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City of Ottawa | Ville d'Ottawa
Comité de dérogation

Petries Landing 1 Tower 4

400 Inlet Private

Minor Variance Application

Planning Rationale Report

February 2024

Prepared for

Brigil

Paquette Planning Associates Ltd.

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**www.paquetteplanning.ca Table of
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1. Introduction

This report is intended to provide the necessary background information and planning rationale in connection with a Minor Variance application for Tower 4 of Brigil's Petrie's Landing 1 residential project located at 400 Inlet Private in Orleans. Specifically, the said application deals with a proposal to add 19 units to Tower 4 (increasing the total number of units from 242 (already approved) to 261) in response to CMHC's Select Program intended to create energy efficient, affordable and accessible units. The revised site plan will not change the approved height, building envelope or elevations; rather it will simply alter some of the floor plans to recognize the new units proposed. The Minor Variance application is to recognize a residential parking ratio change from 1.2 to 1.1 per unit as some unit holders in this building will be relying on public transit and shared car services instead of owning their own car.

2. Site Context and Existing Land Use

The subject property is located between the Ottawa River and Highway 174 east of Trim Road in the community of Orleans. The subject property has been issued a building permit and foundation works have begun for the approved 22 story building. See Figure 1: Subject Property.

Figure 1: Subject Property



The area adjacent to the subject property consists of the following existing uses:

- South: Highway 174 and the City of Ottawa public transit park and ride lot located south of Highway 174;
- North: Open space and the Ottawa River as well as Ozile's Marina and Petries Island;
- West: Towers 1 (100 Inlet Private) , 2 (200 Inlet Private) and 3 (300 Inlet Private) of Brigil's Petrie's Landing 1 residential project.
- East: vacant land and the Ottawa River.

3. Planning Context

3.1 City of Ottawa Official Plan

The Ministry of Municipal Affairs and Housing has issued a Notice of Decision to approve the City's New Official Plan, adopted by By-law 2021-386, and has subsequently repealed the previous Official Plan (By-law 2003-203).

The property is within the Suburban East Transect under the Official Plan and is designated as a Neighborhood as shown on Figures 2 and 3.

Figure 2: City of Ottawa Official Plan Schedule B8

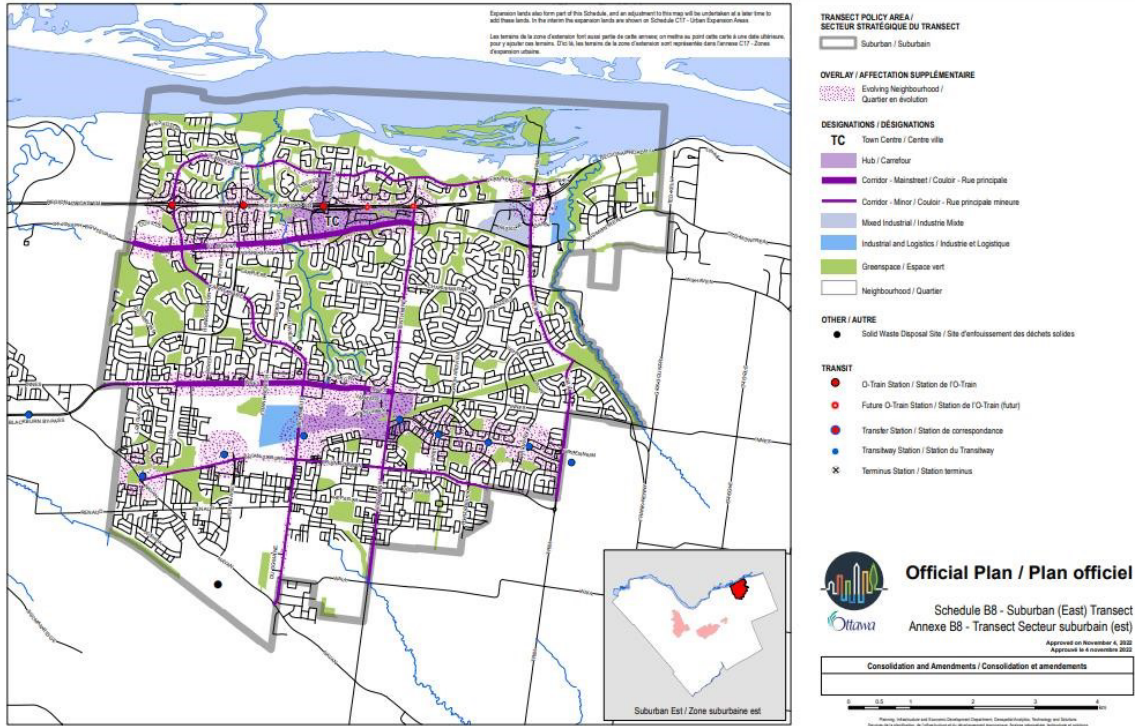
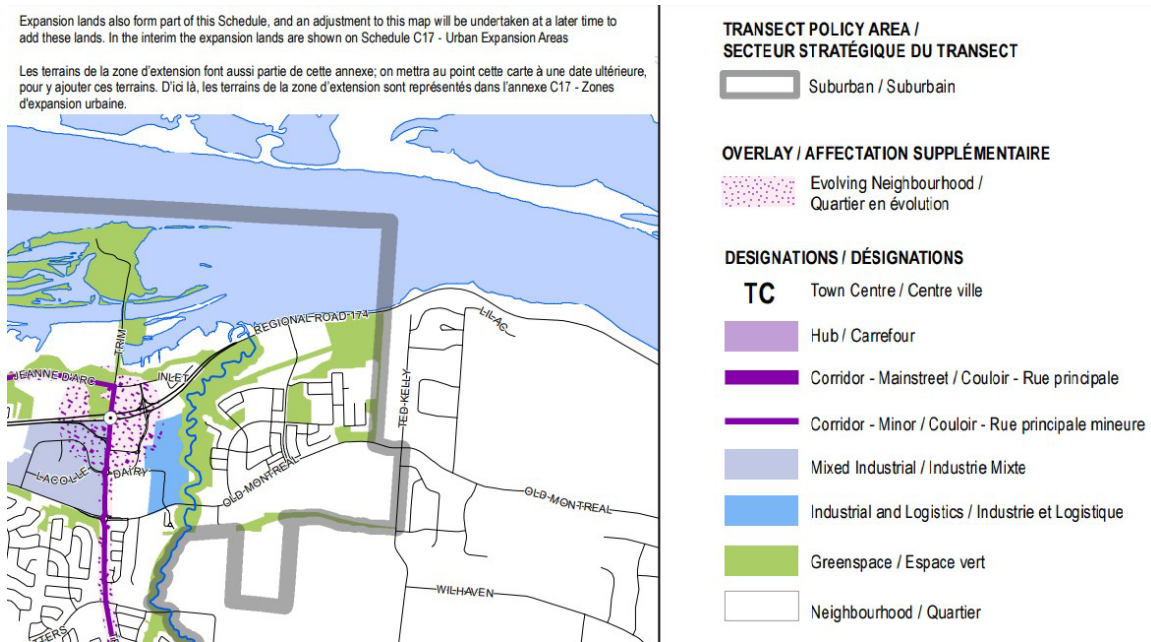


Figure 3: City of Ottawa Official Plan Schedule B8 (Detail)



Some of the key policies of this designation are shown in section 6.3 taken from the Official Plan

6.3 Neighbourhoods

Neighbourhoods are contiguous urban areas that constitute the heart of communities. It is the intent of this Plan that they, along with hubs and corridors, permit a mix of building forms and densities.

Neighbourhoods are not all at the same stage of development, maturity and evolution. It is the intent of this Plan to reinforce those that have all elements of and presently function as 15-minute neighbourhoods; to guide those that have a few missing elements into gaining them; and to seed the conditions for future 15-minute neighbourhoods into those that currently are not.

Neighbourhoods are planned for ongoing gradual, integrated, sustainable and context-sensitive development, or where an Overlay directs evolution, for gradual well-planned transformation.

WHAT WE WANT TO ACHIEVE

- 1) Define neighbourhoods and set the stage for their function and change over the life of this Plan
- 2) Guide the evolution of neighbourhoods based on their context, location, age, maturity and needs, generally towards the model of 15-minute neighbourhoods
- 3) Ensure that neighbourhoods form the cornerstone of liveability in Ottawa

3.2 Orleans Corridor Secondary Plan

The subject property is designated ‘Station Periphery’ per Schedule A of the within the Orléans Corridor Secondary Plan (approved via By-law 2023 – 48). See Figures 4 and 5.

Figure 4: Orléans Corridor Secondary Plan Schedule A

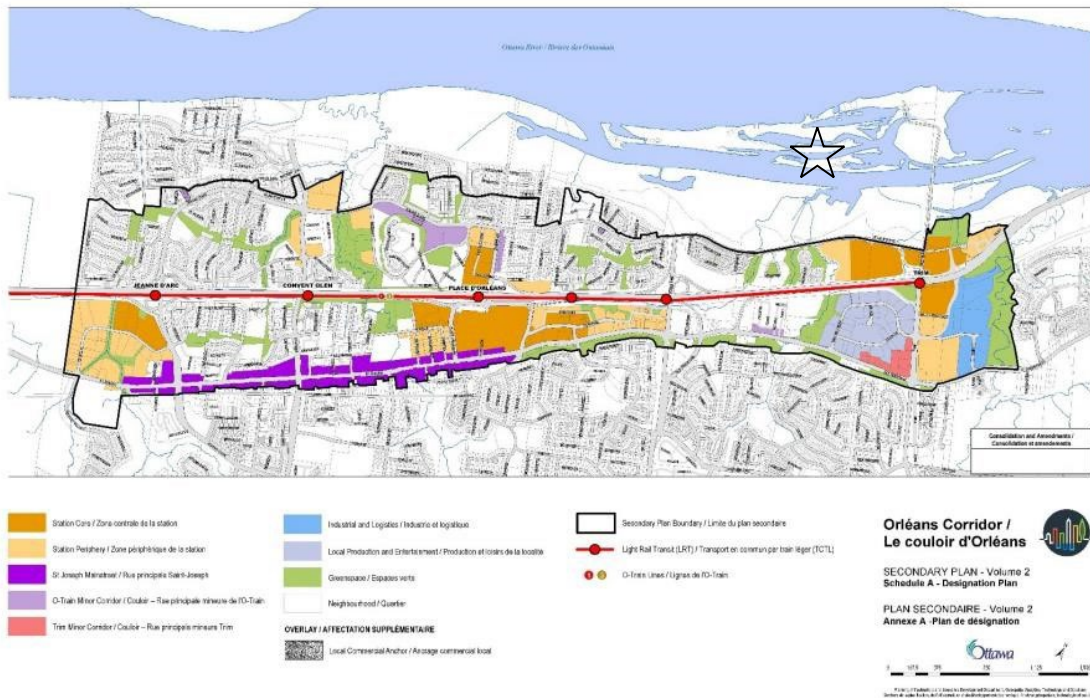
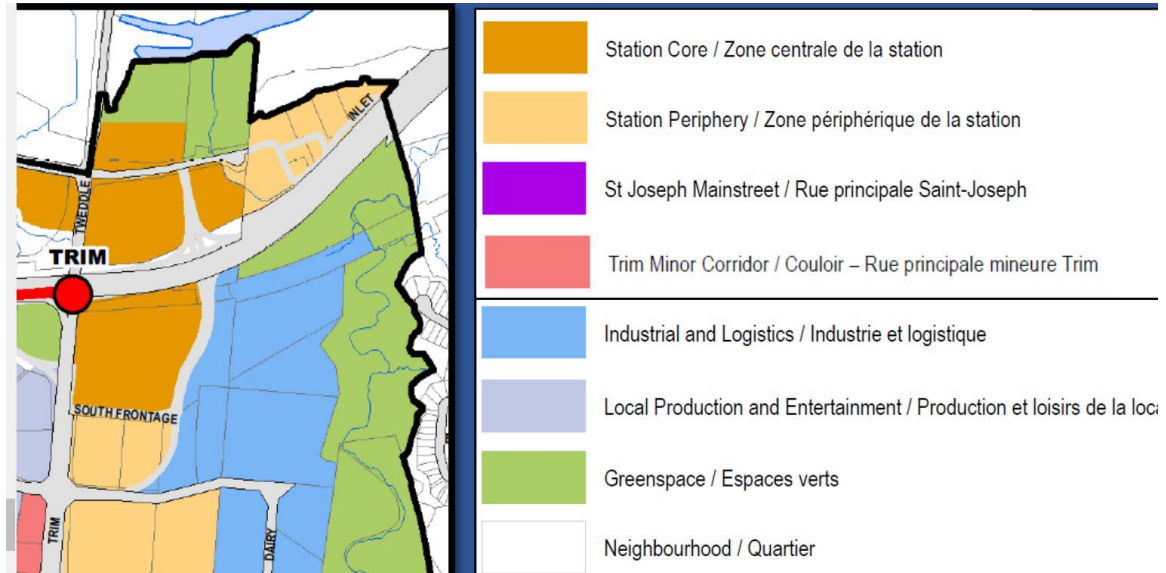


Figure 5: Orléans Corridor Secondary Plan Schedule A (Detail)



In turn Policy 4.11 (1) of this Secondary Plan exempts any development within the Plan boundary, as shown on Schedule A of the Plan, from any minimum parking requirements other than those for visitor and accessible parking as follows...

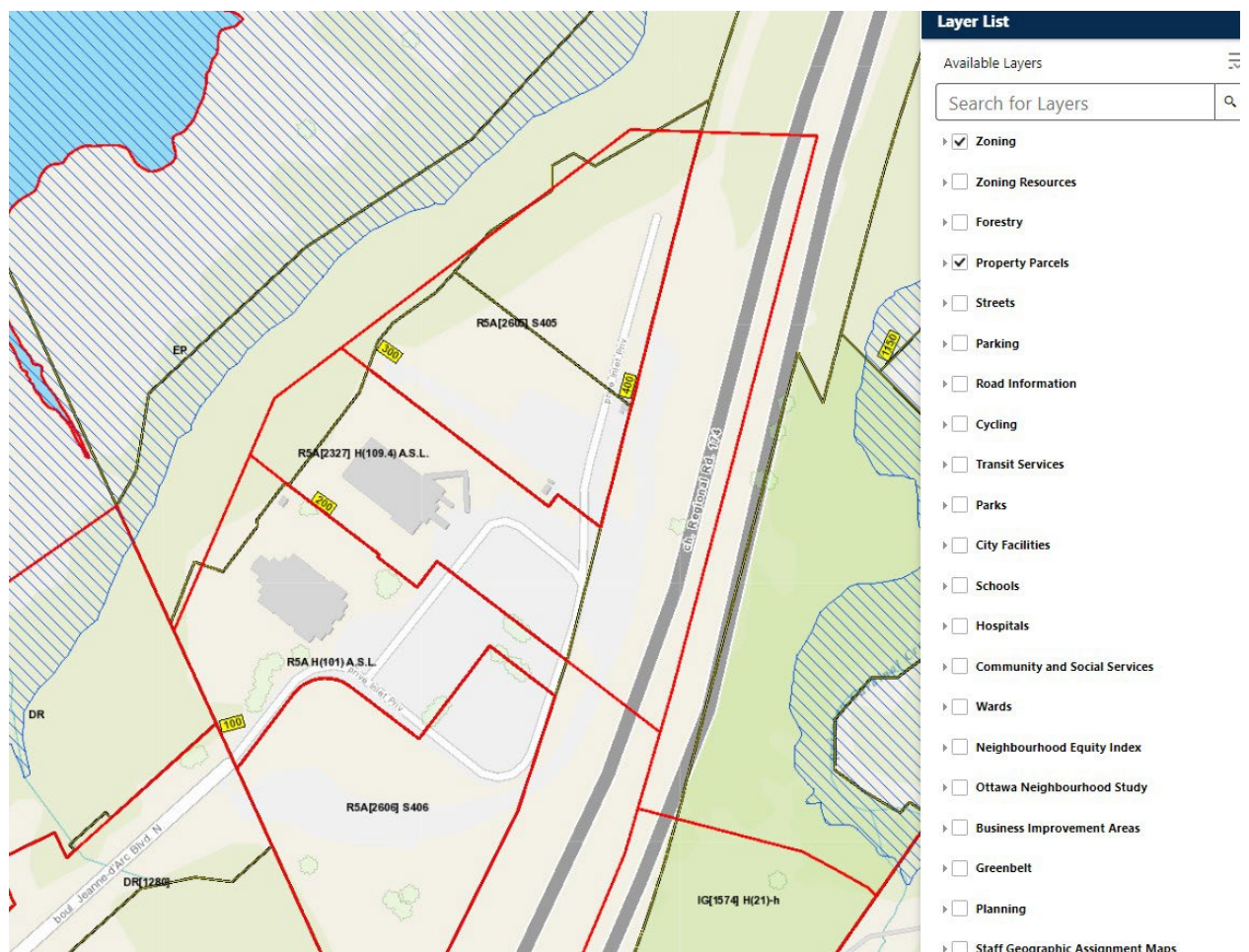
4.11 Vehicular Parking Policies

- 1) There shall be no minimum vehicular parking space rate requirements for development within the Secondary Plan Boundary identified on Schedule A – Designation Plan, with the exception of required visitor and accessible parking.

3.3 City of Ottawa Zoning Bylaw 2008-250

According to City of Ottawa Zoning By-law 2008-250, the portion of the subject property applicable to T4 is zoned R5A [2605] S405. See Figure 14: City of Ottawa Zoning Bylaw 2008-250.

Figure 6: City of Ottawa Zoning Bylaw 2008-250

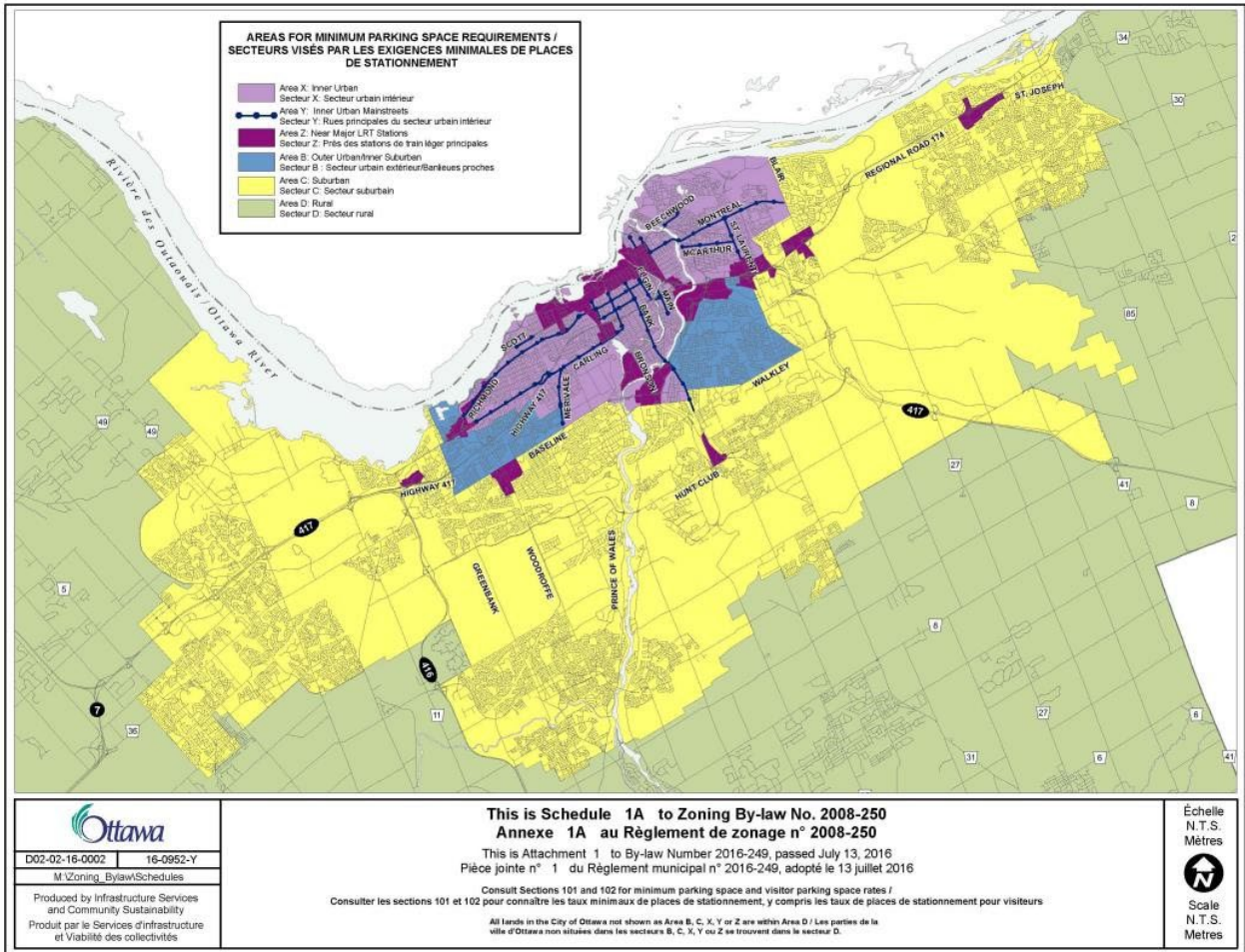


The applicable exceptions 2605 are as follows:

- Exceptions 2601-2620				
I Exception number	II Applicable zones	III Exception Provisions - Additional land uses permitted	IV Exception Provisions - Land uses prohibited	V Exception Provisions - Provisions
2605 (By-law 2019-458)	R5A[2605] S405			<ul style="list-style-type: none"> • minimum width of an aisle within a parking garage associated with an apartment dwelling, high rise: 6 m • Despite Section 94, a maximum of three car-sharing parking spaces will be allowed per apartment dwelling building, high rise. • Building stepbacks and maximum permitted building heights as per S405. • Maximum building heights of S405 do not apply to permitted projections under Section 65.

The applicable parking standards depend on where the property is per Schedule 1A of Zoning Bylaw . in this case the subject property is within Area C as shown on Figures 7.

Figure 7: Schedule 1A of Zoning Bylaw



The applicable parking standards, in turn, are found in Table 101 as follows:

Table 101- Minimum parking space rates R12 to R21 (By-law 2016-249)

Row	I Land Use	II Area X and Y on Schedule 1A	III Area B on Schedule 1A	IV Area C on Schedule 1A	V Area D on Schedule 1A
R12	Dwelling, Mid-high Rise Apartment	0.5 per dwelling unit	0.5 per dwelling unit	1.2 per dwelling unit	1 per dwelling unit

Based on the above references , the applicable residential parking standard for Tower 4 is 1.2 per unit.

3.4 Site Plan

The approved site plan per Delegated Authority Report (excerpt below) for Tower 4 is revision J dated December 18, 2019.



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
MANAGER, DEVELOPMENT REVIEW, EAST**

Site Location: 8900 Jeanne d'Arc Boulevard North
 File No.: D07-12-18-0143
 Date of Application: September 24, 2018

This SITE PLAN CONTROL application submitted by Paquette Planning Associates Ltd., on behalf of 6382924 Canada Inc., is APPROVED as shown on the following plan(s):

1. Site Plan , Petrie's Landing I – Phases 3 -5, Drawing No. A-100, prepared by Neuf Architect(e)s, dated July 18, 2018, revision J dated December 18, 2019.
2. Site Plan – Tower 3, Petrie's Landing I – Phases 3 – 5, Drawing No. A100.1, prepared by Neuf Architect(e)s, dated July 18, 2018, revision J dated December 18, 2019.
3. Site Plan – Tower 4, Petrie's Landing I – Phases 3 – 5, Drawing No. A100.2, prepared by Neuf Architect(e)s, dated July 18, 2018, revision J dated December 18, 2019.

A site plan revision dealing with changes to the elevations only was subsequently approved per drawings dated January 28,2022 and, as such, the site plan dated December 18, 2019 remains the approved site plan of record.

4. Proposal

The proposal is to add another 19 residential units to Tower 4 without changing the previously approved height, building form, facades, lot coverage, underground parking layout, or the at-grade elements of the approved site plan. Rather, Brigil wishes to reconfigure the floors plans in order to accommodate the additional units as proposed The Minor Variance application is to recognize a residential parking ratio change from 1.2 to 1.1 per unit as some unit holders in this building will be relying on public transit and shared car services instead of owning their own car.

5. Parking Analysis

The chart below explains the parking shortfall triggered from the increased number of units.

	T3	existing T3 Rounded	T4	T4 Rounded	T4 Proposed	zoning variance
Proposed Additional Units for CMHC program	no change		from 242 to 261			
TOTAL UNITS assumed calculations below		162		261	261	
Required Parking for residents; 1.2	194.4	194	313.2	313	313	
Required Parking for visitors; 0.2	32.4	32	52.2	52	52	
REQUIRED Total Parking for Building		226		365	365	
Provided Parking for residents		200		287	287	
Provided Parking for visitors		50		34	52	34+ 18 T3 visitor parking spaces
PROVIDED Total Parking for Building		250		321	339	
Surplus/Shortfall for Residents				-26	-26	
Surplus/Shortfall for Visitors		18		-18	0	
		per approved severance 18 visitor parking spaces (per Part 5-6 of draft 4R-33418) in T3 for T4 use as visitor parking				
Parking Ratio for Residents		1.23		1.10	1.10	from 1.2 to 1.1
Parking Ratio for Visitors		0.31		0.13	0.20	

Please note that the above table recognises that 18 parking spaces from Tower 3 (located at 300 Inlet Private which is connected to the Tower 4 garage) have been assigned to Tower 4 via approved severance application D08-01-20/B-00112.

6. Required Approval

A variance from 1.2 to 1.1 parking spaces per unit is required for this proposal to go forward.

7. Planning Rationale

There are four tests a minor variance must meet under Section 45(1) of the Planning Act:

Is the application minor?

Response: The proposed variance from 1.2 to 1.1 parking spaces per unit appears minor in nature.

Is the application desirable for the appropriate development of the lands in question?

Response: The location of the subject property is within walking distance (approximately 800 m door to door) to the future Trim Road LRT station which creates a good opportunity to accommodate smaller more affordable units targeted to occupants who don't own a car and/or rely on Ottawa's transit system which in this case is planned for a high level of service near the site.

Does the application conform to the general intent of the Zoning By-law?

Response: The general intent of Zoning By-law 2008-250 as it relates to parking ratios is to reduce the need for parking when a property is within proximity of existing or planned transit service especially LRT stations. In this case Tower 4 is within 800 meters of the planned LRT station at Hwy. 174 and Trim Road . (In support of this point, please note that nearby planned Tower 5 for this same project is subject to Area X parking standard of .5 per unit.)

Does the application conform to the general intent of the Official Plan?

Response: The property is designated as Station Periphery within the Orléans Corridor Secondary Plan. Policy 4.11 (1) of this Secondary Plan exempts any development within the Plan boundary, from any minimum parking requirements other than those for visitor and accessible parking. A minor variance from the Zoning By-law is required given that the Zoning By-law has not been updated to reflect the above-referenced policy related to residential parking minimums.

Appendix A
Petrie's Landing One Area B (Towers 5a/5b): RSA H(101)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
Table 16AA for Apartment Dwelling Mid High Rise			
Minimum Lot Width (m)	25	55.38	
Minimum Lot Area (sq. m)	1000	11660.8	Tower 5a: 7700.3m ² ; Tower 5b: 3909.63m ²
Minimum Building Height (m)	109.4 A.S.L.	109.4 A.S.L.	Tower 5a: 138.4 A.S.L.; Tower 5b: 128.45 A.S.L.
Minimum Front Yard Setback (m)	6	min. 7.5	All setbacks are to be considered interior side yard
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5	
Minimum Interior Side Yard Setback (m)	7.5	min. 7.5	
Minimum Rear Yard Setback (m)	7.5	min. 7.5	
Table 16AA for PUD			
Minimum Lot Width (m)	18	55.38	
Minimum Lot Area (sq. m)	1400	11660.8	Tower 5a: 7700.3m ² ; Tower 5b: 3909.63m ²
Minimum Building Height (m)	109.4 A.S.L.	109.4 A.S.L.	Tower 5a: 138.4 A.S.L.; Tower 5b: 128.45 A.S.L.
Minimum Front Yard Setback (m)	6	min. 7.5	
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5	
Minimum Interior Side Yard Setback (m)	see note	min. 7.5	For a yard abutting a lot, the rear setback is 3 m for the first 21 m back from a street lot line. In all other circumstances, the rear setback is 6 m. Notwithstanding the foregoing, for any yard adjacent to an apartment dwelling, mid-high rise apartment dwelling, low-rise or stacked dwelling within a planned unit development, the rear setback provisions for that use apply (Subject to Bylaw 2014-292)
Minimum Rear Yard Setback (m)	see note	min. 7.5	
Section 363(9)			
Minimum landscape area (% of site)	30%	49%	Tower 5a: 58%; Tower 5b: 39%
Section 303 and 302 (Area C - Table 303)			
Minimum No. of parking spaces per unit	0.5	0.7	Tower 5a: 164 spaces; Tower 5b: 112 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	Tower 5a: 37 spaces; Tower 5b: 40 spaces
Section 306			
Parking space width (m)	2.6 min 3.1 max	2.6	
Minimum parking space depth (m)	5.2 / 6.7 parallel	5.2 / 6.7 parallel	
Reduced parking space width (m)	2.4	2.4	
Reduced parking space depth (m)	4.6	4.6	
Section 307			
Driveway access: min width (m) one way	3	N/A	
Driveway access: min width (m) two way	6.7	6.7	
Driveway access: parking garage min width (m) two way	6	6	
Section 110			
Minimum landscape area of parking lot (%)	15	60%	Tower 5a: 63.1%; Tower 5b: 57.6%
Minimum landscape buffer width of parking lot not abutting street (m)	1.5/3	N/A	
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	
Outdoor loading and refuse collection area within parking lot	9	N/A	Refuse Collection area in parking garage. 0m to property line between Towers 5a/5b. 8.5m to existing property line. No screen provided.
...min. distance abutting a public street (m)	3	0	
...min. distance abutting any other lot line (m)	2	N/A	
...Screened with 2 m high opaque screen (m)			
Section 111			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	243 spaces
Section 137			
Total amenity area (6m ² per unit)	6m ² x 482 units	>9971m ²	
Communal amenity area: % of total required total amenity area	54	100	Area B site landscape area only. Interior amenity area additional to proposed.
Layout of Communal Amenity Area (m ²)		>9971m ²	
Section 131 (PUD)			
Ancillary uses maximum floor area (m ²)	150	1500	Proposed ancillary use exceed the 150m ² limit and spans both Towers 5a and 5b.
Ancillary uses limited to one building in PUD	1	2	
Min. width of private way (m)	1.8	4.6	
Min. setback of wall of residential use bldg. to private way (m)	1.8	2.3	
Min. setback for any garage entrance to private way (m)	5.2	140	
Min. Separation distance between buildings more than 14.5 m in height (m)	3	0	
Private way width required to permit parallel visitor parking (m)	8.5	N/A	Parking provided is for ancillary use only.

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PATTERN LEGEND

- ASPHALT - MULTI-USE PATHWAY
- CONCRETE SIDEWALK
- PAINTED - CROSS-WALK
- PAVERS - PEDESTRIAN CIRCULATION
- PAVERS - COMMERCIAL TERRACE/CIRCULATION

PARKING IDENTIFICATION LEGEND

TYPE:

- R - RESIDENTIAL
- V - VISITOR
- C - COMMERCIAL

DEDICATED TO:

- T3 - TOWER 3
- T4 - TOWER 4
- T5a - TOWER 5a
- T5b - TOWER 5b

TRAFFIC CALMING SYMBOLS LEGEND:

- PERMANENT SPEED BUMP
- PAINTED GORE AREA
- PAINTED CENTERLINE
- PAINTED STOP LINE
- TRAFFIC SIGNS

SYMBOLS LEGEND:

- MAIN ENTRANCE/EXIT
- COMMERCIAL TENANT ENTRANCE
- COMMERCIAL LOADING ENTRANCE
- FIRE HYDRANT
- PAINTED CIRCULATION ARROW
- BICYCLE PARKING SPACE
- ACCESSIBLE PARKING SPACE
- CAR SHARE PARKING SPACE

NOTES GÉNÉRALES / General Notes

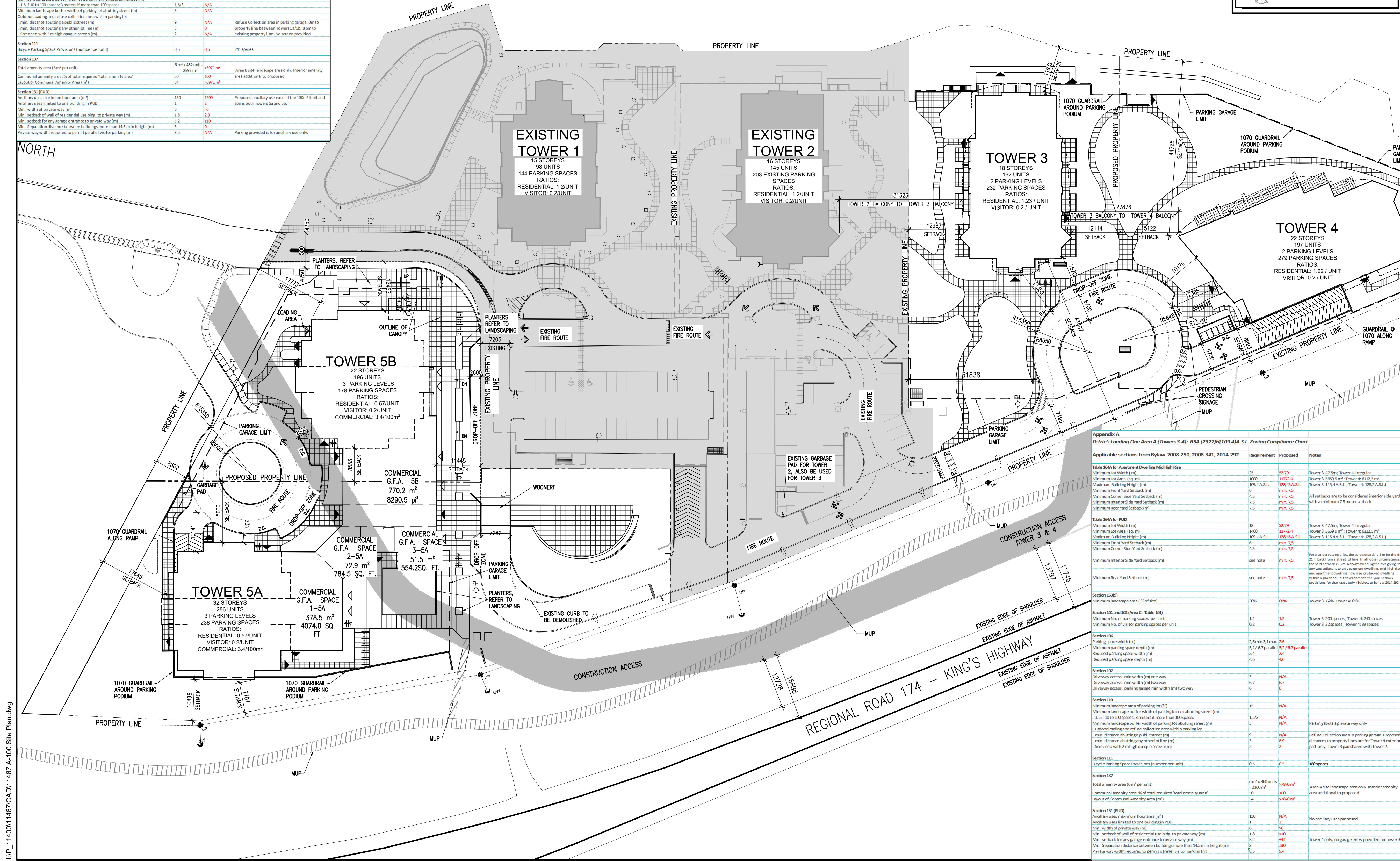
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- Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before starting the work.
- Vous devez fournir l'architecte de toute dimension erreur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of other professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

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EXP SERVICES INC.
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SCÉAU / Seal



Appendix A
Petrie's Landing One Area B (Towers 3-4): RSA (2327)H(109.4)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
Table 16AA for Apartment Dwelling Mid High Rise			
Minimum Lot Width (m)	25	52.79	Tower 3: 47.5m; Tower 4: Irregular
Minimum Lot Area (sq. m)	1000	11772.4	Tower 3: 5669.9m ² ; Tower 4: 6112.5m ²
Minimum Building Height (m)	109.4 A.S.L.	128.45 A.S.L.	Tower 3: 115.4 A.S.L.; Tower 4: 128.2 A.S.L.
Minimum Front Yard Setback (m)	6	min. 7.5	
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5	All setbacks are to be considered interior side yard with a minimum 7.5 meter setback
Minimum Interior Side Yard Setback (m)	7.5	min. 7.5	
Minimum Rear Yard Setback (m)	7.5	min. 7.5	
Table 16AA for PUD			
Minimum Lot Width (m)	18	52.79	Tower 3: 47.5m; Tower 4: Irregular
Minimum Lot Area (sq. m)	1400	11772.4	Tower 3: 5669.9m ² ; Tower 4: 6112.5m ²
Minimum Building Height (m)	109.4 A.S.L.	128.45 A.S.L.	Tower 3: 115.4 A.S.L.; Tower 4: 128.2 A.S.L.
Minimum Front Yard Setback (m)	6	min. 7.5	
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5	
Minimum Interior Side Yard Setback (m)	see note	min. 7.5	For a yard abutting a lot, the rear setback is 3 m for the first 21 m back from a street lot line. In all other circumstances, the rear setback is 6 m. Notwithstanding the foregoing, for any yard adjacent to an apartment dwelling, mid-high rise apartment dwelling, low-rise or stacked dwelling within a planned unit development, the rear setback provisions for that use apply (Subject to Bylaw 2014-292)
Minimum Rear Yard Setback (m)	see note	min. 7.5	
Section 363(9)			
Minimum landscape area (% of site)	30%	68%	Tower 3: 62%; Tower 4: 69%
Section 303 and 302 (Area C - Table 303)			
Minimum No. of parking spaces per unit	1.2	1.2	Tower 3: 200 spaces; Tower 4: 240 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	Tower 3: 32 spaces; Tower 4: 39 spaces
Section 306			
Parking space width (m)	2.6 min 3.1 max	2.6	
Minimum parking space depth (m)	5.2 / 6.7 parallel	5.2 / 6.7 parallel	
Reduced parking space width (m)	2.4	2.4	
Reduced parking space depth (m)	4.6	4.6	
Section 307			
Driveway access: min width (m) one way	3	N/A	
Driveway access: min width (m) two way	6.7	6.7	
Driveway access: parking garage min width (m) two way	6	6	
Section 110			
Minimum landscape area of parking lot (%)	15	N/A	
Minimum landscape buffer width of parking lot not abutting street (m)	1.5/3	N/A	
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	Parking abuts a private way only
Outdoor loading and refuse collection area within parking lot	9	N/A	Refuse Collection area in parking garage. Proposed distances to property lines are for Tower 4 exterior pad only. Tower 3 pad shared with Tower 2.
...min. distance abutting a public street (m)	3	8.9	
...min. distance abutting any other lot line (m)	2	3	
...Screened with 2 m high opaque screen (m)			
Section 111			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	190 spaces
Section 137			
Total amenity area (6m ² per unit)	6m ² x 300 units	>1800m ²	
Communal amenity area: % of total required total amenity area	50	100	Area A site landscape area only. Interior amenity area additional to proposed.
Layout of Communal Amenity Area (m ²)		>1800m ²	
Section 131 (PUD)			
Ancillary uses maximum floor area (m ²)	150	N/A	No ancillary uses proposed.
Ancillary uses limited to one building in PUD	1	2	
Min. width of private way (m)	1.8	4.6	
Min. setback of wall of residential use bldg. to private way (m)	1.8	4.0	
Min. setback for any garage entrance to private way (m)	5.2	144	Tower 4 only, no garage entry provided for tower 3.
Min. Separation distance between buildings more than 14.5 m in height (m)	3	30	
Private way width required to permit parallel visitor parking (m)	8.5	8.4	

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CLIENT / Client
PETRIE'S LANDING I - PHASES 3 - 5

EMPLACEMENT / Location
OTTAWA, ONTARIO

NO PROJET / No.
11467

NO REVISION

NO	REVISION	DATE (aa.mm.jj)
A	FOR SPA - CITY COMMENTS	2018.07.18
B	FOR SPA - CITY COMMENTS-REV2	2018.07.19
C	FOR SPA - CITY COMMENTS-REV3	2018.08.07
D	FOR COORDINATION	2019.04.04
E	FOR SPA - CITY COMMENTS-REV4	2019.05.10
F	FOR COMMENTS	2019.08.27
G	FOR SPA - CITY COMMENTS-REV4	2019.07.19
H	UNDERGROUND PARKING REV	2019.09.04
J	FOR SPA - REVISION B	2019.12.18

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OC

VÉRIFIÉ PAR / Checked by
ANT. C / FP

DATE (aa.mm.jj)
19.12.19

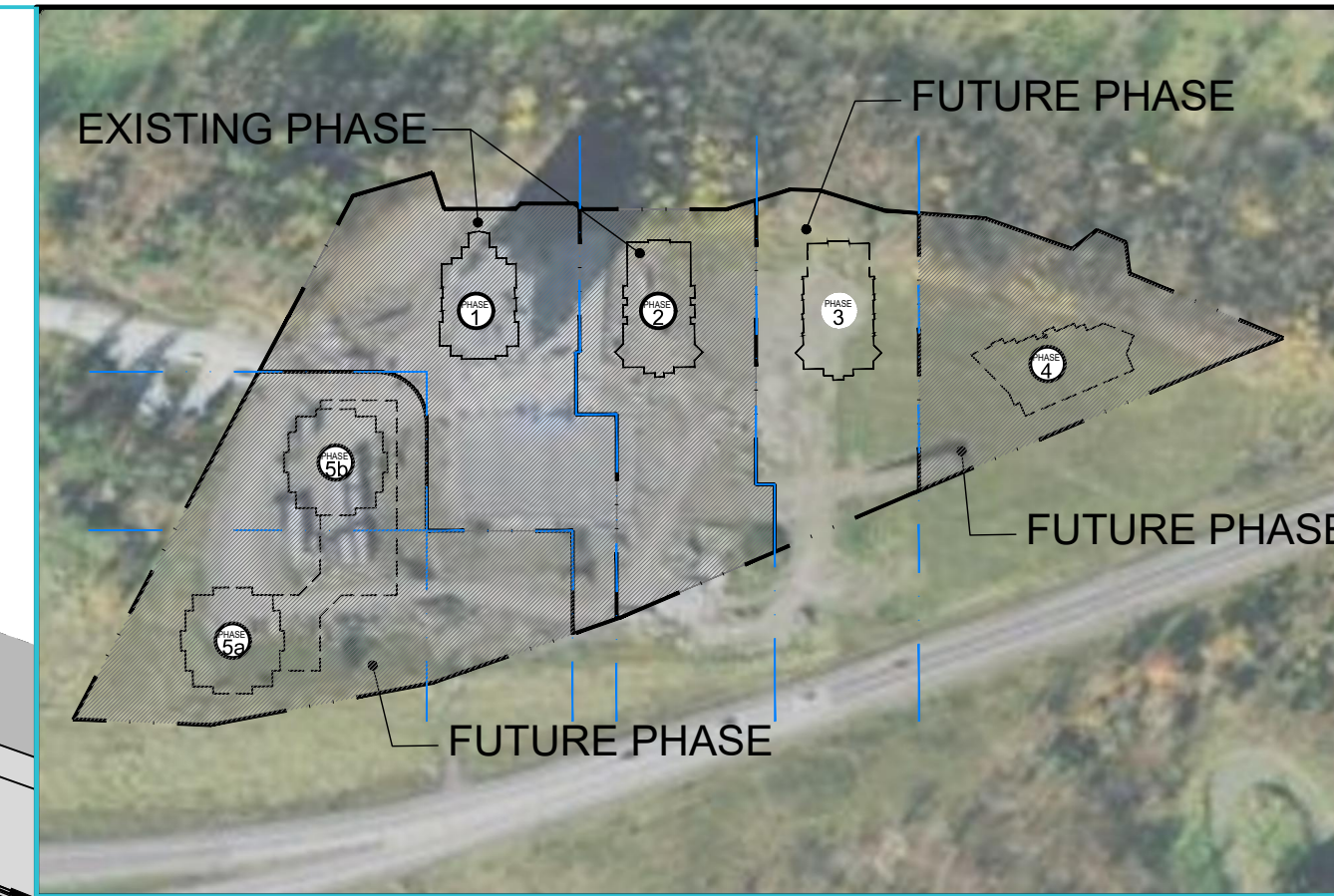
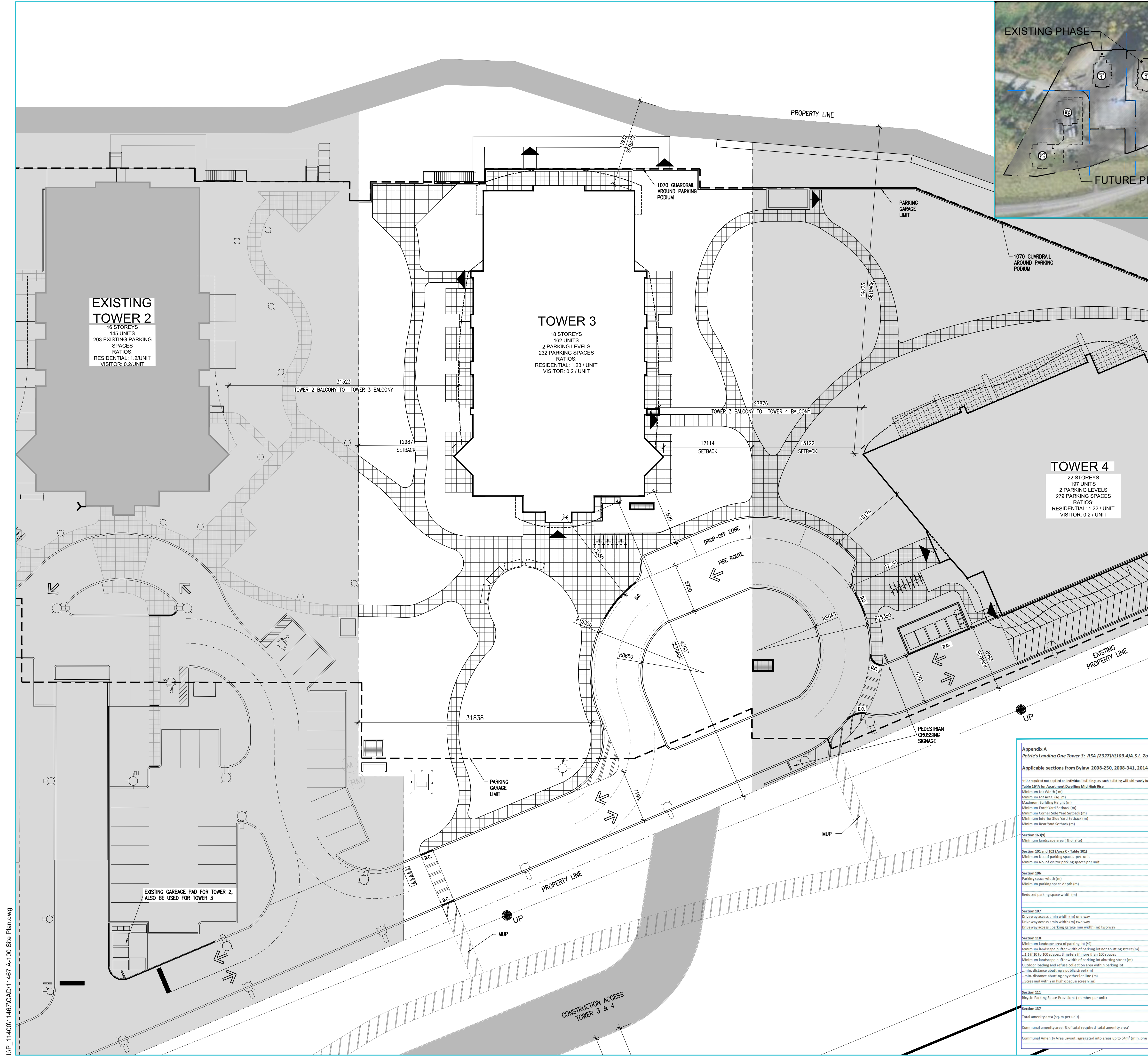
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1:500

TITRE DU DESSIN / Drawing Title
SITE PLAN

REVISION / Revision

NO. DESSIN / Drawing Number
A-100

#14602



TRAFFIC CALMING SYMBOLS LEGEND:

	PERMANENT SPEED BUMP
	PAINTED GORE AREA
	PAINTED CENTERLINE
	PAINTED STOP LINE
	TRAFFIC SIGNS

SYMBOLS LEGEND:

	MAIN ENTRANCE/EXIT
	COMMERCIAL TENANT ENTRANCE
	COMMERCIAL LOADING ENTRANCE
	FIRE HYDRANT
	PAINTED CIRCULATION ARROW
	BICYCLE PARKING SPACE
	ACCESSIBLE PARKING SPACE
	CAR SHARE PARKING SPACE

PATTERN LEGEND:

	ASPHALT - MULTI-USE PATHWAY
	CONCRETE SIDEWALK
	PAINTED - CROSS-WALK
	PAVERS - PEDESTRIAN CIRCULATION
	PAVERS - COMMERCIAL TERRACE/CIRCULATION

PARKING IDENTIFICATION LEGEND:

TYPE:

- R - RESIDENTIAL
- V - VISITOR
- C - COMMERCIAL

DEDICATED TO:

- T3 - TOWER 3
- T4 - TOWER 4
- T5a - TOWER 5a
- T5b - TOWER 5b

Appendix A
Petrie's Landing One Tower 3: RSA (2327)H(109.4)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
*MUD required not applied on individual buildings, as each building will ultimately be sited on its own lot.			
Table 164A for Apartment Dwelling Mid High Rise			
Minimum lot width (m)	25	47.5	
Minimum lot Area (sq. m)	1000	5659.86	Tower 3 site area only
Maximum Building Height (m)	100.4 A.S.L.	115.7 A.S.L.	
Minimum Front Yard Setback (m)	6	min. 7.5m	
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5m	All setbacks are to be considered interior side yards
Minimum Interior Side Yard Setback (m)	7.5	min. 7.5m	with a minimum 7.5m setback
Minimum Rear Yard Setback (m)	7.5	min. 7.5m	
Section 161(N)			
Minimum landscape area (% of site)	30%	42%	Tower 3 site area only
Section 101 and 102 (Area C - Table 101)			
Minimum No. of parking spaces per unit	1.3	1.2	194 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	32 spaces
			226 spaces - 182 units
Section 106			
Parking space width (m)	2.6 min 3.1 max	2.6	
Minimum parking space depth (m)	5.2	5.2	
	4.2 parallel	N/A	
Reduced parking space width (m)	2.4	2.4	
	4.6	4.6	
Section 107			
Drive-way access - min width (m) one way	3	N/A	
Drive-way access - min width (m) two way	4.7	6.7	
Drive-way access - parking garage min width (m) two way	6	6	per exception 2327
Section 110			
Minimum landscape area of parking lot (%)	15	42%	Tower 3 site area only
Minimum landscape buffer width of parking lot not abutting street (m)	1.5/3	See note	Staff interpretation required. No buffer proposed between lot line proposed between towers 3 and 4.
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	
Outdoor loading and refuse collection area within parking lot	9	N/A	Refuse collection area in parking garage. Garbage pick up pad shared with Tower 2.
min. distance abutting a public street (m)	3	N/A	
min. distance abutting any other lot line (m)	3	N/A	
Screened with 2m high opaque screen (m)	2	N/A	
Section 111			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	81 spaces
Section 117			
Total amenity area (sq. m per unit)	4 (6m x 182 units + 922 m ²)	>3500 m ²	Tower 3 site landscape area only. Interior amenity area additional to proposed.
Communal amenity area: % of total required 'total amenity area'	50	100	Tower 3 site landscape area only. Interior amenity area additional to proposed.
Communal Amenity Area Layout: aggregated into areas up to 54m ² (min. one of 54m ²)	54	>3500 m ²	Tower 3 site landscape area only. Interior amenity area additional to proposed.

NOTES GÉNÉRALES General Notes

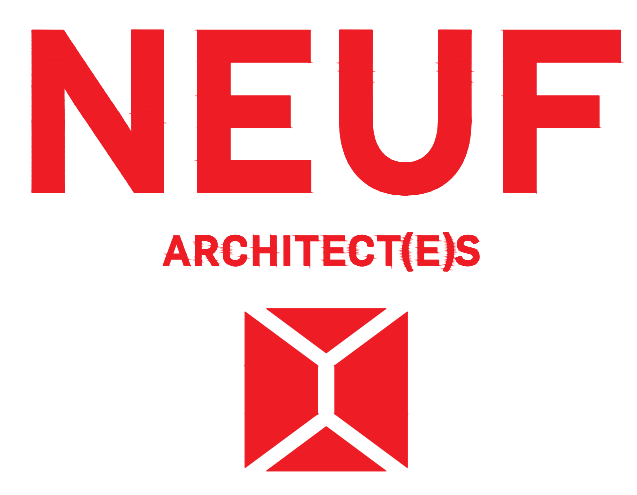
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OUVRAGE Project
PETRIE'S LANDING I - PHASES 3 - 5
 EMPLOYMENT Location NO PROJCT No.
 OTTAWA, ONTARIO 11467

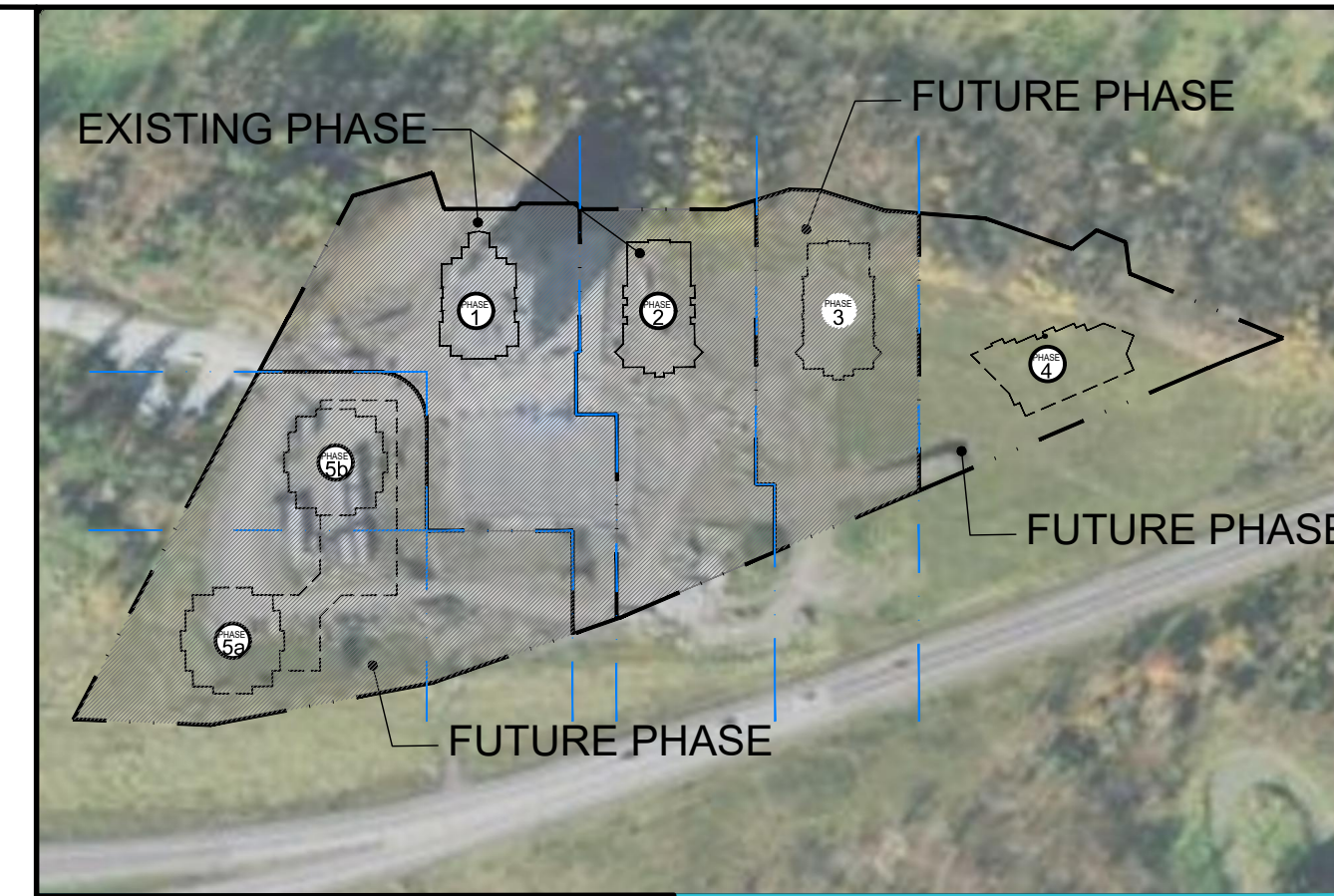
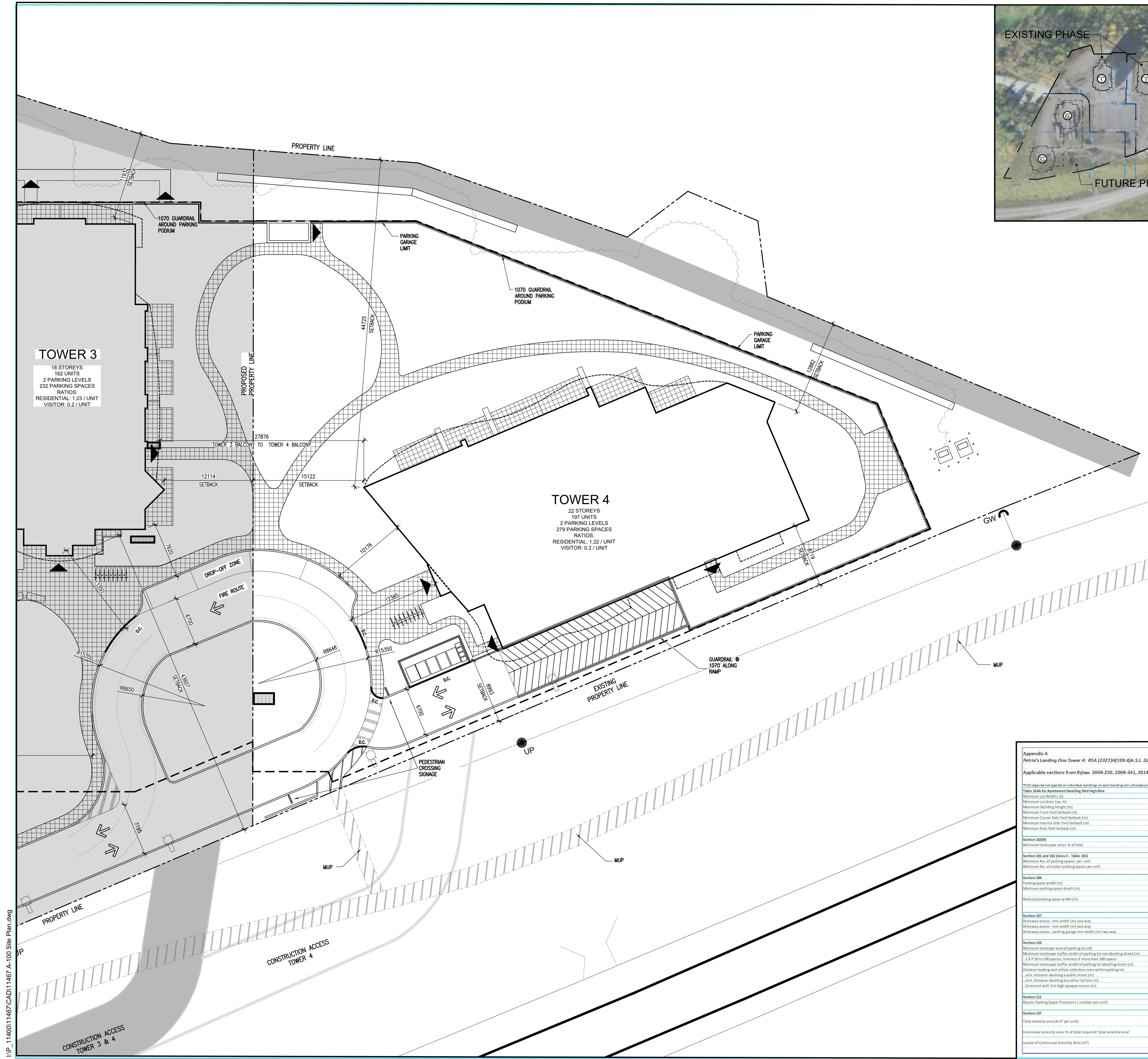
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E	FOR SPA-CITY COMMENTS-REV3	2019.05.10
F	FOR COMMENTS	2019.06.27
G	FOR SPA - CITY COMMENTS-REV4	2019.07.19
H	FOR SPA - CITY COMMENTS-REV5	2019.09.04
J	FOR SPA - REVISION 6	2019.12.18

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 OC DATE (aa.mm.jj) 19.12.19
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TITRE DU DESSIN Drawing Title
SITE PLAN - TOWER 3

REVISION Revision NO. DESSIN Dwg Number
H A100.1
 #14602

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TRAFFIC CALMING SYMBOLS LEGEND:

	PERMANENT SPEED BUMP
	PAINTED GORE AREA
	PAINTED CENTERLINE
	PAINTED STOP LINE
	TRAFFIC SIGNS

SYMBOLS LEGEND:

	MAIN ENTRANCE/EXIT
	COMMERCIAL TENANT ENTRANCE
	COMMERCIAL LOADING ENTRANCE
	FIRE HYDRANT
	PAINTED CIRCULATION ARROW
	BICYCLE PARKING SPACE
	ACCESSIBLE PARKING SPACE
	CAR SHARE PARKING SPACE

PATTERN LEGEND:

	ASPHALT - MULTI-USE PATHWAY
	CONCRETE SIDEWALK
	PAINTED - CROSS-WALK
	PAVERS - PEDESTRIAN CIRCULATION
	PAVERS - COMMERCIAL TERRACE/CIRCULATION

PARKING IDENTIFICATION LEGEND

TYPE:

- R - RESIDENTIAL
- V - VISITOR
- C - COMMERCIAL

DEDICATED TO:

- T3 - TOWER 3
- T4 - TOWER 4
- T5a - TOWER 5a
- T5b - TOWER 5b

Appendix A
Petrie's Landing One Tower 4: RSA (2327)(H)(109.4)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
*UDO required not applied on individual buildings as each building will ultimately be sited on its own lot.			
Table 164A for Apartment Dwelling Mid High Rise			
Minimum Lot Width (m)	25	100	Tower 4 site area only
Minimum Lot Area (sq. m)	1000	612,495	
Maximum Building Height (m)	109.4 A.S.L.	128.5 A.S.L.	
Minimum Front Yard Setback (m)	6	min. 7.5	All setbacks are to be considered interior side yards
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5	
Minimum Interior Side Yard Setback (m)	7.5	min. 7.5	with a minimum 7.5m setback
Minimum Rear Yard Setback (m)	7.5	min. 7.5	
Section 163(3)			
Minimum landscape area (% of site)	30%	73%	Tower 4 site area only
Section 161 and 162 (Area C - Table 160)			
Minimum No. of parking spaces per unit	1.2	1.2	238 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	40 spaces
Section 166			
Parking space width (m)	2.6 min 3.1 max 2.6	2.6	
Minimum parking space depth (m)	5.2	5.2	
Reduced parking space width (m)	4.7 parallel	4.7	
Section 167			
Driveway access: min width (m) one way	4.7	N/A	
Driveway access: min width (m) two way	6.7	7.1	
Driveway access: parking garage min width (m) two way	6	6	
Section 169			
Minimum landscape area of parking lot (%)	15	60%	Tower 4 site area only
Minimum landscape buffer width of parking lot not abutting street (m)	1.5/3	1.5	
1.5/3 to 300 spaces; 3 meters if more than 300 spaces			
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	
Outdoor loading and refuse collection area within parking lot	9	N/A	
min. distance abutting a public street (m)	3	8.9	Refuse Collection area in parking garage.
min. distance abutting any other lot line (m)	2	2	
Screened with 2 m high opaque screens (m)			
Section 181			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	99 spaces
Section 187			
Total amenity area (6 m ² per unit)	6m ² x 198 units = 1188 m ²	~4370 m ²	Tower 4 site landscape area only. Interior amenity area additional to proposed.
Communal amenity area: % of total required 'total amenity area'	50	100.0	Tower 4 site landscape area only. Interior amenity area additional to proposed.
Layout of Communal Amenity Area (m ²)	54	~4370 m ²	Tower 4 site landscape area only. Interior amenity area additional to proposed.

NOTES GÉNÉRALES General Notes

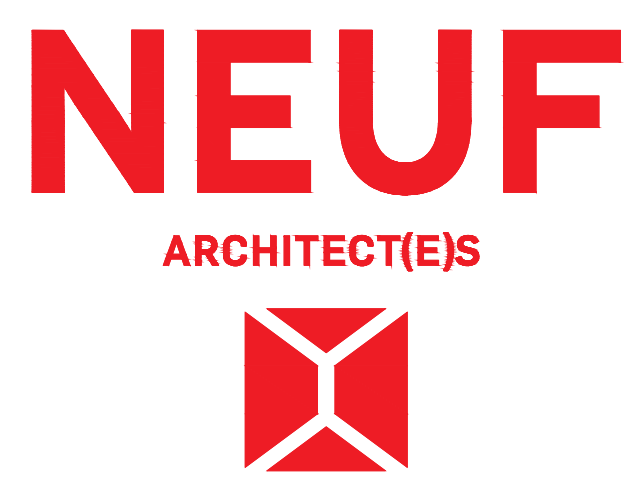
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OUVRAGE Project
PETRIE'S LANDING I - PHASES 3 - 5

EMPLACEMENT Location NO. PROJET No.
OTTAWA, ONTARIO 11467

NO.	REVISION	DATE (aa.mm.jj)
A	FOR SPA - CITY COMMENTS	2018.07.18
B	FOR SPA - CITY COMMENTS REV 1	2018.07.19
C	FOR SPA - CITY COMMENTS REV 2	2018.08.07
D	FOR COORDINATION	2019.04.04
E	FOR SPA-CITY COMMENTS-REV3	2019.05.21
F	FOR COMMENTS	2019.08.27
G	FOR SPA - CITY COMMENTS-REV4	2019.07.19
H	FOR SPA - CITY COMMENTS-REV5	2019.09.04
J	FOR SPA - REVISION 6	2019.12.18

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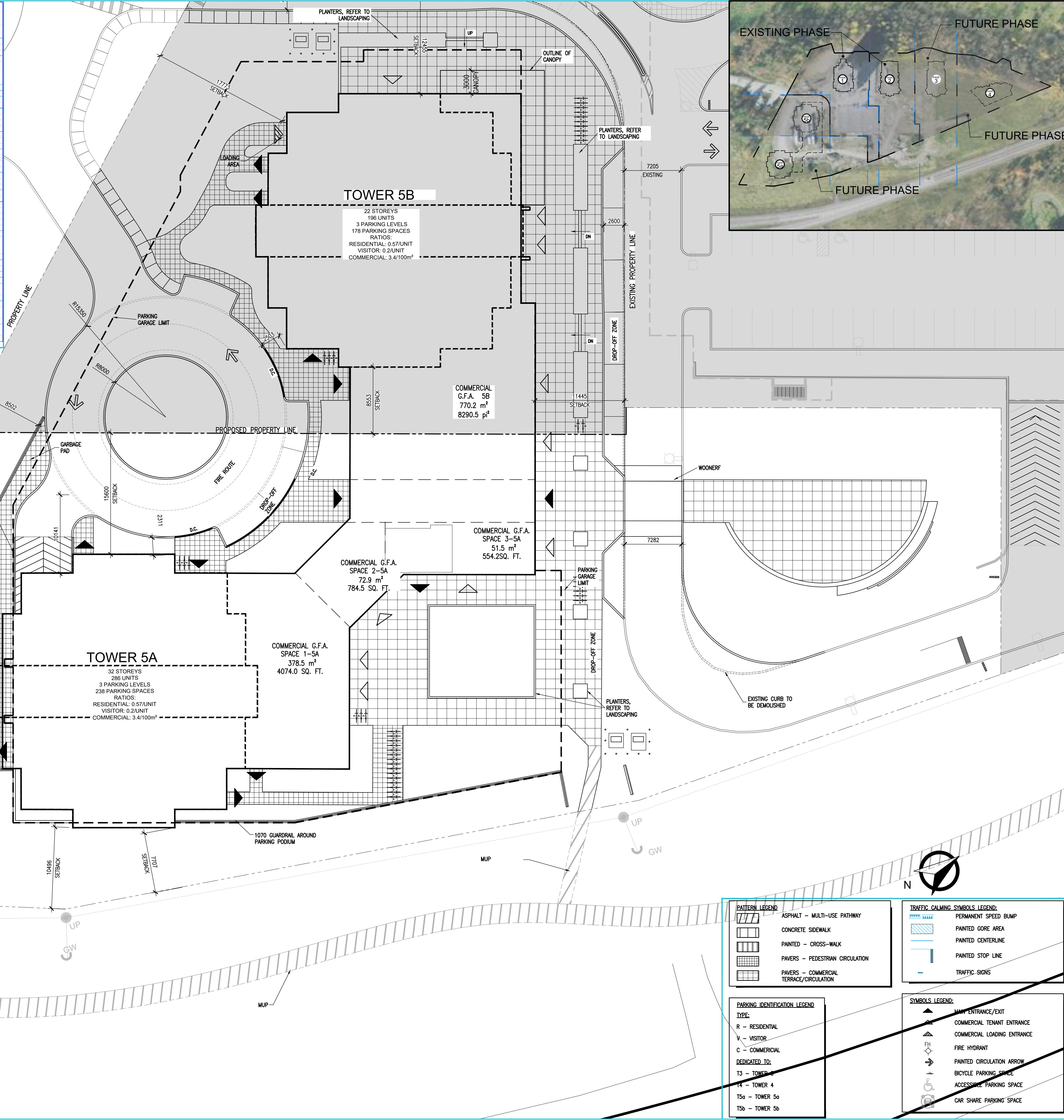
SITE PLAN - TOWER 4

REVISION Revision NO. DESSIN Dwg Number
J A100.2
#14602

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Appendix A
Petrie's Landing One Tower 5a: RSA H(101)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
Table 104A for Apartment Dwelling Mid High Rise			
Minimum Lot Width (m)	25	134.079	
Minimum Lot Area (sq. m)	1000	7790.52	Tower 5a site area only
Maximum Building Height (m)	109.4 A.S.L.	138.4 S.L.	
Minimum Front Yard Setback (m)	6	min 7.5	
Minimum Corner Side Yard Setback (m)	4.5	min 7.5	All setbacks are to be considered interior side yards
Minimum Interior Side Yard Setback (m)	7.5	min 11.5	
Minimum Rear Yard Setback (m)	7.5	min 7.5	
Section 103(9)	30%	58%	Tower 5a site area only
Section 105 and 102 (Area C - Table 100)			
Minimum No. of parking spaces per unit	1.0	0.70	199 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	37 spaces
Section 106			
Parking space width (m)	2.6 min 3.1 max	2.8	
Minimum parking space depth (m)	5.7	5.2	
Reduced parking space width (m)	6.7 parallel	N/A	
	2.4	2.4	
	4.6	4.6	
Section 107			
Driveway access: min width (m) one way	3	N/A	
Driveway access: min width (m) two way	6.7	6.7	
Driveway access: parking garage min width (m) two way	6	6	
Section 110			
Minimum landscape area of parking lot (%)	35	63%	Tower 5a site landscape area only
Minimum landscape buffer width of parking lot not abutting street (m)	1.5 if 10 to 100 spaces, 3 meters if more than 100 spaces	1.5/3	See Note 1 below
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	
Outdoor loading and refuse collection area within parking lot:			
- min. distance abutting public street (m)	9	N/A	Refuse Collection area in parking garage. Garbage pick up pad shared with Tower 5b.
- min. distance abutting any other lot line (m)	3	N/A	
- Screened with 2 m high opaque screen (m)	2	N/A	
Section 111			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	143 spaces
Section 113			
Vehicle Loading Space: Retail Store, shopping	0.1 < 2000m ²	Not Required	Tower 5a commercial gross floor area: 400m ²
	1 > 2000m ²	Not Required	
Section 117			
Total amenity area (6 m ² per unit)	6m ² x 286 units	+4429 m ²	Tower 5a site landscape area only. Interior amenity area additional to proposed.
Communal amenity area: % of total required total amenity area	50	100	Tower 5a site landscape area only.
Layout of Communal Amenity Area (m ²)	54	+4429 m ²	Tower 5a site landscape area only. Interior amenity area additional to proposed.



PATTERN LEGEND	TRAFFIC CALMING SYMBOLS LEGEND:
[Pattern] ASPHALT - MULTI-USE PATHWAY	[Symbol] PERMANENT SPEED BUMP
[Pattern] CONCRETE SIDEWALK	[Symbol] PAINTED GORE AREA
[Pattern] PAINTED - CROSS-WALK	[Symbol] PAINTED CENTERLINE
[Pattern] PAVERS - PEDESTRIAN CIRCULATION	[Symbol] PAINTED STOP LINE
[Pattern] PAVERS - COMMERCIAL TERRACE/CIRCULATION	[Symbol] TRAFFIC SIGNS

PARKING IDENTIFICATION LEGEND	SYMBOLS LEGEND:
R - RESIDENTIAL	[Symbol] MAIN ENTRANCE/EXIT
V - VISITOR	[Symbol] COMMERCIAL TENANT ENTRANCE
C - COMMERCIAL	[Symbol] COMMERCIAL LOADING ENTRANCE
DEDICATED TO:	[Symbol] FIRE HYDRANT
T3 - TOWER 3	[Symbol] PAINTED CIRCULATION ARROW
T4 - TOWER 4	[Symbol] BICYCLE PARKING SPACE
T5a - TOWER 5a	[Symbol] ACCESSIBLE PARKING SPACE
T5b - TOWER 5b	[Symbol] CAR SHARE PARKING SPACE

NOTES GÉNÉRALES General Notes

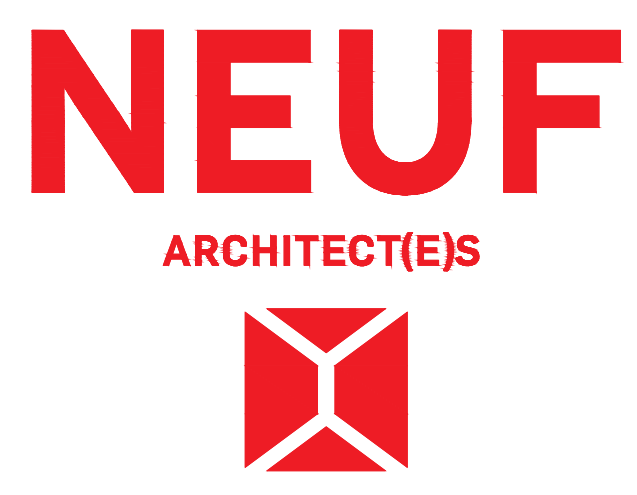
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OUVRAGE Project
PETRIE'S LANDING I - PHASES 3 - 5

EMPLACEMENT Location NO PROJET No.
OTTAWA, ONTARIO 11467

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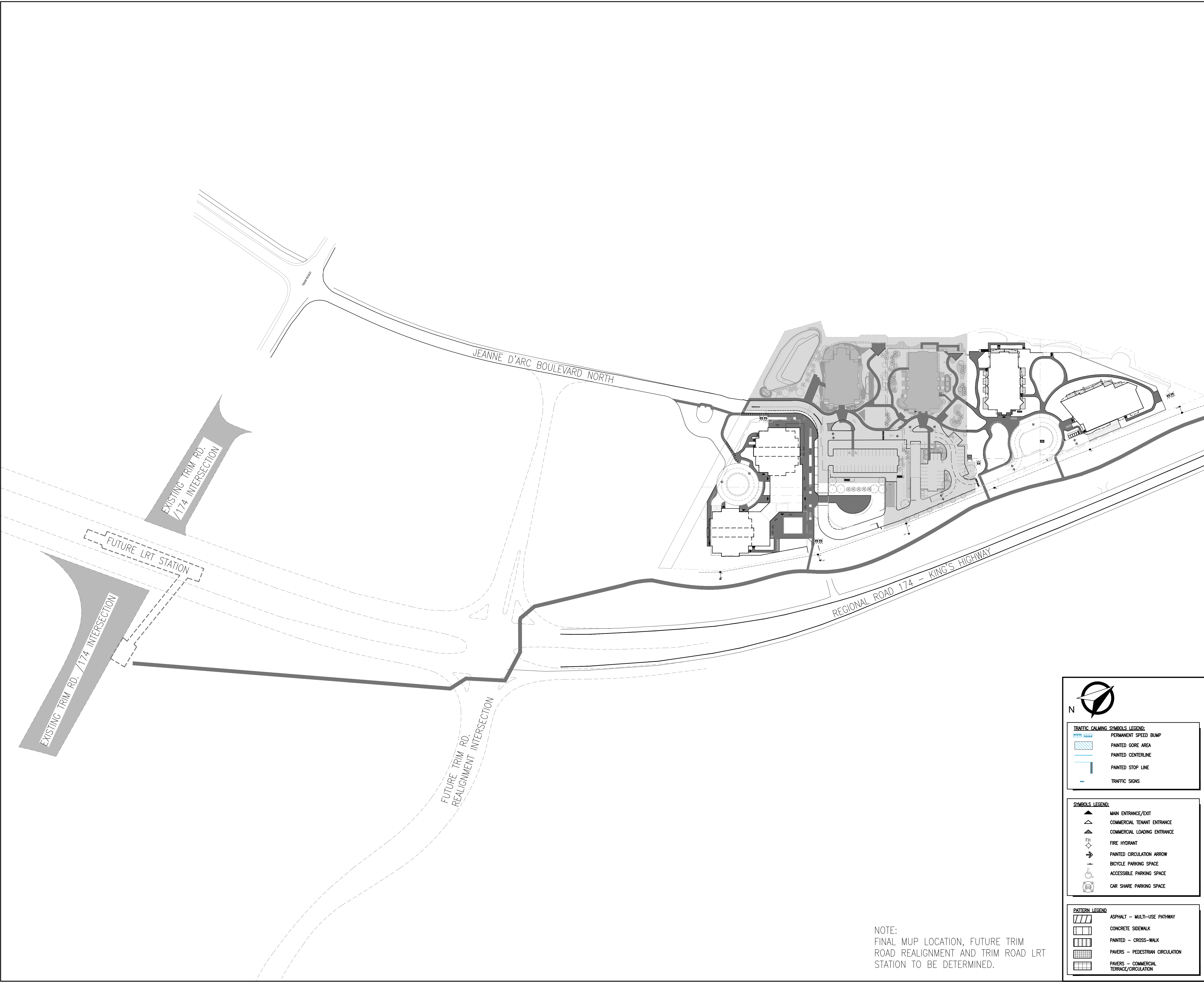
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SITE PLAN - TOWER 5a

REVISION Revision NO. DESSIN Dwg Number
J A100.3
#14602

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NOTE:
FINAL MUP LOCATION, FUTURE TRIM
ROAD REALIGNMENT AND TRIM ROAD LRT
STATION TO BE DETERMINED.

TRAFFIC CALMING SYMBOLS LEGEND:

- PERMANENT SPEED BUMP
- PAINTED GORE AREA
- PAINTED CENTERLINE
- PAINTED STOP LINE
- TRAFFIC SIGNS

SYMBOLS LEGEND:

- MAIN ENTRANCE/EXIT
- COMMERCIAL TENANT ENTRANCE
- COMMERCIAL LOADING ENTRANCE
- FIRE HYDRANT
- PAINTED CIRCULATION ARROW
- BICYCLE PARKING SPACE
- ACCESSIBLE PARKING SPACE
- CAR SHARE PARKING SPACE

PATTERN LEGEND:

- ASPHALT - MULTI-USE PATHWAY
- CONCRETE SIDEWALK
- PAINTED - CROSS-WALK
- PAVERS - PEDESTRIAN CIRCULATION
- PAVERS - COMMERCIAL TERRACE/CIRCULATION

NOTES GÉNÉRALES / General Notes

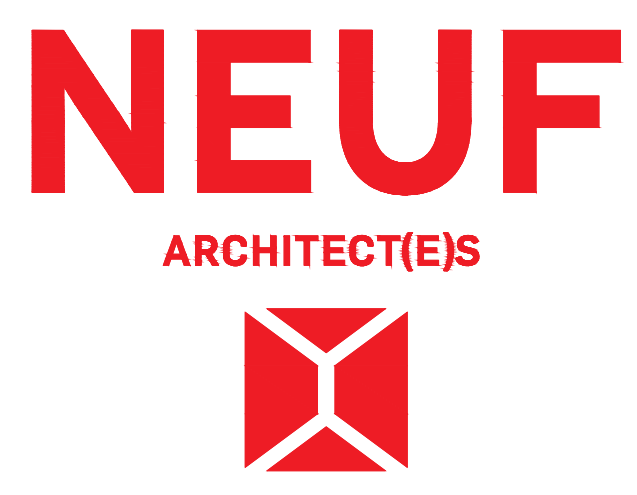
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EMPLACEMENT Location NO PROJET No.
OTTAWA, ONTARIO 11467

NO	REVISION	DATE (aa.mm.jj)
2019.06.19	BPA-CITY COMMENTS-REV3	A
2019.06.27	FOR COMMENTS	B
2019.07.19	FOR SPA - CITY COMMENTS-REV4	C
2019.09.04	FOR SPA - CITY COMMENTS-REV5	D
2019.12.19	UNDERGROUND PARKING REV.	E

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D07-12-18-0143

SCHEDULE			
PART	LOT	CONCESSION	PIN
1			
2			
3			
4	PART OF 29	1 (OLD SURVEY) (CUMBERLAND)	PART OF 14538-0218
5			
6			
7			
8	PART OF 28 & 29		

Parts 1 to 8 (both inclusive): Subject to Easement Inst.'s OC917543, OC950601, OC1029393, OC1044686 & OC1081049.

STRATA PLAN OF SURVEY OF PART OF LOTS 28 and 29 CONCESSION 1 (OLD SURVEY) GEOGRAPHIC TOWNSHIP OF CUMBERLAND CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:300
 Metric DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveyors Act and the Land Titles Act and the regulations made under them.
 2. The survey was completed on the 21st day of December, 2020.

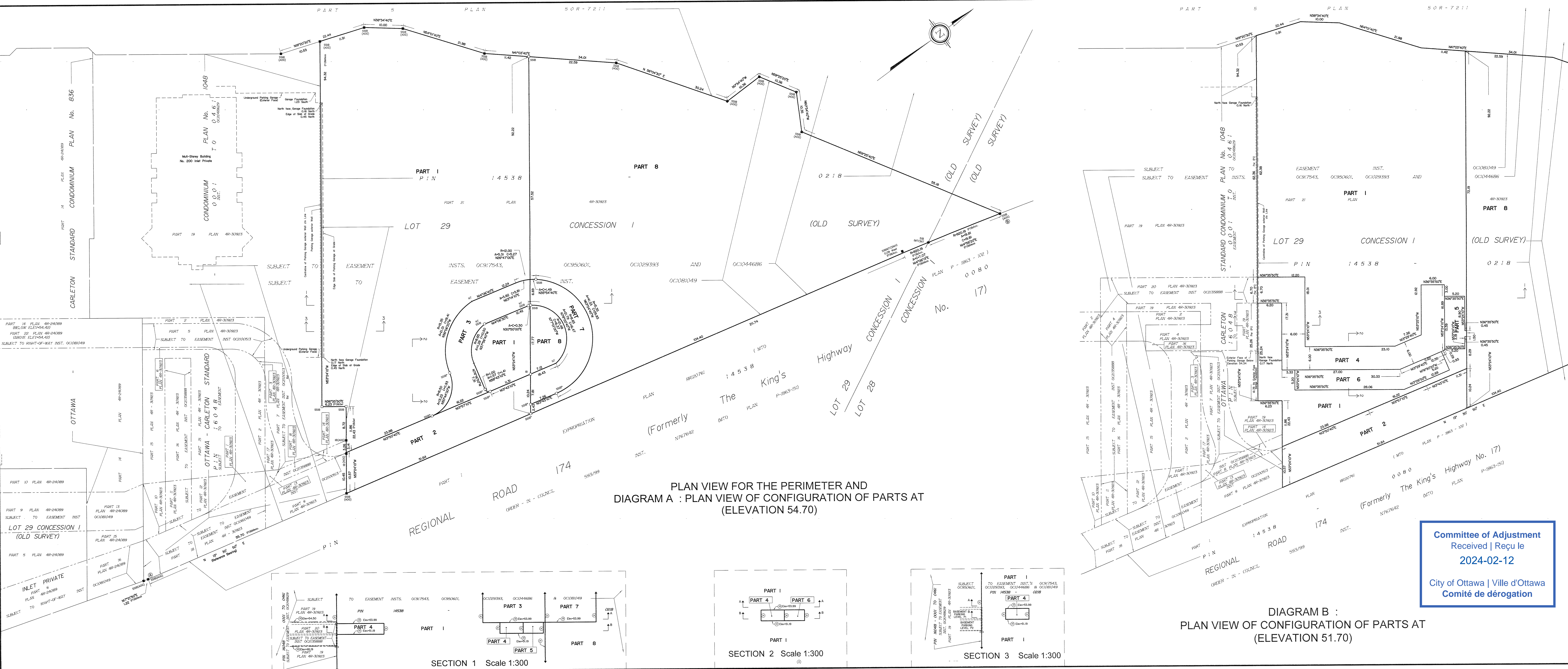
Dec 23, 2020
 Date
 E. H. Herveyer
 Ontario Land Surveyor

Surveyor's Certificate
 I CERTIFY THAT:
 1. The structures shown on this plan are in existence.
 2. The dimensions shown on the plan have been verified by actual measurements.

Dec 23, 2020
 Date
 E. H. Herveyer
 Ontario Land Surveyor

- Notes & Legend**
- Survey Monument Planted
 - Survey Monument Found
 - SIB— Short Standard Iron Bar
 - IB— Iron Bar
 - CC— Cast Cross
 - +— Survey Monument 0.3 Long
 - (WT)— Witness
 - (AOG)— Annis, O'Sullivan, Vollebek Ltd.
 - M— Measured
 - Acc.— Accepted
 - NT— Non-Temporary
 - (PI)— Plan 4R-30823
 - ↑ — See Section 1 for Vertical Limits
 - ↔ — See Diagram 1 for Horizontal Limits
 - ↓ — Downwards Without Limit
 - ↑ — Upwards Without Limit
 - ⊙ — Vertical Limit
 - ⊖ — Horizontal Limit

Parts 1, 3 to 8 (both inclusive) are limited vertically.
 BENCHMARK NOTE
 Elevations are geoidic, referred to NCC Control Monument 01919680184 having an elevation of 52.08 metres.
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999970.
 Bearings are grid, derived from the easterly limit of Part 1 Plan 4R-24089, shown to be N13°30'50"E, shown thereon and are referred to the Central Meridian of MTM Zone 18 (78°30' West Longitude) NAD-83 (original).
 Coordinates are derived from Can-NET 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680184 and 019196843761, MTM Zone 18 (78°30' West Longitude) NAD-83 (original).
 Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.
 01919680184 Northing 5040810.16 Easting 384738.56
 019196843761 Northing 5036178.12 Easting 372436.11
 Point A Northing 5040462.23 Easting 384687.20
 Point B Northing 5040873.90 Easting 384723.52
 Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.



PLAN VIEW FOR THE PERIMETER AND DIAGRAM A : PLAN VIEW OF CONFIGURATION OF PARTS AT (ELEVATION 54.70)

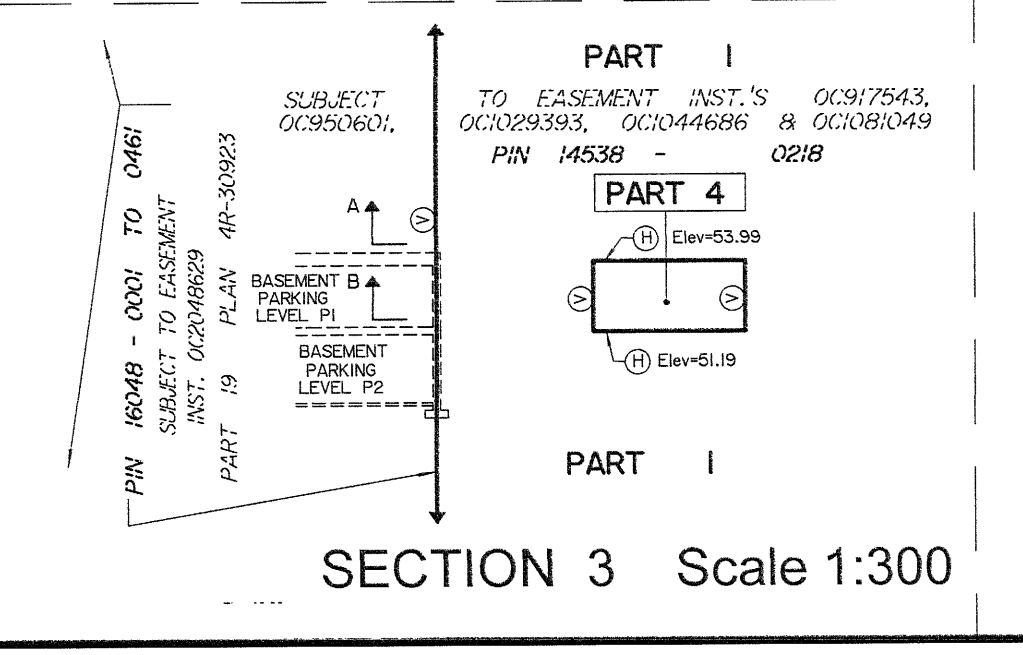
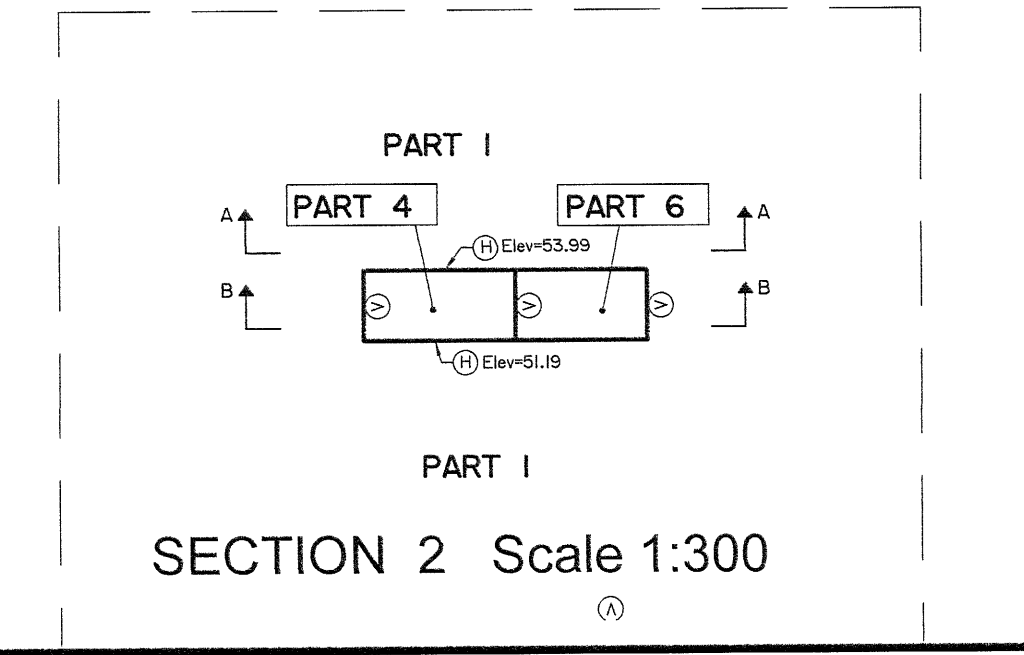
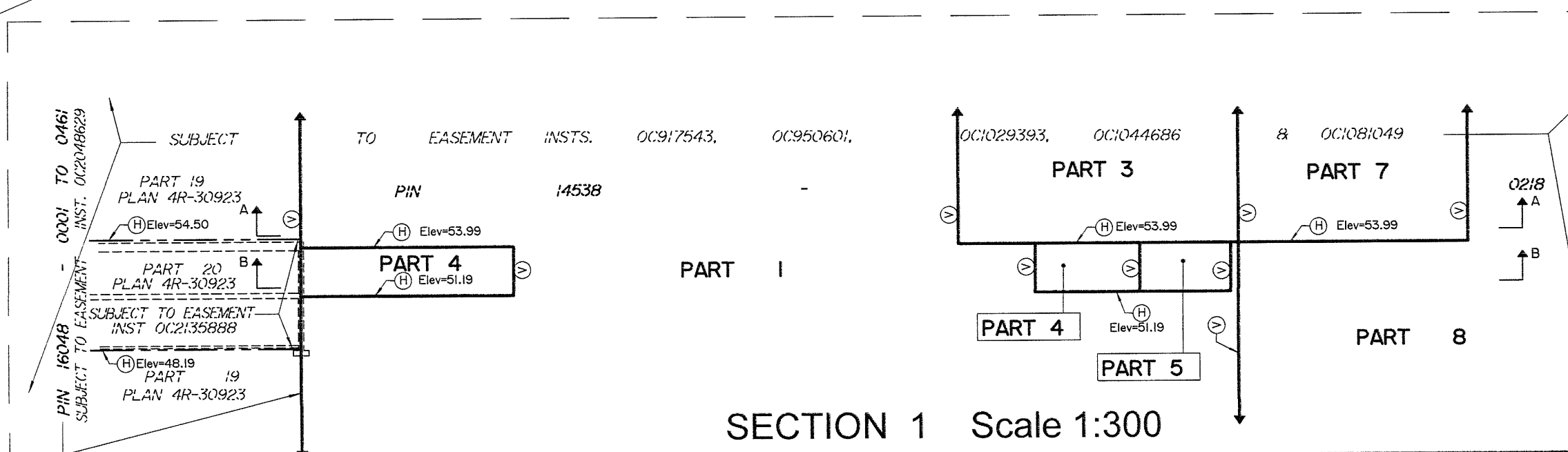


DIAGRAM B : PLAN VIEW OF CONFIGURATION OF PARTS AT (ELEVATION 51.70)

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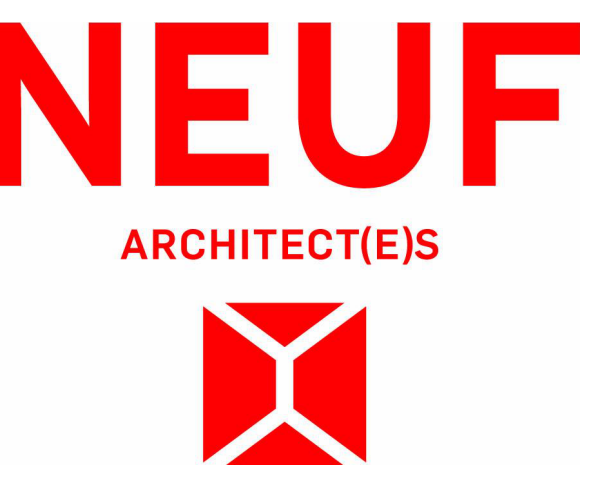
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PETRIE'S LANDING I - TOWER 4

EMPLACEMENT / Location
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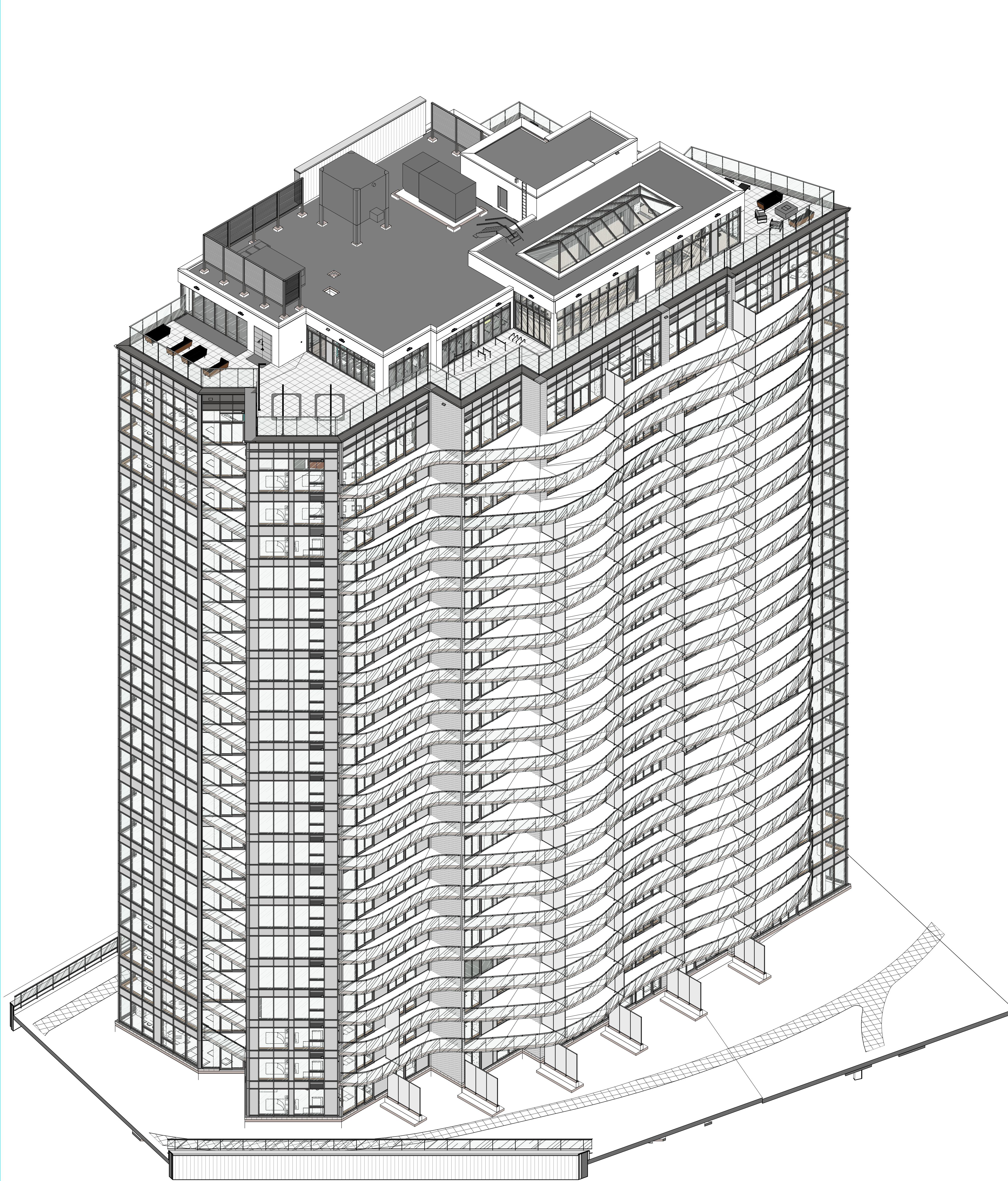
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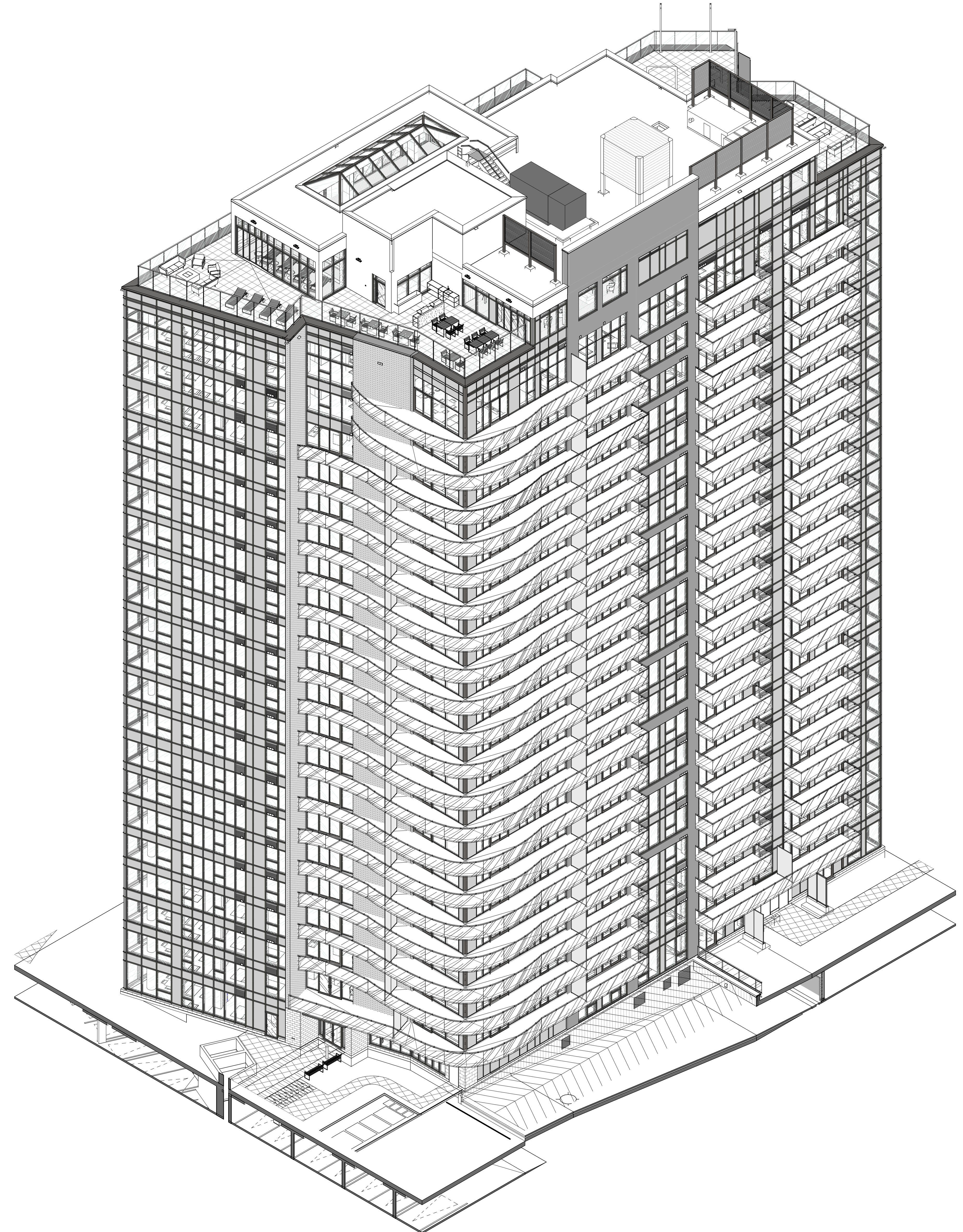
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ISOMETRIC VIEW NORTH-WEST

1



ISOMETRIC VIEW SOUTH-WEST

2

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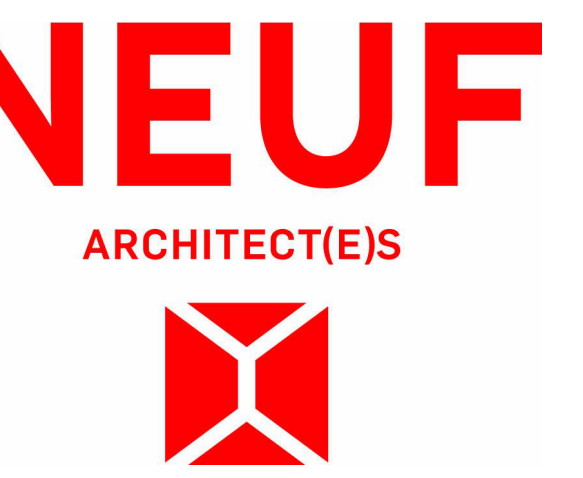
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PETRIE'S LANDING I - TOWER 4

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11	ISSUED FOR ADD-01	2022-03-29
12	ISSUED FOR ADD-02	2022-04-18
13	ISSUED FOR FIN CONSTRUCTION	2022-12-18
14	FOR APPROVED SPA Revision	2023-08-28
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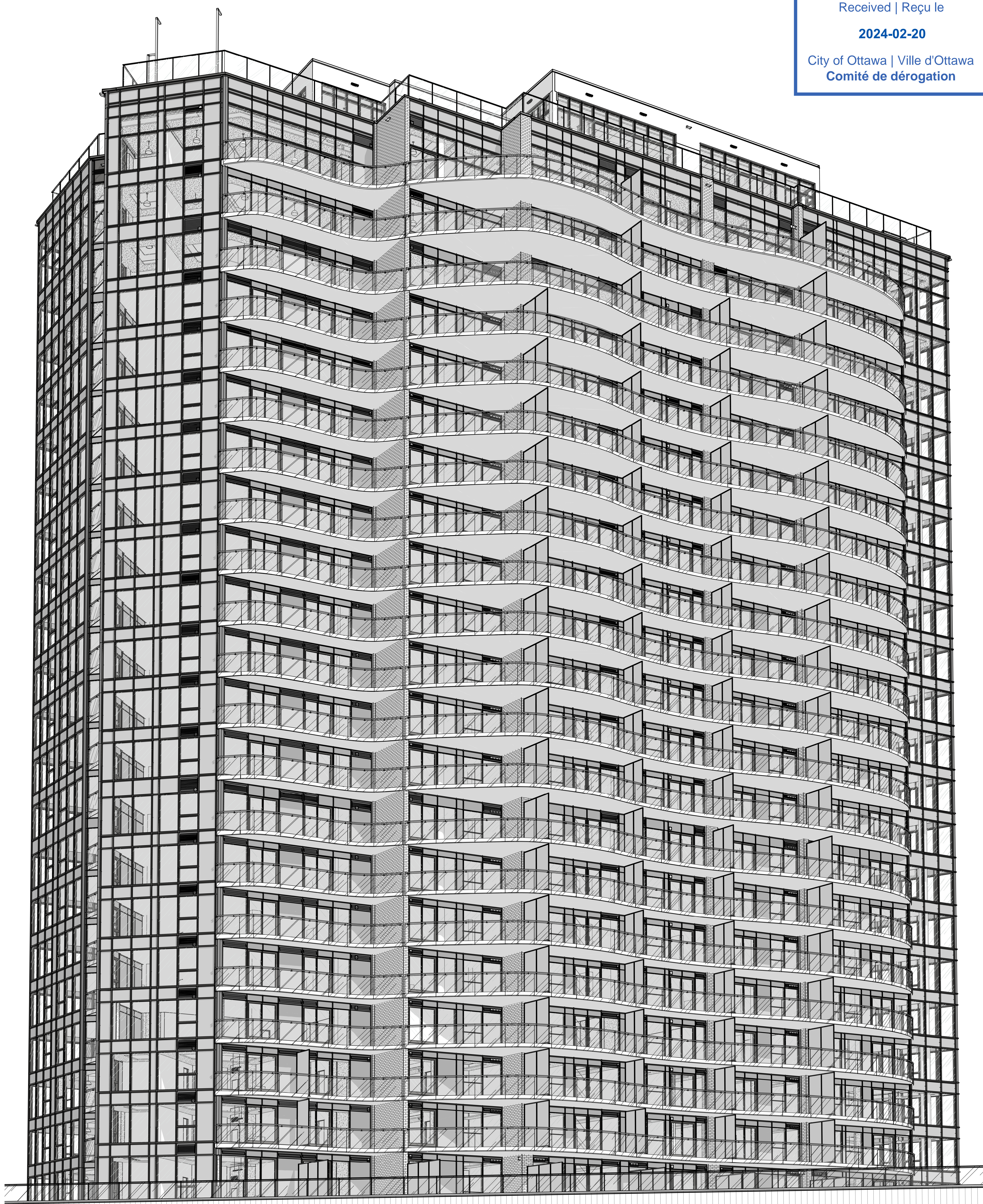
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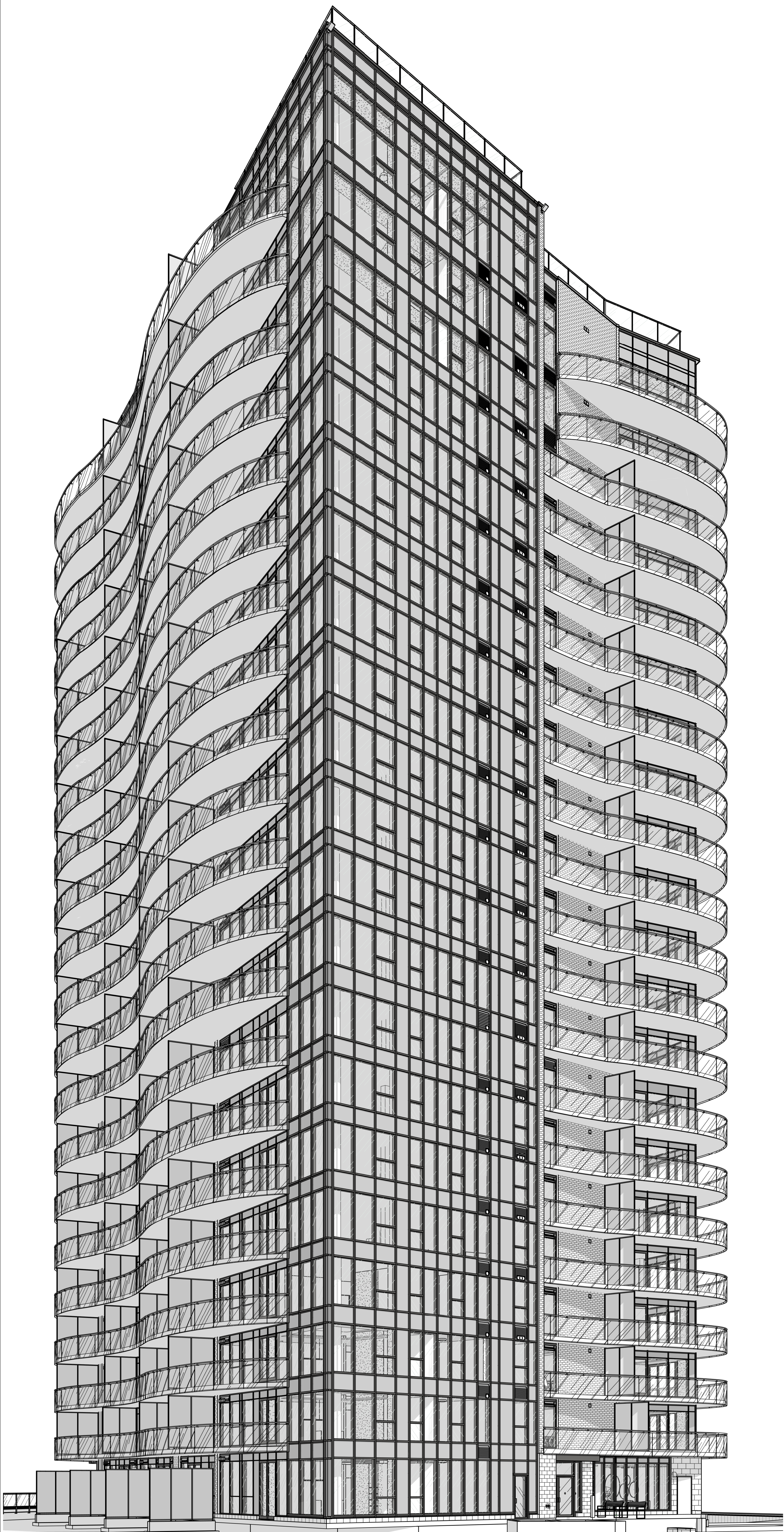
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NORTH-EAST PERSPECTIVE 1 A003



NORTH-WEST PERSPECTIVE 2 A003

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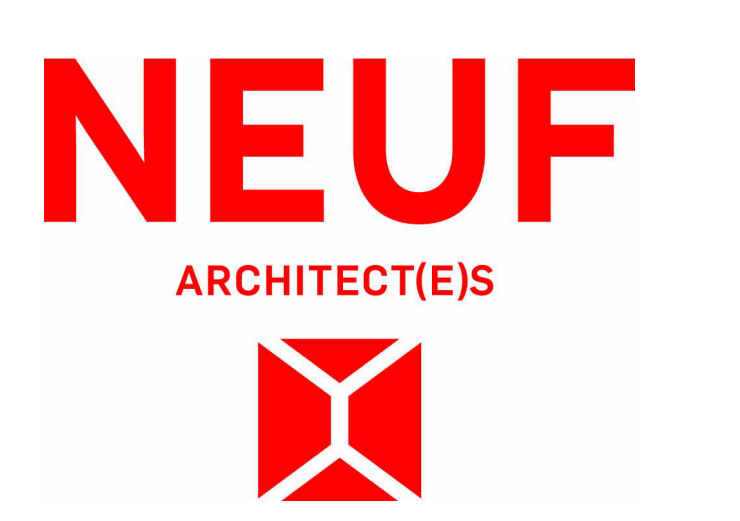
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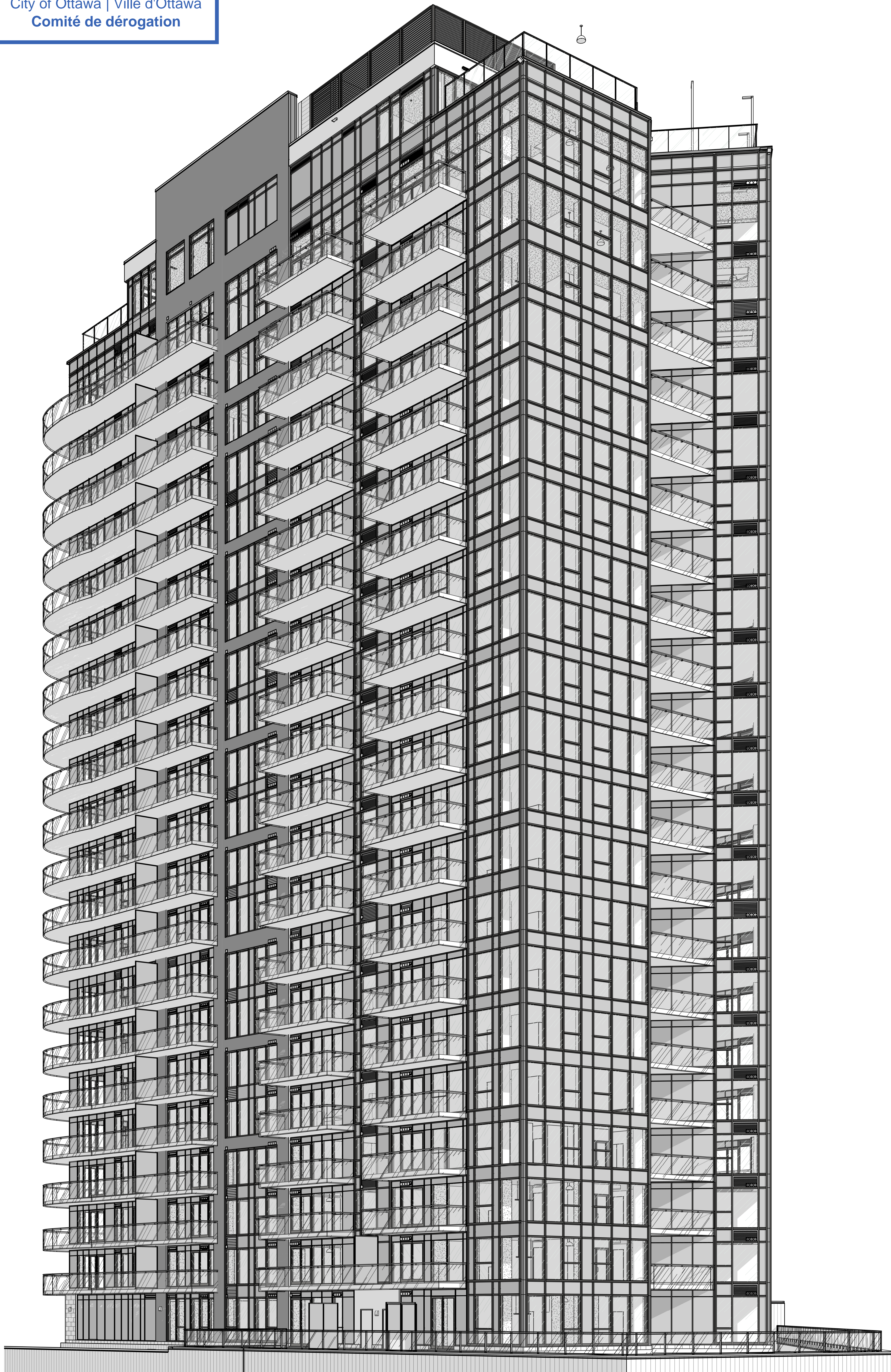
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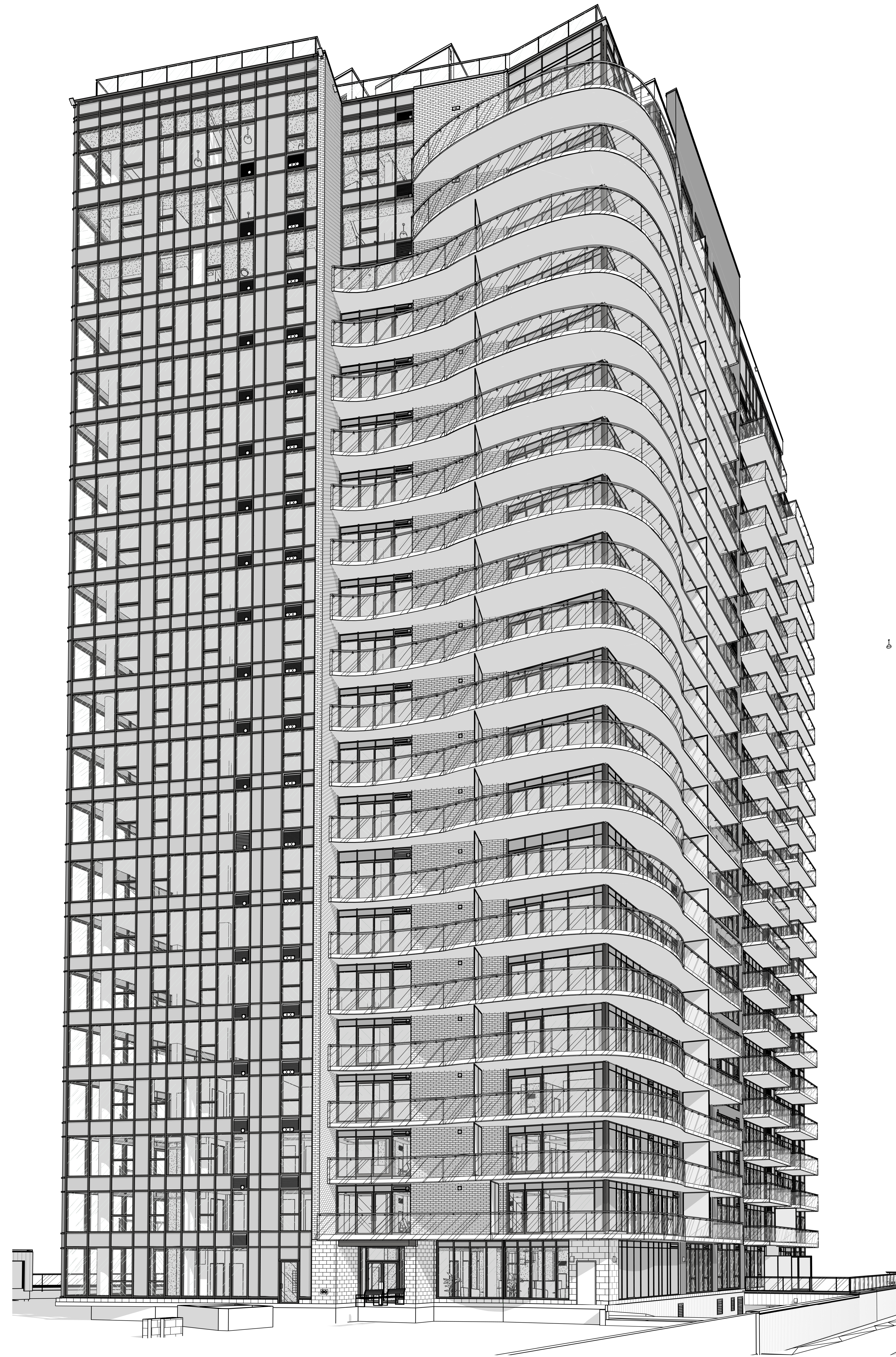
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SOUTH-EAST PERSPECTIVE

1
A004



SOUTH-WEST PERSPECTIVE

2
A004

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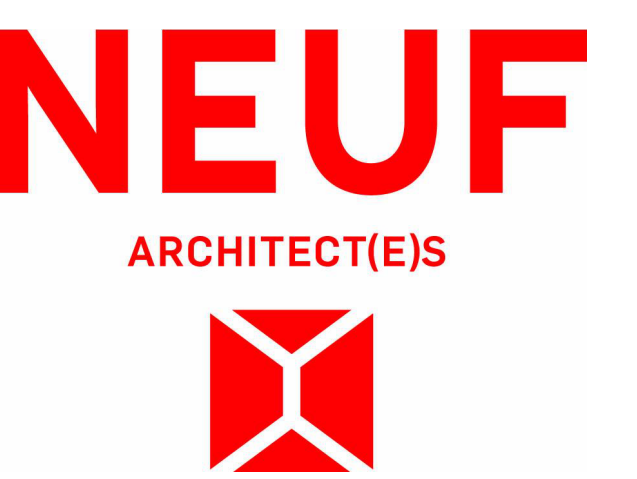
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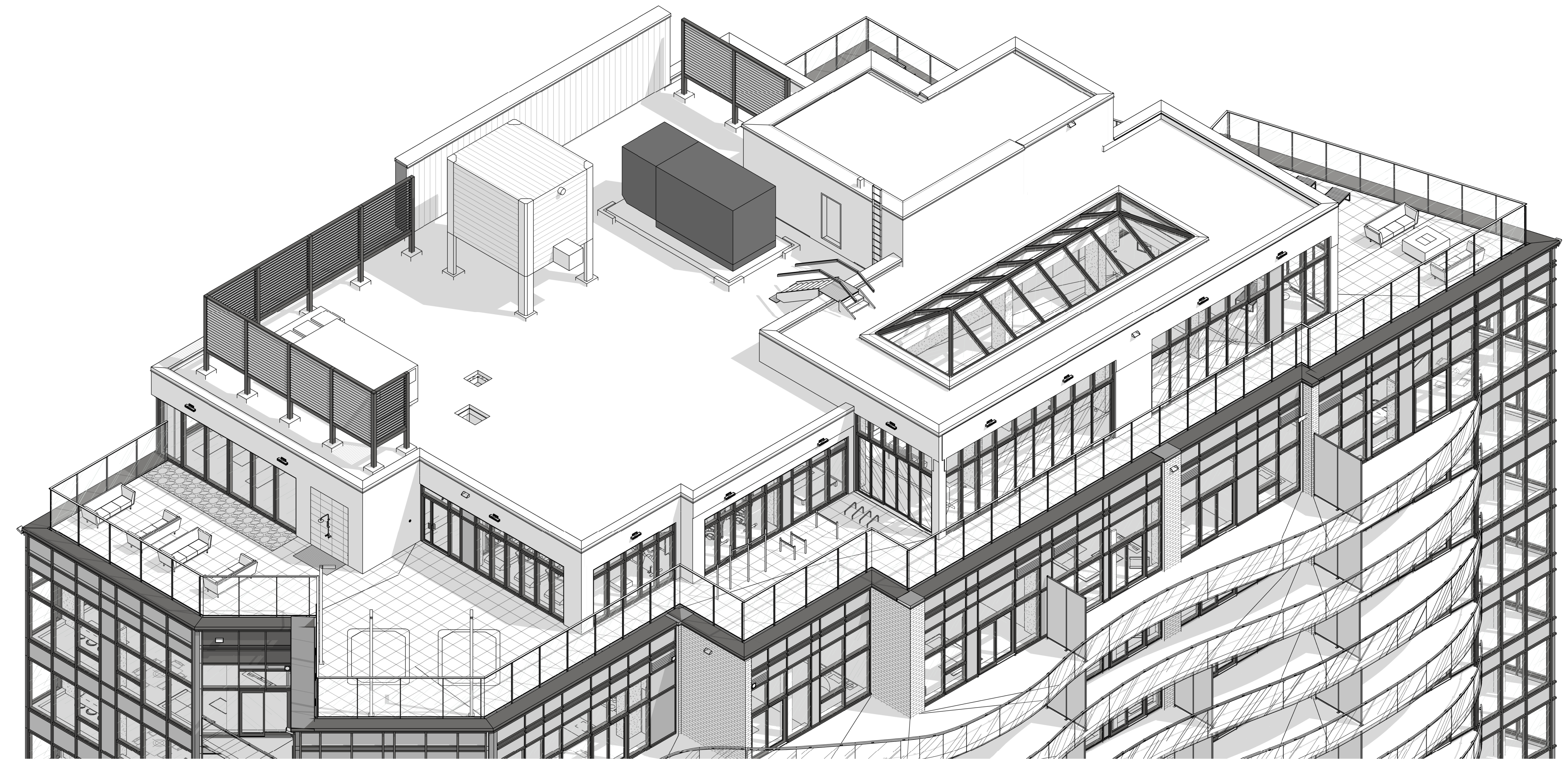
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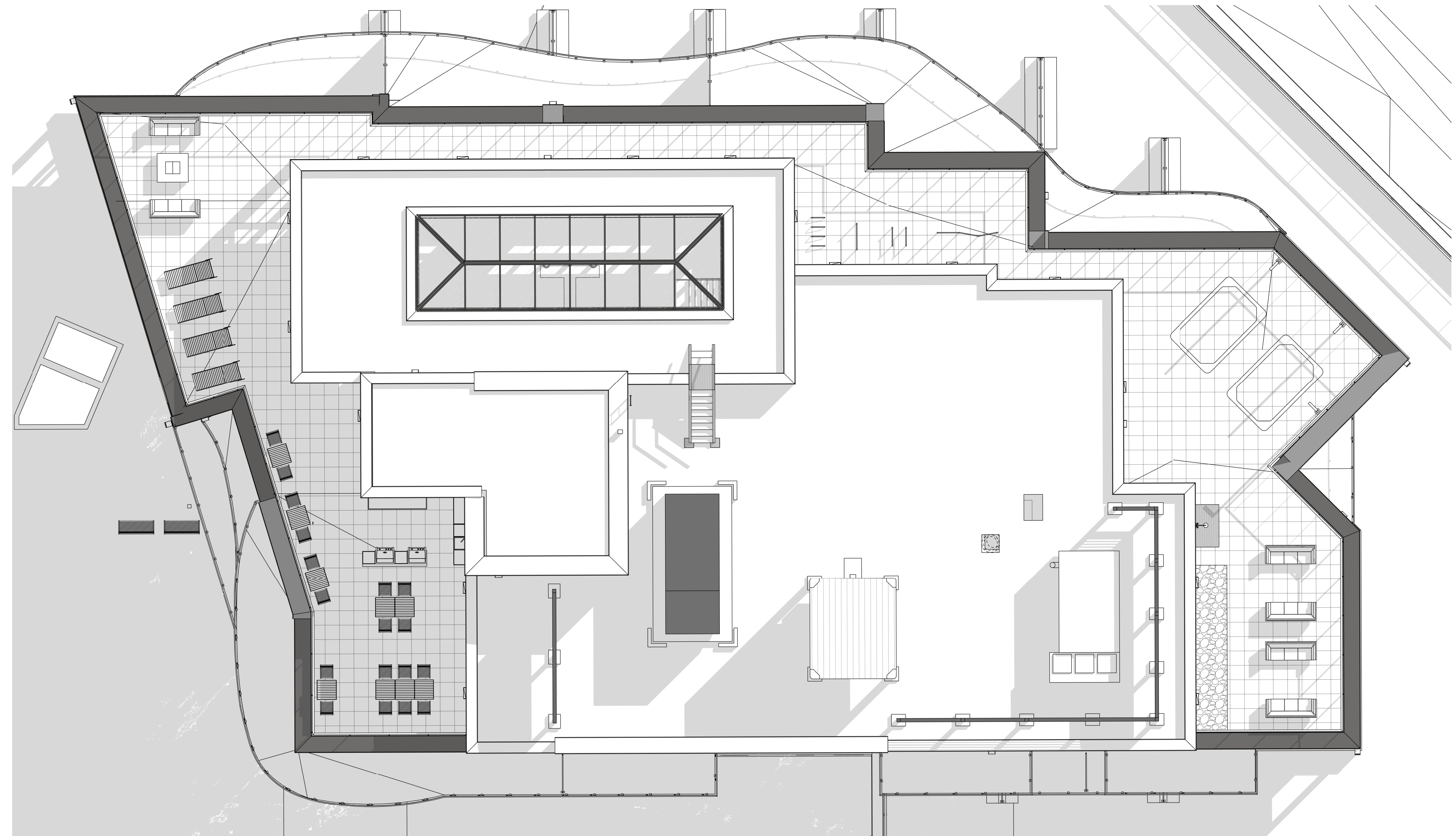
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ROOF CANOPY PERSPECTIVE

2
A005



ROOF CANOPY AERIAL PLAN

1
A005

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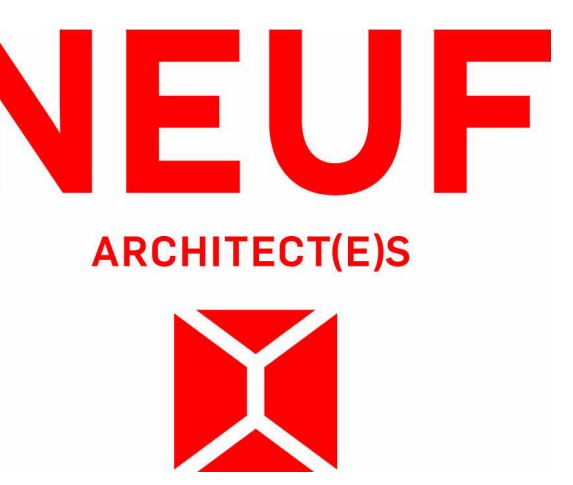
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10	ISSUED FOR ADD-02	2022-06-16
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ROOF CANOPY PERSPECTIVES

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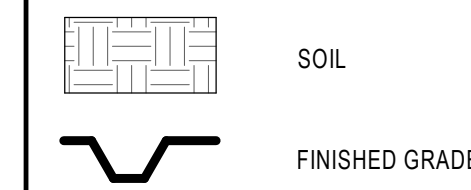
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SOIL LEGEND



MATERIALS LEGEND

- (C-1) EXPOSED CONCRETE
- (G-1) GLASS - TYPE 1 (CLEAR)
- (G-2) SPANDREL GLASS - TYPE 2 (WARM GRAY FRIT CS-0001)
- (G-3) PRIVACY SCREENS - FINHEAD TEXTURED
- (M-1) MASONRY VENEER - TYPE 1 (STONE SHOULDER, COLOUR: PEARL WHITE, TAPESTRY (NO BEVEL) 390x195mm SEE STONE COURSING)
- (M-2) MASONRY VENEER - TYPE 3 (BRICK SHOULDER - M) BRICK SMOOTH COLOUR: PEARL WHITE, JOINT METRIC (50x50x10mm)
- (M-3) ALUMINUM - TYPE 1 (WHITE - STANDARD SERIES - DURANAR XL RAL 9016)
- (M-4) ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VICWEST - AD-300SR)
- (M-5) ALUMINUM - TYPE 3 (CHARCOAL - DURANAR XL COLOUR TO MATCH 9807)
- (M-6) ALUMINUM - TYPE 4 (ALUMINUM LOUVERS, (RARR) GRAY - COLOUR TO MATCH CERAMIC FRT)

ABBREVIATION/SYMBOL LEGEND

- C.J. CONTROL JOINT (SEALANT COLOUR TO MATCH ADJACENT VENEER)
- L.L. PRIMED & PAINTED LOOSE SHELF (COLOUR TO MATCH ADJACENT VENEER)
- S.A. PRIMED & PAINTED SHELF ANGLE (COLOUR TO MATCH ADJACENT VENEER)
- S.S.A. PRIMED & PAINTED SUSPENDED SHELF ANGLE (COLOUR TO MATCH ADJACENT VENEER)
- S.S. SUPPORT STRUCTURE OPENINGS OVER 600mm: STRUCTURAL STEEL, RIS AND SHELF ANGLE ABOVE WINDOW (M) SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, SWINDERS, ANCHORAGE LOCATIONS, ETC.)
- SINGLE EXHAUST VENT
- DOUBLE EXHAUST VENT
- TRIPLE EXHAUST VENT
- QUADRUPLE EXHAUST VENT

REFER TO A-802 FOR BRICK COURSING DETAILS. FOR OTHER BRICK SIZES AND TYPES, COURSING MUST BE ADAPTED TO THE STONE COURSING AND ROUGH OPENINGS AS INDICATED IN THESE DRAWINGS.

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T: 438-381-7777 Courriel: glenn@loroux-cyr.com

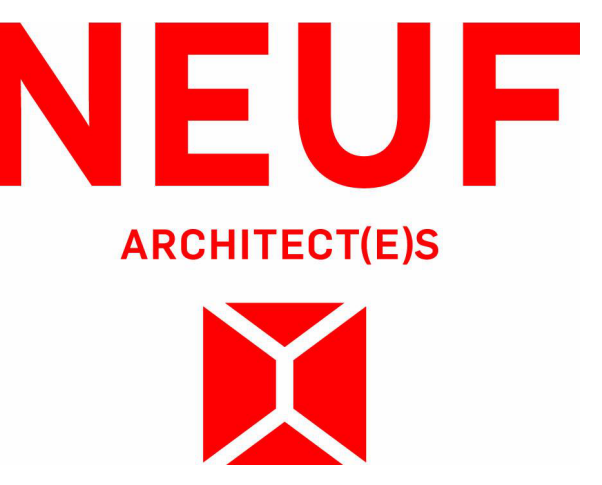
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T: 613-727-5111 Email: m.sosnowski@goodkey.com / r.viv@goodkey.com

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GEOTECHNICAL: Géotechnique
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CIVIL: Civil
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T: 613-688-1899 Email: cns@exp.com / exp.com

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NEUF architecte(s)
630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
T: 514-847-1117 NEUFarchitecte.com



OUVRAGE: Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT: Location
ORLEANS, ON NO PROJET No: **12190.00**

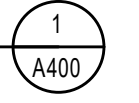
NO	REVISION	DATE (aa-mm-jj)
5	ISSUED FOR BRIGIL REVIEW (70%)	2021-11-01
6	Issue for SPA Rev. 01	2021-12-10
7	For Approved SPA Revision	2021-12-10
8	ISSUE DRAFT ISSUE	2021-12-01
9	ISSUED FOR PERMIT	2021-12-15
10	For Approved SPA Revision	2022-01-28
11	ISSUED FOR PERMIT	2022-03-02
12	FOR PERMIT UPDATE	2022-04-14
13	ISSUED FOR ADD-01	2022-05-25
14	ISSUED FOR ADD-02	2022-06-16
15	ISSUED FOR ADD-04	2022-07-15
16	ISSUED FOR FOUNDATION PERMIT	2022-08-09
17	ISSUED FOR PTA 001	2023-02-24
18	For Approved SPA Revision	2023-05-06
19	ISSUED FOR COORDINATION	2023-12-22
20	ISSUED FOR PERMIT - REV. 1	2024-01-17

DESSINÉ PAR Drawn by: **MU/RR** VERIFIÉ PAR Checked by: **MU**
DATE (aa-mm-jj): **10/15/2019** ÉCHELLE Scale: **As**
TITRE DU DESSIN Drawing Title: **indicated**

SOUTH ELEVATION
REVISION: Revision NO DESSIN: Deep Number
20 A400

ELEVATION - SOUTH

1:100



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Committee of Adjustment
Received | Reçu le
2024-02-20
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SOIL LEGEND

SOIL
FINISHED GRADE

MATERIALS LEGEND

- (C1) EXPOSED CONCRETE
- (G1) GLASS - TYPE 1 (CLEAR)
- (G2) SPANDREL GLASS - TYPE 2 (WARM GRAY FRIT CS-0001)
- (G3) PRIVACY SCREENS - FINISH TEXTURED
- (M1) MASONRY VENEER - TYPE 1 (STONE SHOULDER, COLOUR PEARL WHITE - TAPERED TO REVEAL SUBSTRATE - SEE STONE COURSE)
- (M2) MASONRY VENEER - TYPE 2 (BRICK SHOULDER, ALL BRICK SMOOTH, COLOUR PEARL WHITE - 2800 METRIC 260x60mm)
- (MT-1) ALUMINUM - TYPE 1 (WHITE - STANDARD SERIES - DUNBAR XL RAL 9016)
- (MT-2) ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VIGMET - AD-3005R)
- (MT-3) ALUMINUM - TYPE 3 (CHARCOAL - DURANAR XL COLOUR TO MATCH 9607)
- (MT-4) ALUMINUM - TYPE 4 (ALUMINUM LOUVERS (WARM GRAY - COLOUR TO MATCH CERAMIC FRIT))

ABBREVIATION/SYMBOL LEGEND

- (C.J.) CONTROL JOINT (BRICK/COLOR TO MATCH ADJACENT VENEER)
- (L.P.) PRIMED & PAINTED LOOSE SHELF (COLOUR TO MATCH ADJACENT VENEER)
- (S.A.) PRIMED & PAINTED SHELF ANGLE (COLOUR TO MATCH ADJACENT VENEER)
- (S.S.) PRIMED & PAINTED SUPPORTS SHELF ANGLE (COLOUR TO MATCH ADJACENT VENEER)
- (S.S.) SUPPORT STRUCTURE (OPENINGS OVER 3000mm) - STRUCTURAL STEEL/MS AND SHELF ANGLE ABOVE WINDOW/LANT. SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS, ANCHORAGE, LOCATIONS, ETC.)
- (S.E.) SINGLE EXHAUST VENT*
- (D.E.) DOUBLE EXHAUST VENT*
- (T.E.) TRIPLE EXHAUST VENT*
- (C.E.) CHIMNEY EXHAUST VENT*

* ALL EXHAUST VENT LOCATION TO BE VERIFIED AND COORDINATED WITH MECHANICAL ENGINEER

REFER TO A-402 FOR BRICK COURSING DETAILS. FOR OTHER BRICK SIZES AND TYPES, COURSING MUST BE ADAPTED TO THE STONE COURSING AND ROUGH OPENINGS AS INDICATED IN THESE DRAWINGS.

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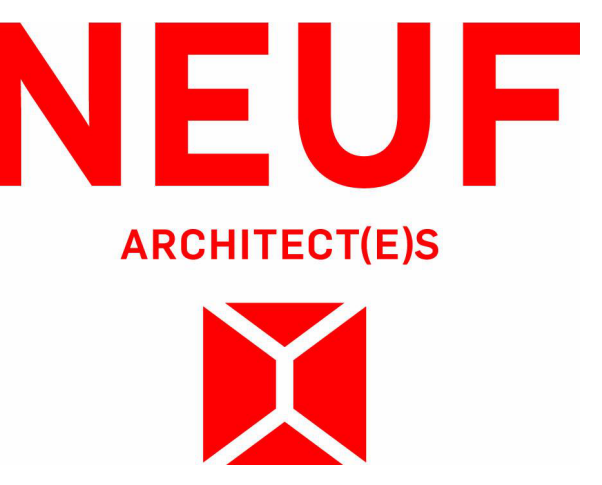
LANDSCAPE ARCHITECT - Architect paysager
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SCEAU / Seal

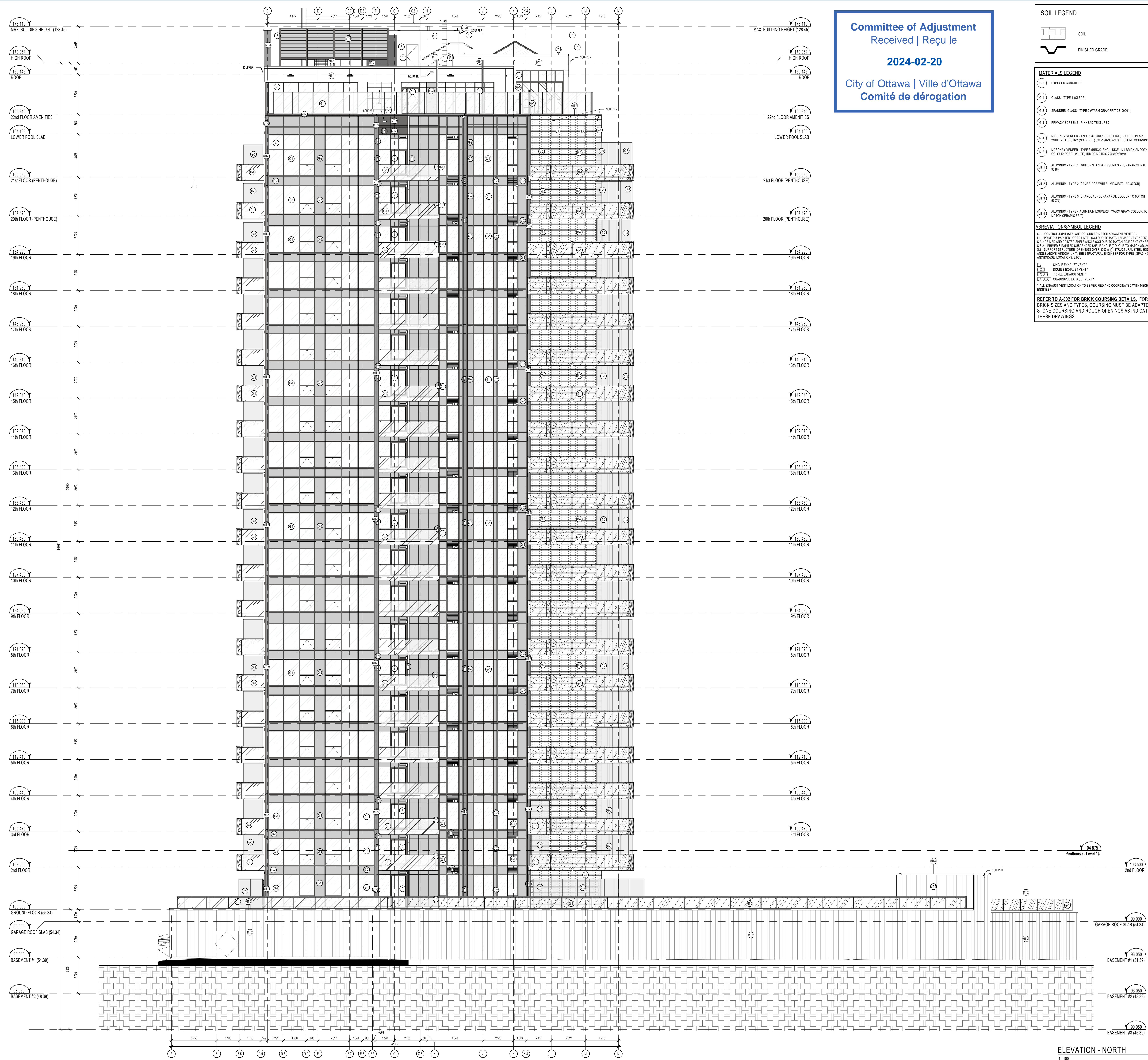


PETRIE'S LANDING I - TOWER 4
ORLEANS, ON NO PROJET No. 12190.00

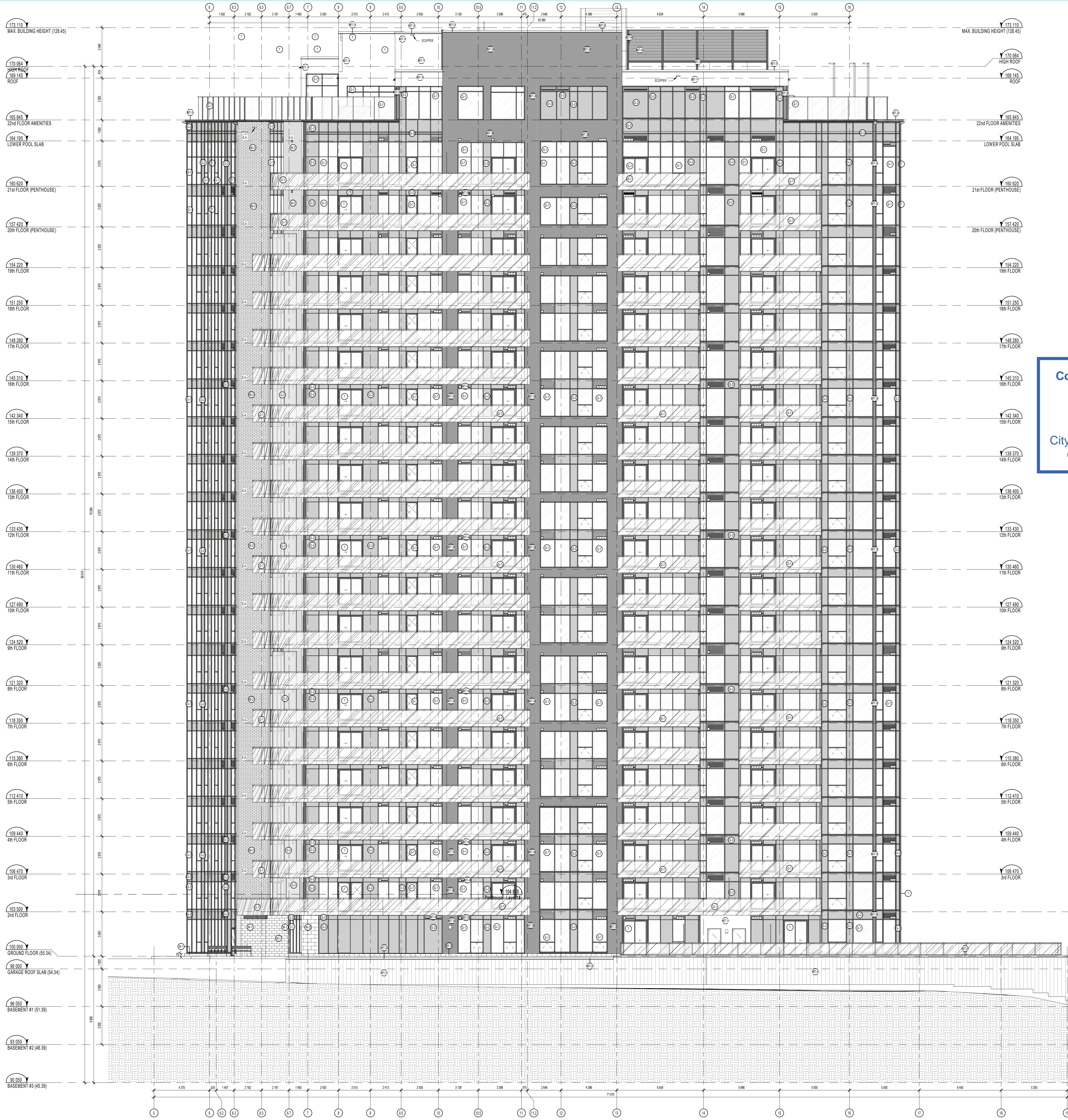
NO	REVISION	DATE (aa-mm-jj)
5	ISSUED FOR BRIGIL REVIEW (70%)	2021-11-01
6	Issue for SPA Rev. 1	2021-12-10
7	For Approved SPA Revision	2021-12-10
8	ISSUE DRAFT ISSUE	2021-12-01
9	ISSUED FOR PERMIT	2021-12-15
10	For Approved SPA Revision	2022-01-28
11	ISSUED FOR TENDER	2022-03-02
12	FOR PERMIT UPDATE	2022-04-14
13	ISSUED FOR ADD-01	2022-05-25
14	ISSUED FOR ADD-02	2022-06-16
15	ISSUED FOR ADD-04	2022-07-15
16	ISSUED FOR FOUNDATION PERMIT	2022-08-09
17	ISSUED FOR PTA RFP	2023-02-24
18	For Approved SPA Revision	2023-05-08
19	ISSUED FOR COORDINATION	2023-10-22
20	ISSUED FOR PERMIT - REV. 1	2024-01-17

DESSINÉ PAR Drawn by: **MU/RR** VERIFIÉ PAR Checked by: **MU**
DATE (aa-mm-jj) 10/15/2019 ECHELLE Scale: **As**
TITRE DU DESSIN Drawing Title: **indicated**
NORTH ELEVATION

REVISION/Revision: **20** NO DESSIN/Draw Number: **A401**



ELEVATION - NORTH
1:100



SOIL LEGEND	
	SOIL
	FINISHED GRADE

MATERIALS LEGEND	
(-)	EXPOSED CONCRETE
(G1)	GLASS - TYPE 1 (CLEAR)
(G2)	SPANDREL GLASS - TYPE 2 (WARM GRAY FRIT CS-0001)
(G3)	PRIVACY SCREENS - PINKLEAD TEXTURED
(M1)	MASONRY VENEER - TYPE 1 (STONE - SHOULDER, COLOUR PEARL WHITE - SAGESFEN 160 BELL (SHOWER) SEE STONE COURSING)
(M2)	MASONRY VENEER - TYPE 3 (BRICK - SHOULDER, BU BRICK SMOOTH, COLOUR PEARL WHITE, JUMBO METRIC 200x90x65mm)
(M3)	ALUMINUM - TYPE 1 (WHITE - STANDARD WEIGHT - DURANAR XL RAL 9016)
(M4)	ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VIOSET - AD-305R)
(M5)	ALUMINUM - TYPE 3 (CHARCOAL - DURANAR AL COLOUR TO MATCH 9872)
(M6)	ALUMINUM - TYPE 4 (ALUMINUM LOUVERS (BRANX GRAY - COLOUR TO MATCH CERAMIC FIN))

ABBREVIATIONS/SYMBOL LEGEND	
C.J.	CONTROL JOINT (SEALANT COLOUR TO MATCH ADJACENT VENEER)
L.S.	LEAD PAINTED (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.A.	SHIM AND ANGLE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.B.	SHIM AND BUSH (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.E.	SHIM AND EYE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.F.	SHIM AND FIBRE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.G.	SHIM AND GROUT (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.H.	SHIM AND HOOK (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.I.	SHIM AND IRON (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.L.	SHIM AND LATH (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.M.	SHIM AND MESH (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.N.	SHIM AND NAIL (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.O.	SHIM AND OILING (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.P.	SHIM AND PAPER (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.R.	SHIM AND REINFORCEMENT (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.S.	SHIM AND SUTURE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.T.	SHIM AND TIE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.U.	SHIM AND U-BOLT (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.V.	SHIM AND VENT (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.W.	SHIM AND WIRE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.X.	SHIM AND X (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.Y.	SHIM AND Y (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.Z.	SHIM AND Z (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.	SHIM (SEALANT COLOUR TO MATCH ADJACENT VENEER)
E.	EXHAUST (SEALANT COLOUR TO MATCH ADJACENT VENEER)
C.	CHARCOAL (SEALANT COLOUR TO MATCH ADJACENT VENEER)
W.	WHITE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
B.	BROWN (SEALANT COLOUR TO MATCH ADJACENT VENEER)
G.	GRAY (SEALANT COLOUR TO MATCH ADJACENT VENEER)
P.	PINKLEAD (SEALANT COLOUR TO MATCH ADJACENT VENEER)
R.	RED (SEALANT COLOUR TO MATCH ADJACENT VENEER)
S.	STONE (SEALANT COLOUR TO MATCH ADJACENT VENEER)
T.	TAN (SEALANT COLOUR TO MATCH ADJACENT VENEER)
V.	VIOLET (SEALANT COLOUR TO MATCH ADJACENT VENEER)
Y.	YELLOW (SEALANT COLOUR TO MATCH ADJACENT VENEER)
Z.	ZINC (SEALANT COLOUR TO MATCH ADJACENT VENEER)

Committee of Adjustment
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2024-02-20
 City of Ottawa | Ville d'Ottawa
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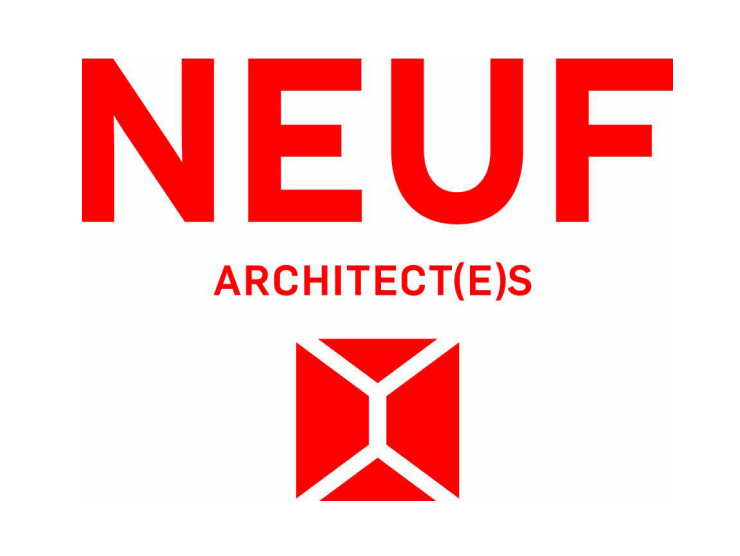
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 T: 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



PROJET - Project
PETRIE'S LANDING I - TOWER 4
 ORLEANS, ON NO PROJET No. 12190.00

NO	REVISION	DATE (aa-mm-jj)
1	ISSUED FOR BRIGIL REVIEW (70%)	2021-11-01
2	Issue for SPA Rev. 1	2021-12-10
3	For Approved SPA Revision	2021-12-10
4	ISSUE DRAFT ISSUE	2021-01-01
5	ISSUED FOR PERMIT	2021-12-15
6	For Approved SPA Revision	2022-01-28
7	ISSUED FOR TENDER	2022-03-02
8	FOR PERMIT UPDATE	2022-04-14
9	ISSUED FOR ADD-01	2022-03-29
10	ISSUED FOR ADD-02	2022-04-18
11	ISSUED FOR ADD-04	2022-07-15
12	ISSUED FOR FOUNDATION PERMIT	2022-04-09
13	ISSUED FOR PTA RFP	2023-02-24
14	For Approved SPA Revision	2023-06-06
15	ISSUED FOR COORDINATION	2023-12-22
16	ISSUED FOR PERMIT - REV. 1	2024-01-17

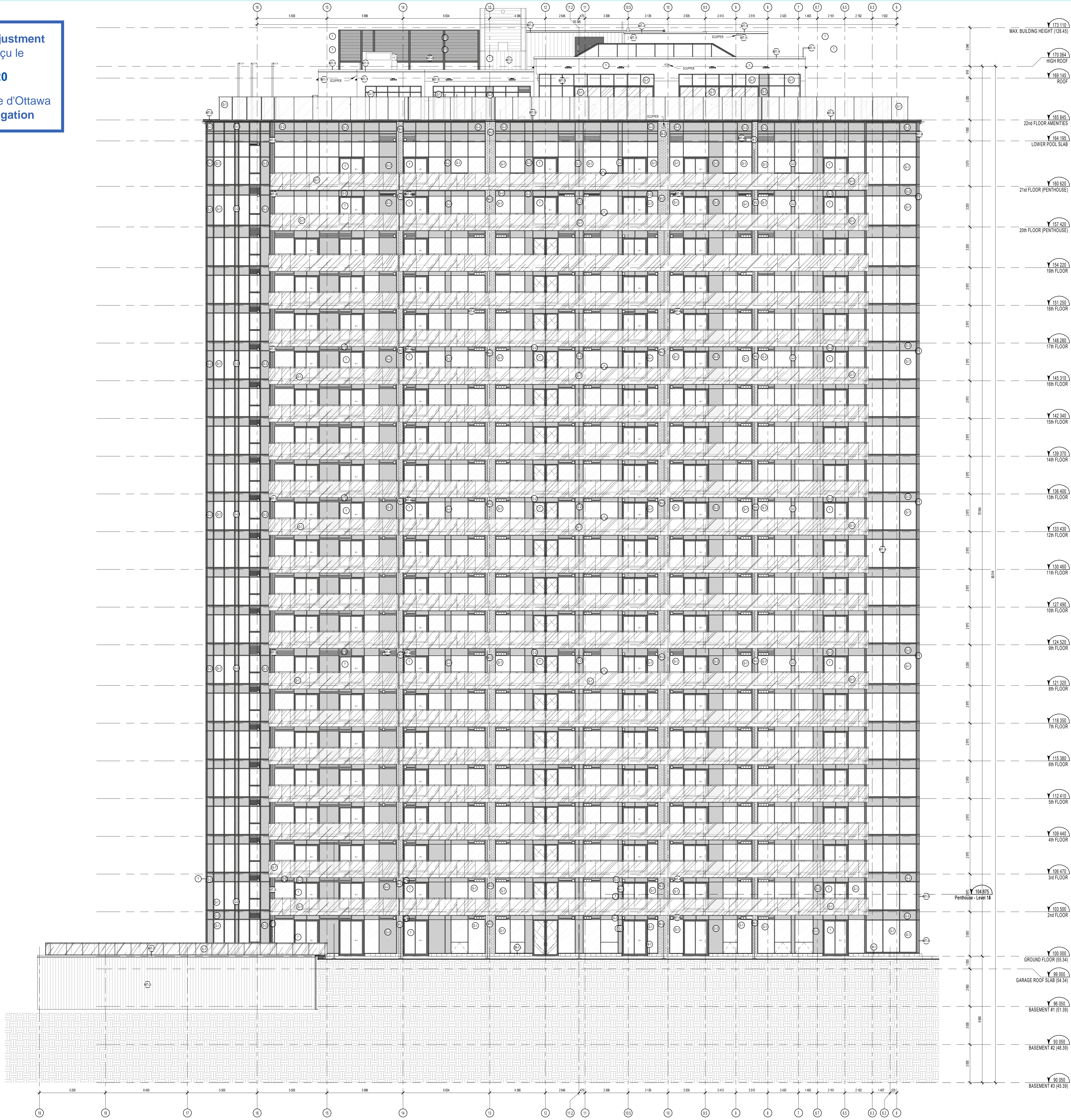
DESSINÉ PAR Drawn by **MU/RR** VÉRIFIÉ PAR Checked by **MU**
 DATE (aa-mm-jj) **10/15/2019** ÉCHELLE Scale **As Indicated**
 TITRE DU DESSIN Drawing Title **EAST ELEVATION**

Committee of Adjustment

Received | Reçu le

2024-02-20

City of Ottawa | Ville d'Ottawa
Comité de dérogation



SOIL LEGEND

SOIL

FINISHED GRADE

MATERIALS LEGEND

C-1 EXPOSED CONCRETE

G-1 GLASS - TYPE 1 (CLEAR)

G-2 SPANDREL GLASS - TYPE 2 (BARRI GRAY FRIT CS-00001)

G-3 PRIVACY SCREENS - FINISHED TEXTURED

M-1 MASONRY VENEER - TYPE 1 (STONE, SHOULDER, COLOUR: PEARL, WHITE, TAPESTRY AND BEVEL) 360x160x90mm SEE STONE COURSING

M-2 MASONRY VENEER - TYPE 3 (BRICK, SHOULDER, BRICK SMOOTH, COLOUR: PEARL, WHITE, 180x90x60mm)

MT-1 ALUMINUM - TYPE 1 (WHITE - STANDARD SERIES - DURANAR XL 8AL 916)

MT-2 ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VORWEST - AD-3005R)

MT-3 ALUMINUM - TYPE 3 (CHARCOAL - DURANAR XL COLOUR TO MATCH 9672)

MT-4 ALUMINUM - TYPE 4 ALUMINUM LOUVERS (BARRI GRAY - COLOUR TO MATCH CERAMIC FRIT)

ABBREVIATIONS/SYMBOL LEGEND

C.J. CONTROL JOINT (SEALANT COLOUR TO MATCH ADJACENT VENEER)

S.1. PRIMED & PAINTED SLOPE UNTIL COLOUR TO MATCH ADJACENT VENEER

S.2. PRIMED & PAINTED SHELF ANGLE COLOUR TO MATCH ADJACENT VENEER

S.3. PRIMED & PAINTED SUPPORT SHELF ANGLE COLOUR TO MATCH ADJACENT VENEER

S.4. PRIMED & PAINTED SUPPORT SHELF ANGLE COLOUR TO MATCH ADJACENT VENEER

S.5. SUPPORT STRUCTURE (OPENINGS OVER 300mm) STRUCTURAL STEEL, RISER AND SHELF ANGLE ABOVE WINDOW UNIT, SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS, ANCHORAGE, LOCATIONS, ETC.

□ SINGLE EXHAUST VENT*

□ DOUBLE EXHAUST VENT*

□ TRIPLE EXHAUST VENT*

□ CHAIRPILE EXHAUST VENT*

* ALL EXHAUST VENT LOCATION TO BE VERIFIED AND COORDINATED WITH MECHANICAL ENGINEER

REFER TO A-302 FOR BRICK COURSING DETAILS. FOR OTHER BRICK SIZES AND TYPES, COURSING MUST BE ADAPTED TO THE STONE COURSING AND ROUGH OPENINGS AS INDICATED IN THESE DRAWINGS.

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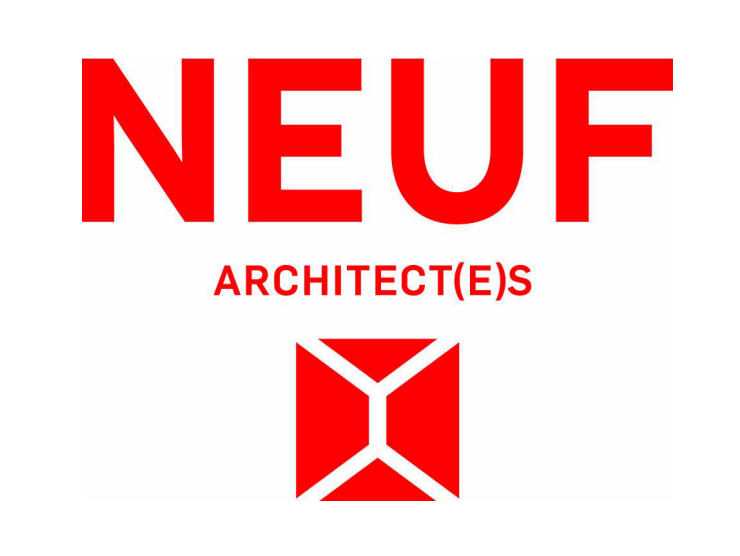
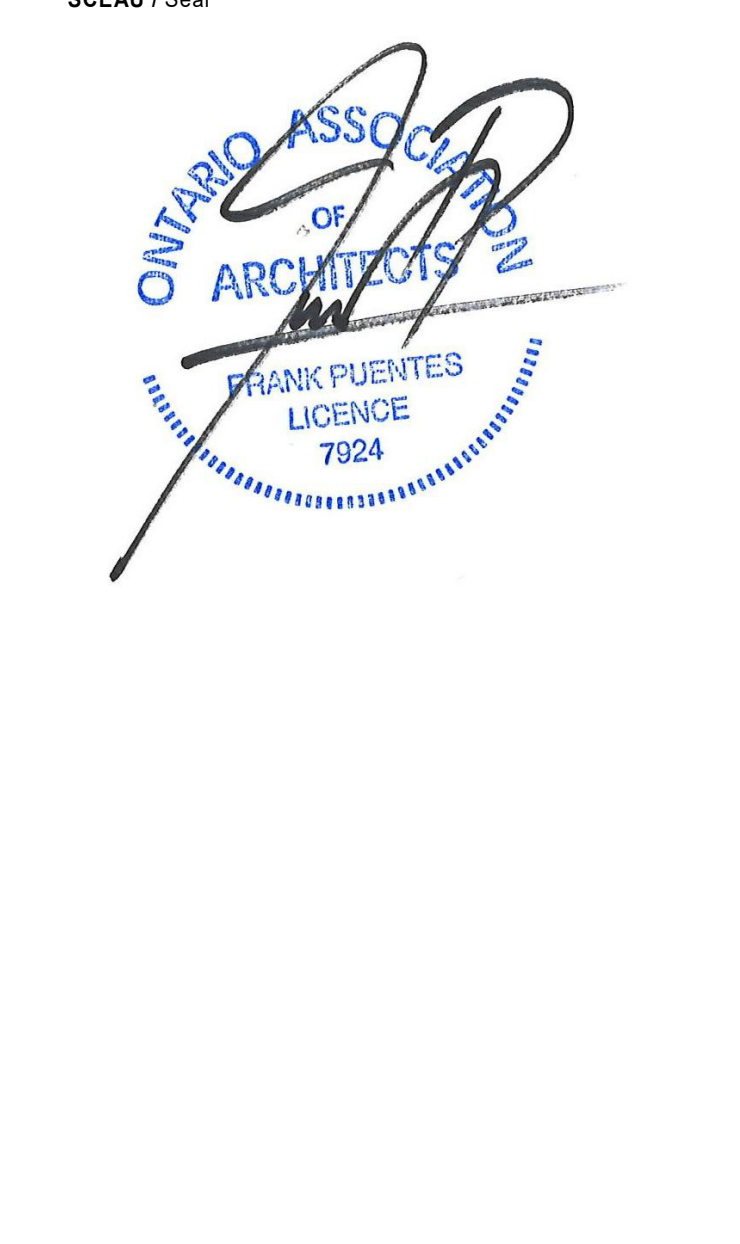
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SCEAU / Seal



OUVRAGE - Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT - Location
ORLEANS, ON

NO PROJET No.
12190.00

NO	REVISION	DATE (aa-mm-jj)
5	ISSUED FOR BRIGIL REVIEW (70%)	2021-11-01
6	Issue for SPA Rev 6	2021-12-10
7	For Approved SPA Revision	2021-12-10
8	ISSUE DRAFT ISSUE	2021-12-01
9	ISSUED FOR PERMIT	2021-12-15
10	For Approved SPA Revision	2022-01-28
11	ISSUED FOR TENDER	2022-03-02
12	FOR PERMIT UPDATE	2022-04-14
13	ISSUED FOR ADD-01	2022-05-25
14	ISSUED FOR ADD-02	2022-06-16
15	ISSUED FOR ADD-04	2022-07-15
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18	For Approved SPA Revision	2023-05-08
19	ISSUED FOR COORDINATION	2023-12-22
20	ISSUED FOR PERMIT - REV. 1	2024-01-17

DESSINÉ PAR Drawn by: **MU/RR** VERIFIÉ PAR Checked by: **MU**

DATE (aa-mm-jj) 10/15/2019 ÉCHELLE Scale: **As Indicated**

TITRE DU DESSIN Drawing Title: **WEST ELEVATION**

REVISION - Revision NO DESSIN Drawing Number: **20** NO PROJET Project Number: **A403**

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ELEVATION - WEST
1-100
A403

Committee of Adjustment
Received | Reçu le
2024-02-20
City of Ottawa / Ville d'Ottawa
Comité de dérogation

MATERIALS LEGEND	
(C1)	EXPOSED CONCRETE
(G1)	GLASS - TYPE 1 (CLEAR)
(G2)	SPANDREL GLASS - TYPE 2 (MARRI GRAY FRIT GS-0081)
(G3)	PRIVACY SCREENS - FINHEAD TEXTURED
(M1)	MASONRY VENEER - TYPE 1 (STONE SHOULDER, COLOUR: COURSE, WHITE, TAPESTRY (NO REVEL 300x300mm) SEE STONE COLOURS)
(M2)	MASONRY VENEER - TYPE 3 (BRICK SHOULDER, M3 BRICK SMOOTH, COLOUR: PEARL, WHITE, COMB METC 200x100mm)
(M3)	ALUMINUM - TYPE 1 (WHITE - STANDARD SERIES - DURANAR XL RAL 9016)
(M3)	ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VICKREY - AD-3005R)
(M3)	ALUMINUM - TYPE 3 (CHARCOAL - DURANAR XL COLOUR TO MATCH 56372)
(M3)	ALUMINUM - TYPE 4 (ALUMINUM LOUVERS, (MARRI GRAY - COLOUR TO MATCH CERAMIC FRIT))

ABBREVIATION/SYMBOL LEGEND	
C.J.	CONTROL JOINT SEALANT COLOUR TO MATCH ADJACENT VENEER
L.L.	PAINTED AND FINISHED LOOSE LIPLET COLOUR TO MATCH ADJACENT VENEER
S.A.	PAINTED AND FINISHED SHELF ANGLE COLOUR TO MATCH ADJACENT VENEER
S.S.A.	PAINTED AND FINISHED SUSPENDED SHELF ANGLE COLOUR TO MATCH ADJACENT VENEER
S.S.	SUPPORT STRUCTURE OPENINGS OVER 200mm; STRUCTURAL STEEL W/8 AND SHELF ANGLE ABOVE WINDOW UNIT. SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS AND ANCHORAGE LOCATION, ETC.
	SINGLE EXHAUST VENT
	DOUBLE EXHAUST VENT
	TRIPLE EXHAUST VENT
	QUADRUPLE EXHAUST VENT
* ALL EXHAUST VENT LOCATION TO BE VERIFIED AND COORDINATED WITH MECHANICAL ENGINEER	

REFER TO A-802 FOR BRICK COURSING DETAILS. FOR OTHER BRICK SIZES AND TYPES, COURSING MUST BE ADAPTED TO THE STONE COURSING AND ROUGH OPENINGS AS INDICATED IN THESE DRAWINGS.

NOTES GÉNÉRALES - General Notes

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- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

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Goodkey, Weedmark & Associates Ltd.
1888 Woodward Drive, Ottawa ON K2C 3P8
T: 613-723-5111 / Email: m.soson@goodkey.com / info@goodkey.com

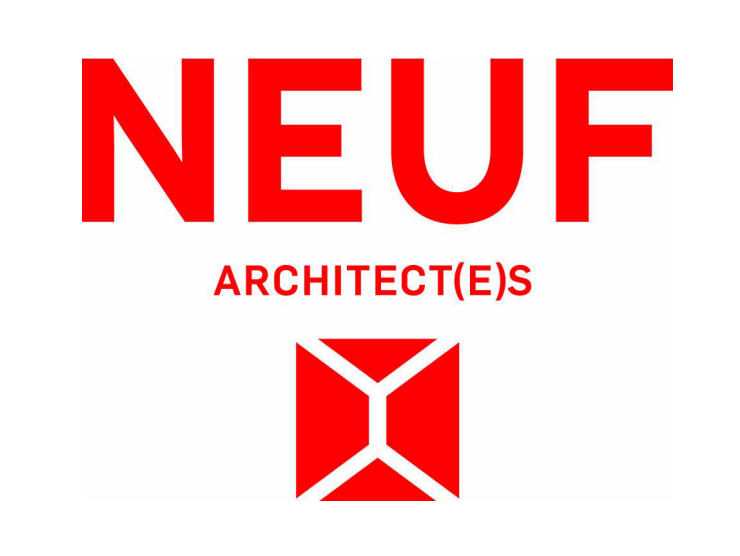
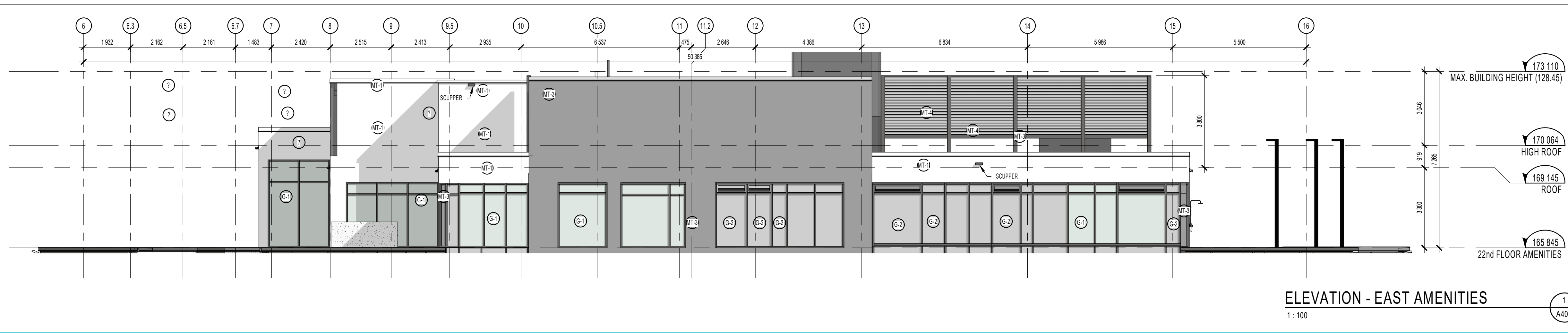
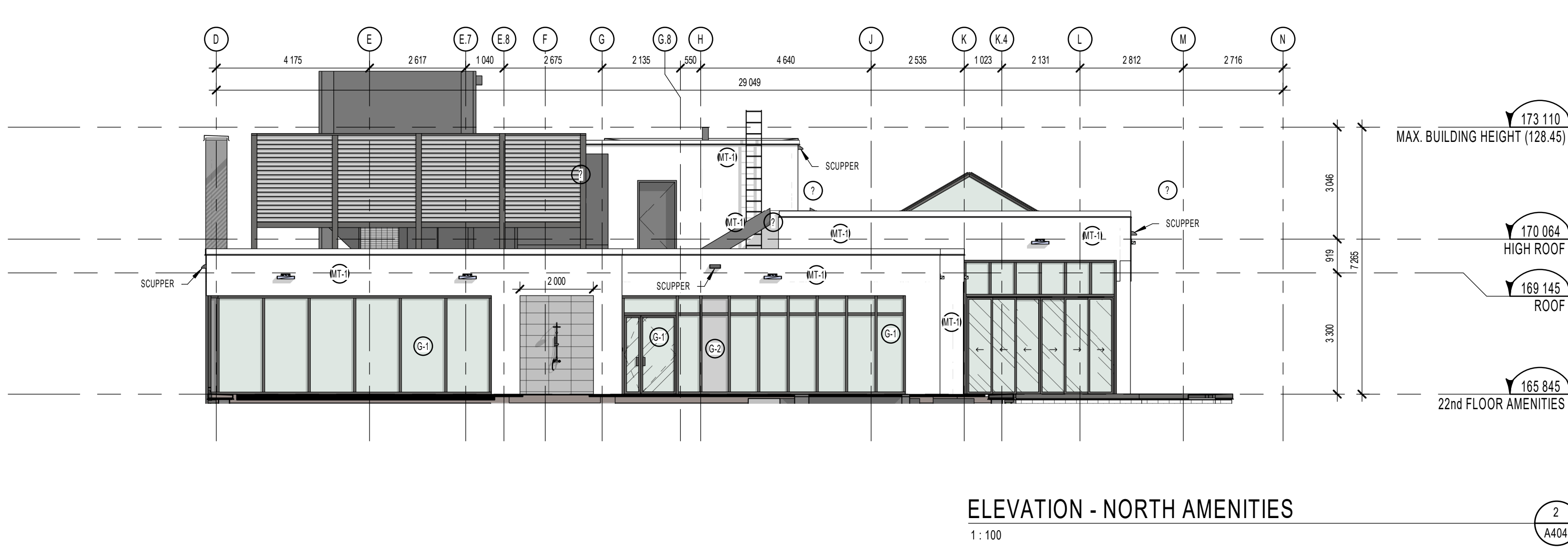
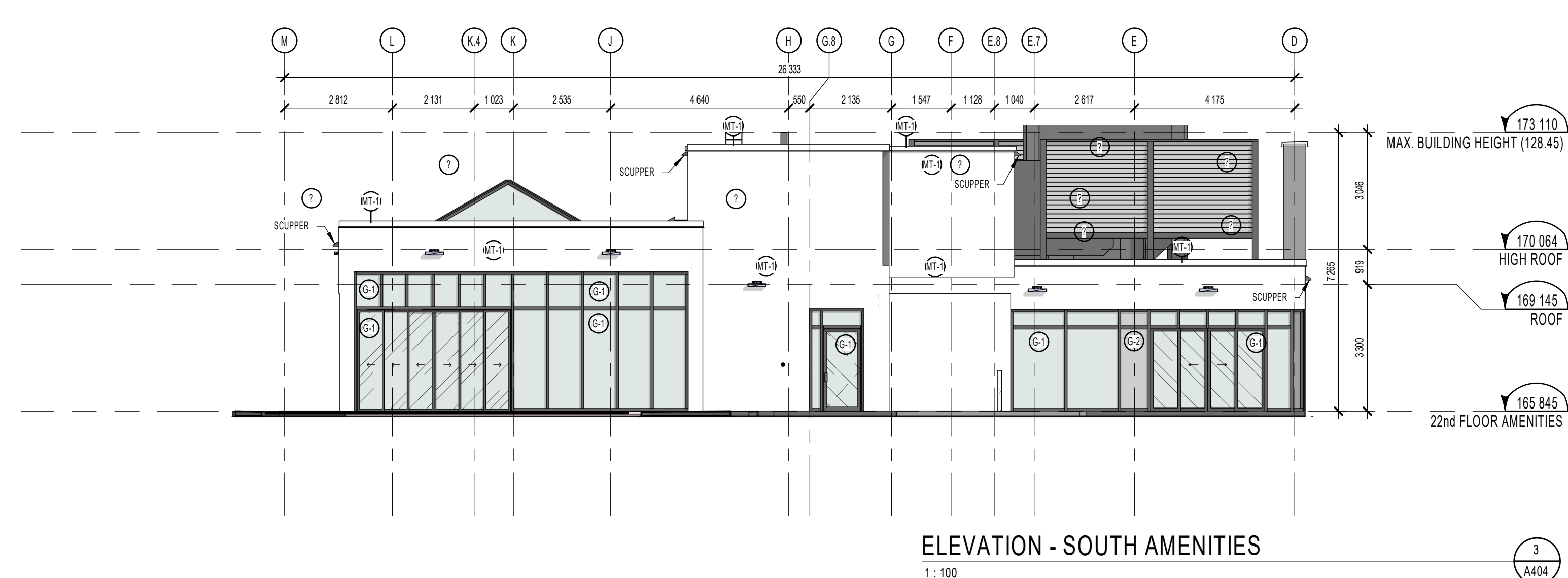
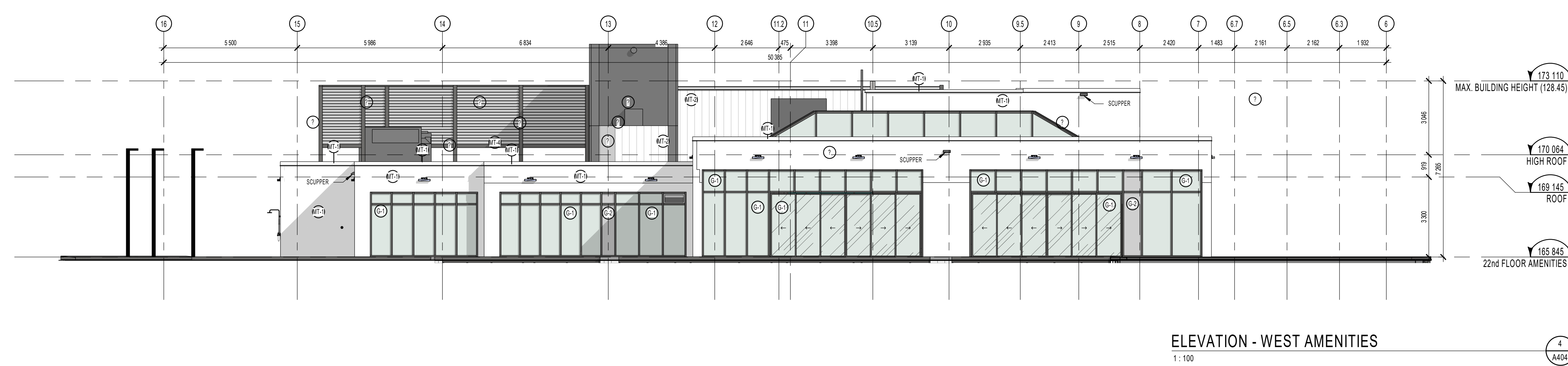
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CIVIL - CIVIL
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SCAU / Seal



OUVRAGE - Project
PETRIE'S LANDING I - TOWER 4
ORLEANS, ON Location NO PROJET No. 12190.00

NO	REVISION	DATE (aa-mm-jj)
1	30% ISSUE	2020-03-31
2	60% ISSUE	2020-06-30
3	80% ISSUE	2021-09-10
4	ISSUED FOR BRIGIL REVIEW (70%)	2021-11-01
5	Issue for SPA Rev 6	2021-12-10
6	ISSUED FOR PERMIT	2021-12-01
7	ISSUED FOR PERMIT	2021-12-15
8	ISSUED FOR TENDER	2022-02-02
9	FOR PERMIT UPDATE	2022-03-14
10	ISSUED FOR ADD-01	2022-04-16
11	ISSUED FOR ADD-02	2022-04-16
12	ISSUED FOR ADD-03	2022-05-15
13	ISSUED FOR FOUNDATION PERMIT	2022-09-09
14	ISSUED FOR COORDINATION	2022-10-22
15	ISSUED FOR PERMIT - REV. 1	2024-01-17

DESSINÉ PAR Drawn by **MU/RR** VERIFIÉ PAR Checked by **MU**
DATE (aa-mm-jj) **02/28/20** ÉCHELLE Scale **As Indicated**
TITRE DU DESSIN Drawing Title **PARTIAL ELEVATIONS**

REVISION/ Revision NO DESSIN/ Draw Number
15 A404

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