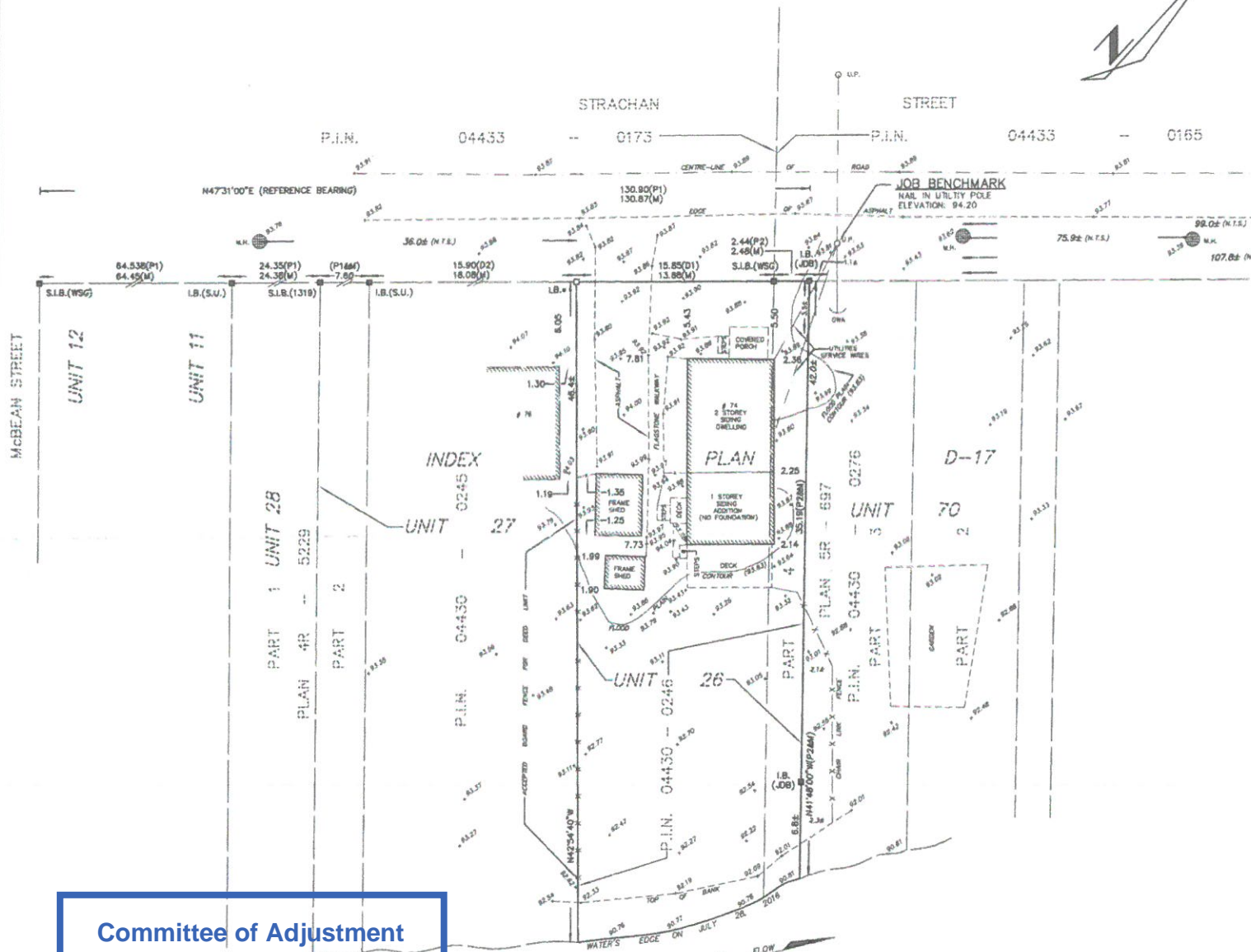


**SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN OF
UNIT 26
INDEX PLAN D-17
CITY OF OTTAWA
SCALE 1:200**



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES
BEARINGS HEREON ARE ASTROMOMIC, DERIVED FROM THE BEARING OF N47°31'00"E AS SHOWN FOR THE SOUTHERLY LIMIT OF STRACHAN STREET ON INDEX PLAN D-17

- S.I.B. DENOTES 0.025 SQ., 1.2 LONG, STANDARD IRON BAR
- S.S.I.B. DENOTES 0.025 SQ., 0.6 LONG, SHORT STANDARD IRON BAR
- I.B. DENOTES 0.016 SQ., 0.6 LONG, IRON BAR
- L.B. DENOTES 0.016 SQ., 0.3 LONG, IRON BAR
- R.I.B. DENOTES ROUND IRON BAR
- M DENOTES SURVEY MONUMENT FOUND
- D DENOTES SURVEY MONUMENT PLANTED
- WIT. DENOTES WITNESS
- S.U. DENOTES SOURCE UNKNOWN
- 1319 DENOTES WEBSTER & SIMMONDS SURVEYING LTD.
- WSG DENOTES W.S. GIBSON & SONS LTD.
- JOB DENOTES J.D. BARNES, O.L.S.
- P1 DENOTES PLAN 4R-8229
- P2 DENOTES PLAN 5R-897
- P3 DENOTES BUILDING LOCATION SURVEY BY WEBSTER & SIMMONDS SURVEYING LTD. ON UNIT 9 DATED SEPTEMBER 28, 2000
- P4 DENOTES BUILDING LOCATION SURVEY BY P.A. RIDDELL, O.L.S. ON UNIT 36 DATED JANUARY 28, 1993
- P5 DENOTES BUILDING LOCATION SURVEY BY J.R. HILEY, O.L.S. ON UNIT 44 DATED OCTOBER 24, 1996
- D1 DENOTES INST. 185455
- D2 DENOTES INST. 2572
- M DENOTES MEASURED
- S DENOTES SET
- U.P. DENOTES UTILITIES POLE
- M.H. DENOTES MAN HOLE
- C.B. DENOTES CATCH BASIN
- GWA DENOTES GUY WIRE ANCHOR
- NTS DENOTES NOT TO SCALE

ELEVATION NOTES
ELEVATION ARE GEODETIC, DERIVED FROM G.S.C. BENCHMARK 0011968-U-124
IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.

**SURVEYOR'S REAL PROPERTY REPORT
PART 2) REPORT SUMMARY**

THIS PLAN MUST BE READ IN CONJUNCTION WITH A WRITTEN REPORT DATED AUGUST 16, 2016.

Committee of Adjustment
 Received | Reçu le
2024-02-14
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF JULY, 2016

AUGUST 15, 2016

H.A. SHIPMAN
ONTARIO LAND SURVEYOR

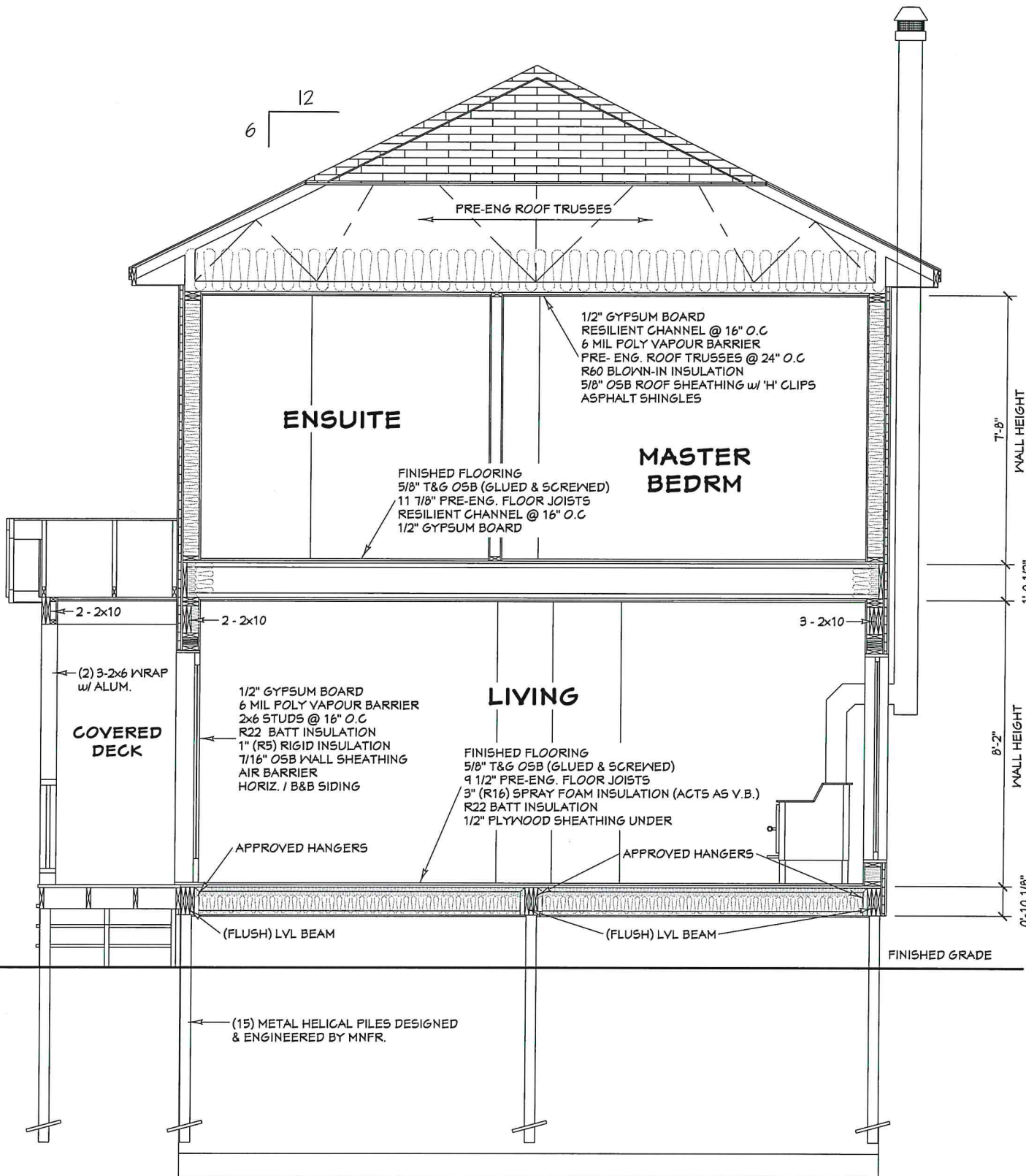
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1976767

THIS PLAN IS NOT VALID UNLESS IT IS AN UNDOUBTED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 28(3)

NOTE: THIS REPORT WAS PREPARED FOR ANDREW & LAUREN ROTH AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

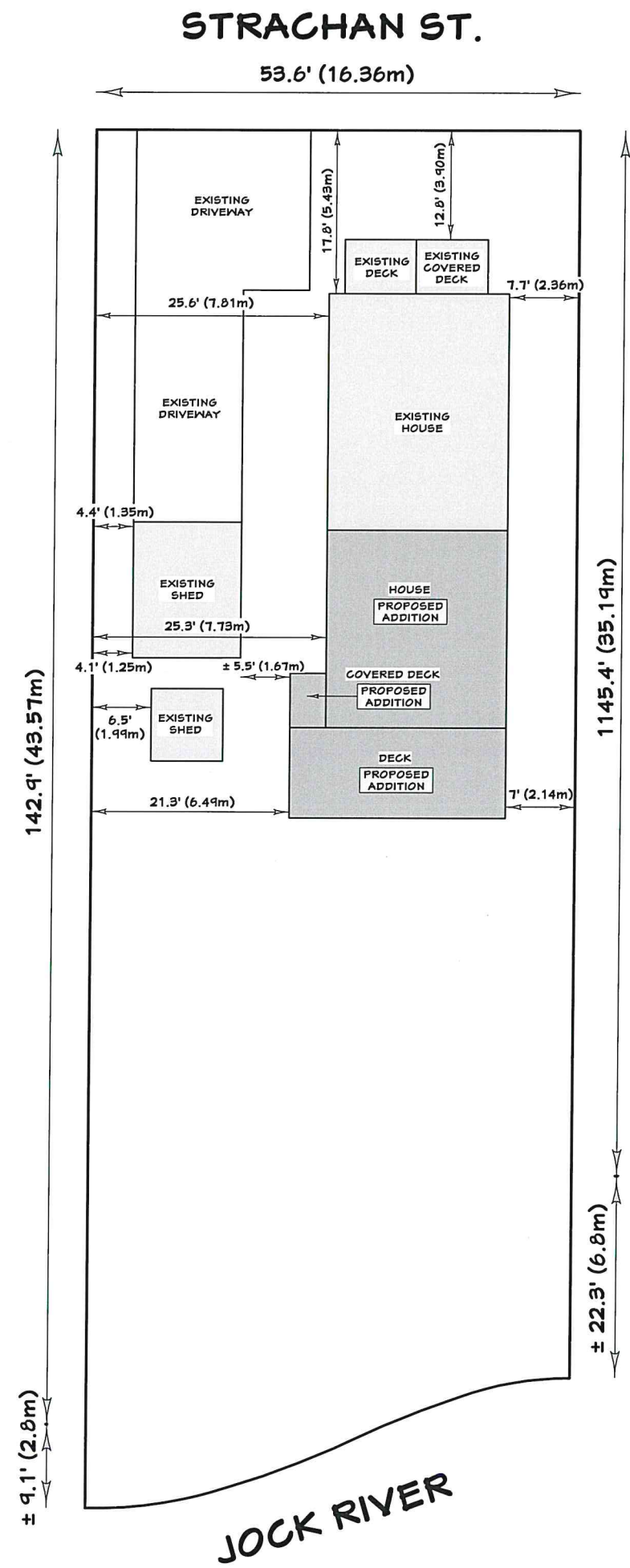
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H.A.KEN SHIPMAN SURVEYING LTD.
P.O. BOX 53, NORTH GOWER, ONT. KOA 2T0 TEL: 489-3910
REF. No.: GLB--458 FILE No.: 16-11005



1 BUILDING SECTION
A14
SCALE: 1/4" = 1'-0"

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.



N

Committee of Adjustment
Received | Reçu le
2024-02-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation

A23-005099
AUG 30 2023
74 580 STRACHAN
BCSB
Terry Fox



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.	
Qualification Information:	
Jeremy McMullen	22021
NAME	SIGNATURE BCIN
Precision Home Design	113690
FIRM	BCIN
CUSTOMER:	
BOEMAC RENO / ADDITION	
74 STRACHAN ST. RICHMOND, ON	
DRAWING NAME:	
SECTION / SITE PLAN	
SCALE:	Sheet #
DATE:	A14
AUG 30, 2023	

Committee of Adjustment
FEB 14 2024
 City of Ottawa

SCHEDULE			
PART	UNIT	PLAN	P.I.N.
1	26	D-17	ALL OF 04430-0246

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE SEPTEMBER 7, 2016

[Signature]
 S.H.P.M.A.N.

PLAN 4R-29862

RECEIVED AND DEPOSITED

DATE OCT 14, 2016

[Signature]
 REPRESENTATIVE FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON (No.4)

PLAN OF SURVEY OF
UNIT 26
INDEX PLAN D-17
 CITY OF OTTAWA
 SCALE 1:200



METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

BEARINGS HEREON ARE ASTROMOMIC, DERIVED FROM THE BEARINGS OF HAYDOCK AS SHOWN FOR THE SOUTHERLY LIMIT OF STRACHAN STREET ON INDEX PLAN D-17

DISTANCES SHOWN ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999916

- S.I.R. DENOTES 0.025 SQ. 1.2 LONG, STANDARD IRON BAR
- S.B.I.R. DENOTES 0.025 SQ., 0.8 LONG, SHORT STANDARD IRON BAR
- I.R. DENOTES 0.018 SQ., 0.8 LONG, IRON BAR
- I.R.* DENOTES 0.018 SQ., 0.3 LONG, IRON BAR
- R.I.R. DENOTES ROUND IRON BAR
- # DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- WT. DENOTES WEIGHT
- S.U. DENOTES SQUARE UNKNOWN
- 1319 DENOTES WHESTER & SHAWMORS SURVEYING LTD.
- W.S.P. DENOTES W.S. SHAWMORS & SONS LTD.
- J.S.B. DENOTES J.S. BARRIS, O.L.S.
- P.1 DENOTES PLAN 4R-5839
- P.2 DENOTES PLAN 5R-897
- P.3 DENOTES BUILDING LOCATION SURVEY BY WHESTER & SHAWMORS SURVEYING LTD. ON UNIT 8 DATED SEPTEMBER 28, 2000
- P.4 DENOTES BUILDING LOCATION SURVEY BY P.A. REDDILL, O.L.S. ON UNIT 39 DATED JANUARY 28, 1982
- P.5 DENOTES BUILDING LOCATION SURVEY BY J.R. HLEY, O.L.S. ON UNIT 44 DATED OCTOBER 24, 1990
- D.1 DENOTES DIST. 184485
- D.2 DENOTES DIST. 20372
- M DENOTES MEASURED
- S DENOTES SET
- U.P. DENOTES UNLINED POLE

OBSERVED REFERENCE POINTS (ORP) WITH ZONE 8, NAD 83 (ORIGINAL)			
POINT IDENTIFICATION	NORTHING	EASTING	HEIGHT
ORP A	452245.20	107244.11	107.24
ORP B	452245.20	107244.11	107.24

COORDINATES SHOWN TO URBAN ACCURACY IN ACCORDANCE WITH GRCD 216/10, SECTIONS 14, AND 31 TO 35 (BOTH INCLUSIVE).

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- (1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;
 - (2) THE SURVEY WAS COMPLETED ON THE 6th DAY OF SEPTEMBER, 2016.

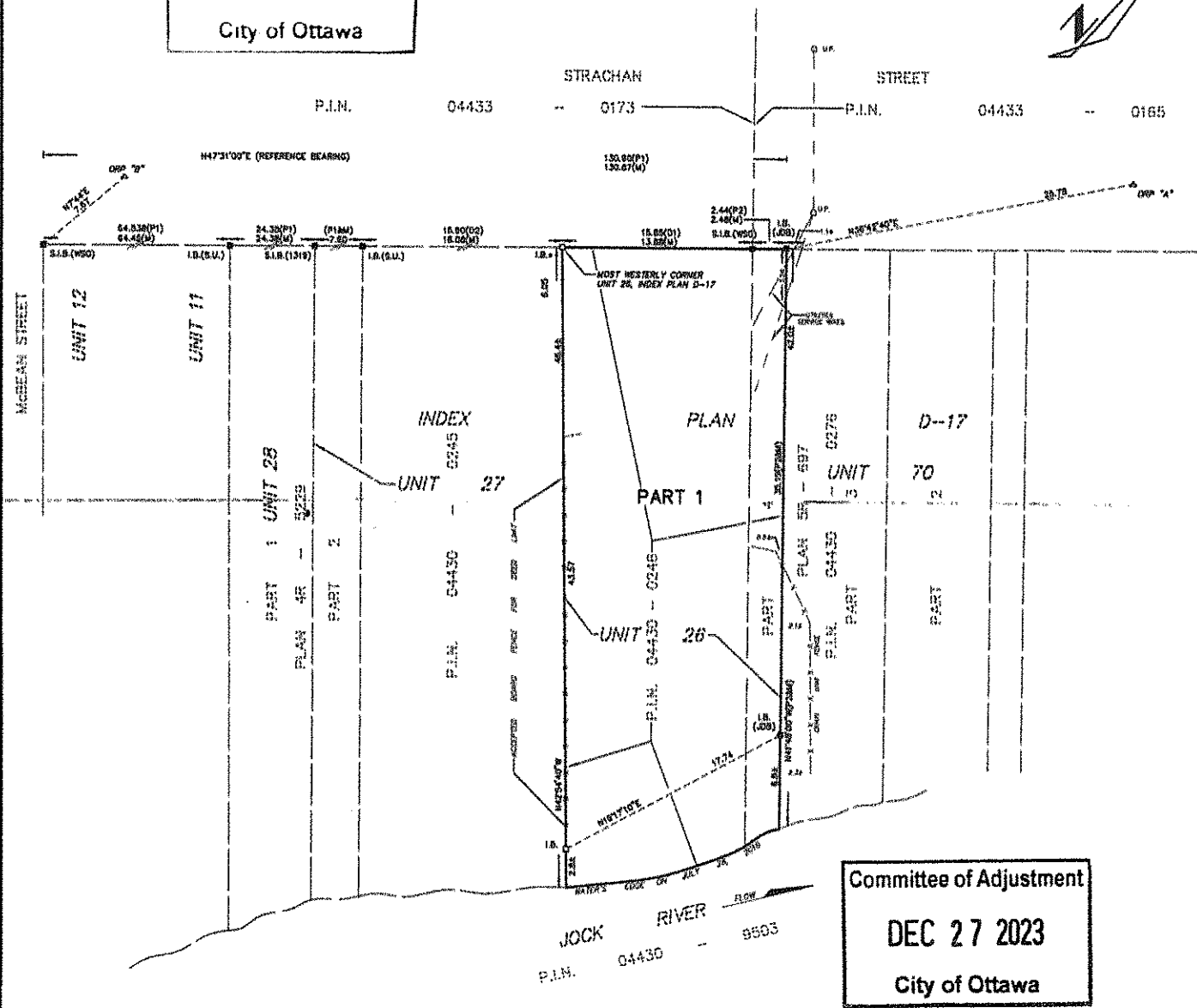
SEPTEMBER 7, 2016

[Signature]
 U.P. SHIPMAN
 ONTARIO LAND SURVEYOR



H.A. KEN SHIPMAN SURVEYING LTD.
 P.O. BOX 53, NORTH GOWER, ONT. KOA 2T0

REF No.: O.L.S.-459
 FILE No.: 16-11025 B



Committee of Adjustment
DEC 27 2023
 City of Ottawa



Committee of Adjustment
Received | Reçu le

2024-02-14

City of Ottawa | Ville d'Ottawa
Comité de dérogation



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

Jeremy McMullen  22021
NAME SIGNATURE BCIN

Precision Home Design 113690
FIRM BCIN

CUSTOMER:

BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:

SCALE:	Sheet #
DATE: JUNE 19, 2023	A1

OWNER & BUILDER'S NOTE

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED AND SIGNED BY A QUALIFIED DESIGNER & THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING CONSTRUCTION. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS HER ATTENTION FOR CLARIFICATION.

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2012 ONTARIO BUILDING CODE AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED OR PROTECTED WITH AN APPROVED VAPOR BARRIER.

CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 GCA.

ALL FRAMING LUMBER TO BE #2 OR BETTER DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

ALL REQUIRED SMOKE ALARMS NEED A VISUAL COMPONENT.

BLOCKING FOR NON-LOAD BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE MIN 2x4 @ 4'-0" O.C.

CHIMNEY HEIGHT SHALL BE DETERMINED USING A 10' RADIUS PLANE AND SHALL BE 2' HIGHER THAN ANY ROOF SURFACE 10' FROM THE CHIMNEY.

DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.

FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

SOIL PARAMETERS: BASED ON SOILS INDIGENOUS TO THE AREA:
BEARING PRESSURE - 1600 PSF. (75 kPa) LATERAL ACTIVE PRESSURE 35 PSF FLUID EQUIVALENT
SOIL-CONCRETE COEFFICIENT 0.35 SOIL PROFILE SD

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH POLYURETHANE FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

SOIL GAS CONTROL:
A SOIL GAS BARRIER IS REQUIRED TO BE INSTALLED BENEATH A CONCRETE SLAB (AT OR BELOW GRADE) FOR ALL CONSTRUCTION REGULATED UNDER PART 9 OF THE ONTARIO BUILDING CODE.
A SOIL GAS BARRIER MUST INCLUDE THE FOLLOWING REQUIREMENTS;
POLYETHYLENE SHEET COMPLYING TO CAN/CGSB-51.34-M
- JOINTS IN THE SOIL GAS BARRIER SHALL BE LAPPED NOT LESS THAN 300MM (12")
- PERIMETER OF SLAB SHALL BE SEALED TO THE INNER SURFACE OF ADJACENT WALLS USING FLEXIBLE SEALANT
- SLAB PENETRATIONS SHALL BE SEALED AGAINST SOIL GAS LEAKAGE

VENTILATION:

WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 35" MEASURED BETWEEN WALL FACES OR GUARDS.

TREADS SHALL HAVE A MIN. DEPTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 1/4".

STAIRWAYS SHALL HAVE MIN. 6'-5" OF HEADROOM AT THE NOSE OF THE STAIR.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS LESS THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

WINDOWS AND DOORS

WINDOWS SHALL BE DOUBLE PANE WITH VINYL FRAMES AND CONFORM TO CAN/CSA-A440 MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 39" ABOVE THE FINISH FLOOR HEIGHT (EXCLUDING BASEMENTS) AND SHALL HAVE A MINIMUM OPENABLE AREA OF 3.8 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 15" WIDE OR 24" HIGH.

SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHER STRIPPED.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH, A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR A SIDELIGHT.

ATTIC ACCESS:

A MINIMUM OF 22" x 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.

HATCHWAYS TO ATTIC OR ROOF SPACES SHALL BE FITTED WITH DOORS OR COVERS.

REVISIONS	DATE

DOOR SCHEDULE									
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS	
D01	1	1	36 "	80 "	39"X83 3/4"	EXT. HINGED-GLASS PANEL	20.0		
D02	1	1	58 1/2 "	80 "	59 1/2"X81"	MULLED UNIT-HL	32.5		
D03	1	1	72 "	80 "	75"X83 3/4"	EXT. DOUBLE HINGED-GLASS PANEL	40.0		
D04	1	2	18 "	80 "	20 1/2"X83 1/2"	HINGED-3 PANEL	10.0		
D05	1	2	24 "	80 "	26 1/2"X83 1/2"	HINGED-3 PANEL	13.33		
D06	1	2	26 "	80 "	53 1/4"X84 1/2"	POCKET-3 PANEL	14.44		
D07	6	2	30 "	80 "	32 1/2"X83 1/2"	HINGED-3 PANEL	16.67		
D08	1	2	32 "	80 "	34 1/2"X83 1/2"	HINGED-3 PANEL	17.78		
D09	2	2	48 "	80 "	50 1/2"X83 1/2"	DOUBLE HINGED-3 PANEL	26.67		
D10	1	2	46 "	80 "	48 1/2"X84 1/2"	SLIDER-DOOR P05	53.33		
TOTALS:							354.74		

WINDOW SCHEDULE									
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS	
W01	1	1	22 "	60 "	23"X61"	SINGLE CASEMENT-HL	9.17		
W02	1	1	30 "	42 "	31"X43"	SINGLE CASEMENT-HL	8.75		
W03	1	1	30 "	66 "	31"X67"	SINGLE CASEMENT-HL	13.75		
W04	1	1	42 "	72 "	43"X73"	DOUBLE CASEMENT-LHL	21.0		
W05	1	1	42 "	72 "	43"X73"	DOUBLE CASEMENT-RHR	21.0		
W06	1	1	46 1/4 "	55 "	47 1/4"X56"	DOUBLE HUNG	17.66		
W07	1	1	48 "	42 "	49"X43"	DOUBLE CASEMENT-LHL	14.0		
W08	1	1	84 "	44 "	85"X45"	TRIPLE CASEMENT-LHL/RHR	25.67		
W09	1	1	42 "	72 "	43"X73"	TRIPLE CASEMENT-LHL/RHR	46.0		
W10	1	2	24 "	60 "	25"X61"	SINGLE CASEMENT-HL	10.0		
W11	2	2	30 "	60 "	31"X61"	DOUBLE HUNG	12.5		
W12	1	2	44 "	60 "	45"X61"	DOUBLE CASEMENT-LHL	18.33		
W13	2	2	72 "	48 "	73"X49"	TRIPLE CASEMENT-LHL/RHR	24.0		
TOTALS:							278.33		

- NOTES:**
 1. DOUBLE PANE WINDOWS / DOORS
 2. GRIDS AS PER ELEVATIONS

Committee of Adjustment
 Received | Reçu le
2024-02-14
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



TABLE 3.1.1.11. (IF) REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS		
COMPONENT	THERMAL VALUES	ZONE 1 < 5000 D.D.
CEILING w/ ATTIC SPACE	MIN. NOMINAL 'R'	60
CEILING w/o ATTIC SPACE		N/A
EXPOSED FLOOR		18 + 22
WALLS ABOVE GRADE		22 + 5 C.I.
BASEMENT WALLS		N/A
HEATED SLAB OR SLAB < 600mm BELOW GRADE		N/A
EDGE OF BELOW GRADE SLAB < 600 mm BELOW GRADE	N/A	N/A
WINDOWS AND SLIDING GLASS DOORS	ENERGY RATING	25
SPACE HEATING EQUIPMENT	MIN. AFUE	EXISTING
HRV	MIN. SRE	EXISTING
DOMESTIC WATER HEATER	MIN. EF	EXISTING

Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

Jeremy McMullen 22021
 NAME SIGNATURE BCIN

Precision Home Design 113640
 FIRM BCIN

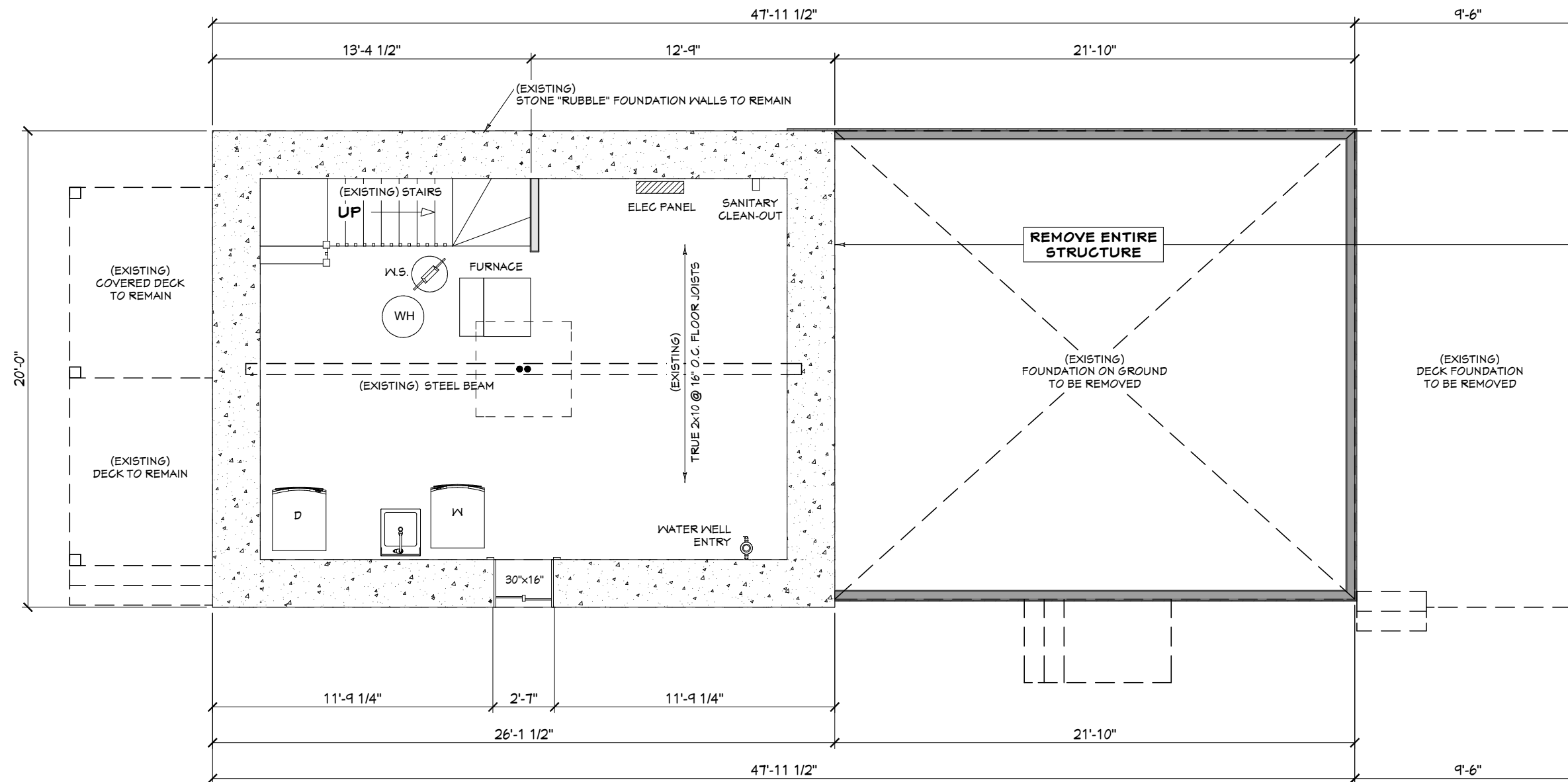
CUSTOMER:
BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:
GENERAL NOTES

SCALE: Sheet #
DATE: JUNE 19, 2023 **A2**

ALL EXTERIOR DIMENSIONS
ARE FROM CONCRETE

Committee of Adjustment
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2024-02-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation



EXISTING FOUNDATION PLAN

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

	WALLS TO BE REMOVED / RENOVATED
	EXISTING WALLS



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

NAME	Signature	22021
Jeremy McMullen		
FIRM	113690	BCIN
Precision Home Design		

CUSTOMER:

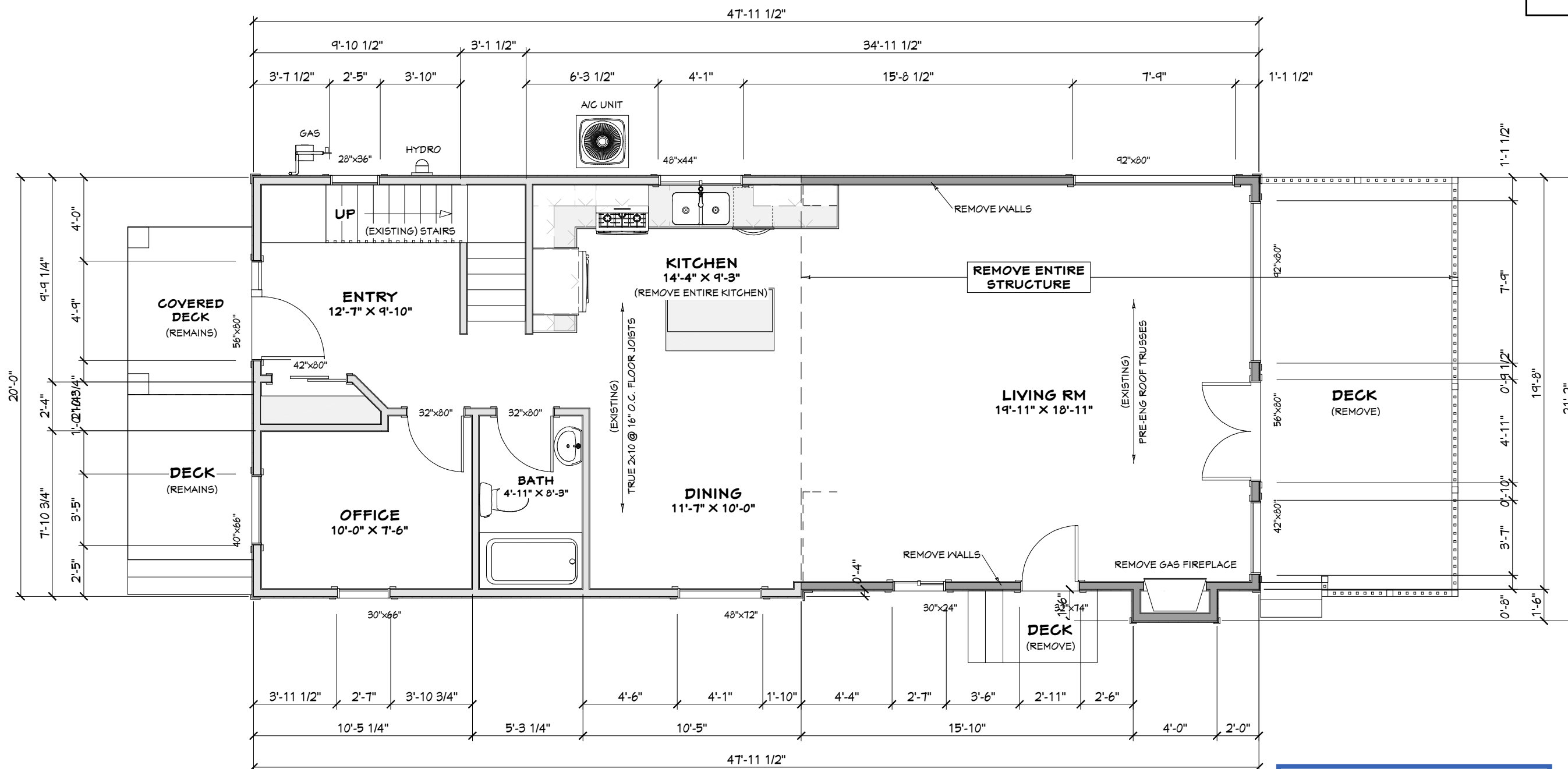
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME: EXISTING FOUNDATION PLAN

SCALE:	1/8" = 1'-0"	Sheet #
DATE:	JUNE 19, 2023	A3

ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR DIMENSIONS
ARE FROM FRAMING



EXISTING GROUND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.

Committee of Adjustment
Received | Reçu le
2024-02-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation



NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

WALLS TO BE REMOVED / RENOVATED
 EXISTING WALLS

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

NAME	Jeremy McMullen	22021
SIGNATURE	<i>Jeremy McMullen</i>	BCIN
FIRM	Precision Home Design	113690
		BCIN

CUSTOMER:

BOEMAC RENO / ADDITION

74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME: EXISTING GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"	Sheet # A4
DATE: JUNE 19, 2023	

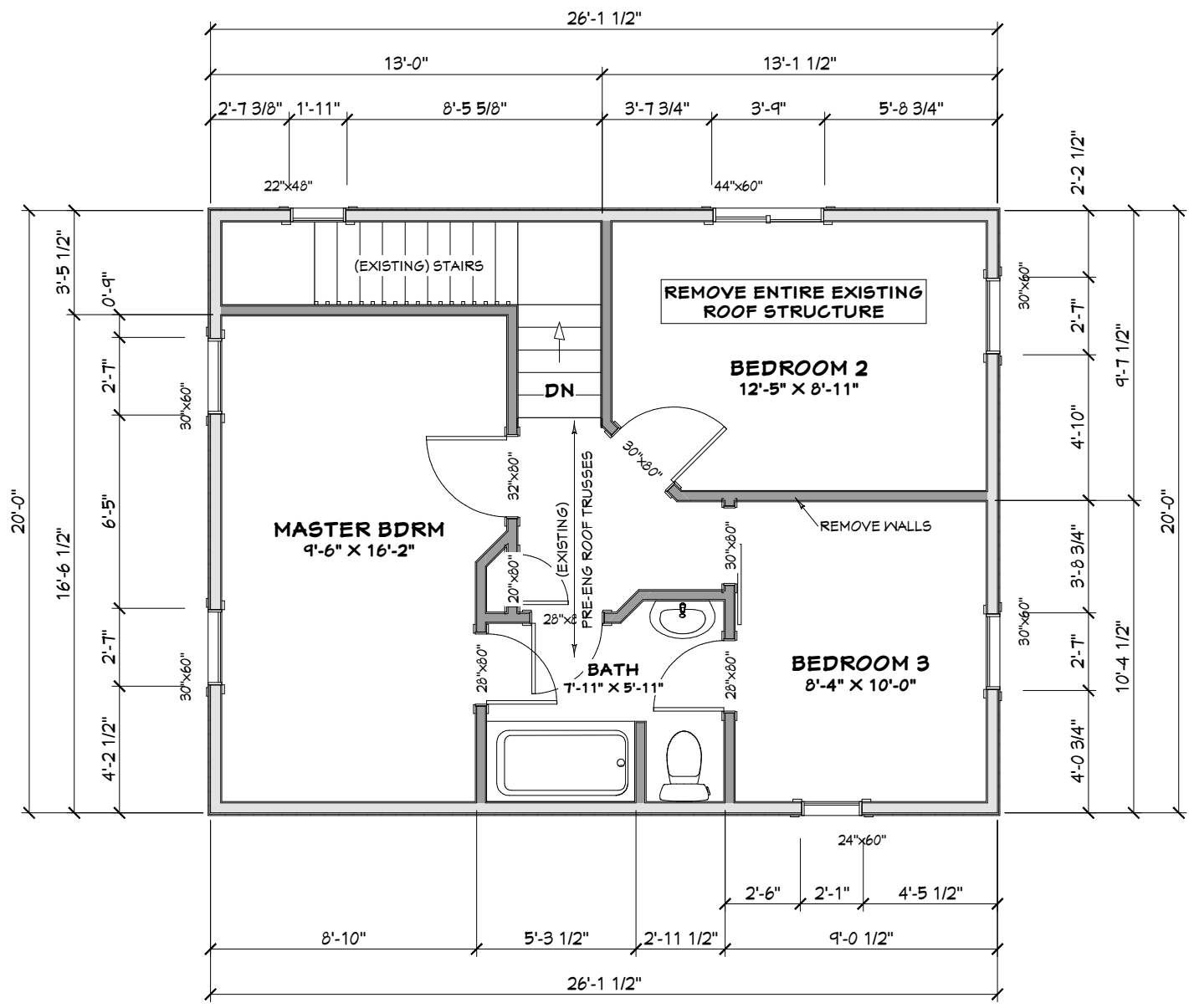
ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR DIMENSIONS
ARE FROM FRAMING

Committee of Adjustment
Received | Reçu le



2024-02-14

City of Ottawa | Ville d'Ottawa
Comité de dérogation



EXISTING SECOND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.

	WALLS TO BE REMOVED / RENOVATED
	EXISTING WALLS

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.



<small>Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.</small>	
<small>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.</small>	
<small>Qualification Information:</small>	
Jeremy McMullen	22021
NAME	SIGNATURE BCIN
Precision Home Design	113690
FIRM	BCIN
CUSTOMER:	
BOEMAC RENO / ADDITION	
74 STRACHAN ST. RICHMOND, ON	
DRAWING NAME:	EXISTING SECOND FLOOR PLAN
SCALE:	1/8" = 1'-0"
DATE:	JUNE 19, 2023
Sheet #	
A5	

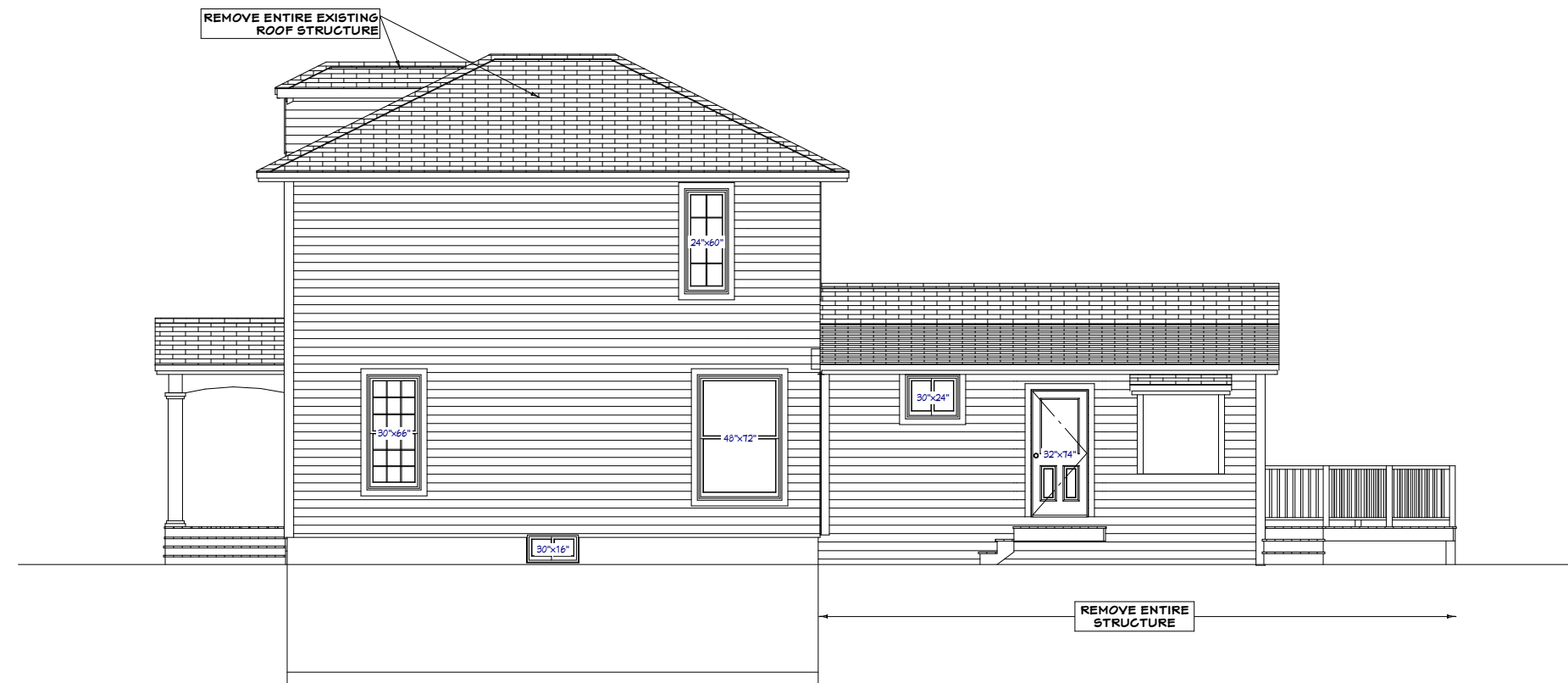
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EXISTING FRONT ELEVATION



EXISTING RIGHT ELEVATION

NOTES:

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Qualification Information:

Jeremy McMullen  22021
NAME SIGNATURE BCIN

Precision Home Design 113690
FIRM BCIN

CUSTOMER:

BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:

EXISTING ELEVATIONS

SCALE:
1/8" = 1'-0"

Sheet #

DATE:
JUNE 19, 2023

A6

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**EXISTING
 REAR ELEVATION**



**EXISTING
 LEFT ELEVATION**

NOTES:
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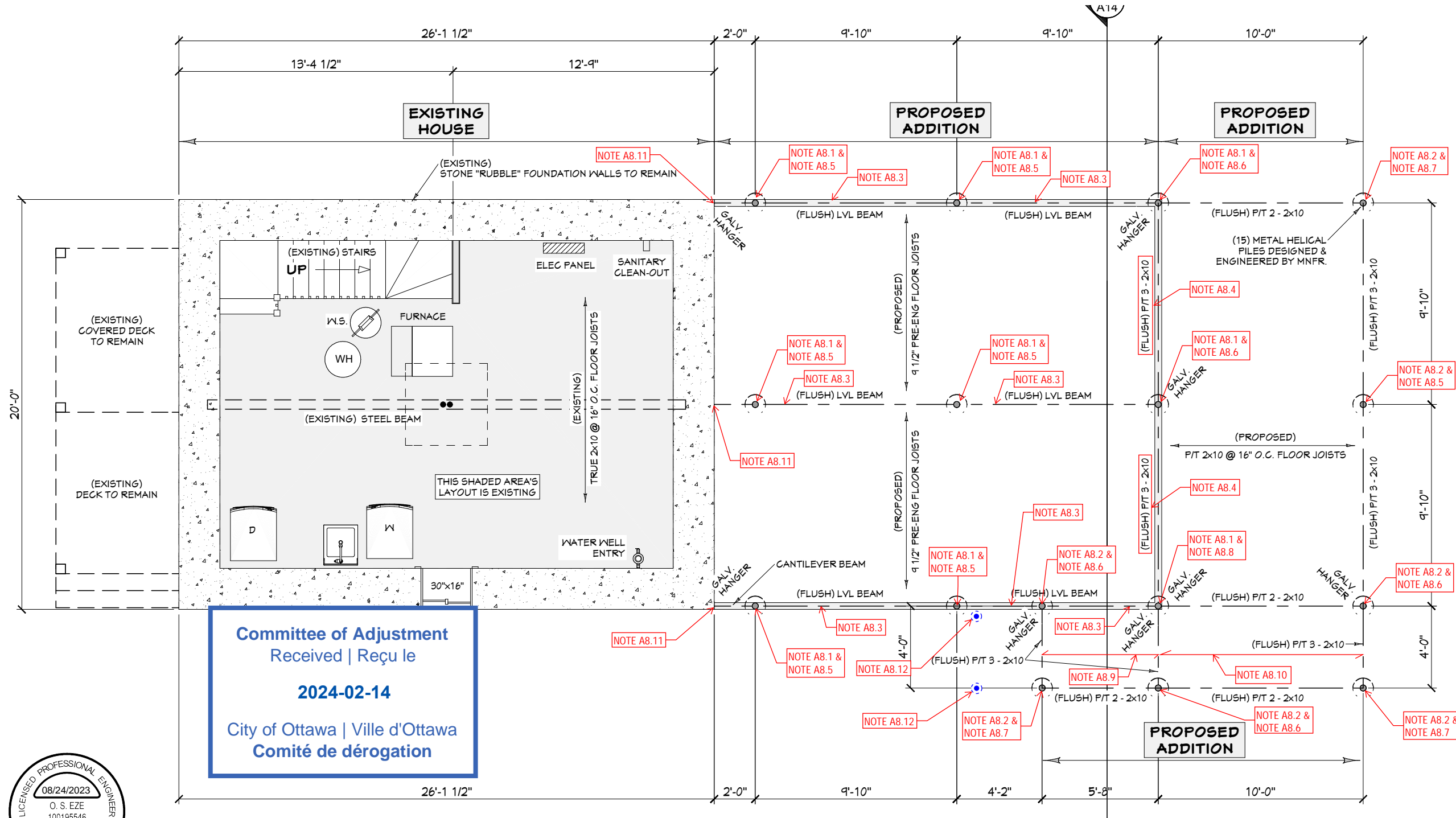
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 Qualification Information:
 Jeremy McMullen *Signature* 22021
 NAME SIGNATURE BCIN
 Precision Home Design 113690
 FIRM BCIN

CUSTOMER:
 BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:
 EXISTING ELEVATIONS

SCALE: 1/8" = 1'-0"	Sheet # A7
DATE: JUNE 19, 2023	

ALL EXTERIOR DIMENSIONS ARE FROM CONCRETE



FOUNDATION PLAN NOTES:

NOTE A8.1: NEW "P3" TECHNOPOST HELICAL PILE, TYP @ NINE LOCATIONS w/ BRACKETS TO FASTEN BUILT-UP BEAM.

NOTE A8.2: NEW "P1" TECHNOPOST HELICAL PILE, TYP @ SEVEN LOCATIONS w/ BRACKETS FROM MANUFACTURER TO FASTEN BUILT-UP BEAM.

NOTE A8.3: NEW 3PLY 1-3/4" x 9-1/2" 2.0E 2900Fb ENGINEERED BUILT-UP LVL BEAM c/w SIMPSON STRONG-TIE JOIST HANGERS.

NOTE A8.4: NEW 4PLY 2x 10 BUILT-UP SPF BEAM c/w HU210 SIMPSON STRONG-TIE FACE MOUNT HANGERS.

NOTE A8.5: NEW CUSTOM GALVANIZED STEEL BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL A BELOW.

NOTE A8.6: NEW CUSTOM GALVANIZED STEEL T-BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL B BELOW.

NOTE A8.7: NEW CUSTOM GALVANIZED STEEL L-BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL C BELOW.

NOTE A8.8: NEW CUSTOM GALVANIZED STEEL CROSS-BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL D BELOW.

NOTE A8.9: NEW P/T 2x8 JOISTS @ 16" c/c w/ LU28 SIMPSON FACEMOUNT HANGERS

NOTE A8.10: NEW P/T 2x10 JOISTS @ 16" c/c w/ LU210 SIMPSON FACEMOUNT HANGERS

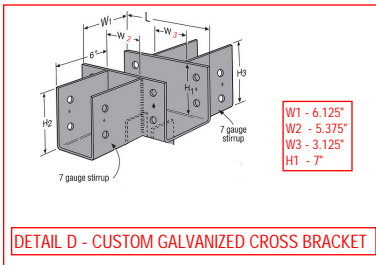
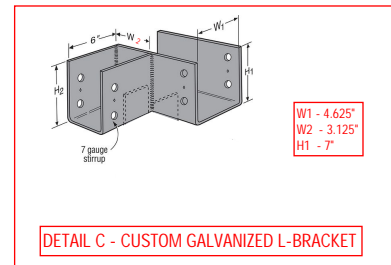
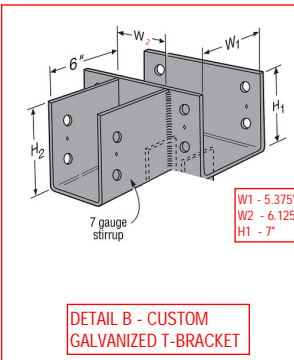
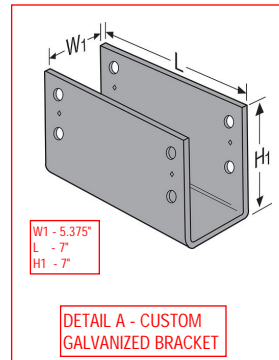
NOTE A8.11: NEW HUC610 SIMPSON CONCEALED FACEMOUNT HANGERS FASTENED TO THE EXISTING RUBBLE FOUNDATION WALL w/ MIN. THREE 3/16" DIA x 2-3/4" LONG TAPCON SCREWS PER FLAP. EPOXY THE CONNECTION LOCATION IF NEEDED.

NOTE A8.12: NEW PYLEX ADJUSTABLE 50" FOUNDATION SCREW OR AN ALTERNATIVE TO BE INSTALLED FOR THE STAIRCASE LANDING.

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PROPOSED FOUNDATION PLAN



NEW WALLS TO BE CONSTRUCTED

EXISTING WALLS

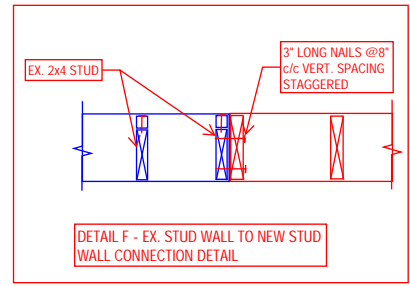
NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.	
Qualification Information:	
NAME: Jeremy McMullen	BCIN: 22021
<i>Signature</i>	
FIRM: Precision Home Design	BCIN: 113640
CUSTOMER:	
BOEMAC RENO / ADDITION	
74 STRACHAN ST. RICHMOND, ON	
DRAWING NAME: PROPOSED FOUNDATION PLAN	
SCALE: 1/8" = 1'-0"	Sheet #
DATE: JUNE 19, 2023	A8

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ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING
ALL INTERIOR DIMENSIONS
ARE FROM FRAMING

GROUND FLOOR PLAN NOTES:
NOTE A9.1:
NEW 3PLY 2x12 BUILT-UP SPF BEAM.
NOTE A9.2:
NEW ECCL464 & ECCLR464 SIMPSON STRONG-TIE
END COLUMN CAP FASTENED TO NEW TIMBER POST.
SEE DETAIL E.
NOTE A9.3:
NEW P/T 6x6 TIMBER POST FASTENED TO TOP OF
BUILT-UP BEAM BELOW w/ BC60 SIMPSON STRONG-
TIE POST BASE.
NOTE A9.4:
SEE DETAIL F FOR CONNECTION BETWEEN EXISTING
& NEW STUD WALL.
NOTE A9.5:
NEW ADJUSTABLE FOUNDATION SCREW, SEE NOTE
A8.12 ON PAGE A8 FOR STAIRS SUPPORT.
PLA - POINT LOAD ABOVE

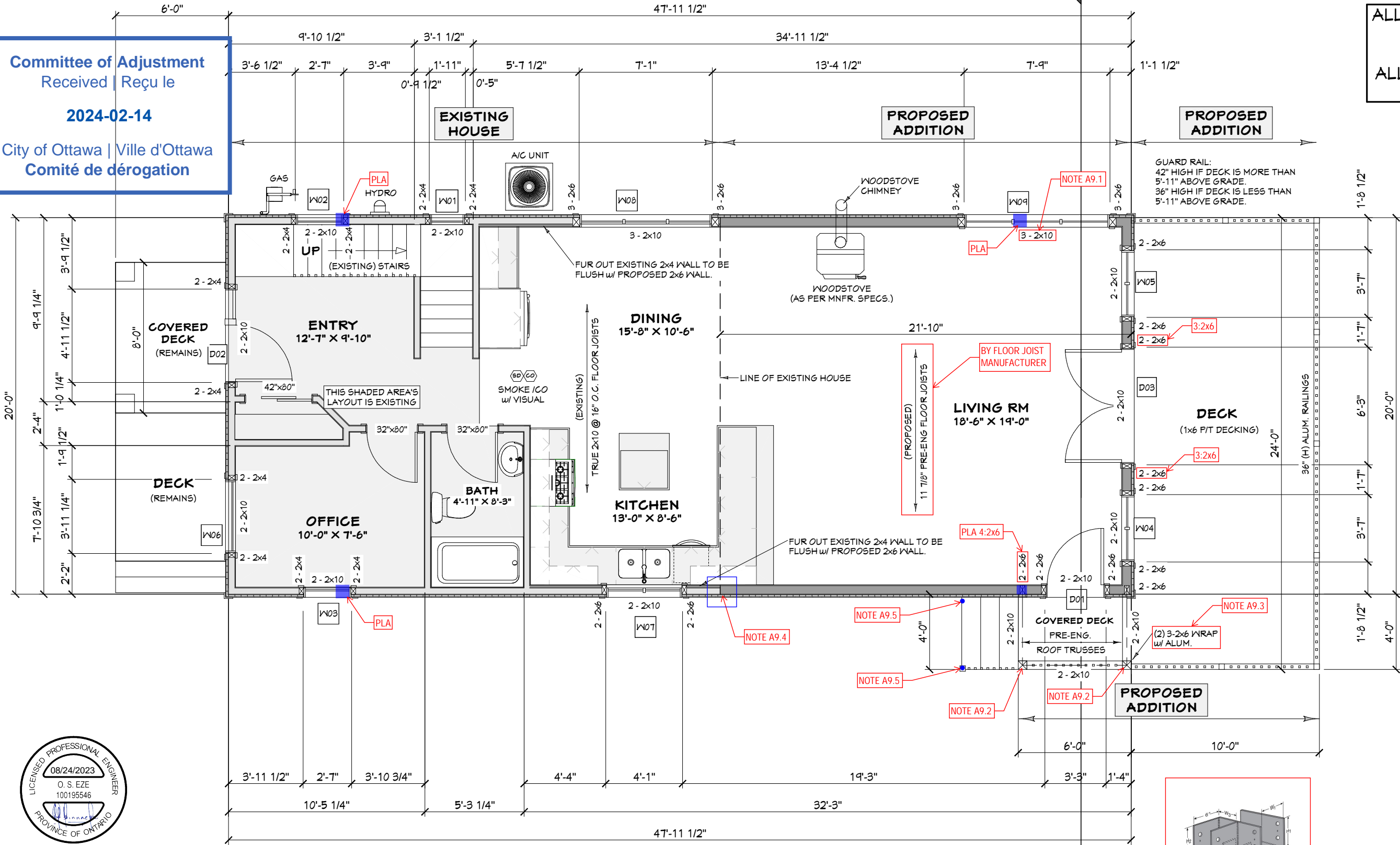


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Qualification Information:
Jeremy McMullen *Signature* 22021
NAME SIGNATURE BCIN
Precision Home Design 113640
FIRM BCIN

CUSTOMER:
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME: PROPOSED
GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
DATE: JUNE 19, 2023
Sheet #
A9

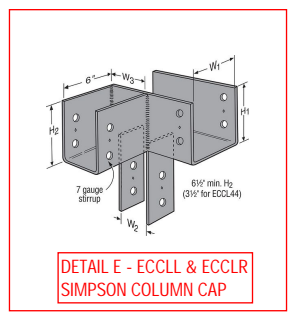
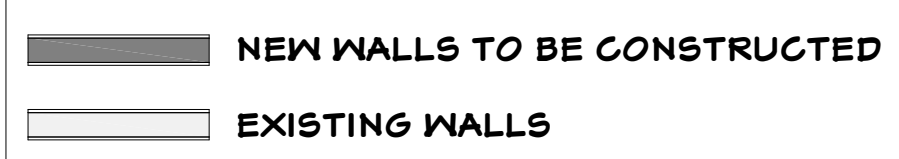


PROPOSED GROUND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.
PROPOSED ADDITION = 437 SQ.FT.
TOTAL = 1902 SQ.FT.

WINDOW / DOOR POSTS
2 - 2x6 = 1 JACK STUD, 1 KING STUD
3 - 2x6 = 2 JACK STUDS, 1 KING STUD
4 - 2x6 = 3 JACK STUDS, 1 KING STUD

GIRDER TRUSS SUPPORT NOTE:
LOCATION OF POSTS FOR THE GIRDER TRUSSES SHALL BE COORDINATED w/ THE PRE-ENG. ROOF TRUSS LAYOUT. THE POSTS SHALL BE A MIN. OF 4 - 2x6 SPF #2.



TO BE READ IN CONJUNCTION
WITH LETTER FROM OSTAN
ENGINEERING INC.

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

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2024-02-14

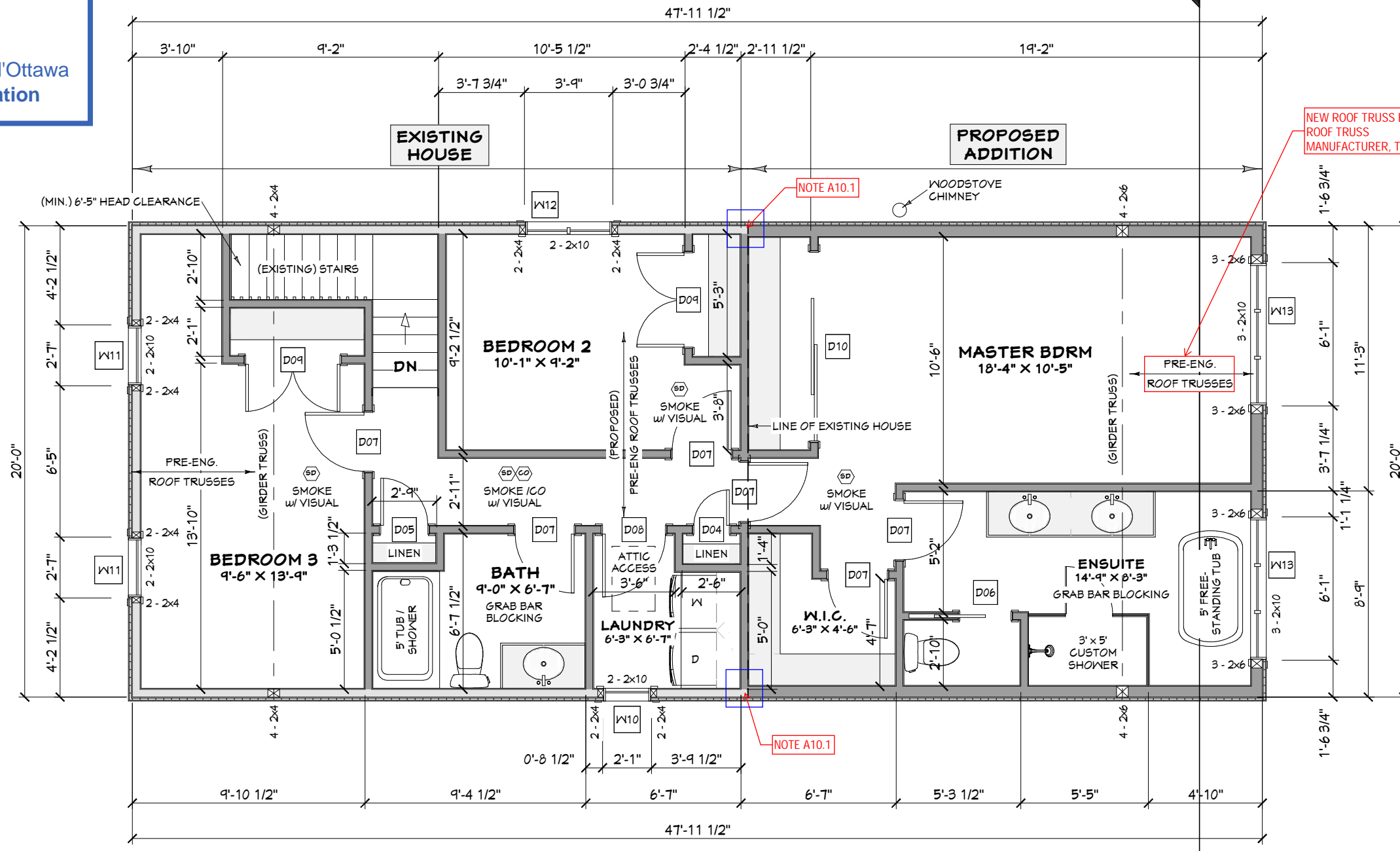
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Comité de dérogation

ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR DIMENSIONS
ARE FROM FRAMING

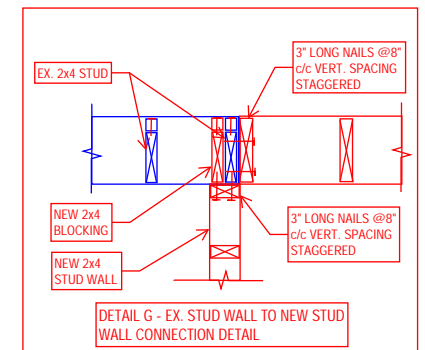
SECOND FLOOR PLAN NOTES:

NOTE A10.1:
SEE DETAIL G FOR CONNECTION BETWEEN EXISTING
AND NEW STUD WALLS.



NEW ROOF TRUSS BY
ROOF TRUSS
MANUFACTURER, TYP

NOTE A10.1



PROPOSED SECOND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.
PROPOSED ADDITION = 437 SQ.FT.
TOTAL = 1902 SQ.FT.

WINDOW / DOOR POSTS
2 - 2x6 = 1 JACK STUD, 1 KING STUD
3 - 2x6 = 2 JACK STUDS, 1 KING STUD
4 - 2x6 = 3 JACK STUDS, 1 KING STUD

GIRDER TRUSS SUPPORT NOTE:
LOCATION OF POSTS FOR THE GIRDER TRUSSES SHALL
BE COORDINATED w/ THE PRE-ENG. ROOF TRUSS
LAYOUT. THE POSTS SHALL BE A MIN. OF 4 - 2x6 SFF #2.



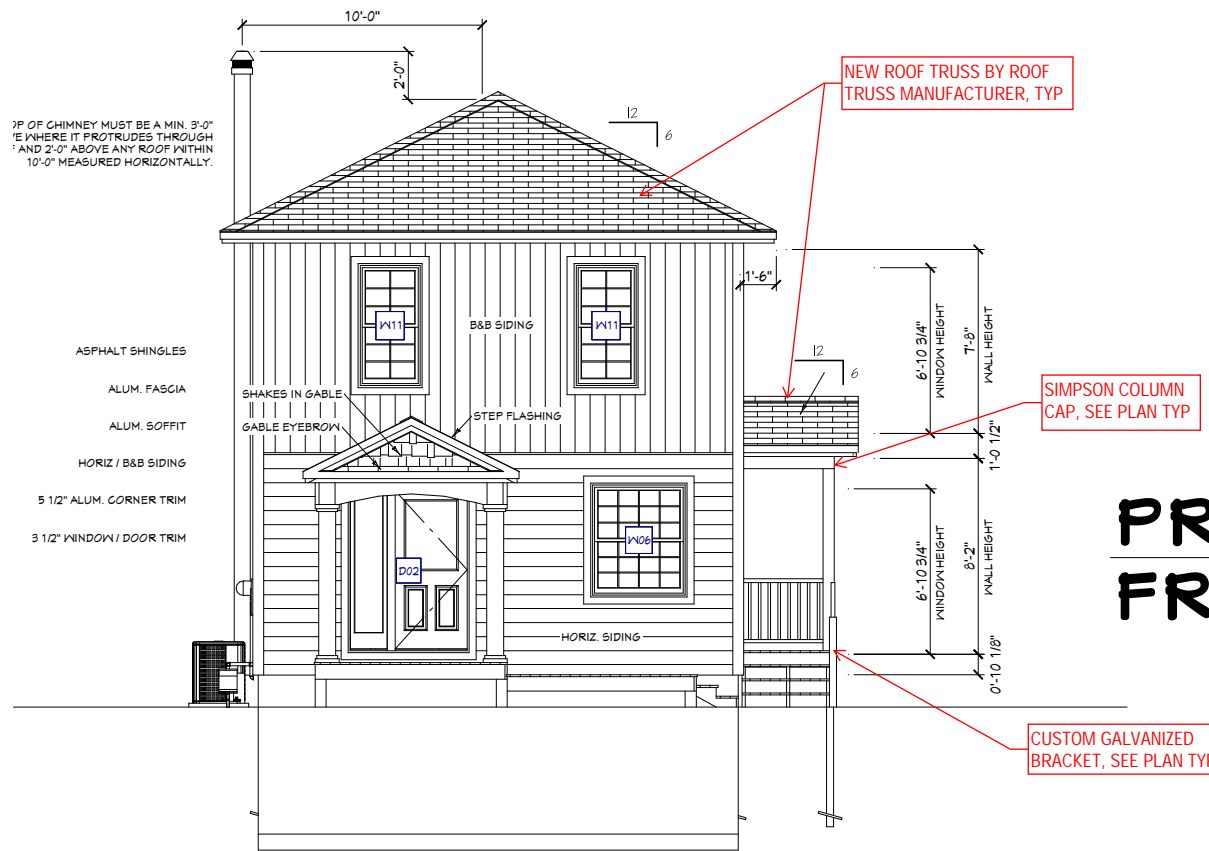
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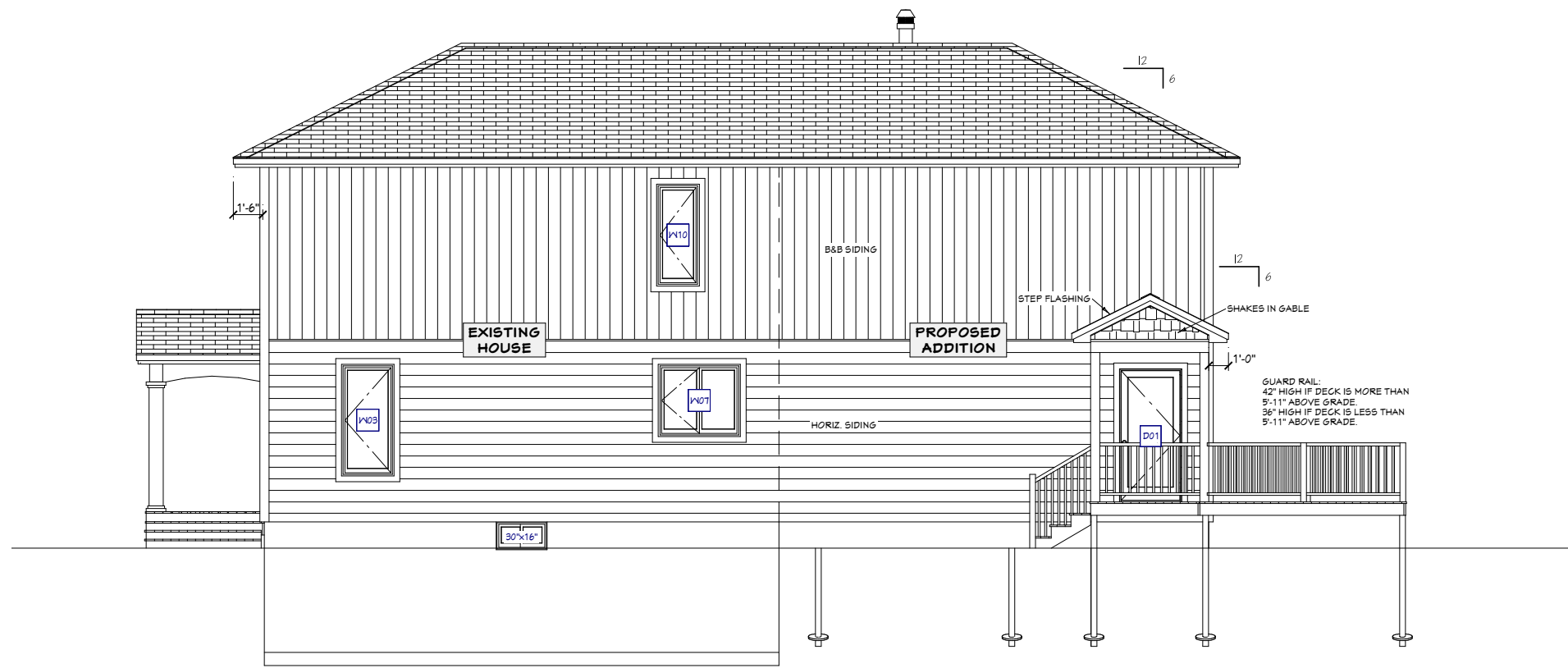
TO BE READ IN CONJUNCTION
WITH LETTER FROM OSTAN
ENGINEERING INC.

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.	
Qualification Information:	
NAME	Jeremy McMullen 22021
SIGNATURE	<i>Jeremy McMullen</i>
BCIN	
FIRM	Precision Home Design 113640
BCIN	
CUSTOMER:	
BOEMAC RENO / ADDITION	
74 STRACHAN ST. RICHMOND, ON	
DRAWING NAME: PROPOSED SECOND FLOOR PLAN	
SCALE:	1/8" = 1'-0"
DATE:	JUNE 19, 2023
Sheet #	A10

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PROPOSED FRONT ELEVATION



PROPOSED RIGHT ELEVATION

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Jeremy McMullen 22021
 NAME SIGNATURE BCIN
Precision Home Design 113640
 FIRM BCIN

CUSTOMER:
 BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

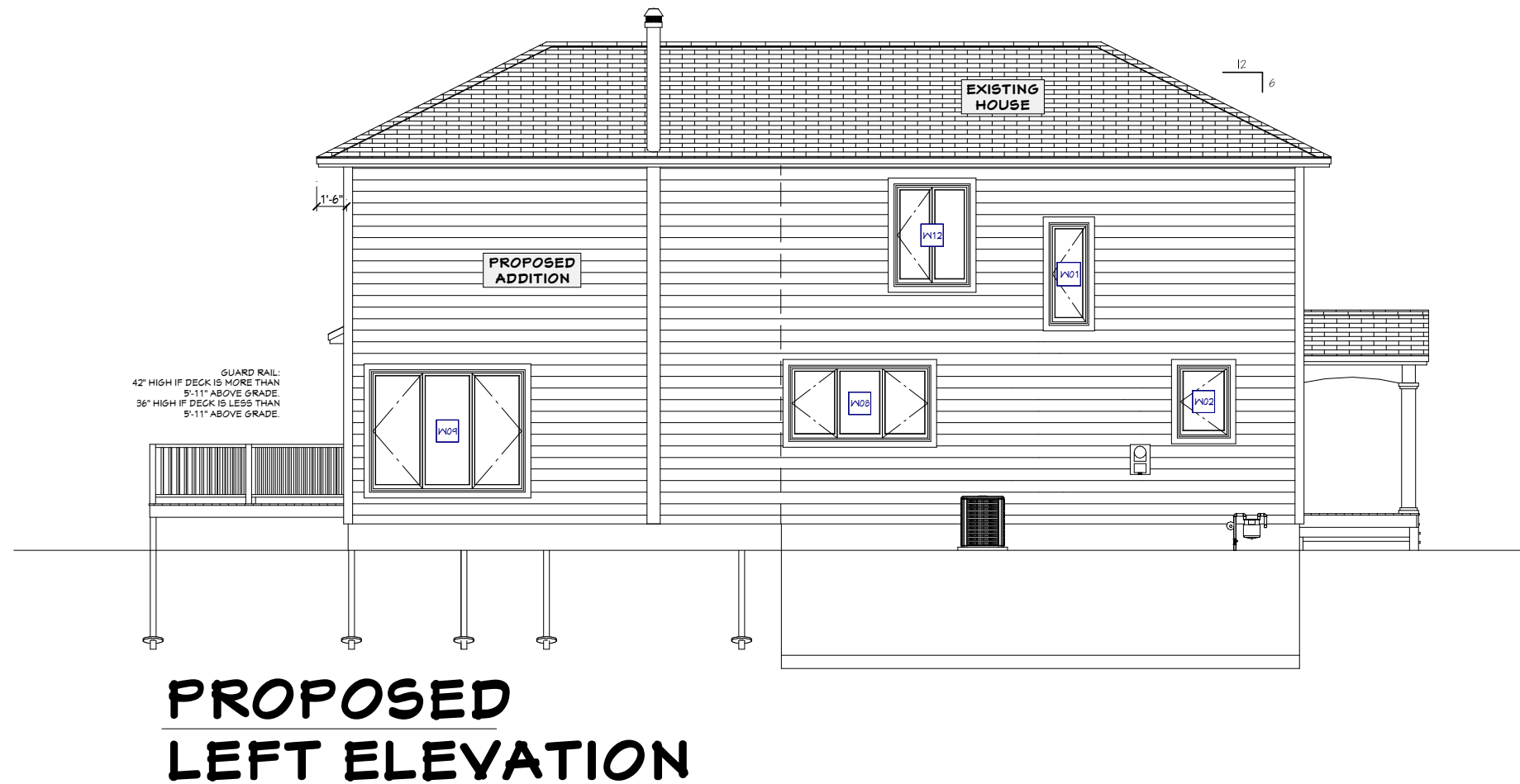
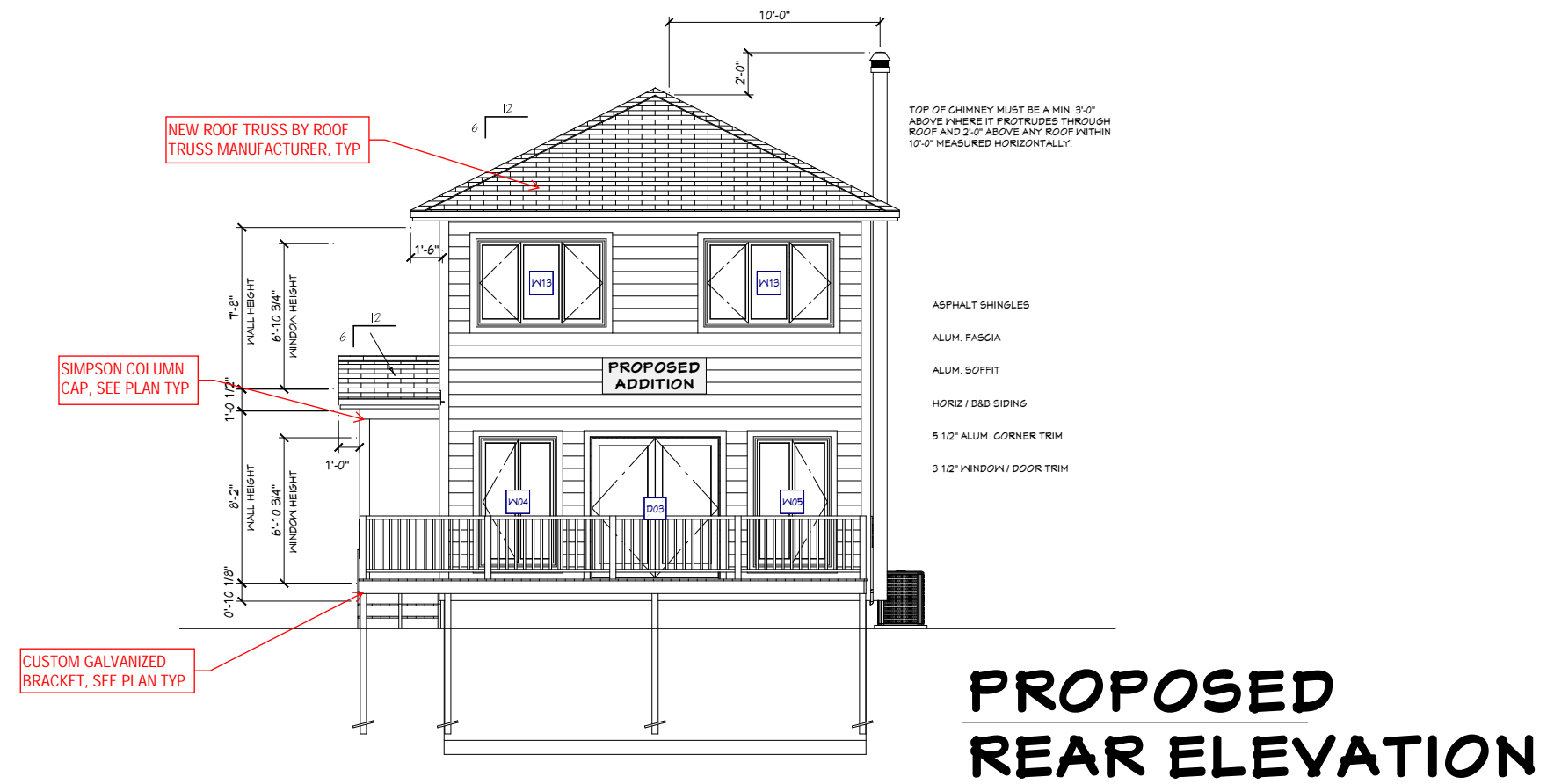
DRAWING NAME:
 PROPOSED ELEVATIONS

SCALE: 1/8" = 1'-0"	Sheet # A11
DATE: JUNE 19, 2023	

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Qualification Information:

Jeremy McMullen *Signature* 22021
NAME SIGNATURE BCIN

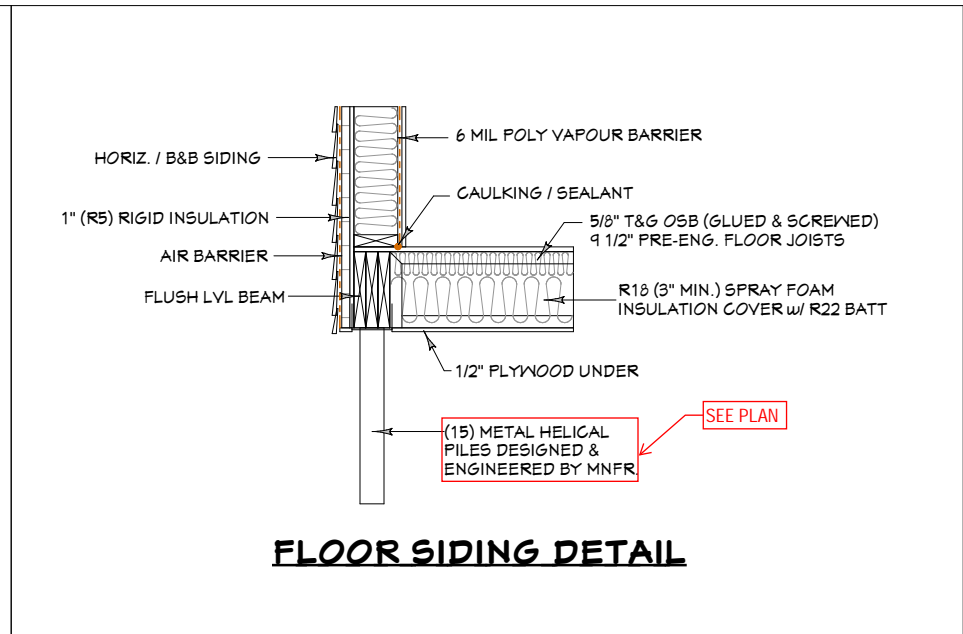
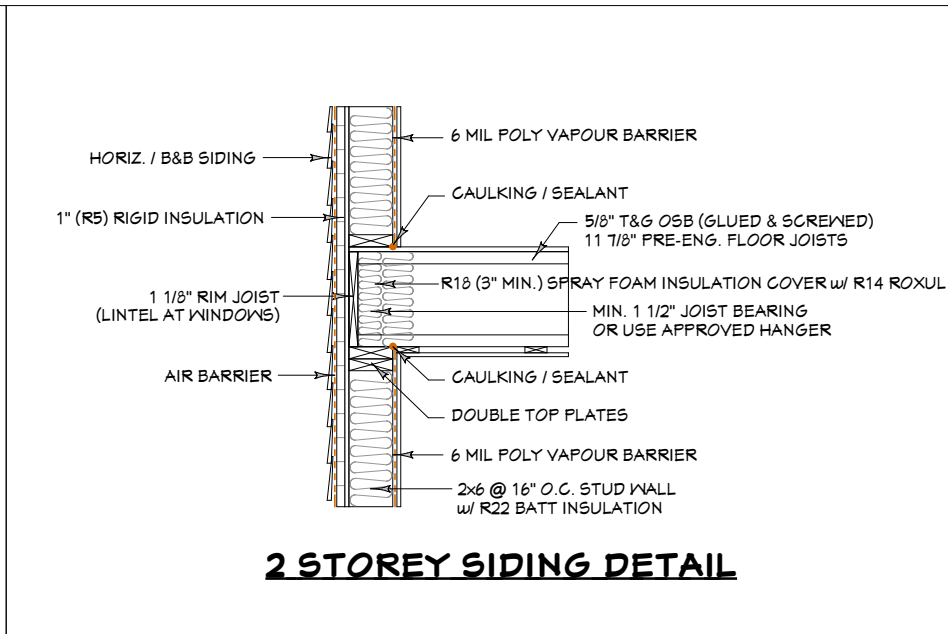
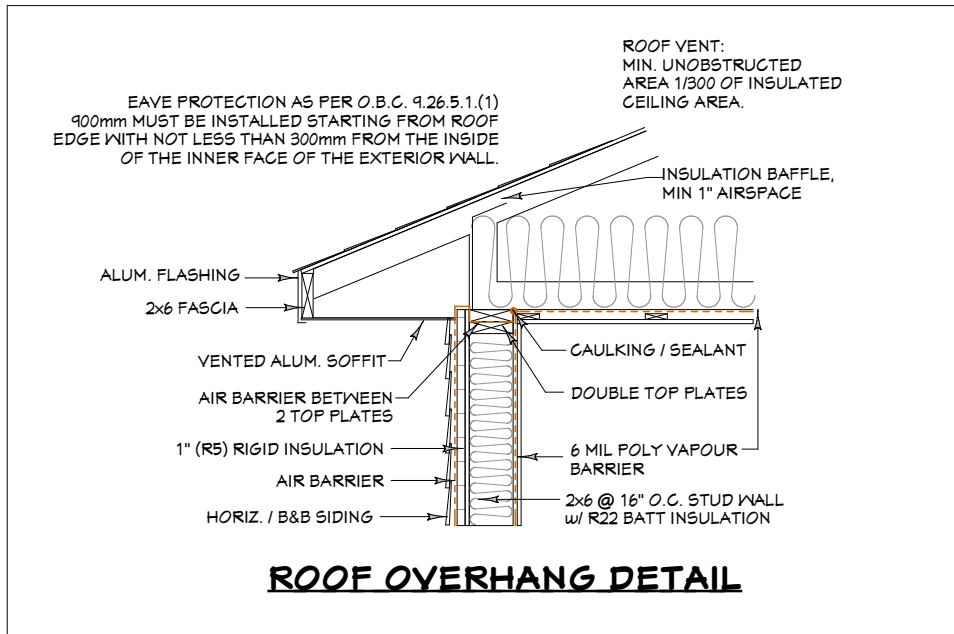
Precision Home Design 113640
FIRM BCIN

CUSTOMER:
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

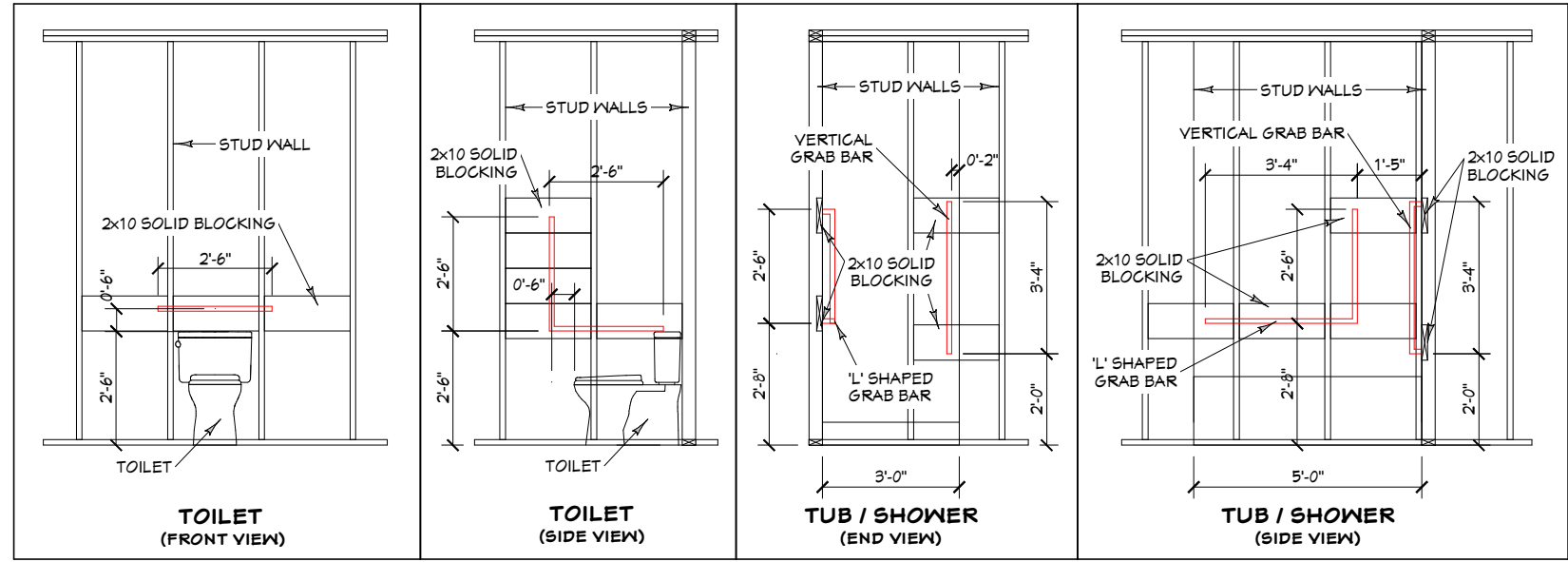
DRAWING NAME:
PROPOSED ELEVATIONS

SCALE:
1/8" = 1'-0" Sheet #

DATE:
JUNE 19, 2023 **A12**



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NAME SIGNATURE BCIN
Precision Home Design 113640
FIRM BCIN

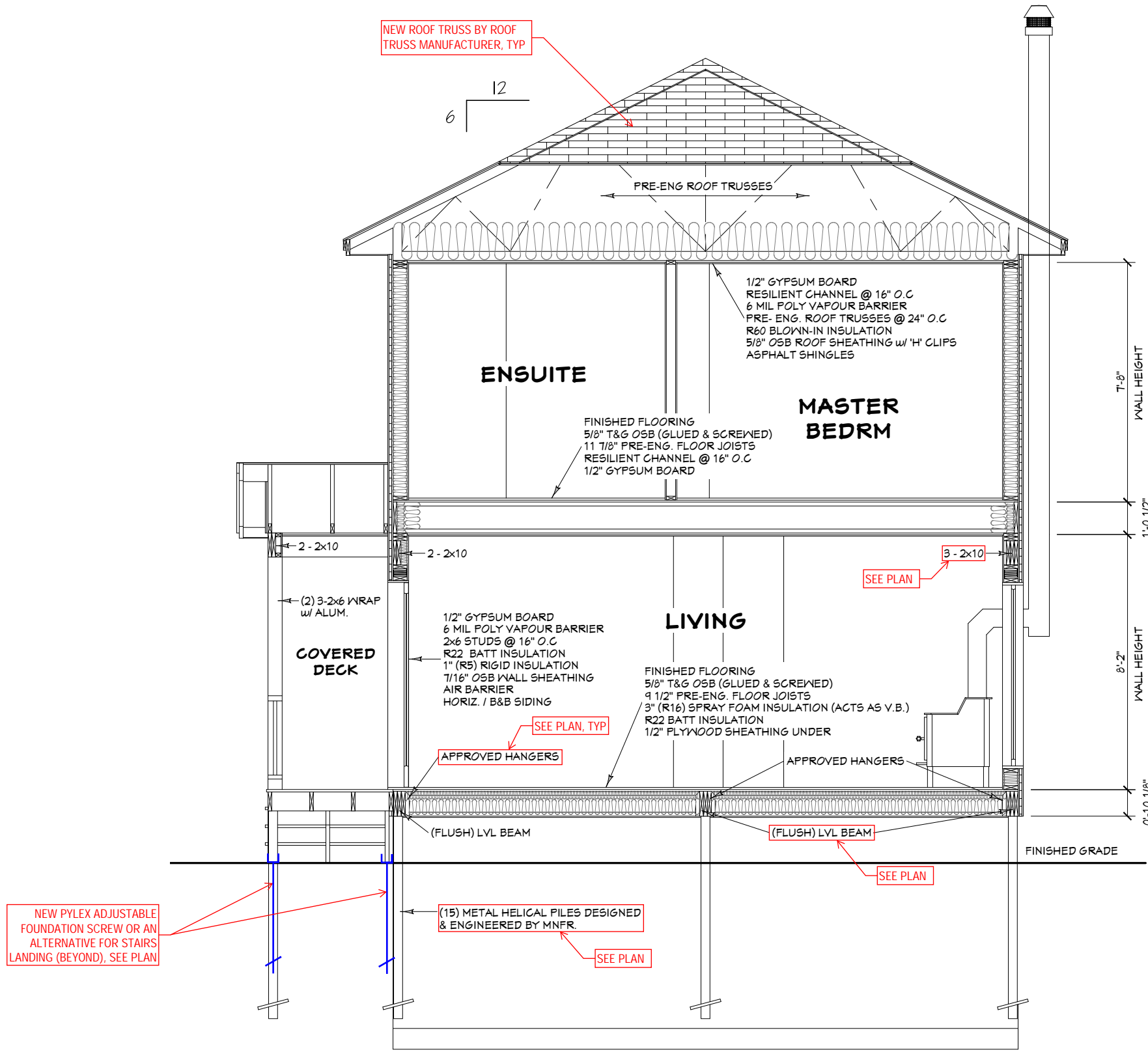
CUSTOMER:
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:
DETAILS

SCALE:
DATE: JUNE 19, 2023
Sheet #
A13

NOTES:
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1
A14

BUILDING SECTION

SCALE: 1/4" = 1'-0"



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Qualification Information:

Jeremy McMullen *Signature* 22021
 NAME SIGNATURE BCIN

Precision Home Design 113690
 FIRM BCIN

CUSTOMER:

BOEMAC RENO / ADDITION

74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:

BUILDING SECTION

SCALE:

DATE: JUNE 19, 2023

Sheet #
A14



TO BE READ IN CONJUNCTION WITH LETTER FROM OSTAN ENGINEERING INC.

NOTES:

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