

**LEGEND**

- PROPERTY BOUNDARY
- 63.00 EXISTING ELEVATION
- 64.00 PROPOSED GRADE
- 2.0% DRAINAGE SLOPE AND DIRECTION
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER & MANHOLE
- EXISTING CATCH BASIN
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EXISTING WATERMAIN
- SP SERVICE POST & CURB STOP
- SANITARY SEWER & MANHOLE
- STORM SEWER & MANHOLE
- SWALE
- TERRACING (3H:1V MAX.)
- BUILDING ENTRANCE
- ASPHALT REINSTATEMENT
- SEWER CROSSING NUMBER

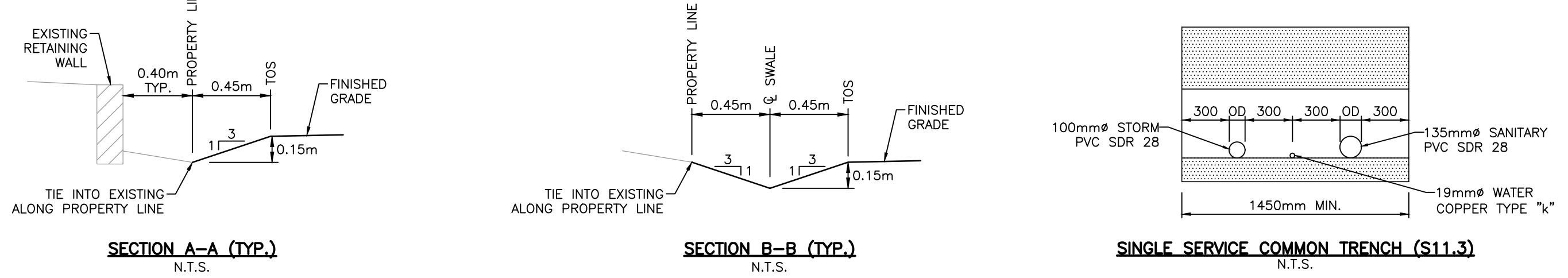
**NOTES:**

1. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE WORK AND TO COMPLETE UTILITY LOCATES BEFORE CONSTRUCTION.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS.
4. ALL DAMAGED AREAS ARE TO BE REINSTATED TO EXISTING OR BETTER CONDITIONS.
5. ROAD CUTS SHALL BE SAW-CUT TO FORM A CLEAN STRAIGHT LINE.
6. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF ALL EXISTING SEWERS AND UTILITIES PRIOR TO COMMENCING WORK.
7. THE CONTRACTOR SHALL CONFIRM ALL EXISTING INFRASTRUCTURE TO PREVENT DAMAGE AND IDENTIFY CONFLICTS WITH PROPOSED INFRASTRUCTURE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE INFORMED IMMEDIATELY OF ANY ERRORS, OMISSIONS OR CONFLICTS THAT ARE FOUND.
8. ROAD CUTS SHALL BE REINSTATED IN ACCORDANCE WITH CITY DETAIL R10.
9. ALL MATERIAL SUPPLIED AND PLACED FOR CONSTRUCTION SHALL BE TO OPSS STANDARDS UNLESS OTHERWISE NOTED (CONSTRUCTION OPSS 206, 310 AND 314, MATERIALS OPSS 1001, 1003 AND 1010).
10. GRANULAR "A" SHALL BE PLACED TO A MINIMUM THICKNESS OF 300mm AROUND ALL STRUCTURES WITHIN PAVEMENT AREA.
11. CONCRETE BARRIER CURB WITH GUTTER SHALL BE REINSTATED IN ACCORDANCE WITH CITY DETAIL SC1.1.
12. CONCRETE SIDEWALK SHALL BE REINSTATED IN ACCORDANCE WITH CITY DETAIL SC1.4.
13. HYDRANT SHALL BE INSTALLED IN ACCORDANCE WITH CITY DETAILS W18 AND W19.
14. SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH CITY DETAILS S11, S11.1, S11.2 AND S11.3.
15. SERVICE CONNECTIONS SHALL BE MADE ABOVE THE SPRINGLINE ELEVATION OF THE EXISTING SEWER MAIN.
16. CONNECTIONS TO EXISTING WATERMAIN ARE TO BE PERFORMED BY CITY FORCES. CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, BACKFILL AND REINSTATEMENT. CITY FORCES TO PROVIDE MATERIAL.
17. ABANDON EXISTING SERVICES IN ACCORDANCE WITH CITY DETAIL S11.4.
18. STORM SERVICE LATERALS SHALL BE 100mm PVC SDR 28.
19. SANITARY SERVICE LATERALS SHALL BE 135mm PVC SDR 28.
20. SERVICE PIPE AND RADIUS BENDS TO BE APPROVED CSA B182.2, SDR 28 PRODUCTS UNLESS SPECIFIED OTHERWISE.
21. WATER SERVICES SHALL BE 19mm COPPER TYPE 'K' INSTALLED IN ACCORDANCE WITH CITY DETAIL W26.
22. SERVICE POSTS SHALL BE INSTALLED AS PER CITY DETAIL W35.
23. WATER SERVICES WITH COVER DEPTH LESS THAN 2.4m BELOW FINISHED GRADE OR LESS THAN 2.4m SEPARATION FROM MH OR CB SHALL BE INSULATED AS PER CITY DETAIL W22.
24. SANITARY AND STORM SERVICES WITH COVER DEPTH LESS THAN 2.0m BELOW FINISHED GRADE SHALL BE INSULATED AS PER CITY DETAIL W35.
25. SANITARY AND STORM SERVICES SHALL HAVE A MINIMUM SLOPE OF 1.0% (2.0% PREFERRED).
26. SERVICE CONNECTIONS TO FLEXIBLE MAIN SEWER SHALL BE MADE USING APPROVED TIE FITTINGS.
27. BACKWATER VALVES ARE TO BE INSTALLED AS PER CITY DETAIL S14.
28. ALL PVC STORM SEWERS ARE TO BE SDR 35 APPROVED PER C.S.A. B182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.
29. STORM MANHOLE FRAME AND COVERS SHALL BE AS PER CITY OF OTTAWA STD. S24.1 AND S25.
30. STORM SEWER MANHOLES SERVING LOCAL SEWERS LESS THAN 900mm SHALL BE CONSTRUCTED WITH A 300mm SUMP. FOR STORM SEWERS 900mm AND OVER USE BENCHING IN ACCORDANCE WITH OPSS 701.021.
31. ALL SANITARY SEWERS SHALL BE PVC SDR 35 IPEX "RING-TITE" (OR EQUIVALENT), AS PER CSA STANDARD B182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE NOTED.
32. SANITARY MANHOLE FRAME AND COVERS SHALL BE AS PER CITY OF OTTAWA STD. S24 AND S25.
33. SANITARY SEWER MANHOLES SHALL BE BENCH AS PER OPSS 701.021.
34. EXCAVATIONS FOR SERVICES SHOULD BE SLOPED IN ACCORDANCE WITH THE REQUIREMENTS IN ONTARIO REGULATION 213/91 UNDER THE OCCUPATIONAL HEALTH AND SAFETY ACT.
35. PRIOR TO HOUSE CONSTRUCTION ALL ORGANIC AND FILL MATERIALS SHALL BE REMOVED FROM THE BUILDING AND RETAINING WALL EXCAVATED AREAS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
36. MANAGEMENT OF ANY EXCESS MATERIALS SHALL BE IN ACCORDANCE WITH O.R.E. 406/19.
37. THE CONTRACTOR IS RESPONSIBLE FOR AN SHALL PROVIDE FOR DEWATERING AND RELEASE OF ANY PUMPED WATER IN A CONTROLLED AND APPROVED MANNER.
38. EXISTING ELEVATIONS ARE TO BE MAINTAINED AT THE BASE OF ANY TREES TO BE PRESERVED.
39. ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALES ARE PROVIDED.
40. GRADING ON DRIVEWAYS SHALL NOT EXCEED 5.0% AND SHALL HAVE A POSITIVE GRADE FROM THE CURB TO FRONT OF GARAGE.
41. MAINTAIN A MINIMUM 150mm CLEARANCE BETWEEN PROPOSED TOP OF FOUNDATION AND FINISHED GRADE. MAINTAIN POSITIVE SURFACE DRAINAGE AWAY FROM ALL DETAIL S11.4.
42. REFER TO ARCHITECTURAL PLANS PREPARED BY BARBICAN CONSTRUCTION LTD. FOR BUILDING DIMENSIONS AND SITE LAYOUT.
43. NO EXCESS DRAINAGE SHALL BE DIRECTED ONTO NEIGHBORING PROPERTY.
44. IF ANY DOWNSPOUTS ARE INSTALLED, THEY ARE TO DISCHARGE TO CITY ROW, WHERE DOWNSPOUTS ARE LESS THAN 1.5m FROM ADJACENT PROPERTY LINES, SPLASH PADS ARE REQUIRED.
45. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
46. SILT SACKS SHALL BE INSTALLED IN ALL NEARBY CATCH BASINS AND OPEN COVER STORM MANHOLES DURING CONSTRUCTION.

SEWER CROSSING TABLE			
CROSSING No.	SERVICE	INVERT/OBVERT	SEPARATION (m)
1	SANITARY	61.56	0.30
	WATER	61.26	
	STORM	61.54	
2	WATER	61.24	0.30
	STORM	61.51	
3	SANITARY	60.98	0.53
	SANITARY	61.45	
4	WATER	61.15	0.30
	STORM	61.52	
5	WATER	61.13	0.39
	STORM	61.49	
6	SANITARY	60.95	0.54
	SANITARY	61.36	
7	WATER	61.06	0.30
	STORM	61.46	
8	WATER	61.06	0.40
	STORM	61.44	
9	SANITARY	60.88	0.56
	SANITARY	61.36	
10	WATER	61.06	0.30
	STORM	61.45	
11	WATER	61.06	0.39
	STORM	61.42	
12	SANITARY	60.85	0.57
	SANITARY	60.85	

- NOTES:
1. EXISTING WATERMAIN ELEVATIONS HAVE BEEN INTERPOLATED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE ELEVATION OF EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
  2. SANITARY SERVICE LATERALS SHALL CROSS OVER THE EXISTING WATERMAIN USING APPROVED 22.5" RADIUS BENDS AS PER CITY STD. 11.1.

Committee of Adjustment  
 Received / Reçu le  
 2023-12-19  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



NOT FOR CONSTRUCTION

NOTES

THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THE PROPERTY BOUNDARIES HAVE BEEN DERIVED FROM TOPOGRAPHIC SURVEY OF LOT 105 REGISTERED PLAN 344 CITY OF OTTAWA, PREPARED BY FAIRHALL, MOFFATT & WOODLAND LIMITED. ELEVATIONS SHOWN ARE REFERRED TO GEODETIC DATUM CVD28. BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF ST. LAURENT BOULEVARD AS SHOWN ON PLAN 4R-8163, HAVING A BEARING OF N 22°04'00" W.

NO.	REVISION DESCRIPTION	DATE	BY
2	REISSUED FOR BUILDING PERMIT	09/11/23	CC
1	ISSUED FOR BUILDING PERMIT	11/07/23	BLM

SCALE	

DESIGN	BLM
CHECKED	CC
DRAWN	BLM
CHECKED	CC
APPROVED	CC

Robinson

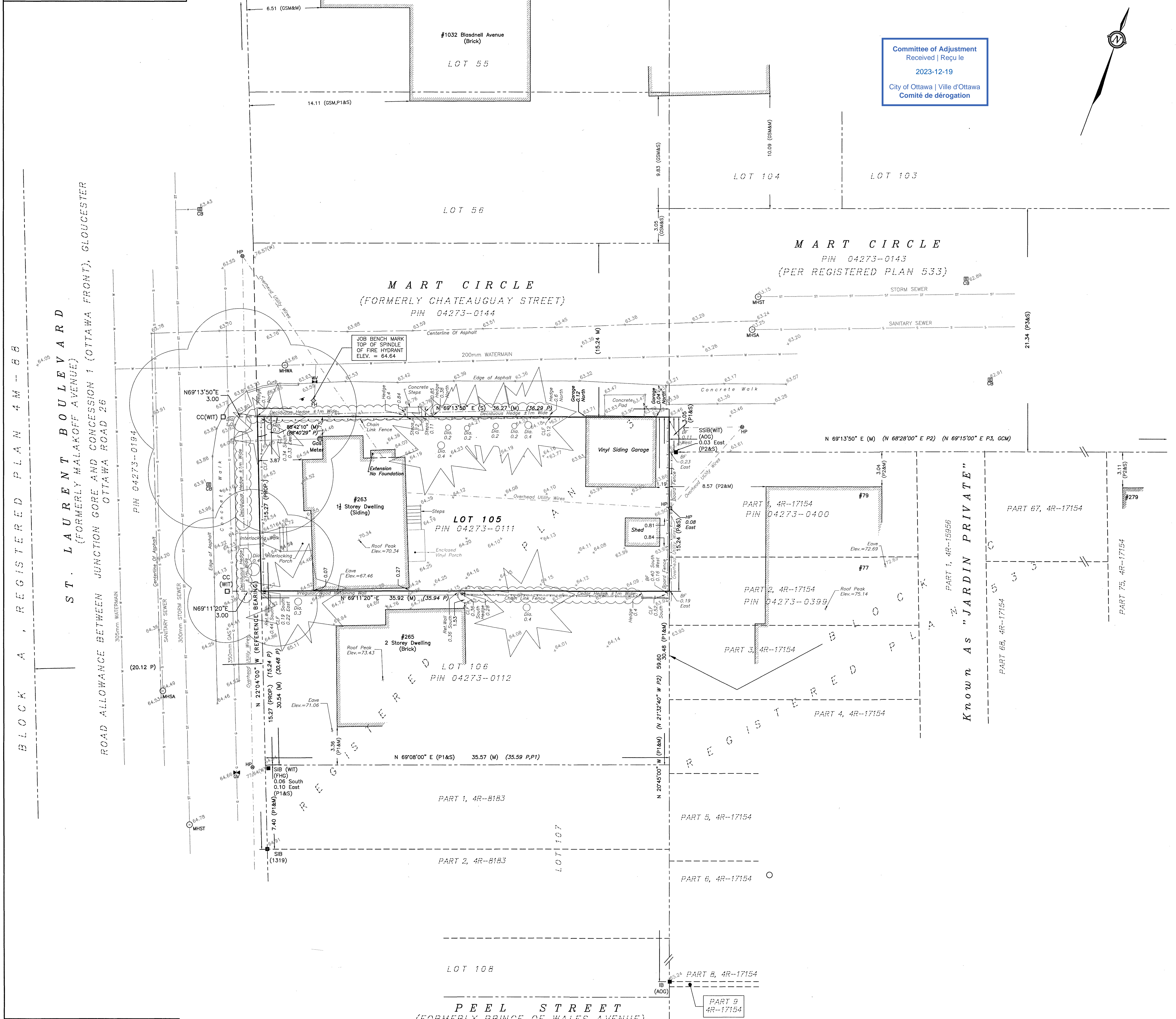
Land Development

350 Palladium Drive  
Ottawa, ON K2V 1A8  
(613) 592-6060 roii.com

<b>BARBICAN CONSTRUCTION LTD.</b>	
<b>263 ST. LAURENT BOULEVARD</b>	
<b>CITY OF OTTAWA</b>	

<b>SERVICING &amp; GRADING PLAN</b>	
PROJECT No.	21085
SURVEY	FAIRHALL MOFFATT & WOODLAND LIMITED
DATED	NOV 2023
DWG. No.	21085-SG1

**METRIC**  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



Committee of Adjustment  
Received | Reçu le  
2023-12-19  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**SURVEYOR'S REAL PROPERTY REPORT - PART 1**  
TOPOGRAPHIC SURVEY OF  
LOT 105  
REGISTERED PLAN 344  
CITY OF OTTAWA  
SCALE 1 : 150  
FAIRHALL, MOFFATT & WOODLAND LIMITED  
ONTARIO LAND SURVEYORS

- ELEVATION NOTES**
- ELEVATIONS SHOWN HEREON ARE REFERRED TO GEODETIC DATUM (CGVD28).
  - ELEVATIONS FOR MANHOLE COVERS AND CATCH BASINS HAVE TO BE INDEPENDENTLY CONFIRMED BEFORE THEY CAN BE ACCEPTED FOR FINAL DESIGN OR CONSTRUCTION PURPOSES.
  - IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.

- UTILITY NOTES**
- THIS DRAWING CANNOT BE ACCEPTED AS ACKNOWLEDGING ALL OF THE UNDERGROUND UTILITIES AND IT WILL BE THE RESPONSIBILITY OF THE USER TO CONTACT THE RESPECTIVE UTILITY AUTHORITIES FOR CONFIRMATION OR LOCATION.
  - UNDERGROUND UTILITIES, AS REPORTED ON THIS DRAWING, ARE NOT BASED ON AN ACTUAL "FIELD LOCATE" BY THE RESPECTIVE UTILITY AGENCIES AND HAVE BEEN COMPILED FROM DATA OBTAINED FROM THE FOLLOWING SOURCE:  
a) CITY OF OTTAWA PUBLIC UTILITIES REGISTRY
  - BEFORE ANY WORK INVOLVING PROBING, EXCAVATING, ETC., A FIELD LOCATION OF UNDERGROUND PLANT BY THE PERTINENT UTILITY AUTHORITY IS MANDATORY.

**NOTES**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF ST. LAURENT BOULEVARD AS SHOWN ON PLAN 4R-8183, HAVING A BEARING OF N 22°04'00" W.

- LEGEND**
- - SURVEY MONUMENT SET
  - - SURVEY MONUMENT FOUND
  - SSIB - SHORT STANDARD IRON BAR
  - SIB - STANDARD IRON BAR
  - IB - IRON BAR
  - CC - CUT CROSS
  - (P) - REGISTERED PLAN 344
  - (P1) - PLAN 4R-8183
  - (P2) - PLAN 4R-17154 & SRPR DATED OCT. 22, 2001 JOB # 2467-01
  - (P3) - REGISTERED PLAN 533
  - (S) - SET
  - (M) - MEASURED
  - (FNG) - F.H. GOOCH, O.L.S.
  - (1319) - WEBSTER & SIMMONDS SURVEYING LTD., O.L.S.
  - (AOC) - ANNIS, O'SULLIVAN, VOLLEBECK LTD., O.L.S.
  - (GCM) - G.C. MCROSTIE, O.L.S. (REF. 5-344GR, 6-344GR, 7-344GR, 8-344GR)
  - PROP. - PROPORTIONED
  - (SU) - SOURCE UNKNOWN
  - (WIT) - WITNESS
  - DIA. - DIAMETER
  - CLF - CHAIN LINK FENCE
  - BF - BOARD FENCE
  - PIN - PROPERTY IDENTIFIER NUMBER
  - MH - MANHOLE
  - CB - CATCH BASIN
  - UP - UTILITY POLE
  - GA - GUY WIRE AND ANCHOR
  - WV - WATER VALVE
  - GV - GAS VALVE
  - GM - GAS METER
  - FH - FIRE HYDRANT
  - DT - DECIDUOUS TREE
  - CT - CONIFEROUS TREE
  - OU - OVERHEAD UTILITY WIRES
  - W - WATERMAIN
  - G - GAS MAIN
  - ST - STORM SEWER
  - SS - SANITARY SEWER
  - C - CURB

BLOCK A, REGISTERED PLAN 4M-88

ST. LAURENT BOULEVARD  
(FORMERLY MALAKOFF AVENUE)  
ROAD ALLOWANCE BETWEEN JUNCTION GORE AND CONCESSION 1 (OTTAWA FRONT), GLOUCESTER  
OTTAWA ROAD 26

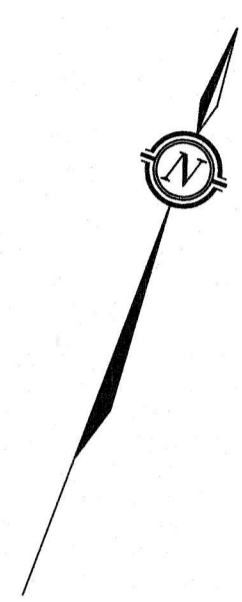
Known As "JARDIN PRIVATE"

**SURVEYOR'S REAL PROPERTY REPORT - PART 2**  
REPORT SUMMARY

<b>DESCRIPTION OF LAND</b> LOT 105, REGISTERED PLAN 344, CITY OF OTTAWA AS IN ALL OF PIN 04273-0111.	
<b>REGISTERED EASEMENTS</b> NONE REGISTERED	
<b>REMARKS</b> NOTE LOCATIONS OF FENCES AND BUILDINGS.	
<b>ZONING</b> COMPLIANCE WITH ZONING, LAND USE, ENVIRONMENTAL AND BUILDING REGULATIONS NOT CERTIFIED BY THIS REPORT.	
THIS REPORT WAS PREPARED FOR BARBICAN CONSTRUCTION LTD. THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.	
<b>SURVEYOR'S CERTIFICATE</b> I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON JUNE 01, 2021. 2021/06/03 DATE JOHN H. GUTRI ONTARIO LAND SURVEYOR	
ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM 2168810	THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH Regulation 1028, Section 29 (3).
JOB No. A B 17000	REFERENCE No. 12-344 GR
E 371073, N 5035035	SR\JOB\AB1700\DWG 31.05.2021 SR_AB170-TP.DWG (88)
<b>Fairhall &amp; Woodland</b> LTD. OTTAWA Ontario Land Surveyors Surveying and Land Information Services 100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6 TEL: (613) 591-2980 FAX: (613) 591-1495 www.fwm.on.ca	

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**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



ST. LAURENT BOULEVARD  
(FORMERLY MALAKOFF AVENUE)  
ROAD ALLOWANCE BETWEEN JUNCTION GORE, OTTAWA ROAD 26, CONCESSION 1 (OTTAWA FRONT)  
PIN 04273-0194

PLAN PREPARED FOR  
COMMITTEE OF ADJUSTMENT  
PURPOSES  
AUGUST 24, 2023

SCHEDULE			LOT	PLAN	PIN
AREA (SQ.M.)	LOT WIDTH	PART			
180.5	11.94	1, 2 & 3	ALL OF 105	344	ALL OF 04273-0111
153.4	-	1			
14.6	-	2			
12.5	-	3			
116.3	7.62	4			
116.2	7.62	5			
109.0	-	6			
28.8	-	7			
137.8	9.03	6 & 7			

NOTE: LOT WIDTHS AS SHOWN HAVE BEEN CALCULATED  
PER CITY OF OTTAWA ZONING BYLAW 2008-250  
CONSOLIDATION (PART 1, DEFINITIONS-SEC. 54).

I REQUIRE THIS PLAN TO BE  
DEPOSITED UNDER THE  
LAND TITLES ACT.

DATE \_\_\_\_\_

REPRESENTATIVE FOR  
LAND REGISTRAR FOR THE  
LAND TITLES DIVISION OF  
OTTAWA - CARLETON (N° 4)

JOHN H. GUTRI, O.L.S.

PLAN OF SURVEY OF  
LOT 105  
REGISTERED PLAN 344  
CITY OF OTTAWA

SCALE 1 : 150

0 1 2 5 10 15 metres

**FAIRHALL, MOFFATT & WOODLAND LIMITED**  
ONTARIO LAND SURVEYORS

COORDINATES WERE DERIVED FROM REAL TIME NETWORK  
OBSERVATIONS (SMARTNET) MTM ZONE 9, NAD83 ORIGINAL.

COORDINATES HAVE BEEN DETERMINED TO AN URBAN ACCURACY  
IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10.

POINT ID	NORTHING	EASTING
•	•	•
•	•	•
•	•	•
•	•	•

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH  
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**NOTES**

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE EASTERLY LIMIT  
OF ST. LAURENT BOULEVARD AS SHOWN ON REGISTERED PLAN 344,  
HAVING A BEARING OF N 22°04'00" W.

- LEGEND**
- - SURVEY MONUMENT SET
  - - SURVEY MONUMENT FOUND
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  - (GCM) - G.C. MCROSTIE, O.L.S.  
(REF. 5-344GR, 6-344GR, 7-344GR, 8-344GR)
  - PROP. - PROPORTIONED
  - (SU) - SOURCE UNKNOWN
  - (WIT) - WITNESS
  - (S) - SET
  - (M) - MEASURED
  - (857) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S.
  - PIN - PROPERTY IDENTIFIER NUMBER
  - UP - UTILITY POLE
  - ← - GUY WIRE AND ANCHOR

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

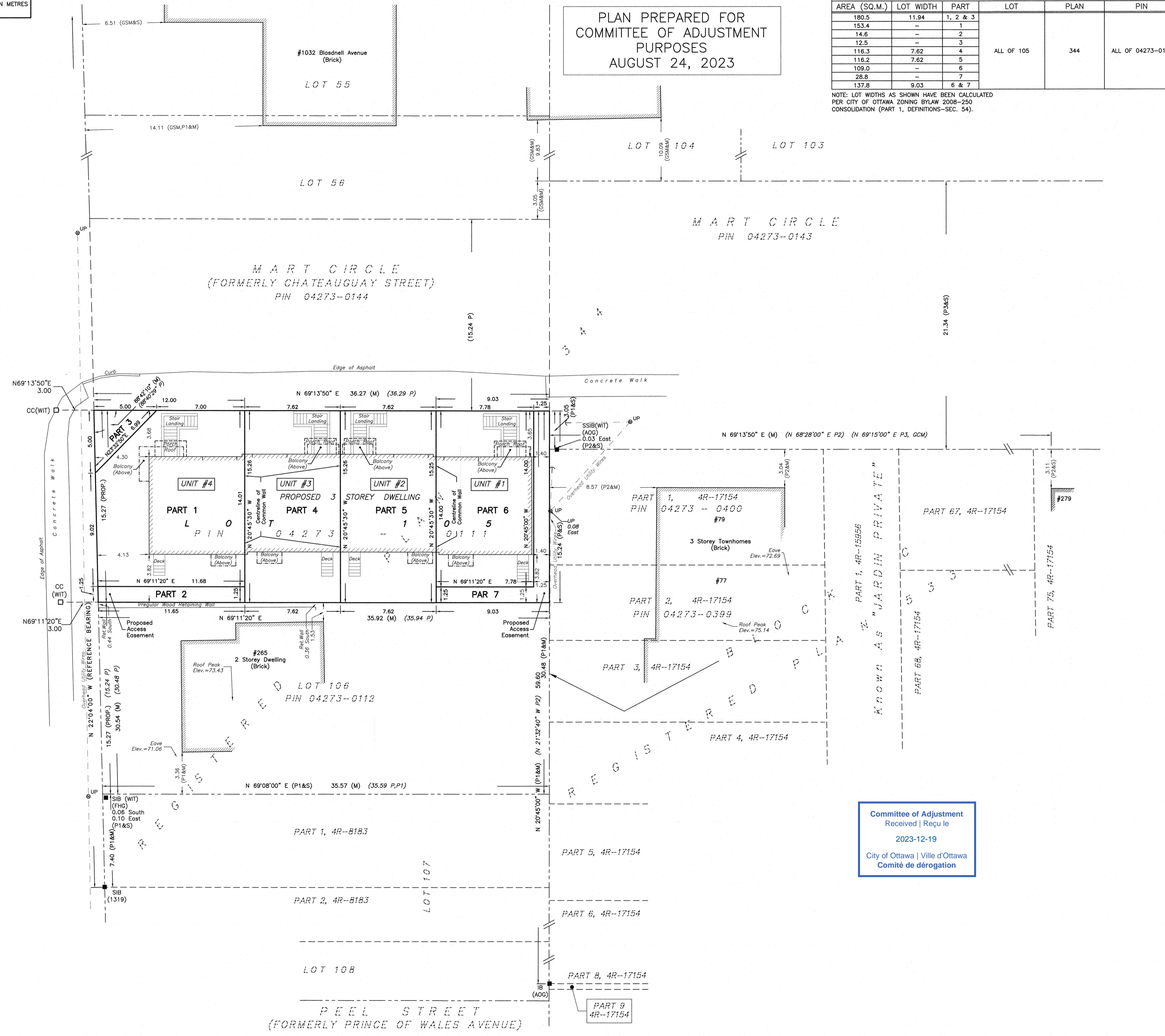
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON

DATE \_\_\_\_\_

JOHN H. GUTRI  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER \_\_\_\_\_

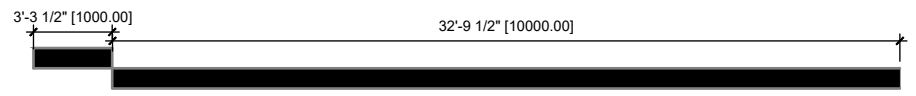
<b>Fairhall Moffatt &amp; Woodland</b> LIMITED OTTAWA SURVEYING AND LAND INFORMATION SERVICES 100-500 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4K6 TEL: (613) 591-2590 FAX: (613) 591-1495 www.fmw.on.ca	JOB No. A B 1 7 0 0 0 E 371073, N 5035035 REFERENCE No. 12(c)-344 GR S:\08\1700\DWG\08242023 dpr170ab.dwg (cfr)
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Committee of Adjustment  
Received | Reçu le  
2023-12-19  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



**1 SITE PLAN**  
A1.2 SCALE: 1/8" = 1' - 0" / +/- 1:100



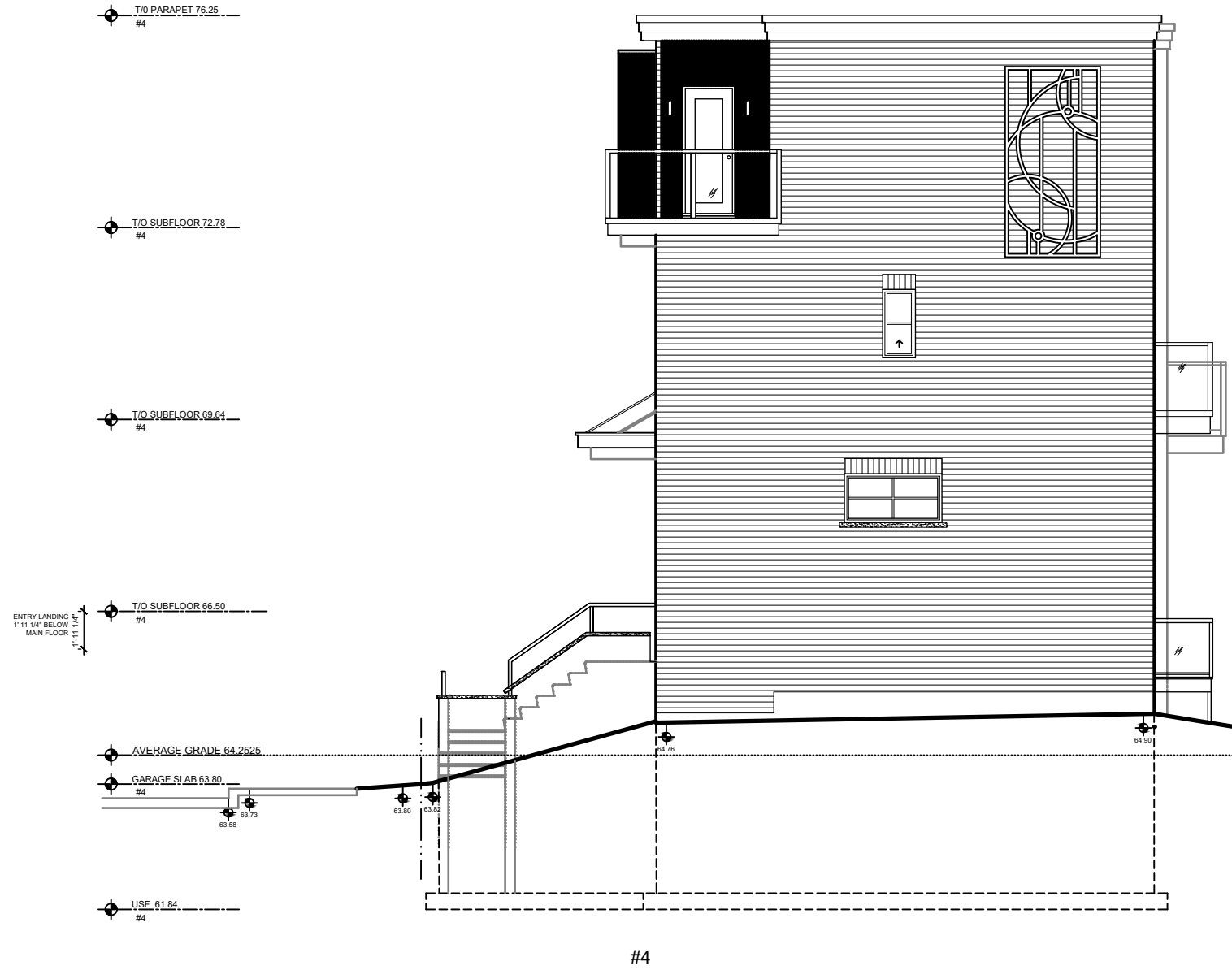
R3B ZONE - REQUIRED		UNIT# 1 ACTUAL	UNIT# 2 ACTUAL	UNIT# 3 ACTUAL	UNIT# 4 ACTUAL
MIN. LOT WIDTH	6.0M	9.02M	7.62M	7.62M	12.004M
MIN. LOT AREA	180M <sup>2</sup>	135.37M <sup>2</sup>	116.2M <sup>2</sup>	116.2M <sup>2</sup>	182.87M <sup>2</sup>
MAX. BUILDING HEIGHT	10M - 74.2525	75.95	76.10	76.10	76.25
FRONT YARD SET BACK	3.0M	3.54M	3.65M	3.65M	3.54M
REAR YARD SETBACK	25% OF LOT DEPTH 3.81M	4.01M	3.82M	3.82M	4.01M
INTERIOR YARD SETBACK	3.0M TOTAL - MIN1.2M				
FRONT YARD SOFTSCAPE	-	REQUIRED - 35% ACTUAL - 50%	REQUIRED - 30% ACTUAL - 46%	REQUIRED - 30% ACTUAL - 46%	REQUIRED - 35% ACTUAL - >50%

**SET BACKS**  
-----  
**LINE OF SIGHT TRIANGLE**  
.....  
**EAVE PROJECTION:** +/-300mm BEYOND FRONT WALL FACE  
+/-116mm BEYOND SIDES/REAR WALL FACE

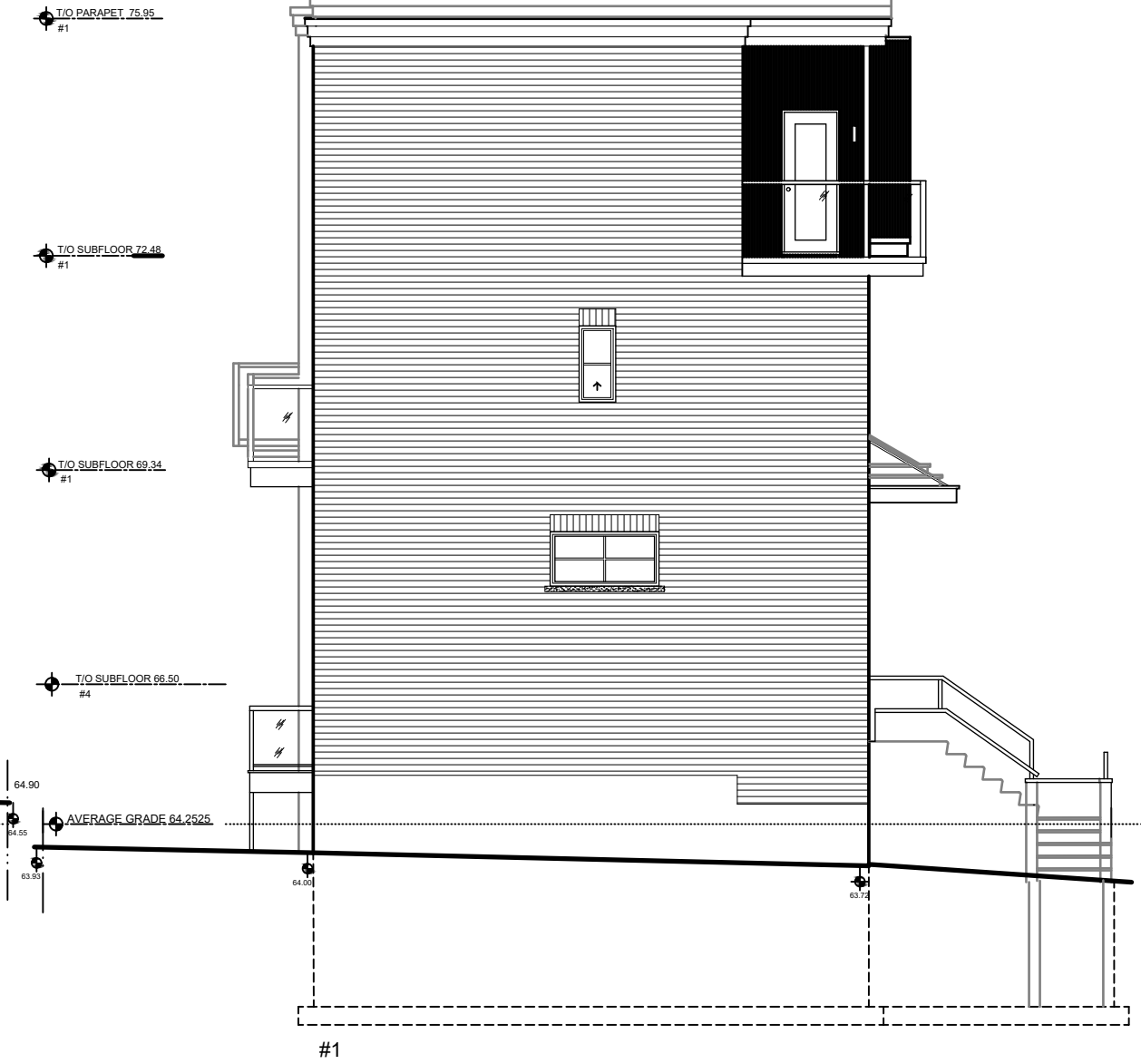
TOTAL LOT AREA	5928.31FT <sup>2</sup> (550.76M <sup>2</sup> )
TOTAL BUILDING AREA	2453FT <sup>2</sup> (227.89M <sup>2</sup> )
LOT COVERAGE	41.4%



1 FRONT / NORTH ELEVATION  
 A4.1 SCALE: 1/8" = 1' - 0"



**1** R/SIDE - WEST ELEVATION  
A4.2 SCALE: 1/8" = 1' - 0"



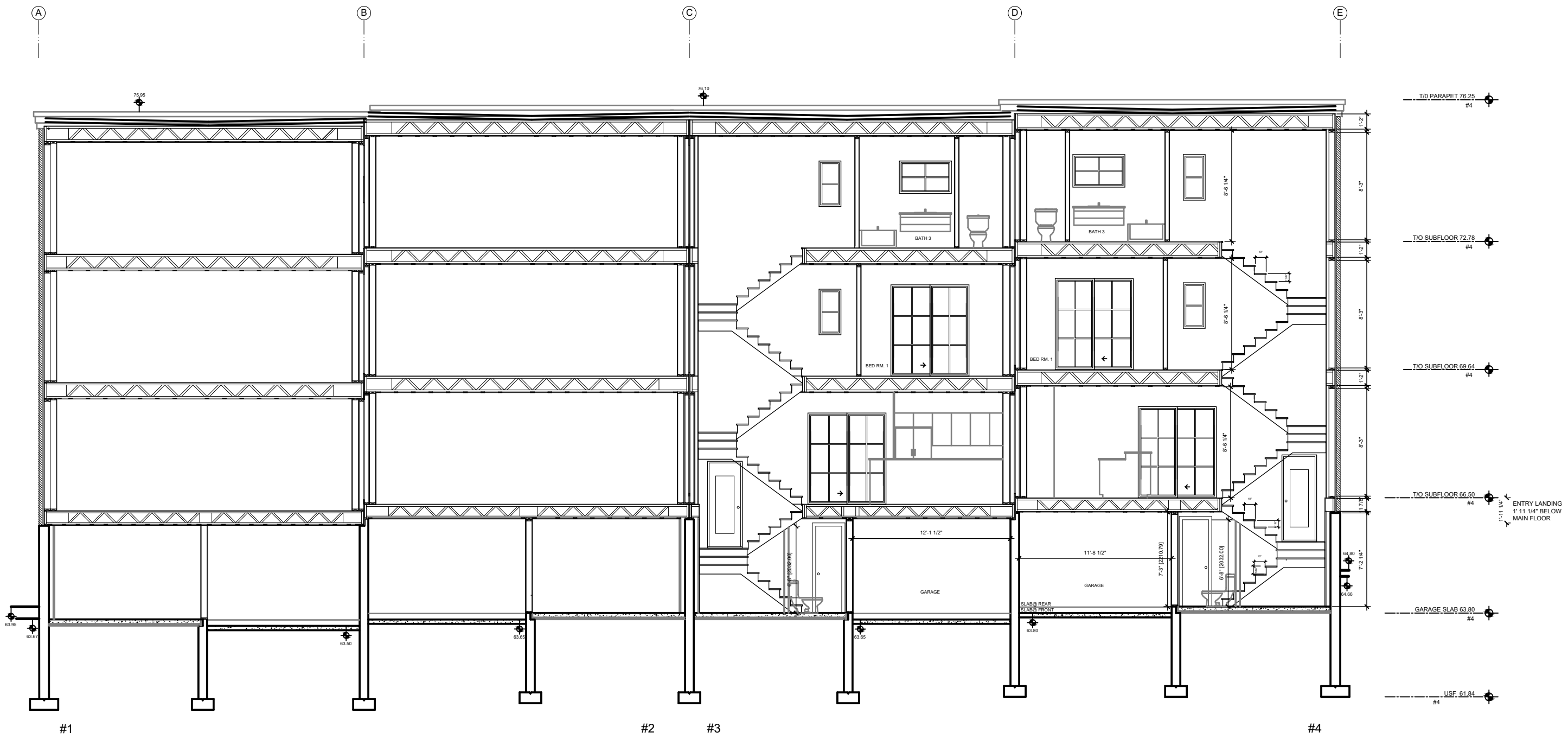
**2** L/SIDE - EAST ELEVATION  
A4.2 SCALE: 1/8" = 1' - 0"

#1  
EBF : 926FT<sup>2</sup>  
LD : 4' - 7"  
GLAZING PERMITTED : 8%  
GLAZING PROVIDED : 3.1%

DRAFT



1 REAR ELEVATION  
A4.3 SCALE: 1/8" = 1' - 0"



1 BUILDING SECTION / 1  
 A5.1 SCALE: 1/8" = 1' - 0"

DRAFT