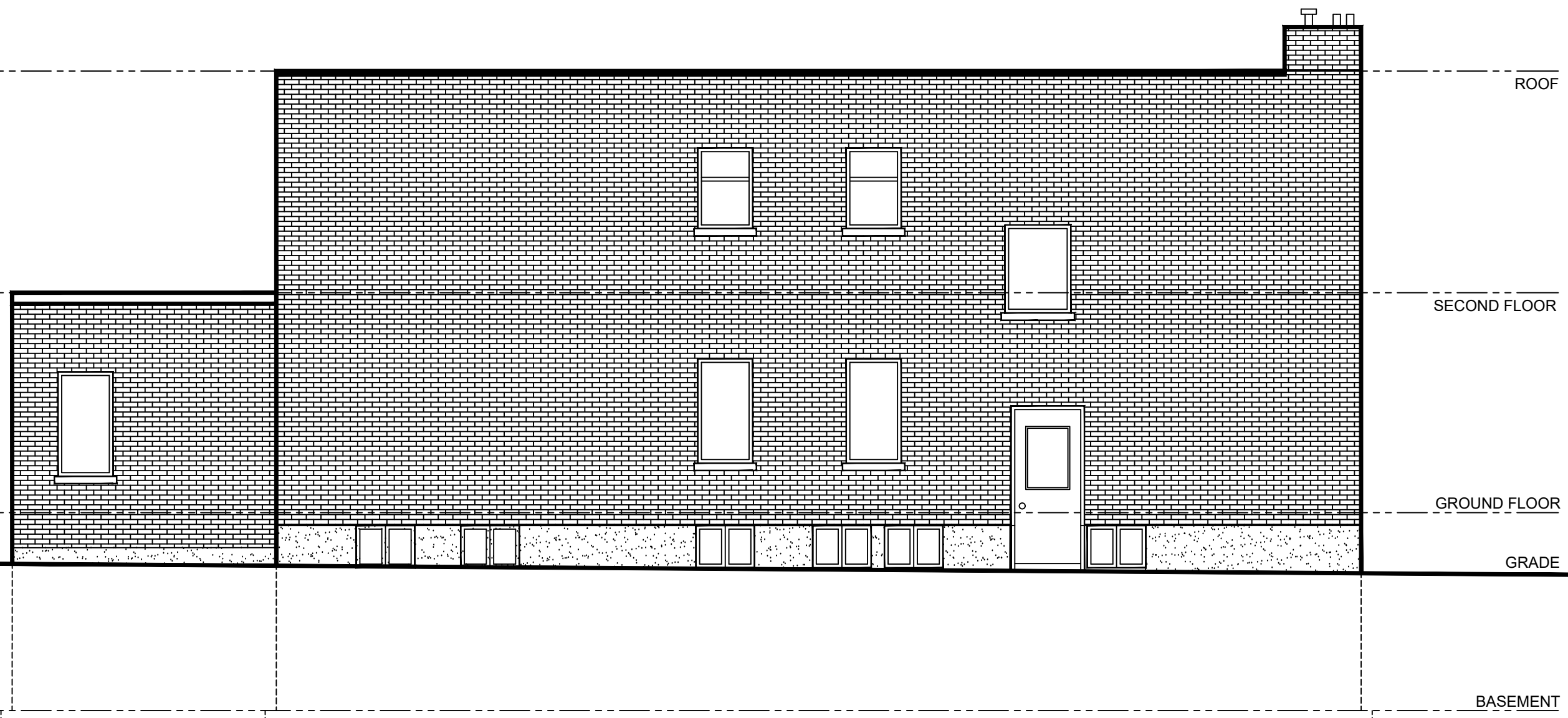
SOUTH ELEVATION
FRONT FACADE
VERIFICATION

**469-471 Wilbrod St.
OTTAWA, ONTARIO**

NOT TO SCALE

MARCH 2022

LEGEND



**469 Wilbrod St.
SOUTH ELEVATION**

**FIRE SAFETY
PLAN**

WEST ELEVATION

**469-471 Wilbrod St.
OTTAWA, ONTARIO**

NOT TO SCALE

SEPT 2021