

SITE PLAN OF SURVEY PLAN PART OF LOT 42 REGISTERED PLAN 294, CITY OF OTTAWA

ZONING: RAUC			
PROPOSED BUILDING TYPE: 3 STOREY LOW RISE RENTAL BUILDING 10 RESIDENTIAL RENTAL UNITS			
LOT DEPTH: 41.15m (135.0')			
ADJACENT ZONING: NORTH: RAUC SOUTH: RAUC WEST SIDE: RAUC EAST SIDE: RAUC			
SCHEDULE 1A AREA: AREA 'B' SCHEDULE 1A AREA: AREA 'X'			
LOT INFO			
U. STANDARD: 1267	SUMM. REQUIRED: 15.24m	EXISTING SINGLE: 15.24m	NOTES:
LOT AREA: 450m ²	PROPOSED: 626.94m ²	EXISTING: 626.94m ²	
HEIGHT: 11.0m	11.00m	~4.0m	M.V.R.
FRONT YARD: 4.5m	4.5m	6.20m	
CORNER YARD: n/a	n/a	n/a	
REAR YARD: 12.35m	15.61m	27.44m	
INTERIOR YARD: 1.5m	2.00m	2.41m	
AMENITY AREA: n/a	n/a	n/a	
PARKING SPACES: 0 res.	1	1	
	0 visitor	0	
BIKE SPACES: 5	5	0	
M.L.C.: NO MAX.			
BUILDING AREAS			
BASEMENT FL. GFA:	147.9m ²	-	
FIRST FL. GFA:	156.8m ²	-	
SECOND FL. GFA:	188.8m ²	-	
THIRD FL. GFA:	188.8m ²	-	
FOURTH FL. GFA:	0.0m ²	-	
STO. UTILITY:	16.5m ²	-	
GARAGE/CARPORIT:	0.0m ²	-	
EXTERIOR (ALL FLOORS):	132.4m ²	-	
TOTAL GFA:	682.3m ²	-	
TOTAL ALL AREAS:	831.2m ²	-	NOT INCL. CARPORTS
PROPOSED SITE DEVELOPMENT INFO.			
NEW GROSS FLOOR AREA:	682.3m ²	-	
EX. GROSS FLOOR AREA:	0.0m ²	60m ²	EX. DEMOD
NUMBER OF UNITS:	10	SINGLE	
PROPOSED STOREYS:	3		
BUILDING COVERAGE:			
SOFT LANDSCAPING CVG.:	29.9%		
HARD LANDSCAPING CVG.:	48.7%		
DECK/SPORCHES/STEPS:	0.0%		
ASPHALT CVG.:	11.4%		
OTHER:	0.0%		
SURVEY INFO.			
SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART OF LOT 42 REGISTERED PLAN 294, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD MAY 11, 2022.			

	EX. TREE TO BE REMOVED
	NEW CONIFEROUS TREE
	DENOTES SOFT LANDSCAPING
	DENOTES HARD LANDSCAPING
	EXISTING BUILDING FOOTPRINT
	PROPOSED RIVERSTONE
	PROPOSED ASPHALT DRIVEWAY
	PROPOSED WOOD DECKS/BALCONIES
	CAR PARKING SPACE (ASPHALT)
	BICYCLE PARKING (ASPHALT)
	WASTE COLLECTION AREA
	SNOW STORAGE AREA
	PROPOSED/EXISTING ENTRY/EXIT
	PF - TEMPORARY PROTECTION FENCE
	U.P. EX. UTILITY POLE
	EX. CHAINED LINK/BOARD FENCE
	PROPERTY LINE
	MOTION SENSING EXT. LIGHTS
WASTE COLLECTION LEGEND	
	GB 3YD GARBAGE CONTAINERS
	BB 2YD FIBRE CONTAINER
	B 2YD GML CONTAINER
	G 240L ORGANICS
	PRIVATE COLLECTION

SITE PREPARATIONS:

- EXAMINE SITE, AND ENSURE THAT EACH SECTION PERFORMING WORK RELATED TO SITE CONDITIONS HAS EXAMINED IT, SO THAT ALL ARE FULLY INFORMED ON ALL PARTICULARS WHICH AFFECT THE PROJECT WORK IN ORDER THAT CONSTRUCTION PROCEEDS COMPETENTLY AND EXPEDITIOUSLY.
- WHERE DIMENSIONS ARE REQUIRED FOR PROPER FABRICATION, VERIFY DIMENSIONS OF COMPLETED WORK IN PLACE BEFORE FABRICATION AND INSTALLATION. VERIFY THAT PREVIOUSLY EXECUTED WORK AND SURFACES ARE SATISFACTORY FOR INSTALLATION OR APPLICATION, OR BOTH, AND THAT PERFORMANCE OF SUBSEQUENT WORK WILL NOT BE ADVERSELY AFFECTED.
- PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY FROM DAMAGE AND, IF DAMAGED, MAKE GOOD IMMEDIATELY. MAKE GOOD PRIVATE PROPERTY TO MATCH IN ALL DETAILS ITS ORIGINAL CONDITION IN MATERIAL AND FINISHES AS APPROVED, AND PUBLIC PROPERTY IN ACCORDANCE WITH REQUIREMENTS SPECIFIED AND/OR INSTRUCTED BY ITS OWNER OR AS DIRECTED BY THE CONSULTANTS.
- PREVENT SPREAD OF DUST BEYOND THE CONSTRUCTION SITE BY WETTING, OR BY OTHER APPROVED MEANS, AS REQUIRED OR AS DIRECTED BY THE CONTRACTOR AND AUTHORITIES HAVING JURISDICTION.
- VERIFY LOCATION OF AND LIMITATIONS IMPOSED BY EXISTING MECHANICAL, ELECTRICAL, TELEPHONE AND SIMILAR SERVICES, AND PROTECT THEM FROM DAMAGE. IF NECESSARY, RELOCATE ACTIVE SERVICES TO ENSURE THAT THEY FUNCTION CONTINUOUSLY WHEREVER POSSIBLE.
- CAP OFF AND REMOVE LAUNDED UTILITY SERVICES ENCOUNTERED DURING WORK AFTER APPROVAL, AS GIVEN BY THE UTILITIES CONCERNED OR JURISDICTIONAL AUTHORITIES, WHICH EVER MAY APPLY. RELOCATION, REMOVAL AND INSTALLATION OF EXISTING UTILITY SERVICES SHALL BE PERFORMED ONLY BY THE APPLICABLE UTILITY, AND OF OTHER SERVICES BY LICENSED PROFESSIONALS.
- ENSURE THAT PRECAUTIONS ARE TAKEN TO PREVENT LEAKAGE AND SPILLAGE FROM PLUMBING AND MECHANICAL WORK THAT MAY DAMAGE ADJACENT FINISHES.

SITE NOTES

- NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES
- EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
- ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL
- ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)
- EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER
- SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

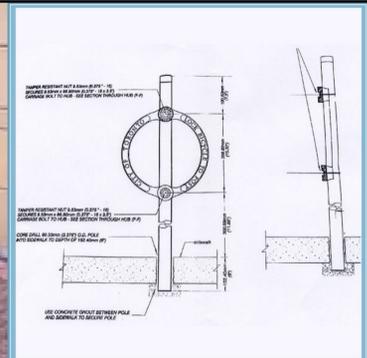
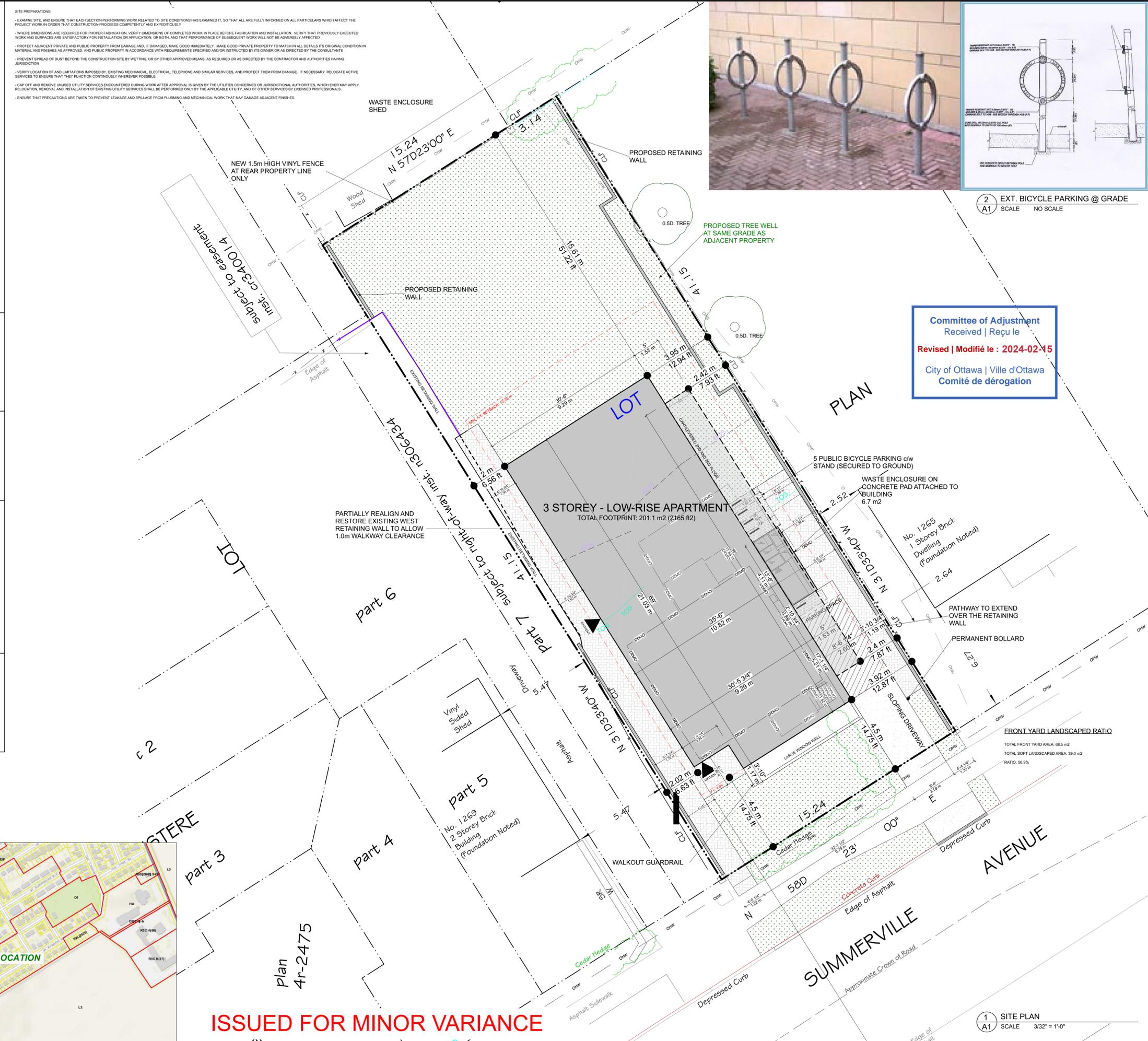
EXISTING PLANTING MATERIAL			
CODE	COMMON NAME	QTY.	SIZE (DIA.)
DECIDUOUS TREES			
CONIFEROUS TREES			
SHRUBS			
NEW PLANTING MATERIAL			
CODE	COMMON NAME	QTY.	SIZE (DIA.)
DECIDUOUS TREES			
CONIFEROUS TREES			
SHRUBS			

TREE CONSERVATION NOTES

- ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.
* TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.5m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

	KEY PLAN & CONTEXT
	SCALE NO SCALE



**Committee of Adjustment
Received | Reçu le**
Revised | Modifié le : 2024-02-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

RESPONSIBILITIES:	
DO NOT SCALE DRAWINGS	
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION.	
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION.	
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER.	
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GENERAL NOTES:	
OWNER/DEVELOPER:	
ARCHITECT/DESIGNER: AZUL DESIGNS	
APPLICANT/PLANNER: ANNIS, O'SULLIVAN, VOLLEBEKK LTD	
LANDSCAPING: ANNIS, O'SULLIVAN, VOLLEBEKK LTD	
SURVEYOR: ANNIS, O'SULLIVAN, VOLLEBEKK LTD	
CONSULTANTS: STRUCTURAL: TBD MECHANICAL: TBD ELECTRICAL: TBD	
4	REVISED SITE PLAN 000000
3	REVISED SITE PLAN 000000
2	REVISED SITE PLAN 110000
1	PRELIMINARY 050000
NO.	REVISION/ISSUE DATE
PROJECT: 1267 SUMMERSVILLE AVE.	
1267 SUMMERSVILLE AVE. OTTAWA, ON K1K 2G8 813-000-0000	
DRAWING NAME: SITE PLAN	
DRAWN BY:	SHEET:
DATE: MAY 24, 2022	A1
SCALE: AS NOTED	

1267 SUMMERSVILLE AVENUE
SCOPE OF WORK: NEW 3 STOREY LOW RISE RENTAL BUILDING - 10 UNITS

ISSUED FOR MINOR VARIANCE

1 SITE PLAN
A1 SCALE 3/32" = 1'-0"

FILE NUMBER: D00-00-00-00-000

1 2 3 4 5

WALKOUT CONDITION



LIVING AREA
2068 SQ FT

1 BASEMENT PLAN
A2 SCALE 7/32" = 1'-0"

AZUL DESIGNS
OTTAWA, ON, K1H 7G2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
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GENERAL NOTES:

1267 SUMMERVILLE AVENUE
SCOPE OF WORK: NEW 3 STOREY LOW RISE RENTAL BUILDING - 10 UNITS

OWNER/DEVELOPER:

ARCHITECT/DESIGNER:
AZUL DESIGNS

APPLICANT/PLANNER:
SCULLIN
18 BRIMLEY DRIVE
OTTAWA, ON
K1J 7G4

CIVIL ENGINEER:

LANDSCAPER:
JOHN A. COFFMAN
1000 BROADVIEW AVE
OTTAWA, ON
K1E 5S2

SURVEYOR:
MARK OSSELMAN, VALLEBERG LTD
14 CONCORSE GATE - SUITE 300
OTTAWA, ON
K2E 7J8

CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/07/21
2	REVISED SITE PLAN	11/23/21
1	PRELIMINARIES	05/24/22

PROJECT: 1267 SUMMERVILLE AVE.
1267 SUMMERVILLE AVE.
OTTAWA, ON K1K 6G6
813-000-0000

DRAWING NAME:
FLOOR PLANS

DRAWN BY: ... SHEET: A2
DATE: MAY 24, 2022
SCALE: AS NOTED

FILE NUMBER: D00-00-00-0000



AZUL DESIGNS
 OTTAWA, ON, K1H 7G2

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GENERAL NOTES:

1267 SUMMERVILLE AVENUE
 SCOPE OF WORK: NEW 3 STOREY LOW RISE RENTAL BUILDING - 10 UNITS

OWNER/DEVELOPER:

ARCHITECT/DESIGNER:
 AZUL DESIGNS

APPLICANT/PLANNER:
 MCCLELLAN
 1000 BELL DRIVE
 OTTAWA, ON
 K1J 7G4

CIVIL ENGINEER:

LANDSCAPING:
 JONAS GUSTAVSSON
 1000 BELL DRIVE
 OTTAWA, ON
 K1J 7G4

SURVEYOR:
 MARK CRONIN, VALLEYVIEW LTD
 14 CONCORDS GATE - SUITE 300
 OTTAWA, ON
 K2E 7J8

CONSULTANTS:
 STRUCTURAL: TBD
 MECHANICAL: TBD
 ELECTRICAL: TBD

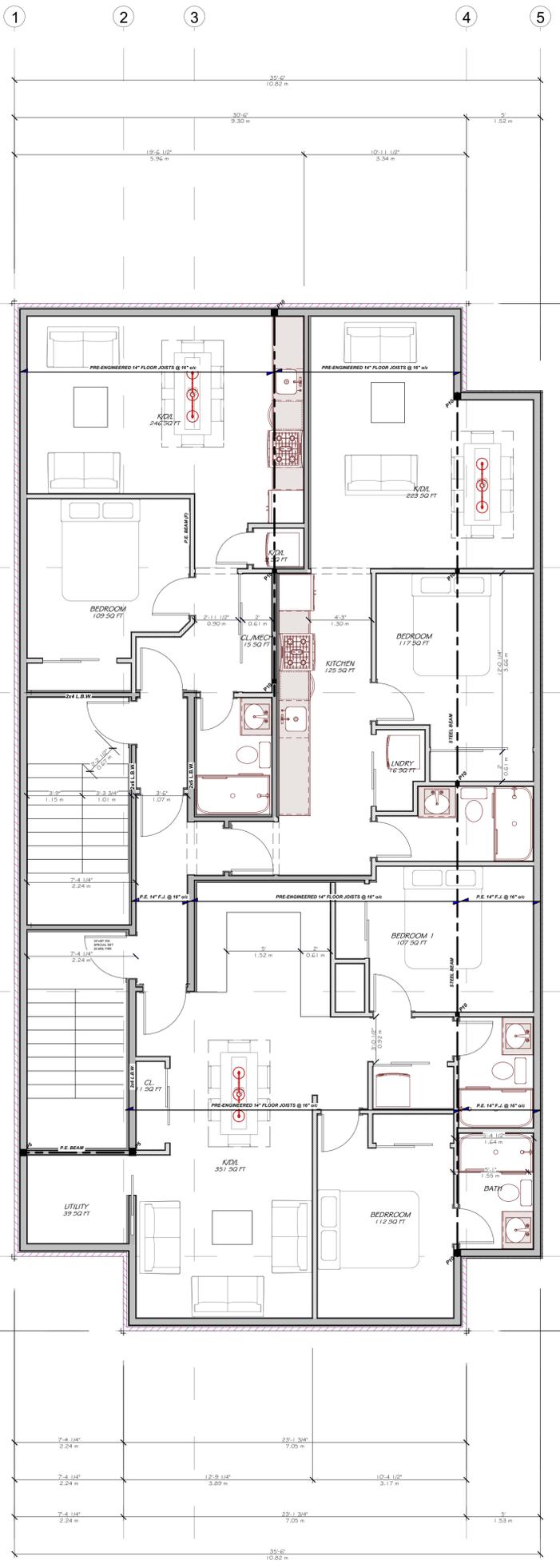
NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/07/21
2	REVISED SITE PLAN	11/23/21
1	PRELIMINARIES	05/24/22

PROJECT: 1267 SUMMERVILLE AVE.
 1267 SUMMERVILLE AVE.
 OTTAWA, ON K1J 7G2

DRAWING NAME: FLOOR PLANS

BRN: ... SHEET: A3
 DATE: MAY 24, 2022
 SCALE: AS NOTED

FILE NUMBER: D00-00-00-000



A
B
C
D
E
F

1 2 3 4 5

AZUL DESIGNS
OTTAWA, ON, K1H 7G2

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OWNER/DEVELOPER:

ARCHITECT/DESIGNER:
AZUL DESIGNS

APPLICANT/PLANNER:
SCULLIN
OTTAWA, ON
K1J 7G4

CIVIL ENGINEER:

LANDSCAPING:
JOHN COOPERMAN
OTTAWA, ON
K1S 5S2

SURVEYOR:
MARK CRISLIE, VOLLBERG LTD
14 CONCORSE GATE - SUITE 300
OTTAWA, ON
K2E 7S8

CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/07/21
2	REVISED SITE PLAN	11/02/21
1	PRELIMINARIES	05/24/21

PROJECT: 1267 SUMMERVILLE AVE.
1267 SUMMERVILLE AVE.
OTTAWA, ON K1K 6G6

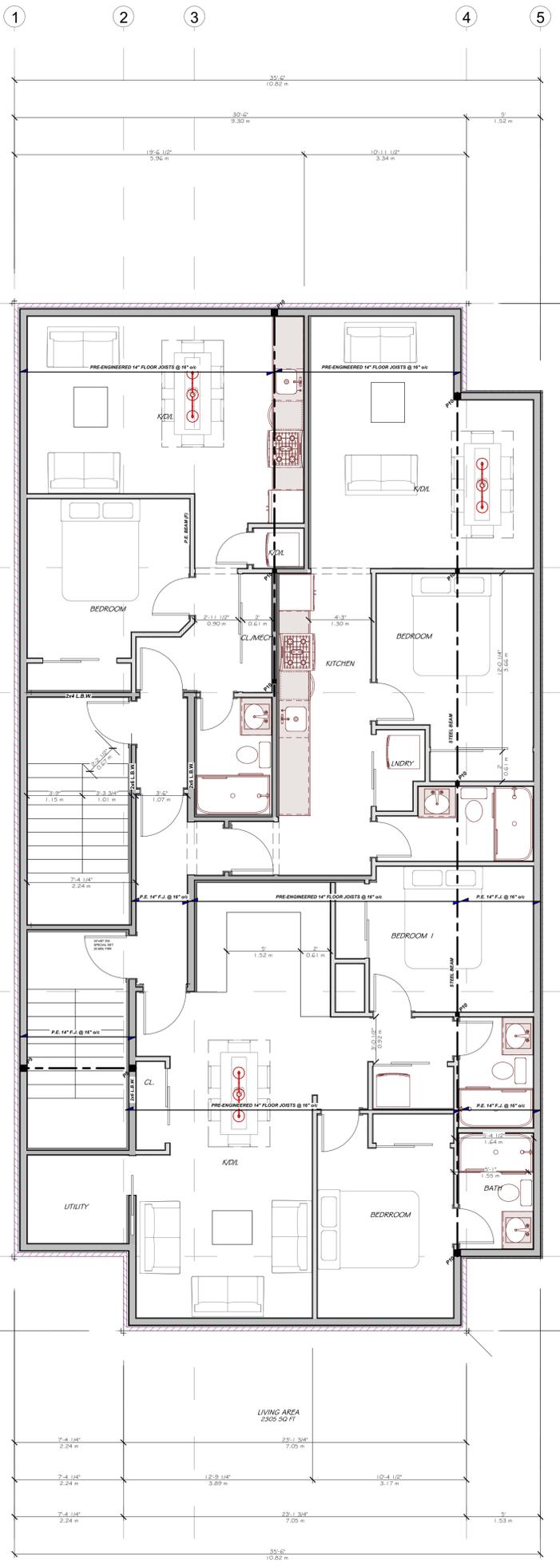
DRAWING NAME: PLANS

DATE: MAY 24, 2022

SCALE: AS NOTED

FILE NUMBER: D00-00-00-000

A4



1 THIRD FLOOR PLAN
 SCALE 7/32" = 1'-0"

AZUL DESIGNS
 OTTAWA, ON, K1H 7G2

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GENERAL NOTES:

1267 SUMMERVILLE AVENUE
 SCOPE OF WORK: NEW 3 STOREY LOW RISE RENTAL BUILDING - 10 UNITS

OWNER/DEVELOPER:

ARCHITECT/DESIGNER:
 AZUL DESIGNS

APPLICANT/PLANNER:
 MCCLELLAN
 1000 BELL DRIVE
 OTTAWA, ON
 K1J 1G4

CIVIL ENGINEER:

LANDSCAPER:
 JONAS COOPERMAN
 1000 BELL DRIVE
 OTTAWA, ON
 K1J 1G4

SURVEYOR:
 MARK CRISLIAN VOLLEBERG LTD
 14 CONCORSE GATE - SUITE 300
 OTTAWA, ON
 K2E 7J8

CONSULTANTS:
 STRUCTURAL: TBD
 MECHANICAL: TBD
 ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/27/21
2	REVISED SITE PLAN	11/22/21
1	PRELIMINARIES	05/24/22

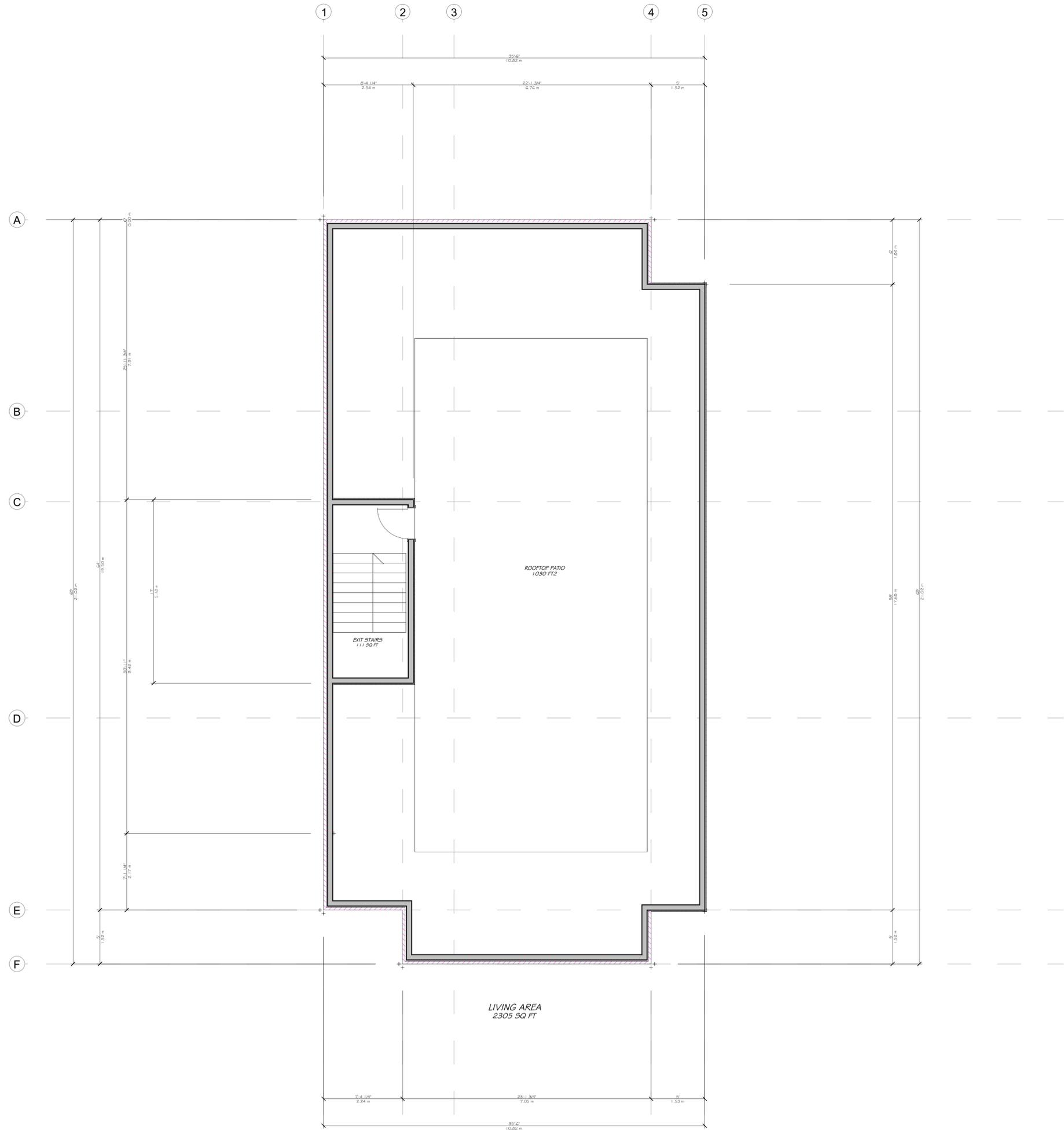
PROJECT: 1267 SUMMERVILLE AVE.
 1267 SUMMERVILLE AVE.
 OTTAWA, ON K1J 1G4

DRAWING NAME:
 ELEVATIONS

DRAWN BY: ... SHEET: ...
 DATE: MAY 24, 2022
 SCALE: AS NOTED

A5

FILE NUMBER: D00-00-00-000



1 ROOFTOP PLAN
 SCALE 7/32" = 1'-0"

AZUL DESIGNS
 OTTAWA, ON, K1H 7G2

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1267 SUMMERVILLE AVENUE
 SCOPE OF WORK: NEW 3 STOREY LOW RISE RENTAL BUILDING - 10 UNITS

OWNER/DEVELOPER:
 ARCHITECT/DESIGNER:
 APPLICANT/PLANNER:
 LANDSCAPING:
 SURVEYOR:

CONSULTANTS:
 STRUCTURAL: TBD
 MECHANICAL: TBD
 ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/07/21
2	REVISED SITE PLAN	11/23/21
1	PRELIMINARIES	05/24/22

PROJECT: 1267 SUMMERVILLE AVE.
 1267 SUMMERVILLE AVE.
 OTTAWA, ON K1H 7G2
 DRAWING NAME: ROOFTOP

DRAWN BY: ... SHEET: A6
 DATE: MAY 24, 2022
 SCALE: AS NOTED

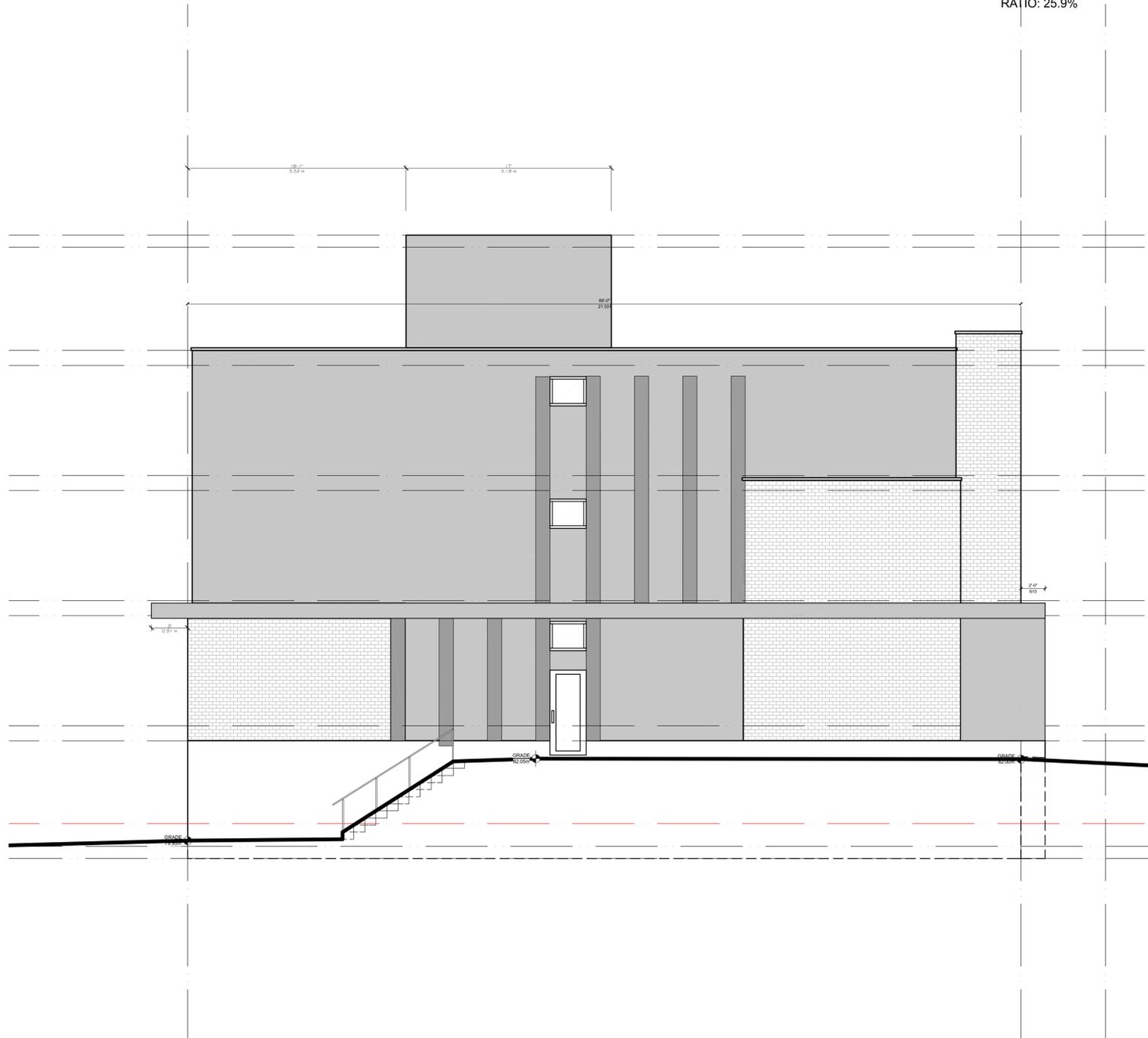
FILE NUMBER: D00-00-00-0000

FRONT FACADE WINDOW RATIO

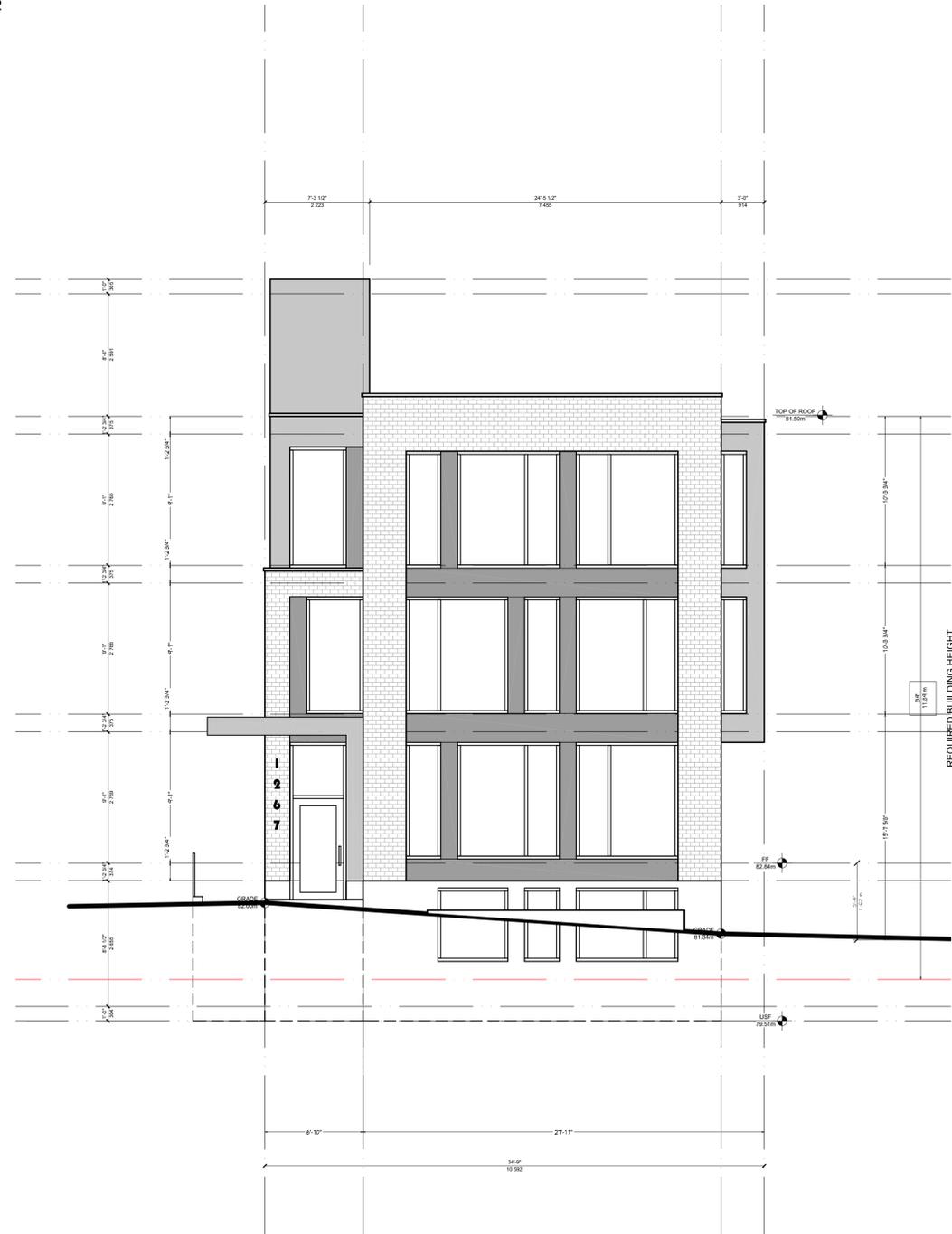
FRONT FACING WINDOW AREA: 54.6 m²
 AREA OF FACADE: 113.1 m²
 RATIO: 48.3%

FACADE RECESSED 0.6m RATIO

FACADE RECESSED 0.6m OR MORE: 29.3 m²
 AREA OF FACADE: 113.1 m²
 RATIO: 25.9%



1 WEST ELEVATION
 SCALE 3/16 = 1'-0"



2 SOUTH ELEVATION
 SCALE 3/16 = 1'-0"

AZUL DESIGNS
 OTTAWA, ON, K1H 7G2

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GENERAL NOTES:

1267 SUMMERVILLE AVENUE
 SCOPE OF WORK: NEW 3 STOREY LOW RISE RENTAL BUILDING - 10 UNITS

OWNER/DEVELOPER:

ARCHITECT/DESIGNER:
 AZUL DESIGNS

APPLICANT/PLANNER:
 SCULLIN
 18 DUNDAS STREET WEST
 OTTAWA, ON
 K1J 1G4

CIVIL ENGINEER:

LANDSCAPING:
 JONAS COSTERMANIK
 1800 SHEPPARD AVENUE EAST
 UNIT 10
 SCARBOROUGH, ON
 M1S 1S2

SURVEYOR:
 MARK CHALLINOR, VALLEYSIDE LTD
 14 CONCORDE GATE - SUITE 300
 OTTAWA, ON
 K2E 7J9

CONSULTANTS:
 STRUCTURAL: TBD
 MECHANICAL: TBD
 ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/07/21
2	REVISED SITE PLAN	11/23/21
1	PRELIMINARIES	05/24/22

PROJECT: **1267 SUMMERVILLE AVE.**
 1267 SUMMERVILLE AVE.
 OTTAWA, ON K1K 4G6

DRAWING NAME:
ELEVATIONS

DRAWN BY: ... SHEET: ...
 DATE: MAY 24, 2022
 SCALE: AS NOTED

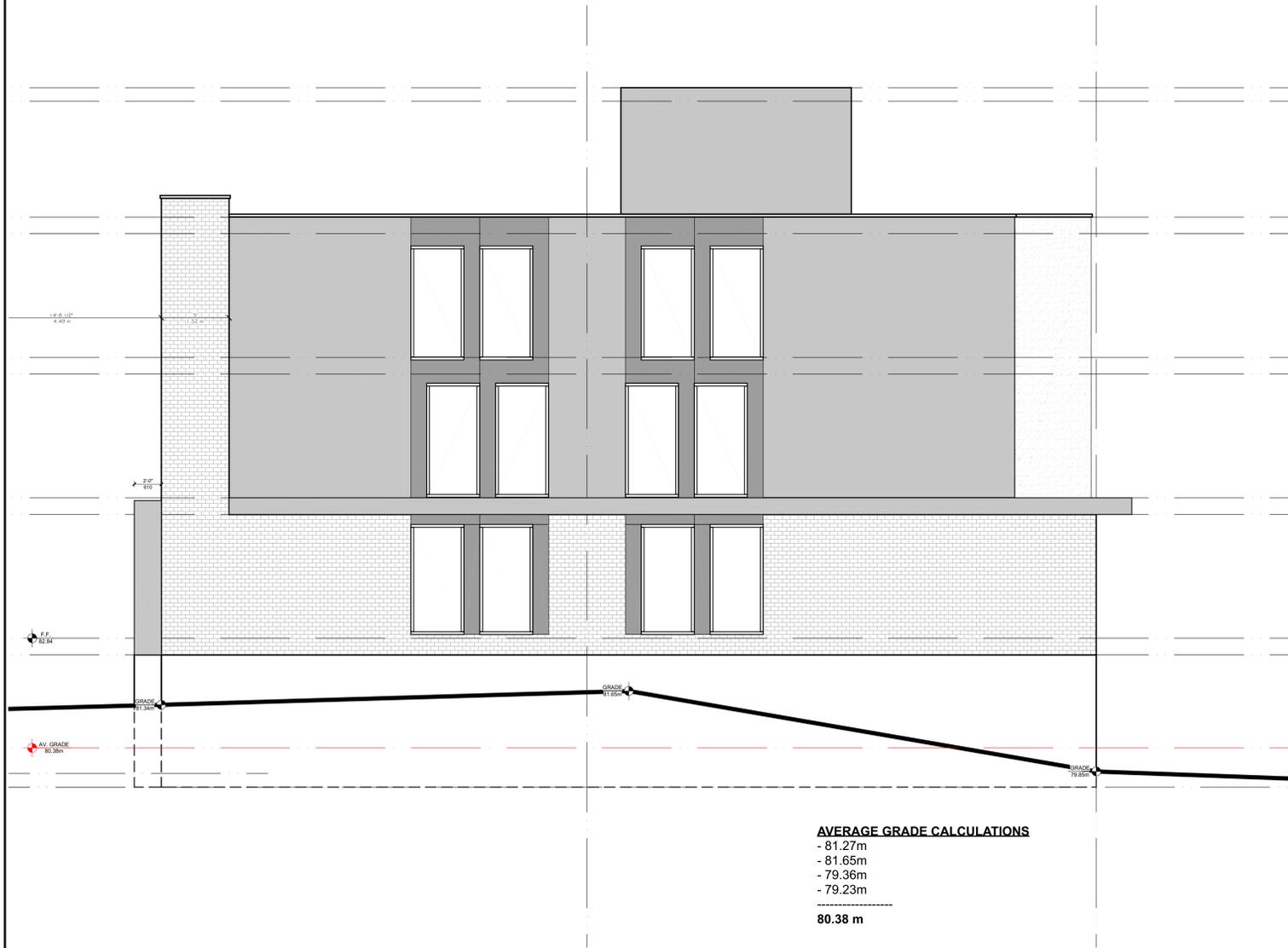
A8

FILE NUMBER: D00-00-00-000

AZUL DESIGNS
OTTAWA, ON, K1H 7G2

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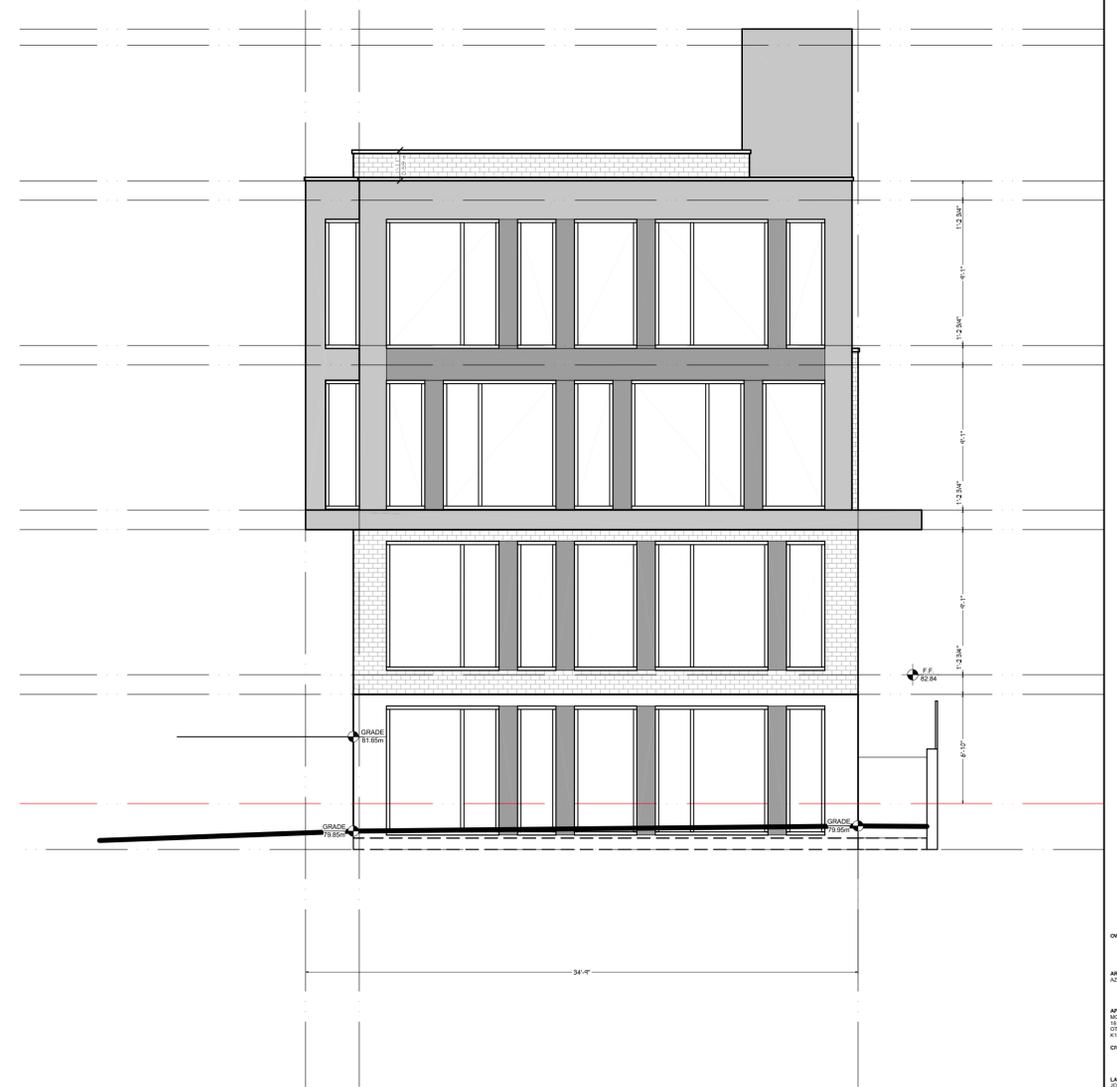
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GENERAL NOTES:



AVERAGE GRADE CALCULATIONS
- 81.27m
- 81.65m
- 79.36m
- 79.23m

80.38 m

1 EAST ELEVATION
A8 SCALE 3/16 = 1'-0"



2 NORTH ELEVATION
A8 SCALE 3/16 = 1'-0"

1267 SUMMERVILLE AVENUE
SCOPE OF WORK: NEW 3 STOREY LOW RISE
RENTAL BUILDING - 10 UNITS

OWNER/DEVELOPER:

ARCHITECT/DESIGNER:
AZUL DESIGNS

APPLICANT/PLANNER:
SCULLIN
OTTAWA, ON
K1J 7G4

CIVIL ENGINEER:

LANDSCAPING:
JOYNA GOSTERMANUK
1000 SHEPPARD AVE. E.
OTTAWA, ON
K1E 1S0

SURVEYOR:
MARK OSWALD, VALLEYVIEW LTD
14 CONCORSE GATE - SUITE 300
OTTAWA, ON
K2E 7J8

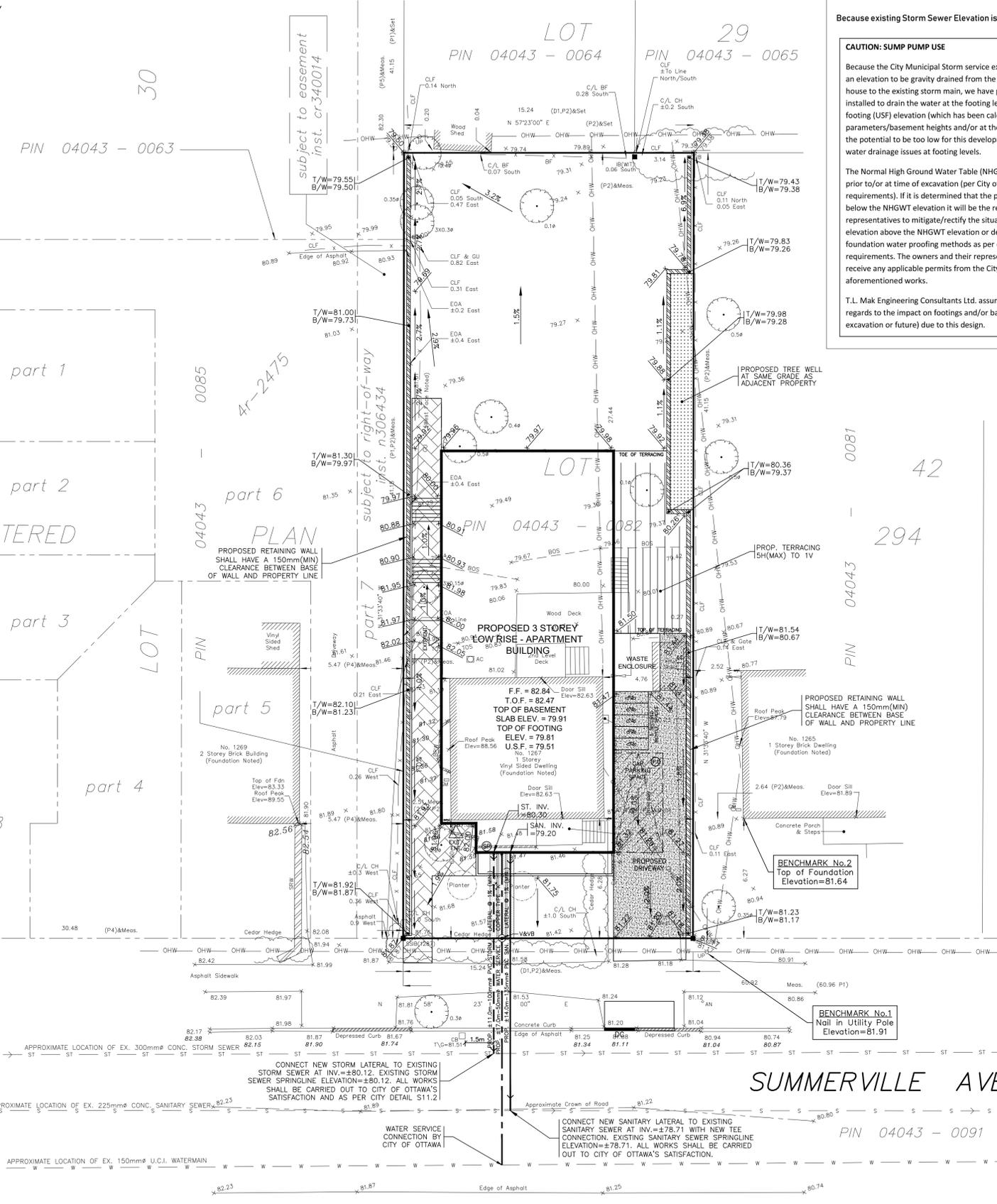
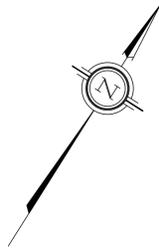
CONSULTANTS:
STRUCTURAL: TBD
MECHANICAL: TBD
ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/22
3	REVISED SITE PLAN	11/07/21
2	REVISED SITE PLAN	11/22/21
1	PRELIMINARIES	05/24/22

PROJECT: 1267 SUMMERVILLE AVE.
1267 SUMMERVILLE AVE.
OTTAWA, ON K1K 4G6
813-000-0000

DRAWING NAME: ELEVATIONS
DRAWN BY: ... SHEET: A8
DATE: MAY 24, 2022
SCALE: AS NOTED

FILE NUMBER: D00-00-00-000



SUMP PUMP – To Drain Water at Footing Level

Because existing Storm Sewer Elevation is too high in street

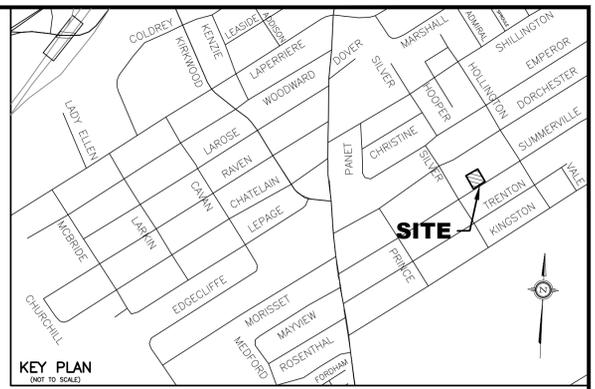
CAUTION: SUMP PUMP USE

Because the City Municipal Storm service exists along this street is at too high an elevation to be gravity drained from the proposed storm lateral at the house to the existing storm main, we have proposed a sump pump to be installed to drain the water at the footing level. The proposed underside of footing (USF) elevation (which has been calculated based on architectural plan parameters/basement heights and/or at the instruction of client/agent) has the potential to be too low for this development with respect to possible water drainage issues at footing levels.

The Normal High Ground Water Table (NHGWT) elevation must be verified prior to or at time of excavation (per City of Ottawa Building Code services requirements). If it is determined that the proposed footing elevation(s) will be below the NHGWT elevation it will be the responsibility of the owner and their representatives to mitigate/rectify the situation by either raising the footing elevation above the NHGWT elevation or demonstrate the use of appropriate foundation water proofing methods as per current building code requirements. The owners and their representatives must apply for and receive any applicable permits from the City before proceeding with the aforementioned works.

T.L. Mak Engineering Consultants Ltd. assumes no responsibility or liability in regards to the impact on footings and/or basement drainage issues (at time of excavation or future) due to this design.

- #### LEGEND
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - F.F. PROPOSED TOP OF GROUND FLOOR ELEVATION
 - T.O.F. PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
 - U.S.F. PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
 - D/W PROPOSED DRIVEWAY
 - S EXISTING SANITARY SEWER
 - ST EXISTING STORM SEWER
 - W EXISTING WATERMAIN
 - PROPOSED 135mmØ PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
 - PROPOSED 100mmØ PVC STORM LATERAL SERVICE @ 1% (MIN.) SLOPE
 - PROPOSED 50mmØ WATER SERVICE (COPPER TYPE "K")
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING CATCH BASIN
 - WV EXISTING WATER VALVE
 - FH EXISTING FIRE HYDRANT
 - UP EXISTING UTILITY POLE
 - OHV EXISTING OVERHEAD WIRES
 - V&VB PROPOSED VALVE AND VALVE BOX (V&VB)
 - DC PROPOSED DIRECTION OF LOT GRADING AND SURFACE FLOW
 - PROPOSED DEPRESSED CURB
 - PROPOSED HIGH RIDGE LINE
 - PROPOSED TERRACING 3:1 (MAX.) TO 1 V
 - PROPOSED RETAINING WALL
 - T/W PROPOSED TOP OF RETAINING WALL ELEVATION
 - B/W PROPOSED BOTTOM OF RETAINING WALL ELEVATION
 - PROPOSED RIGID STYROFOAM INSULATION 75mm THICK (MIN.)
 - PROPOSED WEeping TILE SUMP PIT LOCATION
 - C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)

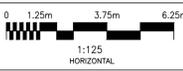


NOTES

1. EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
2. CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDINGS.
3. SITING DETAILS FOR THE PROPOSED RESIDENTIAL APARTMENT BUILDING WERE PREPARED BY AZUL DESIGNS AS SHOWN ON THEIR SITE PLAN DETAILS (SHEET No. A1 REV. 4) RECEIVED ON NOVEMBER 27, 2023. FOR THE TOP OF FINISHED FLOOR, TOP OF CONCRETE FOUNDATION, TOP OF BASEMENT SLAB, TOP OF FOOTING, AND UNDERSIDE OF FOOTING ELEVATIONS OF THE PROPOSED BUILDING, REFER TO HOUSE DESIGNER'S ARCHITECTURAL PLAN ENTITLED "ELEVATIONS" (SHEET No. A7 REV. 4) RECEIVED ON NOVEMBER 27, 2023 FOR DETAILS.
4. EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER INVERT ELEVATIONS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY ANNIS O'SULLIVAN VOLLEBEKK LTD. AS DEPICED ON THEIR TOPOGRAPHICAL SURVEY PLAN (JOB No. 22781-22 COMPLETED ON MAY 11, 2022) RECEIVED ON NOVEMBER 16, 2023. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE FOR INFORMATION ABOUT THE STORM AND SANITARY INVERT ELEVATION AT MANHOLES AND WATERMAIN LOCATION AND SIZE, THE CONTRACTOR SHALL FIELD CHECK EXISTING SANITARY SEWER, STORM SEWER, AND WATERMAIN DEPTH TO THEIR SATISFACTION, AND REFER TO CITY OF OTTAWA PLAN AND PROFILE DRAWING ENTITLED "SUMMERVILLE AVENUE MERVALE TO KING STREET - STORM SEWER" DATED JANUARY 27, 1964 FOR ADDITIONAL DETAILS.
5. ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
6. ALL GRADES SHOWN ARE GEODETIC AND METRIC.
7. SANITARY SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
8. CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPS AND OPS2 SPECIFICATIONS.
9. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
10. CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 50mm WATERMAIN SERVICE ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER, OTHERWISE INSULATE WITH RIGID 5/8" STYROFOAM IN ACCORDANCE WITH THE SOILS ENGINEER'S REQUIREMENTS AND AS PER CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE "K" AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF OTTAWA STANDARDS.
11. THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
12. WHERE ROOF EAVESTROUGHS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO FRONT YARD ONLY, WHERE POSSIBLE.
13. ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED ANWA AND/OR CSA STANDARDS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
15. EXISTING LOCATION OF SUMMERVILLE AVENUE WATERMAIN, SANITARY AND STORM SEWER SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM ITS EXACT LOCATION BEFORE EXCAVATION. (SEE ALSO NOTE #24).
16. PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM, WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3% MAXIMUM TO 1% AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
17. WATER SERVICE CONNECTION ON SUMMERVILLE AVENUE SHALL BE DONE BY THE CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY THE CITY. EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION.
18. IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCHBASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH 5/8" RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
19. PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
20. WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
21. PROPOSED SANITARY AND STORM SERVICE LATERALS SHALL BE PVC DR-28 OR EQUIVALENT.
22. IT IS REQUIRED THAT A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE NEW SANITARY LATERAL SERVICE AND A BACKWATER VALVE BE INSTALLED FOR THE NEW STORM LATERAL SERVICE UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE, AND AS PER CITY DETAIL S14, S14.1 AND S14.2.
23. BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE 'B' COMPACTED TO 95% DRY PROCTOR DENSITY. FOR THE SEWER LATERALS USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN THE SERVING TRENCHES.
24. DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON SUMMERVILLE AVENUE FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO THE CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE DIGGING. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1.0% (MIN.) PIPE SLOPE OF THE SANITARY AND STORM LATERALS CAN BE ACHIEVED USING THE PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1.0% (MIN.) SLOPE IS NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
25. FOR DEVELOPMENT OF THIS SITE, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY AND WATER SERVICES FROM THE SEWER AND WATERMAIN TO THE PROPERTY, PRIOR TO BUILDING CONCRETE FOUNDATION. POURING THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1.0% (MINIMUM) AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
26. INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR FROST PROTECTION IS LESS THAN 2.4m FOR WATER SERVICE AND 2.0m FOR SANITARY SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2.0m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY THE OWNERS' SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY DETAIL W22.
27. WHERE FROST COVER FROM UNDERSIDE OF HOUSE CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (50mm) THICK MINIMUM BE INSTALLED AT BUILDING FOOTING AND FOUNDATION TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
28. LOCATION AND ELEVATION OF EXISTING SANITARY AND STORM MANHOLES SHOWN ON THIS DRAWING WERE TAKEN FROM ANNIS O'SULLIVAN VOLLEBEKK LTD.'S TOPOGRAPHICAL SURVEY PLAN. CONTRACTOR SHALL OBTAIN AND REVIEW THESE PLANS AND SATISFY HIM/HERSELF AND OBTAIN LOCATES OF THESE SERVICES BEFORE CONSTRUCTION.
29. THE CONTRACTOR UPON COMPLETION OF THE NEW SERVICES SHALL RESTORE THE EXISTING SUMMERVILLE AVENUE ROADWAY BULEVARD DISTURBED BY CONSTRUCTION WORKS ON THIS PROPERTY. ADDITIONALLY, ROADWAY GRADING SHALL BE RESTORED AND REGRADED TO DRAW POSITIVELY TO EXISTING STORMWATER OUTLET AS REQUIRED BY THE CITY INSPECTOR.

30. UPON COMPLETION OF NEW SERVICE LATERALS FOR THE PROPOSED BUILDING, THE CONTRACTOR SHALL RESTORE THE EXISTING ROADWAY BULEVARD ACROSS THIS LOT TO DRAIN POSITIVELY TO ITS EXISTING OUTLET. ALL WORKS SHALL BE CARRIED OUT TO SATISFACTION OF CITY OF OTTAWA.
31. CONCRETE BARRIER CURB AND SIDEWALK DETAILS AS PER CITY OF OTTAWA STANDARDS (DWG. SC1.1 MARCH 2007). CONCRETE CURB AND ASPHALT SIDEWALK CONSTRUCTION AND REINSTATEMENT SHALL BE DONE TO SATISFACTION OF CITY OF OTTAWA AND IN ACCORDANCE WITH LATEST REVISED CITY OF OTTAWA ENGINEERING STANDARDS. EXISTING CONCRETE CURB AND ASPHALT SIDEWALK ALONG SUMMERVILLE AVENUE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REINSTATE BY CONTRACTOR TO SATISFACTION OF CITY OF OTTAWA AND IN ACCORDANCE WITH LATEST REVISED CITY OF OTTAWA ENGINEERING STANDARDS.
32. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CONFLICT CLEARANCE BEFORE CONSTRUCTION.
33. EXISTING ASPHALT DRIVEWAY NOT TO BE RE-USED SHALL BE REMOVED AND REPLACED WITH SOFT LANDSCAPING.
34. ROOF TYPE OF PROPOSED NEW BUILDING IS FLAT.
35. a) CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE RECEIVING STORM SEWER DURING CONSTRUCTION ACTIVITIES. THESE PRACTICES ARE REQUIRED TO ENSURE NO SEDIMENT AND/OR ASSOCIATED POLLUTANTS ARE RELEASED TO THE RECEIVING WATERCOURSE. THESE PRACTICES INCLUDE INSTALLATION OF SEDIMENT BARRIERS AS PER OPSD 219.10 AND ASSOCIATED SPECIFICATIONS) ALONG THE PROPERTY LIMITS OF PROPOSED DEVELOPMENT AND ALL OTHER AREAS THAT DRAIN OFF SITE. MAINTENANCE HOLE SEDIMENT BARRIERS TO BE AMOCO 4555 NONWOVEN GEOTEXTILE OR APPROVED EQUIVALENT.
- b) THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE. DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
36. HOUSE WEeping TILE WATER DRAINAGE FOR THE NEW BUILDING SHALL BE SUMP-PIT WATER FROM FOREGANG FROM BASEMENT SUMP PIT DIRECTLY TO 100mm DIAMETER TO STORM LATERAL THAT OUTLET TO THE CITY STORM SEWER AT SUMMERVILLE AVENUE. ALL WORKS SHALL BE CARRIED OUT TO CITY'S REQUIREMENTS AND IN COMPLIANCE WITH LATEST REVISED ENGINEERING STANDARDS.
37. DETAILS OF PROPOSED SUMP-PUMP AND PIT LOCATION IN THE BUILDING SHALL BE REFERENCED FROM OWNER'S HOUSE DESIGNER'S FINAL PLANS. SUMP-PIT WATER SHALL BE DISCHARGED TO APPROVED OUTLET AS REQUIRED BY CITY OF OTTAWA.
38. THE OWNER'S HOUSE DESIGNERS SHALL INFORM THE OWNERS THAT AN ONGOING YEAR ROUND MAINTENANCE PROGRAM IS REQUIRED FOR THIS BUILDING TO ENSURE THAT THE HOLDING TANKS IN PARTICULAR SHALL BE ANNUALLY INSPECTED AND CLEANED IF NECESSARY. ALL PUMPS USED IN THIS BUILDING ARE TO BE DETERMINED BY THE OWNER'S MECHANICAL ENGINEER/PLUMBER BASED ON THEIR SPECIFIC USAGE UNDER THE PRESENT PLUMBING CODE AND CITY REQUIREMENTS.
39. THE HOUSE DESIGNER SHALL INFORM THE OWNERS TO HAVE AVAILABLE AT ALL TIMES A BACKUP GENERATOR ON STANDBY AT THE BUILDING IN THE EVENT OF A POWER BACKOUT OR OTHER EMERGENCIES. ALTERNATIVELY, THE ARCHITECTS AND/OR OWNER MAY WISH TO SPECIFY A WATER POWERED BACKUP PUMP (THE SUMPJET MODEL JS110) OR EQUAL THAT MEETS THE ONTARIO BUILDING AND PLUMBING CODE REQUIREMENTS.
40. PROPOSED STORM LATERAL SHALL BE INSTALLED WITH SLEEVING THROUGH FOUNDATION WALL.
41. THE PROPOSED BUILDING SERVICES AND LATERALS SHALL BE SLEEVED UNDER GARAGES AND RETAINING WALL. THE CITY ALSO RECOMMENDS SLEEVED SERVICES UNDER PORCH, DRIVEWAY AND DECK.
42. EXISTING HOUSE LATERALS AND WATER SERVICE PIPING HAVE BEEN AND/OR SHALL BE ABANDONED. WATER SERVICE SHALL BE BLANKED AT THE MAIN AS PER CITY OF OTTAWA'S REQUIREMENTS. SEWER LATERALS SHALL BE CAPPED AT FRONT PROPERTY LINE. ALL WATER AND SEWER LATERAL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.4 FOR CAPPING SERVICES.
43. a) THE RETAINING WALL TO BE CONSTRUCTED AND MATERIAL TYPE SHALL BE SPECIFIED BY THE OWNER'S HOUSE DESIGNER AND/OR HIS STRUCTURAL ENGINEER. ANY RETAINING WALLS BUILT OF THIS LOT EXCEEDING 1.0m IN HEIGHT FROM PROPOSED FINISHED GROUND ELEVATION WILL BE REQUIRED TO BE PREPARED AND CERTIFIED BY THE OWNER'S STRUCTURAL ENGINEER AND APPROVED BY THE CITY OF OTTAWA BEFORE CONSTRUCTION.
- b) GUARDRAILING ARE REQUIRED BY THE CITY FOR ANY RETAINING WALL EXCEEDING 600mm IN HEIGHT
44. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, WILL BE DIRECTED TOWARDS THE NEIGHBOURS' PROPERTIES.
45. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE "MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS" AND THE "URBAN TREES CONSERVATION BY-LAW" AS AMENDED FROM TIME TO TIME.
46. THERE WILL BE NO ALTERATION TO THE EXISTING GRADE AND DRAINAGE PATTERN ON THE PROPERTY LINES.

SCALE



DESIGN	T.L.M.
CHECKED	T.L.M.
DRAWN BY	P.M.
CHECKED	T.L.M.
APPROVED	T.L.M.

PROJECT
1267 SUMMERVILLE AVENUE
PART OF LOT 42
REGISTERED PLAN 294
CITY OF OTTAWA

PROPOSED LOT GRADING AND SERVING PLAN

PROJECT No.	DATE	DRAWING No.
822-136	MAY 2023	G-1

T.L. MAK ENGINEERING CONSULTANTS LTD.
CONSULTING ENGINEERS

NO.	REVISION	DATE	BY
2	REVISIONS AS PER ARCHITECT'S REVISED SITE PLAN OF NOVEMBER 27, 2023	12/01/23	TLM
1	REVISIONS AS PER ARCHITECT'S REVISED SITE PLAN OF NOVEMBER 16, 2023	11/16/23	TLM

Address: 1267 Summerville Ave				
Zoning R4UC, SCHEDULE 1 AREA: AREA 'B', SCHEDULE 1A AREA: AREA 'X', SCHEDULE 342, Area A				
Official Plan: Schedule B2 Inner Urban Transect				
Low Rise Apartment Building, 10 Units, Building Gross Floor Area?				
Zoning Mechanism	Requirements	tProposed	Comments	
Minimum Lot Frontage	15.0 metres	15.24	comply	
Minimum Lot Area	450.0 m ²	623.92 m ²	comply	
Minimum Front Yard Setback	4.5 metres	4.5	comply	
Minimum Rear Yard Setback, 30%	12.35 metres	15.61	comply	
Minimum Interior Side Yard Setback	1.5 metres	2.00,2.67	comply	
Minimum Exterior Side Yard Setback	NA	NA		
Maximum Building Height	11.0 metres	12.12 (12.07)	Does not comply	
Amenity Area				
Front Aggregate Landscaping				
Maximum Lot Coverage	NA			
First Floor Habitable Space				
Rear Landscaped	50% lots over 450 sqm	Landscaped: 119.9 m ² AREA: 237.9 m ² RATIO: 50.4%	Comply, rear yard = to the required rear yard	
Front facing windows in front facade	25%,	48.3% Façade area: 113.1 m ² Window Area: 54.6 m ²	See elevations	
Street façade recessed 0.6m or porch/decks	20%,	25.9% Façade area: 113.1 m ² Recessed: 54.6 m ²	See elevations	
Transportation				
Parking	Dwelling Units parking	0	5	101(3) no parking required Parking permitted 161(16) lot over 450 sqm
	Visitor parking	0	0	
Bicycles	0.5 per dwelling unit	5	5	See plans
Private Approach (By-law No. 2003-447)	width	Min 3 m		comply
	grade	2% within 6m of road edge		Does not comply
	Width Table 139(3)	Max 3m	3m	comply
Waste Collection				
Solid Waste Management (By-law No. 2012-370)	Path	1.2 metres	3.0	
	Garbage Room Size Based on unit count	t	See plans	Residential Properties of Six (6) or More Units Per Building For residential properties with six (6) units or more the collection Schedule shall be containerized collection as outlined in Schedule "C".

TABLE 162A – R4 SUBZONE PROVISIONS (OMB Order File N^o: PL150797, issued July 25, 2016 - By-law 2015-228)
(By-law 2020-288) (By-law 2021-111)

I Sub-Zone	II Prohibited Uses	III Principal Dwelling Types	IV Minimum Lot Width (m) ¹¹	V Minimum Lot Area (m ²) ¹²	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Side Yard Setback (m)	IX Minimum Rear Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI End-notes (see Table 162B)
R4-UC (By-law 2020-290)		Detached	7.5	225	10	4.5	4.5	varies ⁴	1.2/0.6	10, 11,12,13
		Linked-detached	7.5	225	10	4.5	4.5	varies ⁴	1.2/0.6	10, 11,12,13
		Semi-detached	6.0	180	10	4.5	4.5	varies ⁴	1.2	10, 11,12,13
		Long Semi-detached	10	300	10	4.5	4.5	varies ⁴	1.2/0.6	10, 11,12,13
		Duplex	7.5	225	10	4.5	4.5	varies ⁴	1.2/0.6	10, 11,12,13
		Townhouse	4.5	135	10	4.5	4.5	varies ⁴	1.2	10, 11,12,13
		Three Unit Stacked	10	300	11	4.5	4.5	varies ⁴	1.2	11,12,13
		Low-rise Apartment, maximum of 8 units	14	420	11	4.5	4.5	varies ⁴	1.5	11,12,13
		Low-rise Apartment, 9 or more units	10	300	11	4.5	4.5	varies ⁴	1.5	11,12,13
		PUD	15	450	11	4.5	4.5	varies ⁴	1.5	11,12,13
			NA	1,400	as per dwelling type	4.5	4.5	varies ⁴	varies ¹	1,10, 11,12,13





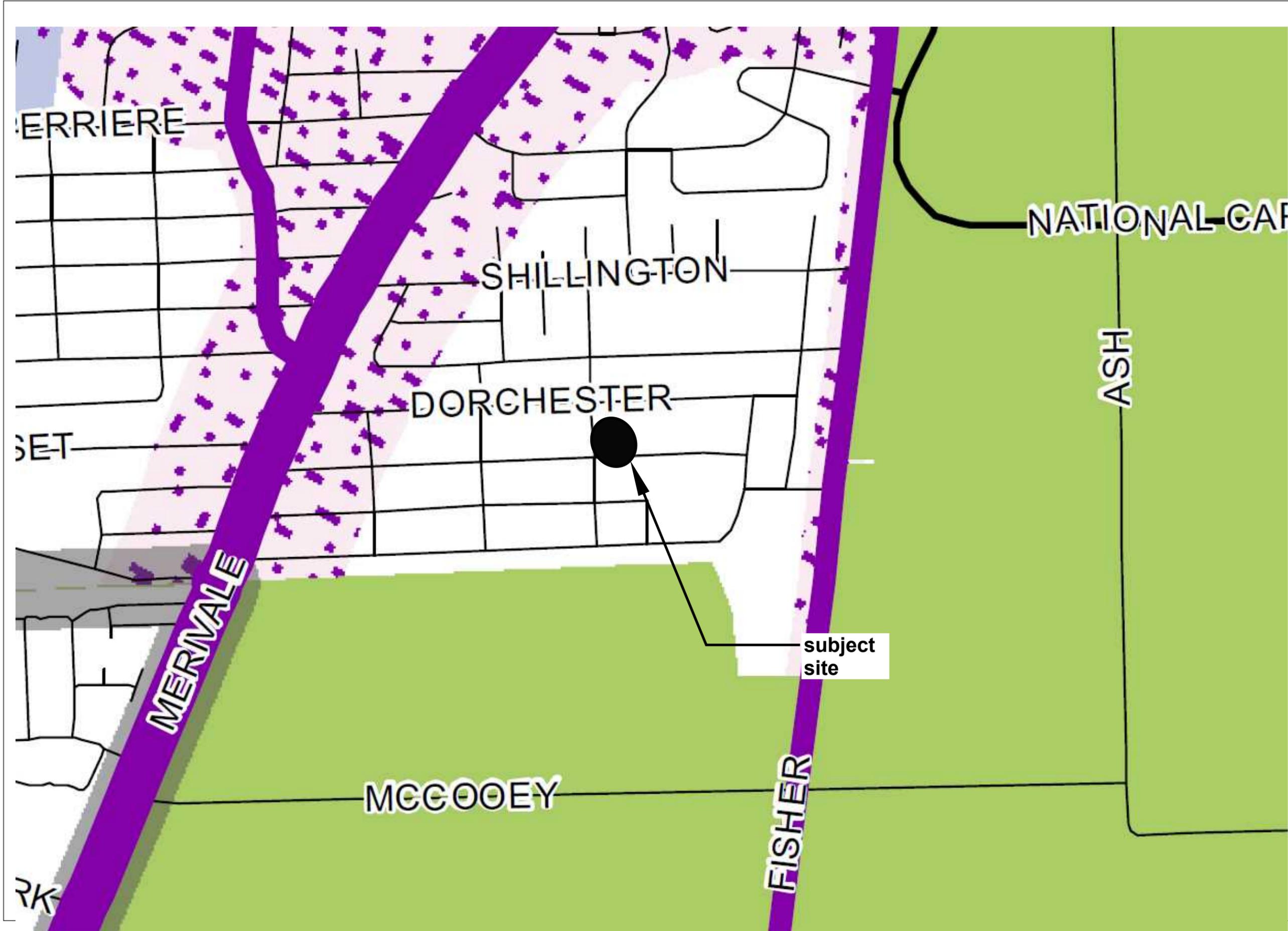
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Modulink & Design
Planning & Design
331 Osgoode Street
Apt 3, Ottawa, Ont.
K1N 1H2

CLIENT
PROJECT 1267 Summerville
ISSUE
DRAWN BY CJ
PROJECT NO. 2023
Scale 1:2000

November 29,
2023
Neighbourhood



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ISSUE	PROJECT	CLIENT	Scale
November 29, 2023	1267 Summerville		1:2000
DRAWN BY	PROJECT NO.		
CJ	2023		

November 29,
2023
Official Plan

PART OF LOT 42
REGISTERED PLAN 294
CITY OF OTTAWA

Prepared by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 200



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 11th day of May, 2022.

May 11/22
Date

T. Hartwick
T. Hartwick
Ontario Land Surveyor

Bearings are astronomic, derived from the northerly limit of Summerville Avenue shown to be N58°23'00"E on Plan 5R-8562.

ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

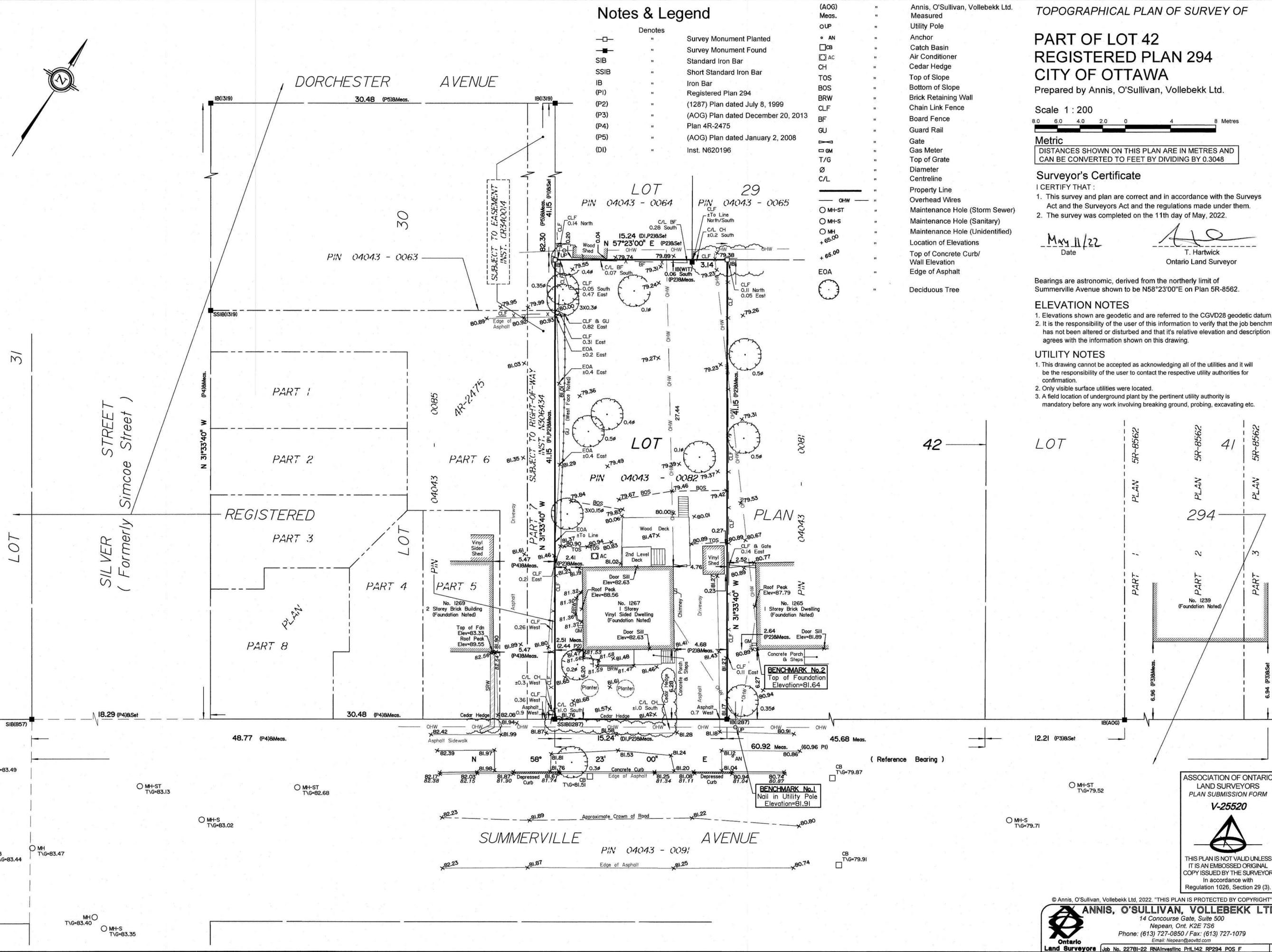
UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground utility by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - (P1) Registered Plan 294
 - (P2) (1287) Plan dated July 8, 1999
 - (P3) (AOG) Plan dated December 20, 2013
 - (P4) Plan 4R-2475
 - (P5) (AOG) Plan dated January 2, 2008
 - (DI) Inst. N620196

- (AOG) Meas. " Annis, O'Sullivan, Vollebakk Ltd.
- o UP " Utility Pole
- o AN " Anchor
- CB " Catch Basin
- AC " Air Conditioner
- CH " Cedar Hedge
- TOS " Top of Slope
- BOS " Bottom of Slope
- BRW " Brick Retaining Wall
- CLF " Chain Link Fence
- BF " Board Fence
- GU " Guard Rail
- Gate
- GM " Gas Meter
- T/G " Top of Grate
- Ø " Diameter
- C/L " Centreline
- Property Line
- OHW " Overhead Wires
- MH-ST " Maintenance Hole (Storm Sewer)
- MH-S " Maintenance Hole (Sanitary)
- MH " Maintenance Hole (Unidentified)
- + 65.00 " Location of Elevations
- " Top of Concrete Curb/Wall Elevation
- " Edge of Asphalt
- " Deciduous Tree



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PLAN SUBMISSION FORM
V-25520

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