

SCHEDULE			
PART	BLOCK	REGISTERED PLAN	PIN
1	PART OF BLOCK 1	4M-1732	PART OF PIN 14563-3947
2	PART OF BLOCK 3		

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 4R-35771

RECEIVED AND DEPOSITED

DATE: *Oct-26, 2023*

DATE: *OCT. 31, 2023*

Francis Lau
FRANCIS LAU
ONTARIO LAND SURVEYOR

Stamm Wilkison
REPRESENTATIVE FOR THE LAND
REGISTRAR FOR THE LAND TITLES DIVISION
OF OTTAWA-CARLETON (4).

Committee of Adjustment
Received | Reçu le

2024-01-15

City of Ottawa | Ville d'Ottawa
Comité de dérogation

PLAN OF SURVEY OF
PART OF BLOCKS 1 AND 3
REGISTERED PLAN 4M-1732
(GEOGRAPHIC TOWNSHIP OF CUMBERLAND)

CITY OF OTTAWA



METRIC CONVERSION

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID SCALE CONVERSION

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999966.

BEARING NOTE

BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76° 30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006060.42 E:324888.04
19680191 N:5033564.26 E:388064.94

LEGEND

Symbol	DENOTES	FOUND MONUMENTS
■	"	FOUND MONUMENTS
□	"	SET MONUMENTS
IB	"	IRON BAR
IB⊙	"	ROUND IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
CP	"	CONCRETE PIN
WIT	"	WITNESS
PIN	"	IDENTIFICATION NUMBER
M/MEAS	"	MEASURED
INST	"	INSTRUMENT
PROP	"	PROPORTIONED
OU	"	ORIGIN UNKNOWN
STANTEC	"	STANTEC GEOMATICS LTD.
990	"	J.G. PAYETTE O.L.S.
P	"	REGISTERED PLAN 4M-1732

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 26th DAY OF OCTOBER, 2023.

Oct-26, 2023
DATE

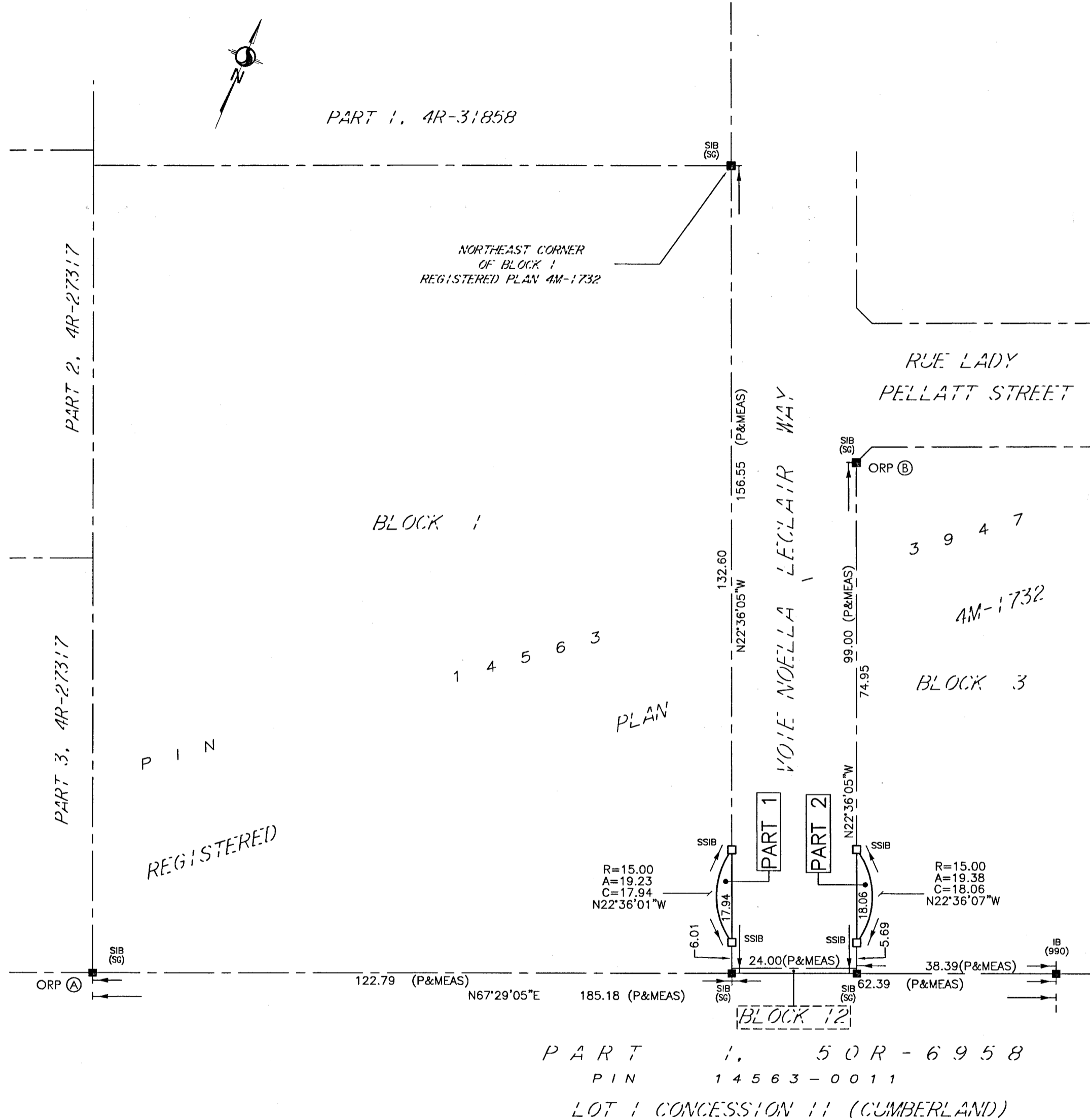
Francis Lau
FRANCIS LAU
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-50414.

Stantec Geomatics Ltd.
CANADA LANDS SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ONTARIO, K2C 3G4
TEL. 613.722.4420
stantec.com

Stantec

DRAWN: TMT | CHECKED: FL | PM: FL | FIELD: CA | PROJECT No.: 161614424-114B



OBSERVED REFERENCE POINTS DERIVED FROM THE CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76° 30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL). COORDINATES TO URBAN ACCURACY PER SEC 14(2) OF O.REG. 216/10

ORP ID	NORTHING	EASTING
(A)	5035192.24	382999.31
(B)	5035339.85	383096.86

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SITE INFORMATION	
PROJECT DESCRIPTION	4-MULTIFAMILY RESIDENTIAL APARTMENT (6 STOREY)
TOTAL UNITS	293 UNITS
CIVIC ADDRESS	4200 INNES ROAD
MUNICIPALITY	CITY OF OTTAWA
ZONING	AM [2414] H(40)-h
LEGAL DESCRIPTION	-
LOT AREA	19,142.7 m ²
BUILDING AREA	4957.31 m ²
DENSITY	61.94 DU/ACRE
FLOOR SPACE INDEX (FSI)	1.54

ZONING SUMMARY			
	REQUIRED	PROPOSED	
MAX. BUILDING HEIGHT	40 m	18.5 m	
MIN. FRONT YARD S.B.	3.0 m	3.0 m	m
MIN. REAR YARD S.B.	7.5 m	7.5 m	m
MIN. INTERIOR SIDE YARD S.B.	No minimum	3.0 m	m
MIN. CORNER SIDE YARD S.B.	3.0 m	3.0 m	m
MIN. LOT AREA	No minimum	19,600 m ²	m ²
MIN. LOT WIDTH	No minimum	156.5 m	m
MIN. WIDTH OF LAND. BUFFER	3 m	3 m	m

BUILDING INFORMATION			
BUILDING	FOOTPRINT	GROSS BUILDING AREA	COMMERCIAL
A	1158.92 m ²	7035.27 m ²	-
B	1480.55 m ²	8373.60 m ²	339.5 m ²
C	1158.92 m ²	7035.27 m ²	-
D	1158.92 m ²	7035.27 m ²	-

UNIT BREAKDOWN				
	BUILDING A	BUILDING B	BUILDING C	BUILDING D
TOTAL PER BUILDING	70	81	71	71
TOTAL	293 UNITS			
	BUILDING A	BUILDING B	BUILDING C	BUILDING D
1 BEDROOM / 1 BATH	12	19	13	13
2 BEDROOM / 1 BATH	17	6	17	17
2 BEDROOM / 2 BATH	29	40	29	29
3 BEDROOM / 2 BATH	12	16	12	12
TOTAL	293 UNITS			

VEHICULAR PARKING					
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED RATE	PROVIDED
APARTMENT - MID RISE	1.2 / UNIT	71	85	0.96 / UNIT	68*
		71	85	0.96 / UNIT	68*
		70	84	0.96 / UNIT	68*
TOTAL MID-RISE PARKING UNITS		212	254		204
APARTMENT - MIXED USE	1 / UNIT	81	81	1.0 / UNIT	81
TOTAL RESIDENTIAL PARKING UNITS					285
VISITORS	0.2 / UNIT	293	59		59
MEDICAL	4 / 100 m ²	339.5 m ²	14		14
SHARED PARKING REDUCTION			73		62
OTHER PARKING PROVISIONS					
SMALL CAR	MAX 50% OF TOTAL PROVIDED EXCLUDING SHARED VISITOR PARKING = 285 * 0.5		143	50%	143
ACCESSIBLE TYPE A			2		2
ACCESSIBLE TYPE B			1		1

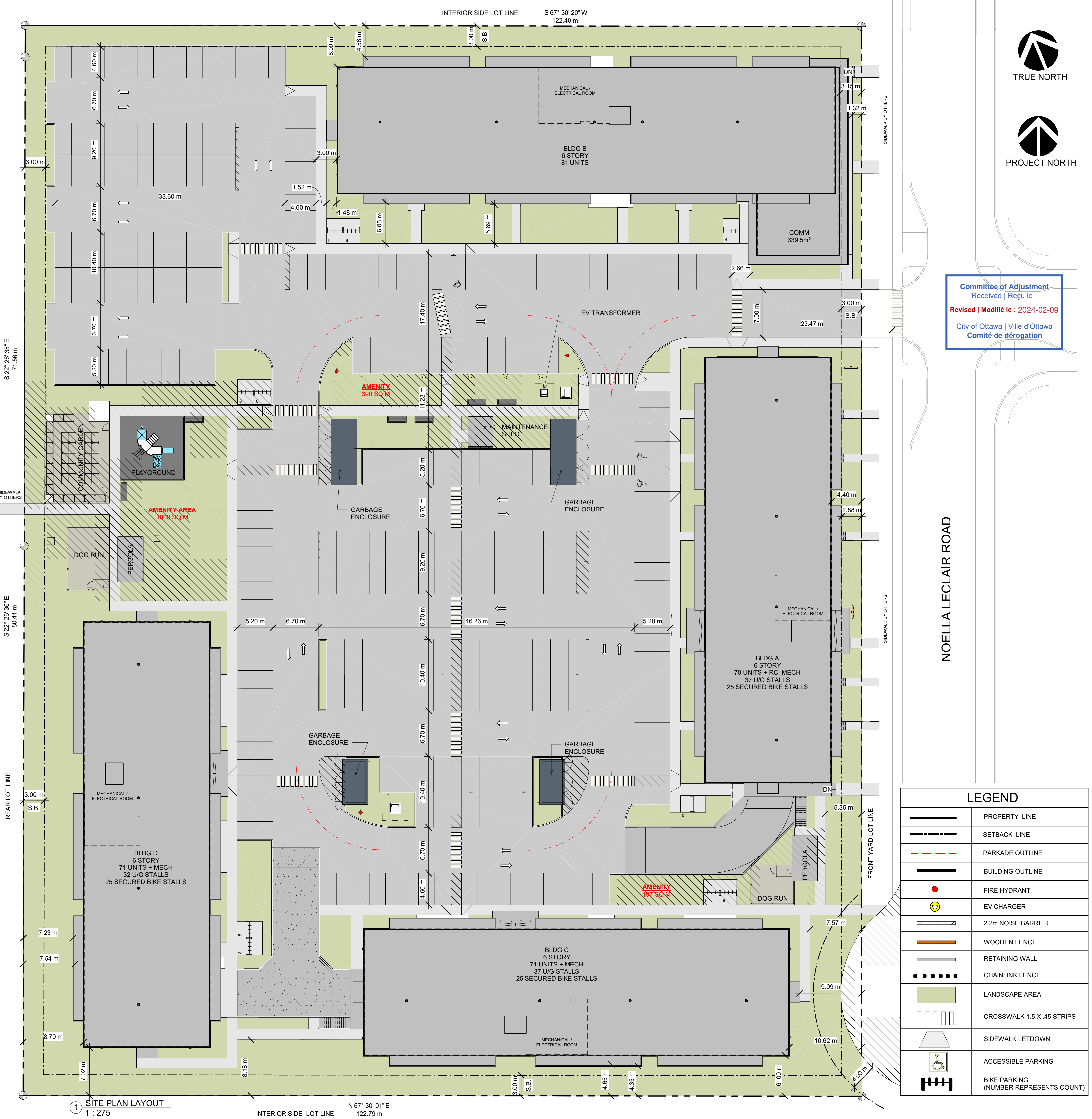
BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	293	147	149
MEDICAL	1 / 250 m ²	339.5 m ²	2	2
TOTAL BICYCLE			149	151
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	75	76
MIN HORIZONTAL BIKE STALL	50%	-	75	76
MIN SECURED BIKE STALLS	25%	-	37	75

LANDSCAPE		
	REQUIRED	PROPOSED
PERCENTAGE OF LOT AREA	-%	22.01%
m ²	-	4,213.93 m ²

WASTE CALCULATIONS		
	REQUIRED	PROPOSED
GARBAGE	32 y ³	32 y ³
GMP	5 y ³	8 y ³
FIBRE	11 y ³	16 y ³
ORGANICS	1440 L	1920 L

AMENITY			
	RATE	REQUIRED	PROPOSED
TOTAL AMENITY SPACE	6M ² / DU	1758 m ²	3486 m ²
COMMUNITY AMENITY AREA (50% MIN OF TOTAL)		879 m ²	1587 m ²

02/08/2024 4:06:29 PM



BROADSTREET PROPERTIES LTD.

100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.broadstreet.ca

SITE MAP:

PROJECT STATUS:
ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABLE, ARCHITECT OAA, T. 604.682.6818

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY. FOR CLARIFICATION AND/OR CONFIRMATION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.

CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:
TRINITY APARTMENTS

PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
SITE PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: FEB 8, 2024
SCALE: As indicated

DRAWING #: **A1.00**

REV #: **C**



SITE MAP:

PROJECT STATUS:
ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
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PROJECT NAME:
TRINITY APARTMENTS

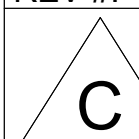
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
SURFACE / UNDERGROUND PARKING PLAN

DRAWN BY: EC
CHECKED BY: CG
DATE: FEB 8, 2024
SCALE: As indicated

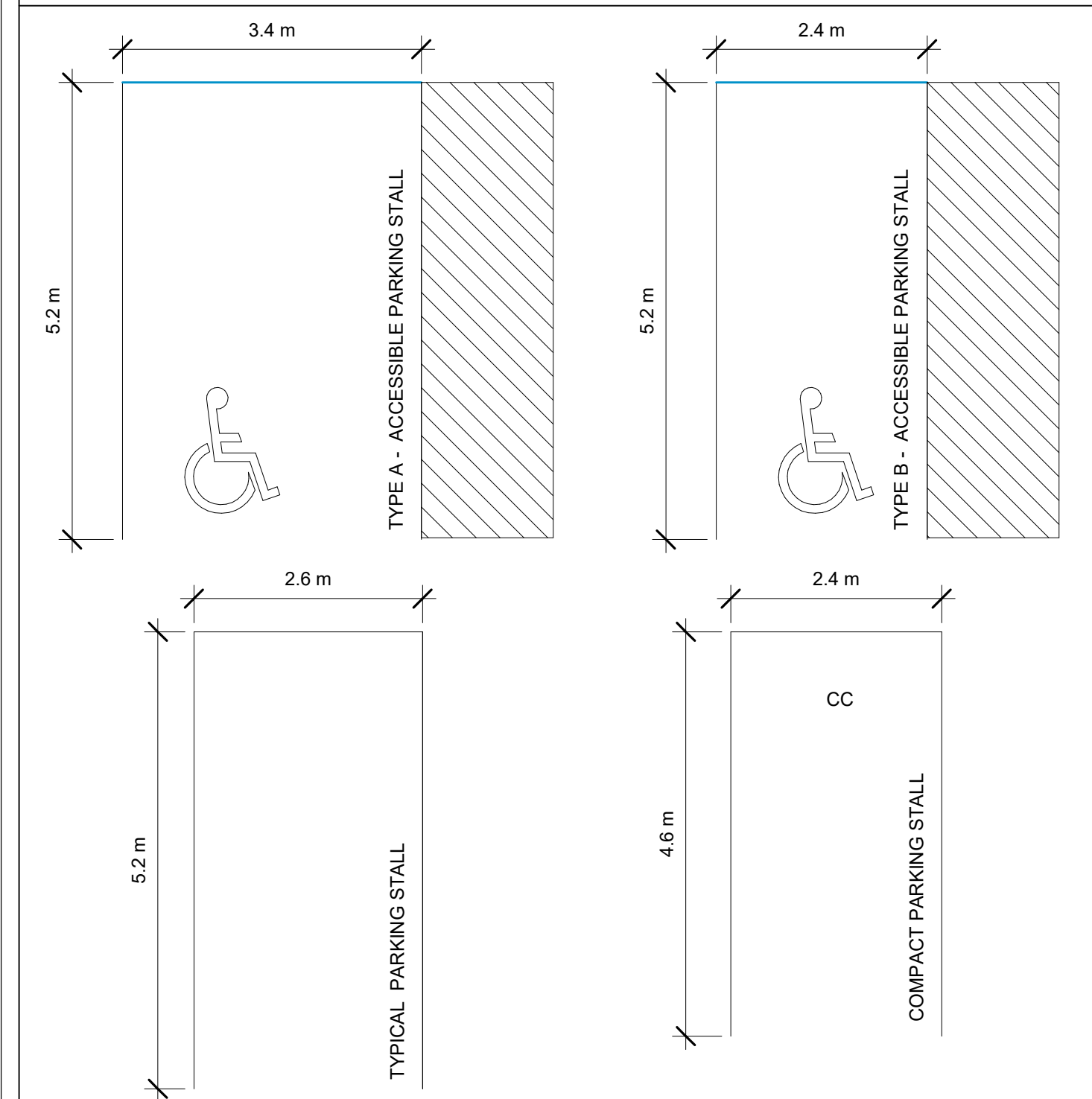
DRAWING #: **A1.01** REV #:



VEHICULAR PARKING					
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED RATE	PROVIDED
APARTMENT - MID RISE	1.2 / UNIT	71	85	0.96 / UNIT	68*
		71	85	0.96 / UNIT	68*
		70	84	0.96 / UNIT	68*
TOTAL MID-RISE PARKING UNITS		212	254		204
APARTMENT - MIXED USE	1 / UNIT	81	81	1.0 / UNIT	81
TOTAL RESIDENTIAL PARKING UNITS					285
VISITORS	0.2 / UNIT	293	59		59
MEDICAL	4 / 100 m ²	339.5 m ²	14		14
SHARED PARKING REDUCTION			73		62
OTHER PARKING PROVISIONS					
SMALL CAR	MAX 50% OF TOTAL PROVIDED EXCLUDING SHARED VISITOR PARKING = 285 * 0.5		143	50%	143
ACCESSIBLE TYPE A			2		2
ACCESSIBLE TYPE B			1		1

* SUBJECT TO APPROVAL OF MINOR VARIANCE BY THE COMMITTEE OF ADJUSTMENT

TYPICAL STALL DIMENSIONS

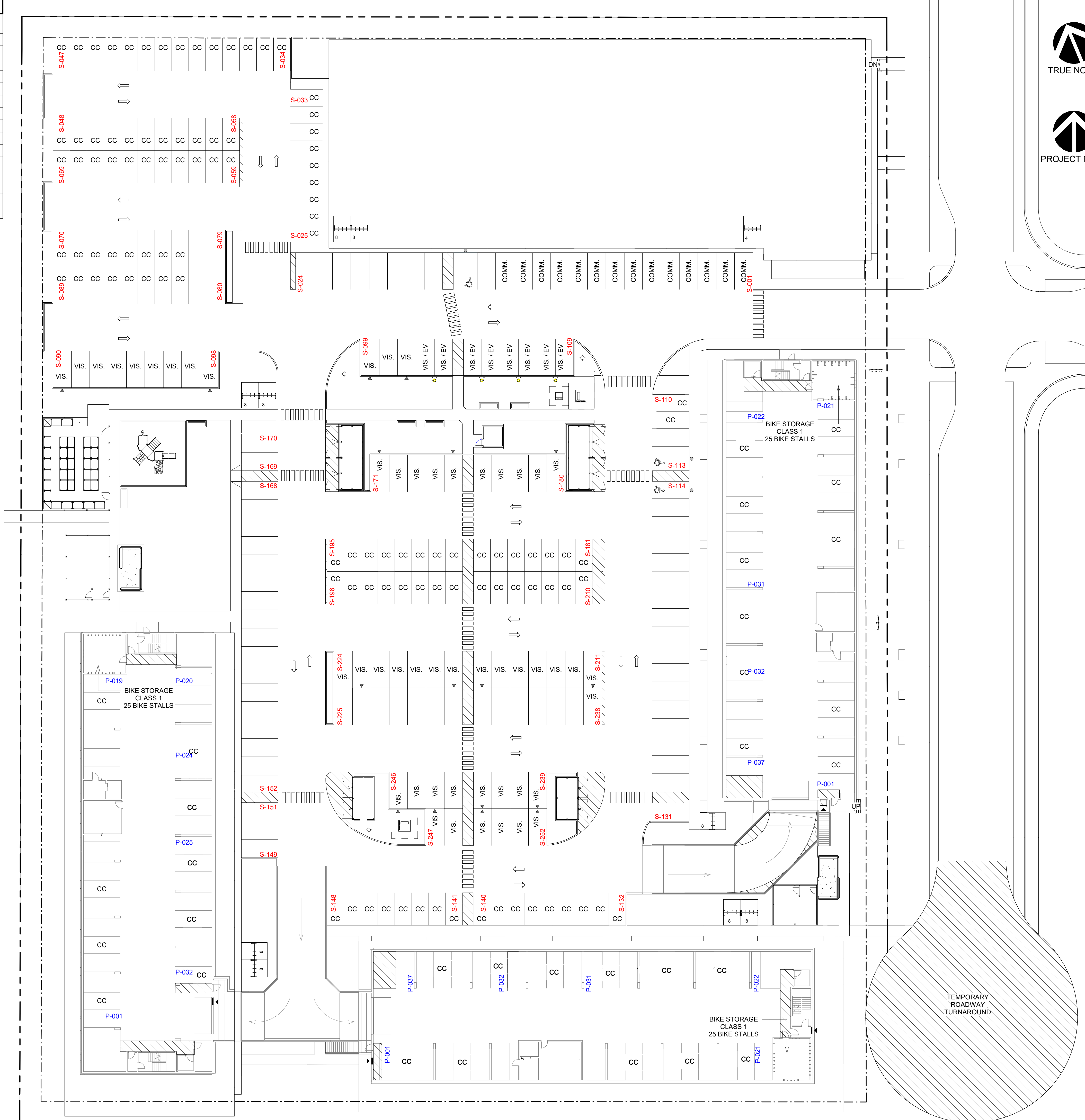
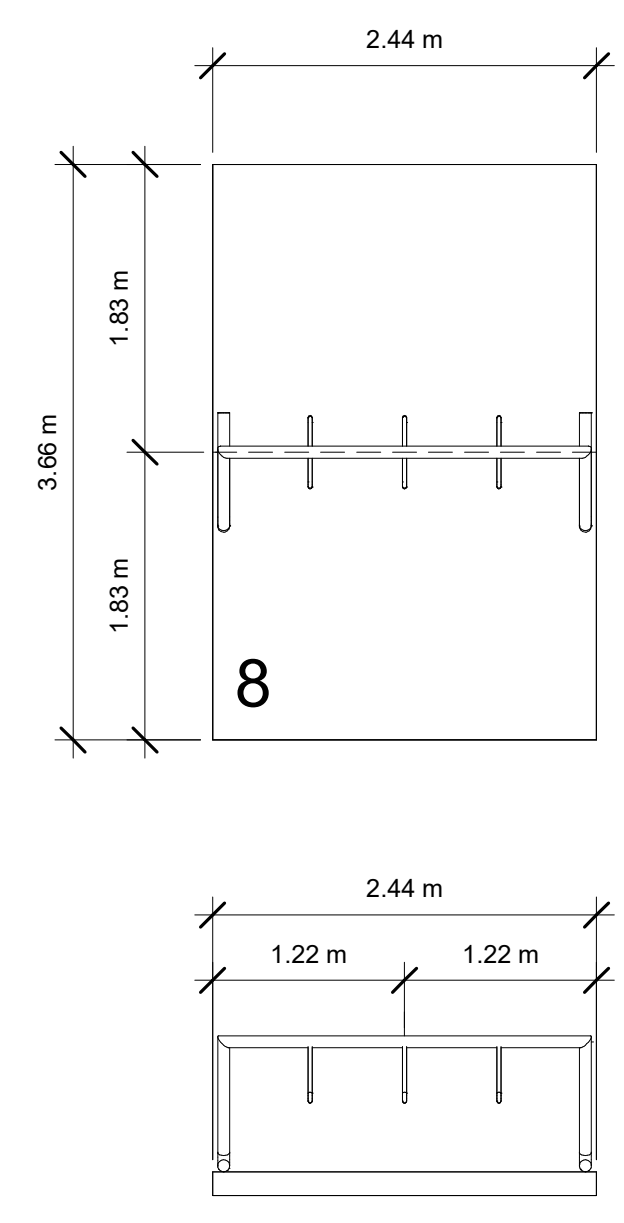
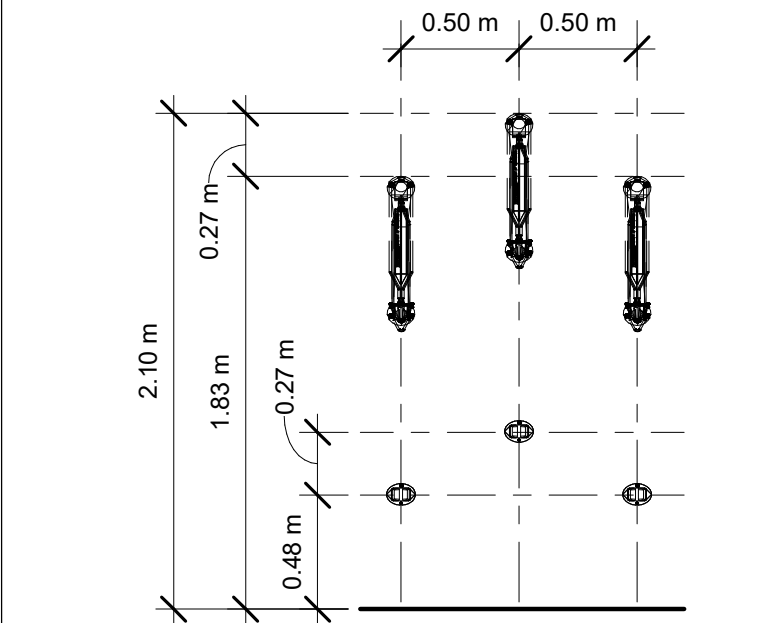


BICYCLE PARKING

	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	293	147	149
MEDICAL	1 / 250 m ²	339.5 m ²	2	2
TOTAL BICYCLE			149	151
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	75	76
MIN HORIZONTAL BIKE STALL	50%	-	75	76
MIN SECURED BIKE STALLS	25%	-	37	75

PARKING KEY NOTES:

- LETTER:
CC = COMPACT CAR
VIS = VISITOR
- UNLESS NOTED ALL OTHER STALL ARE TYPICAL
- EV CHARGER
 - ACCESSIBLE PARKING SIGN
 - VISITOR PARKING SIGN



SITE MAP:

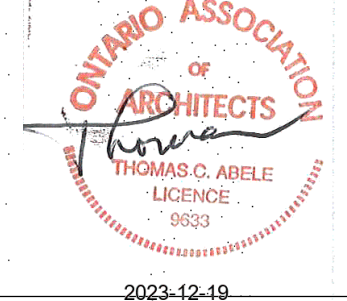


PROJECT STATUS:
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
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SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT O.A.A. T. 604.682.6818



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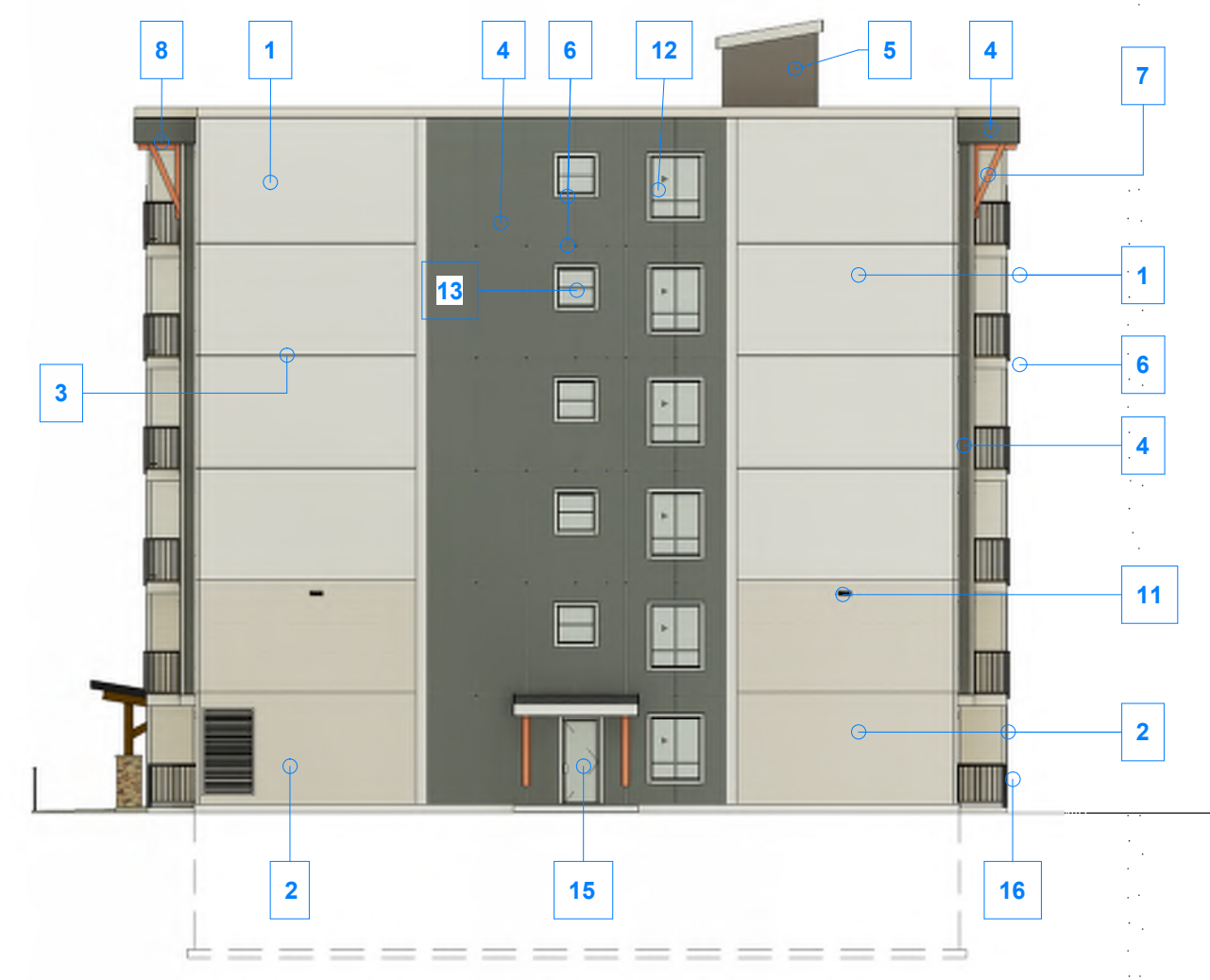
PROJECT NUMBER:
VP 2213

ADDRESS:
4200 INNES ROAD
OTTAWA, ONTARIO

DRAWING TITLE:
BUILDING D - COLOUR ELEVATION

DRAWN BY: EC
CHECKED BY: CG
DATE: DEC 18, 2023
SCALE: As indicated

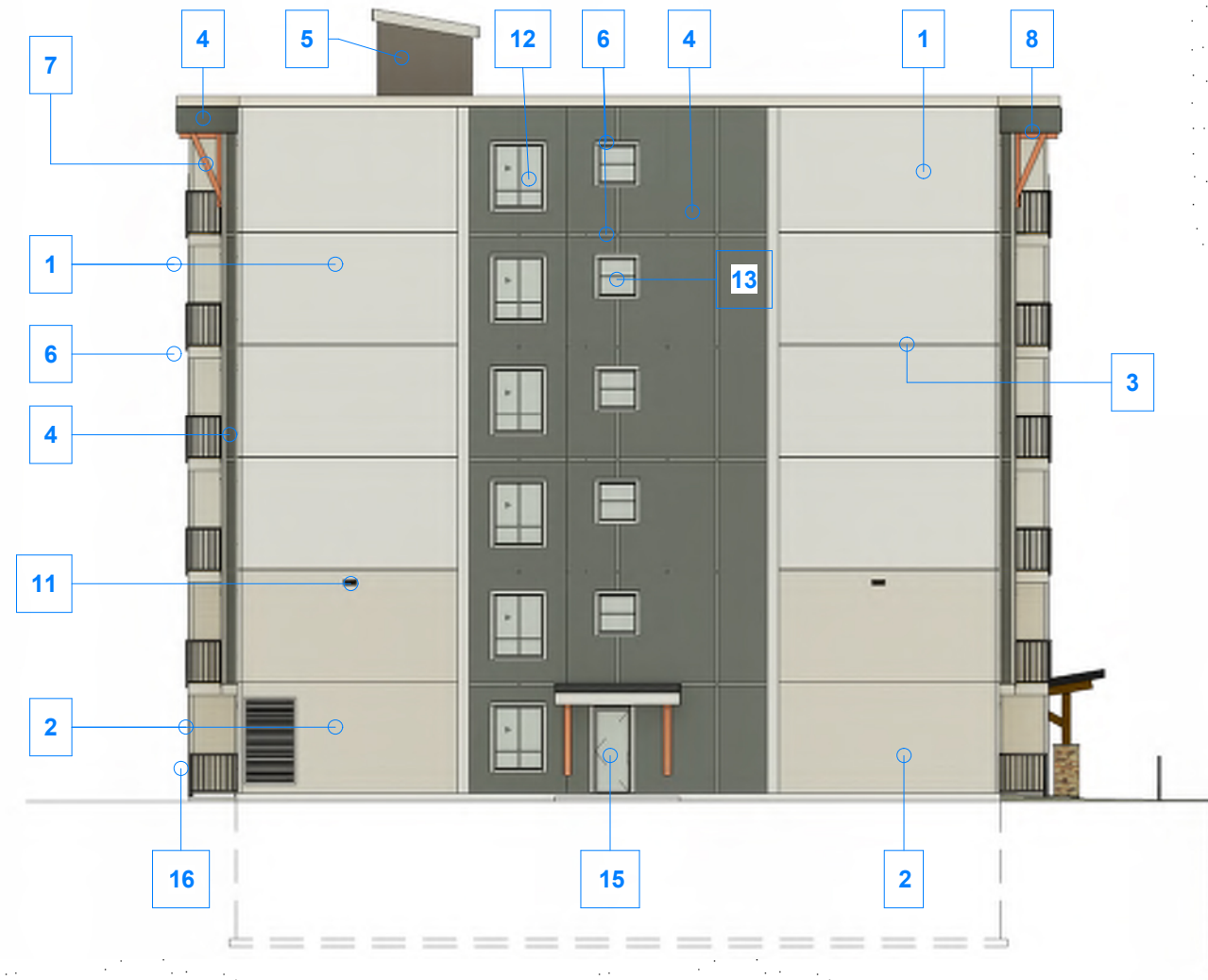
DRAWING #: **A3.07** REV #: **C**



1 COLOUR NORTH ELEVATION
1 : 175



2 COLOUR EAST ELEVATION
1 : 175



3 COLOUR SOUTH ELEVATION
1 : 175



4 COLOUR WEST ELEVATION
1 : 175

	1 PLANK - CEDARMILL (ARCTIC WHITE)		7 CEDAR ACCENTS - STAIN TBC		13 WINDOW - AWNING - WHITE
	2 PLANK - CEDARMILL (COBBLESTONE)		8 3 PANEL CLASSIC SOFFIT - WHITE		14 PATIO DOOR - SLIDER - WHITE
	3 FLASHING		9 EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED		15 ENTRY DOOR - SWING - ALUMINUM
	4 PANEL - SMOOTH (RICH ESPRESSO)		10 CULTURED STONE - TBC		16 ALUMINUM RAILING - WELDED SYSTEM - BLACK
	5 STRAIGHT EDGE SHAKE (DEEP OCEAN)		11 LED WALL SCONCE		
	6 HARDIE TRIM - SMOOTH (ARCTIC WHITE)		12 WINDOW - SLIDER - WHITE		