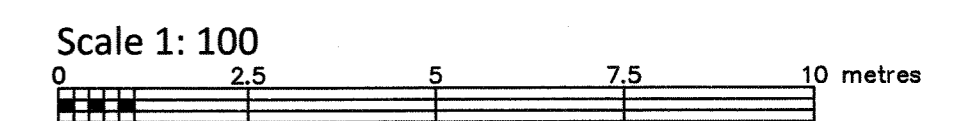


LOT 14 AND PART OF LOT 13 REGISTERED PLAN 310 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023



Metric Note Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°32'50" counter-clockwise was applied to bearings on P2.

Elevation Notes 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 19680092) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: F-04-19, F-04-20 & L2. 4. Sanitary and storm sewer grades and inverts were derived from: Field measurement. 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend table with symbols for Survey Monument Planted, Standard Iron Bar, Short Standard Iron Bar, Iron Bar, Round Iron Bar, Concrete Pin, Witness, Measured, Registered Plan 310, Plan by (1287) dated June 17, 1985, Plan by (1319) dated November 8, 1995, Plan by (1692) dated October 4, 2019, Maintenance Hole (Sanitary), Underground Sanitary Sewer, Underground Water, Underground Gas, Overhead Wires, Utility Pole, Gas Meter, Air Conditioner, Diameter, Chain Link Fence, Board Fence, Stone Retaining Wall, Invert, Top of Grate, Underside of Eave, Top of Foundation, Centreline, Location of Elevations, Top of Concrete Curb/Retaining Wall Elevation, Property Line, Deciduous Tree, Coniferous Tree.

Site Area=540.0 sq.m.

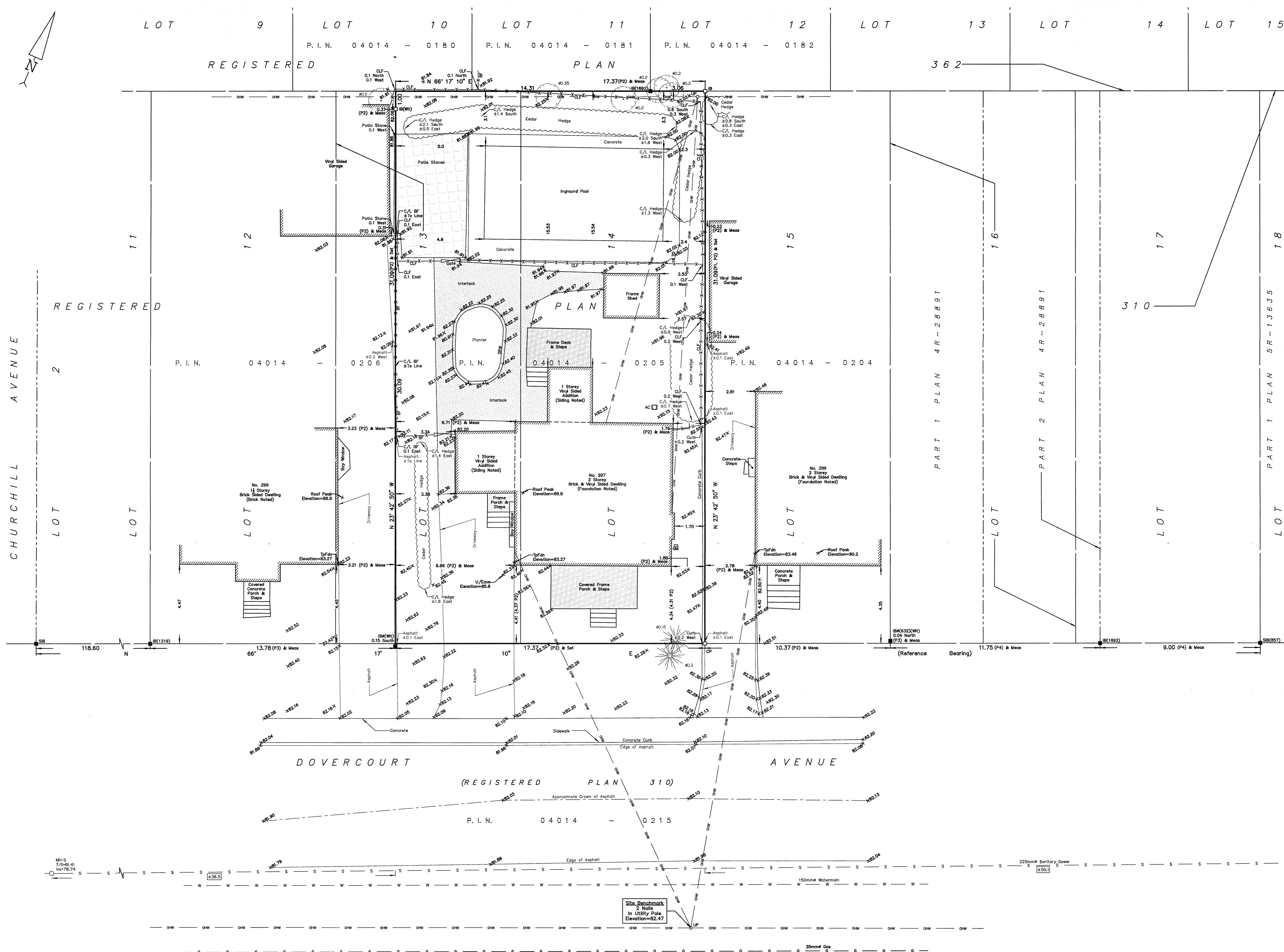
Committee of Adjustment Received | Reçu le 2024-02-01 City of Ottawa | Ville d'Ottawa Comité de dérogation

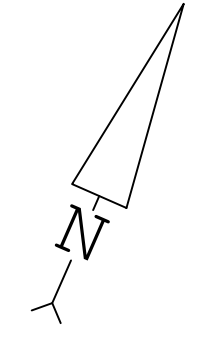
Surveyor's Certificate I certify that: 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 26th day of June, 2023. June 29/2023 Date Emad Alrefaai Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-56732 FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2023.





LOT 9 LOT 10 LOT 11 LOT 12 LOT 13 LOT 14 LOT 15

REGISTERED

PLAN

362

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT. **PLAN 4R-**
 DEPOSITED AND DEPOSITED
 DATE: _____ DATE: _____

 DANIEL ROBINSON REPRESENTATIVE FOR LAND REGISTRAR
 ONTARIO LAND SURVEYOR FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 13 & 14	310	ALL OF 04014 - 0205	270.0
2	PART OF 14			270.0

PLAN OF SURVEY OF
LOT 14 AND PART OF LOT 13
REGISTERED PLAN 310
CITY OF OTTAWA
 FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 100

Metric Note
 Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
 Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°32'50" counter-clockwise was applied to bearings on P2.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5027442.75	363612.04
(B)	5027515.51	363777.68
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate

I certify that:
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
 2. The survey was completed on the ___ day of _____, 2023.

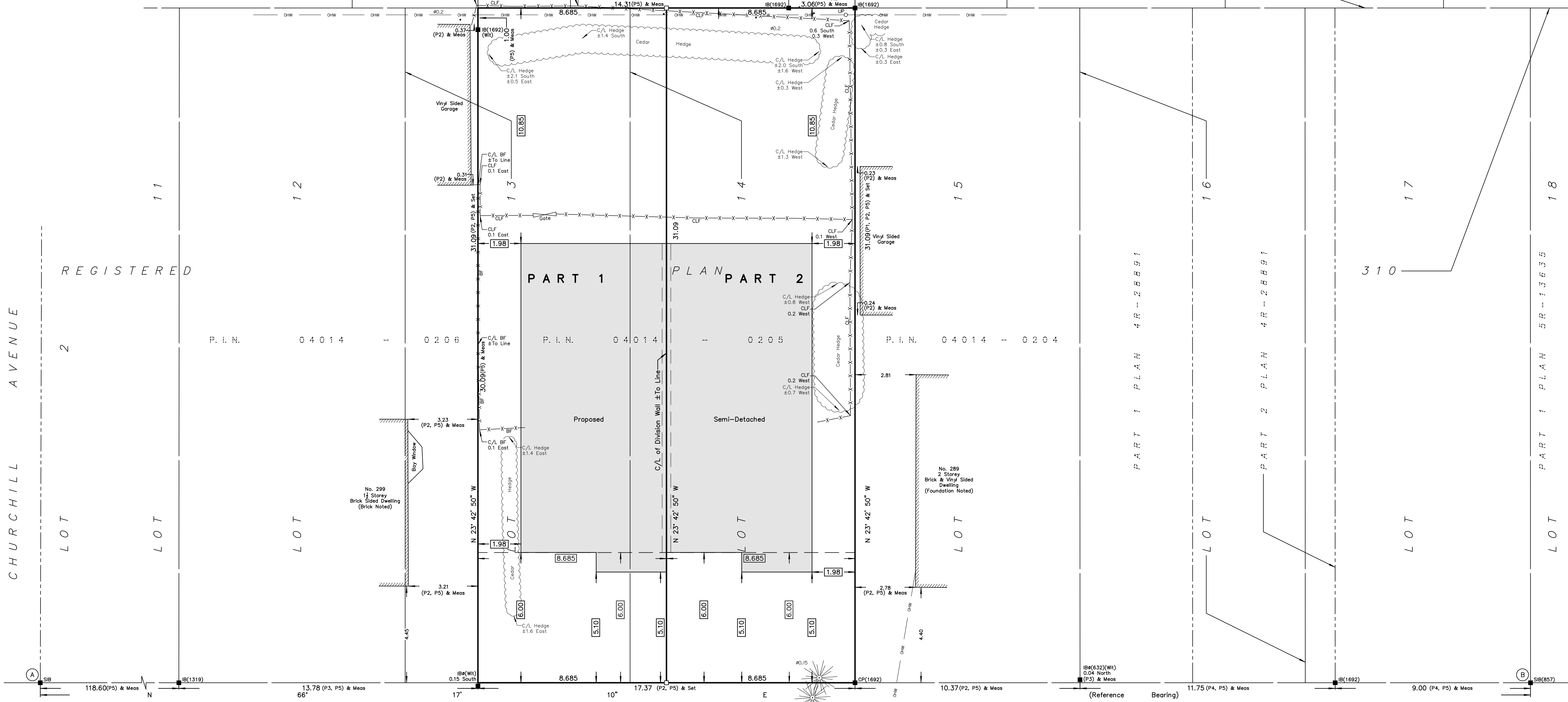
Date: _____ Daniel Robinson
 Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

Notes & Legend

- Denotes Survey Monument Planted
- Survey Monument Found
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- IBØ Round Iron Bar
- CP Concrete Pin
- (Wit) Witness
- Meas Measured
- (P1) Registered Plan 310
- (P2) Plan by (1287) dated June 17, 1985 (Job No. 350-85)
- (P3) Plan by (1319) dated November 8, 1995 (Ref. No. 2-310 C)
- (P4) Plan by (1692) dated October 4, 2019 (File No. 314-19)
- (P5) Plan by (1692) dated June 29, 2023 (File No. 205-23)
- OHW Overhead Wires
- UP Utility Pole
- Ø Diameter
- CLF Chain Link Fence
- BF Board Fence
- C/L Centreline

- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
- Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.



REGISTERED

CHURCHILL AVENUE

LOT 2

LOT 1

LOT 12

LOT 11

LOT 10

LOT 9

LOT 8

LOT 7

LOT 6

LOT 5

LOT 4

LOT 3

LOT 2

LOT 1

LOT 0

DOVERCOURT

(REGISTERED PLAN 310)

AVENUE

P. I. N. 04014 - 0215

Committee of Adjustment
 Received | Reçu le
2024-02-01
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
 CANADA LAND SURVEYORS
 Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
 TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

FILE No.: 477-23

PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

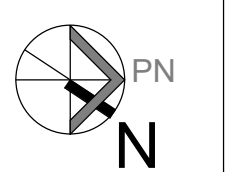
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
COVER

DRAWN CD	CHECKED SA
SCALE @ ARCH D	DATE 09/08/23



PROJECT NO.
230118

STAGE
COFA A0-00

LOCATION
OTTAWA

REVISION
10

Committee of Adjustment
Received | Reçu le
2024-02-01
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ARCHITECTURAL SHEET LIST			
Sheet Number	Sheet Name	Sheet Issue Date	Revision Number
A0-00	COVER	09/08/23	6
A0-01	LANDSCAPE AREA PLAN	09/08/23	6
A0-02	LOT AREA AND LOT COVERAGE	09/08/23	6
A0-03	SITE PLAN, DATA MATRIX, STATISTICS AND GENERAL NOTES	09/08/23	6
A0-04	FLOOR AREA PLAN	09/08/23	6
A0-05	SURVEY	09/08/23	6
A0-06	PROPOSED R PLAN	09/08/23	6
A0-07	CONSTRUCTION NOTES	09/08/23	6
A0-08	DEMOLITION PLAN	10/19/23	6
A1-01	PROP. BASEMENT	09/08/23	6
A1-02	PROP. GROUND FLOOR	09/08/23	6
A1-03	PROP. SECOND FLOOR	09/08/23	6
A1-04	PROP. ROOF PLAN	09/08/23	6
A2-01	PROP. FRONT ELEVATION	09/08/23	6
A2-02	PROP. REAR ELEVATION	09/08/23	6
A2-03	PROP. LEFT ELEVATION	09/08/23	6
A2-04	PROP. RIGHT ELEVATION	09/08/23	6
A3-01	SECTION	09/08/23	6
A3-02	SECTION	09/08/23	6
A3-03	SECTION	09/08/23	6
A4-01	WINDOW AND DOOR SCHEDULE	09/08/23	6
A4-02	DETAILS, WALL, FLOOR AND ROOF ASSEMBLIES	09/08/23	6
Grand total: 22			





REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

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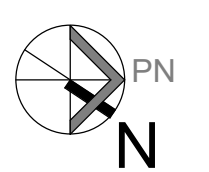
CONSULTANTS



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DRAWING TITLE
LANDSCAPE AREA PLAN

DRAWN	CD	CHECKED	SA
SCALE @	ARCH D	DATE	09/08/23
1" = 10'-0"			



PROJECT NO.
230118

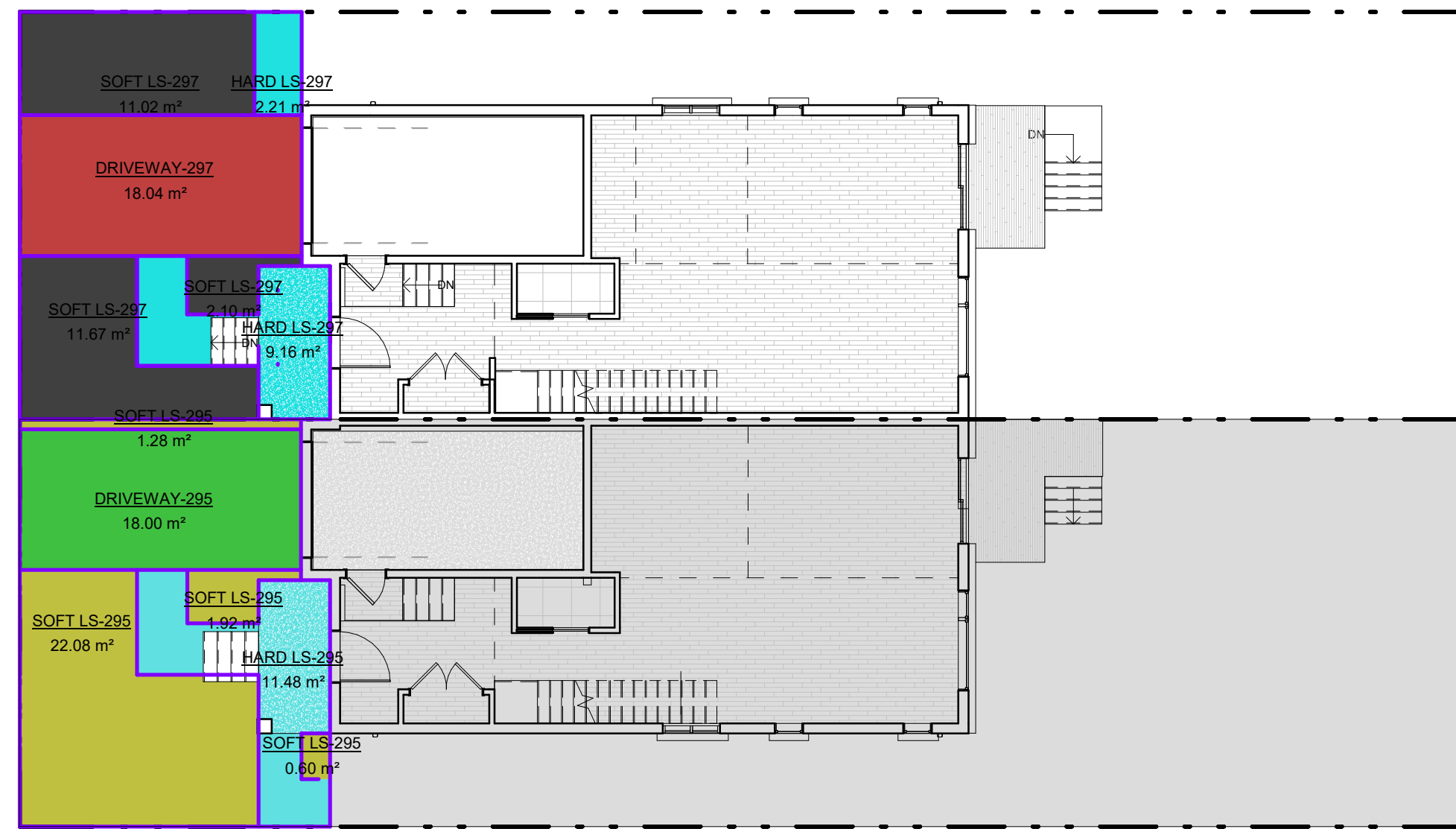
STAGE
COFA A0-01

LOCATION
OTTAWA

REVISION
10

Schema 1 Legend

- DRIVEWAY-295
- DRIVEWAY-297
- HARD LS-295
- HARD LS-297
- SOFT LS-295
- SOFT LS-297
- Calculating...



FRONT YARD LANDSCAPE

1" = 10'-0"

01 - FRONT YARD AREA CALCULATION-297 DOVERCOURT AVE

Name	Area	AREA SF
SOFT LS-297	24.19 m²	24.79 m²
HARD LS-297	11.38 m²	11.38 m²
DRIVEWAY-297	18.04 m²	18.04 m²
Σ	54.21 m²	54.21 m²

01 - FRONT YARD AREA CALCULATION-295 DOVERCOURT AVE

Name	Area	AREA SF
SOFT LS-295	26.88 m²	26.88 m²
HARD LS-295	11.48 m²	11.48 m²
DRIVEWAY-295	18.00 m²	18.00 m²
Σ	56.37 m²	56.37 m²

Schema 1 Legend

- HARD LS-295
- HARD LS-297
- SOFT LS-295
- SOFT LS-297
- Calculating...



REAR LANDSCAPE

1" = 10'-0"

01 - REAR YARD AREA-297 DOVERCOURT AVE

Name	Area	AREA SF
HARD LS-297	2.46 m²	2.46 m²
SOFT LS-297	82.14 m²	82.14 m²
TOTAL REAR YARD AREA	84.60 m²	84.60 m²

01 - REAR YARD AREA-295 DOVERCOURT AVE

Name	Area	AREA SF
HARD LS-295	2.46 m²	2.46 m²
SOFT LS-295	82.14 m²	82.14 m²
TOTAL REAR YARD AREA	84.60 m²	84.60 m²

PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

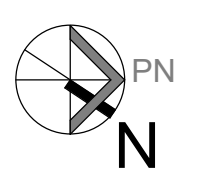
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
LOT AREA AND LOT COVERAGE

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 09/08/23

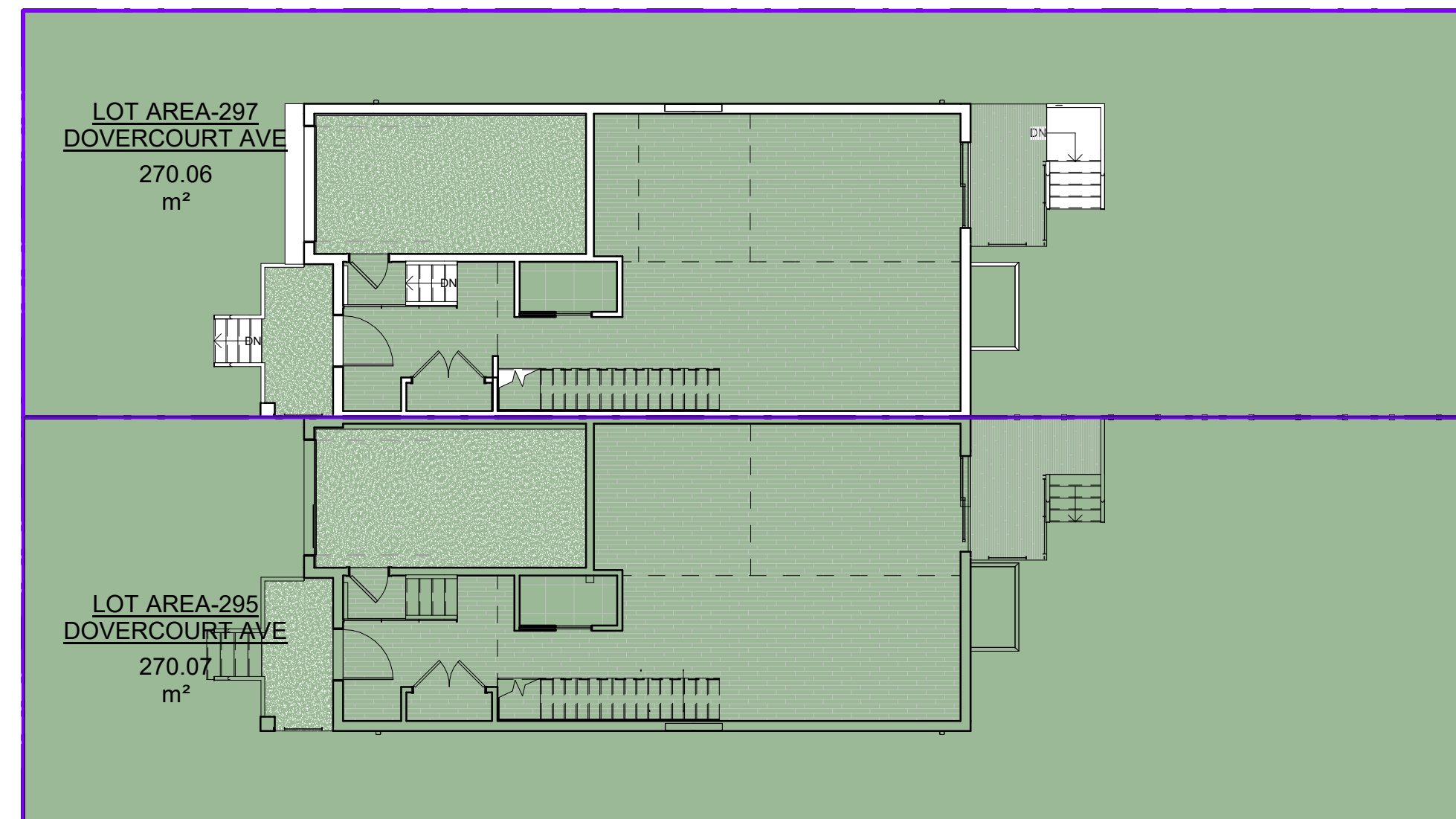


PROJECT NO.
230118

STAGE
COFA A0-02

LOCATION
OTTAWA

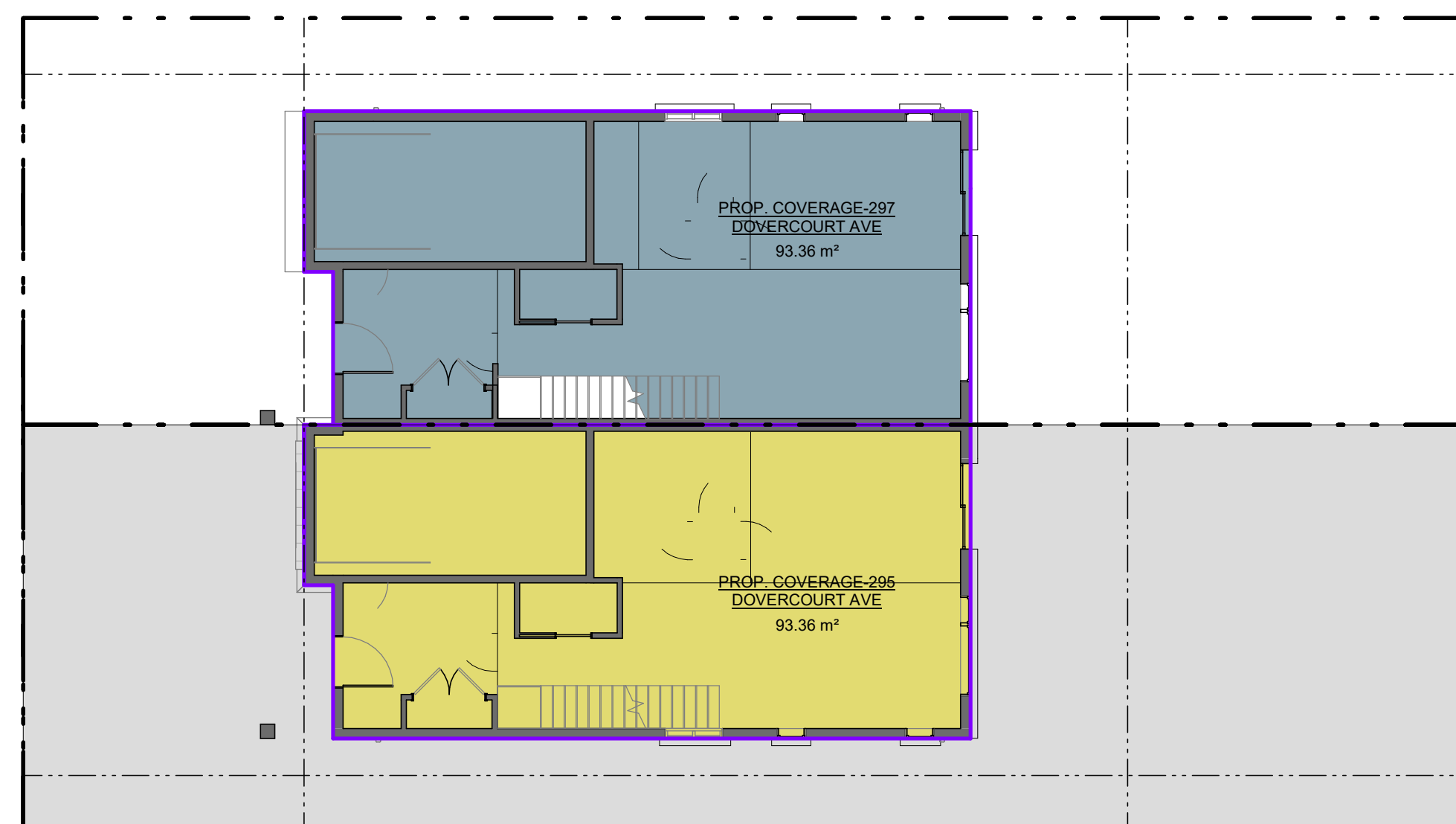
REVISION
10



1 LOT AREA
1" = 10'-0"

Schema 1 Legend

- PROP. COVERAGE-295 DOVERCOURT AVE
- PROP. COVERAGE-297 DOVERCOURT AVE
- Calculating...



2 PROP. COVERAGE
1" = 10'-0"

CLIENT
Owner

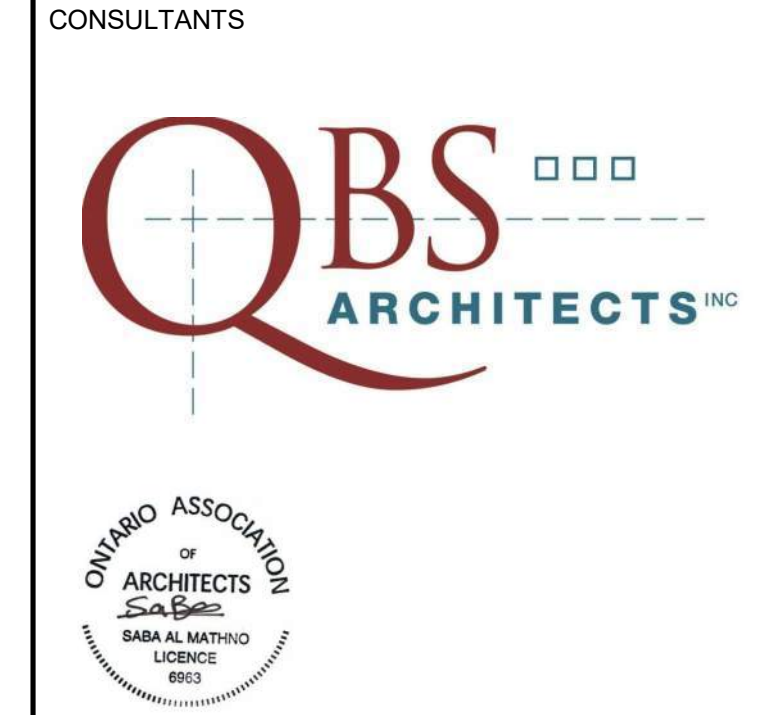


REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
8	ISSUED FOR CONSULTANT	2023-09-28
7	ISSUED FOR BUILDING PERMIT	2023-09-08
6	ISSUED FOR C OF A	2023-07-21
5	ISSUED FOR CLIENT	2023-07-17
4	ISSUED FOR CLIENT	2023-07-13

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
**SITE PLAN, OAA
MATRIX, STATISTICS AND
GENERAL NOTES**

DRAWN	CD	CHECKED	SA
SCALE @	ARCH D	DATE	09/08/23
	As indicated		



PROJECT NO. 230118

STAGE
COFA A0-03

LOCATION
OTTAWA

REVISION
10

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE 2012 OBC, AS AMENDED.
- ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE PROJECT.
- REPORT IN WRITING ALL DISCOVERED ERRORS OR OMISSIONS TO THE ARCHITECT AT ONCE.
- DO NOT SCALE DRAWINGS. USE LATEST SCALE DRAWINGS ONLY.
- CONTRACTOR TO VERIFY ALL VERTICAL AND HORIZONTAL SITE DIMENSIONS PRIOR TO COMMENCING WORK - INCLUDING EXTERIOR LANDSCAPING DIMENSIONS.
- CONTRACTOR TO PROVIDE FLYWOOD HOARDING AROUND THE PERIMETER OF THE JOB SITE BETWEEN THE PROPOSED NEW STRUCTURE TO THE PROPERTY LINE. IF ADDITIONAL STAGING/STORAGE AREA IS REQUIRED, CONTRACTOR TO APPLY FOR PERMIT TO BUILD HOARDING ON CITY PROPERTY. IN LIEU OF FLYWOOD HOARDING, A 7'-0" HIGH CHAIN LINK FENCE BY "FAST FENCE" OR EQUAL IS TO BE USED.
- SITE MUST BE SAFE AND SECURE AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR LOCKING THE CONSTRUCTION GATE NIGHTLY.
- CONTRACTOR MUST POST "NO TRESPASSING" AND "UNDER CONSTRUCTION AREA" SIGNS AS WELL AS ANY OTHER SIGNS REQUIRED BY ANY GOVERNING BODY. G. HEALTH AND SAFETY, ETC.
- EXISTING GRADE DIMENSIONS DISTURBED DURING CONSTRUCTION TO BE MAINTAINED UNLESS OTHERWISE NOTED ON LOT DRAINAGE PLAN. ALL BACKFILL MUST BE ELEVATED. ADD 4" TOPSOIL AND SOO IN ALL AREAS DISTURBED DURING CONSTRUCTION.
- REPAIRS TO EXISTING LANDSCAPING - USE TRIPLE MIX SOIL AT ALL PLANTING BEDS.
- REFER TO ARBORIST REPORT (WHERE APPLICABLE) FOR SPECIAL INSTRUCTION REGARDING EXCAVATION / CONSTRUCTION IN PROXIMITY TO MATURE TREES.
- EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- ENSURE ADEQUATE BRACING OF FOUNDATION WALLS PRIOR TO BACKFILLING.
- ALL STRUCTURAL WOOD TO BE #2 SPRUCE OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE POSTS UNDER ALL BEAMS / GIRDERS / TRUSSES, ETC. POSTS TO RUN CONTINUOUS TO FOUNDATION OR EQUIVALENT SUPPORT.
- ALL STUMPS, ROOTS AND OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL TO A MIN. DEPTH OF 12" IN UNEXCAVATED AREAS UNDER A BUILDING. WOOD DEBRIS REMOVAL SHALL EXCEED 2'-0" MIN. BEYOND THE PERIMETER OF THE BUILDING.
- ALL WOOD SCRAPS AND FORMS SHALL BE REMOVED FROM AROUND THE FOUNDATIONS BEFORE BACKFILLING AND FROM UNDER EXTERIOR STEPS OR PORCHES BEFORE CONSTRUCTION IS COMPLETED.
- ALL EXISTING SURFACES ADJACENT TO NEW CONSTRUCTION AND THROUGH WHICH CONSTRUCTION MATERIALS AND CONTRACTORS' FORCES MOVE ARE TO BE PROTECTED.
- PROVIDE TEMPORARY DUST BARRIERS AS REQUIRED TO MAINTAIN DUST FREE ENVIRONMENT FOR ALL BUILDING AREAS OCCUPIED BY OWNER / TENANTS.
- CONTRACTOR SHALL MAINTAIN THE JOB SITE AND WORK IN A Tidy CONDITION. DAILY CLEAN UP OF JOB SITE IS REQUIRED.
- REMOVE ALL CONSTRUCTION DEBRIS FROM SITE UNLESS OTHERWISE NOTED. ALL WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE WHICH IS IN DIRECT CONTACT WITH SOIL IS TO BE SEPARATED FROM CONCRETE WITH DAMP PROOFING MATERIAL (9.2.3.2 OBC).
- GARAGE ACCESS DOOR TO BUILDING TO BE CW SELF CLOSURE MECHANISM AND GAS TIGHT.
- ALL WINDOWS LOCATED WITHIN 6" FROM GRADE SHALL CONFORM TO CLAUSE 10.13 OF CSA STANDARD A440-M90 AND 9.7.6.1 OBC (RESISTANCE TO FORCED ENTRY). SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD (SILL AT ALL EXTERIOR DOORS / WINDOWS (INCLUDING BASEMENT)).
- ALL GUARD RAILS ARE TO SUSTAIN MINIMUM LOADING AS PER OBC 4.1.10.1 AND 9.8.8 FOR HEIGHT AND SPACING OF PICKETS. HANDRAILS AND TO CONFIRM WITH 9.8.8 OBC.
- ALL INTERIOR TRIM TO BE POPLAR (PANT) UNLESS OTHERWISE NOTED. EXTERIOR TRIM TO BE #1 CLEAR PINE (PANT). NOTE: USE KILN DRIED KNOTS PRIOR TO PRIMER COAT. ALL WOOD TO BE KEPT DRY AND MUST NOT BE PAINTED IN TEMPERATURES OF LESS THAN 10 DEGREES CELSIUS.
- ALL TRIM TO BE PRE-PAINTED (PRIMER + ONE COAT) PRIOR TO INSTALLATION.
- CONTRACTOR MUST RECEIVE PERMISSION FROM OWNER PRIOR TO INSTALLATION OF JOB SIGN.
- SEE INSTRUCTIONS TO CONTRACTOR FOR ADDITIONAL SPECIFICATIONS AND CASH ALLOWANCES.
- CONTRACTOR TO USE FLEXIBLE CORNER BEAD AT ALL RADII DRYWALL EDGES.
- THESE WORKING DRAWINGS ARE BASED ON "MEASURED DRAWINGS" OF THE EXISTING BUILDING, NOT "RECORD DRAWINGS", WHICH ARE THE ORIGINAL CONSTRUCTION DRAWINGS REVISED TO REFLECT "AS BUILT" CONDITIONS. MEASUREMENTS HAVE BEEN TAKEN TO EXTERIOR SURFACES ONLY, AND EXCEPT WHERE NOTED NO ATTEMPT HAS BEEN MADE TO VERIFY "HIDDEN" CONDITIONS.
- NO REPRESENTATION IS MADE THAT THE BUILDING CONFORMS TO ANY CODE REQUIREMENTS, OR ANY CONSTRUCTION DRAWINGS THAT MAY HAVE BEEN PREPARED BY OTHERS.

NEW BY-LAW

ZONING INFORMATION FOR PROJECT 297 DOVERCOURT AVE - BY-LAW 2008-250

ZONING	(sq.m)	(sq.ft)
MINIMUM LOT AREA (SEMI-DETACHED):	180.0	1937.5
ALLOWABLE COVERAGE: N/A	N/A	N/A
ALLOWABLE FSI: N/A	N/A	N/A

PROPOSED BASEMENT FLOOR
PROPOSED GROUND FLOOR
PROPOSED SECOND FLOOR
PROPOSED TOTAL GFA

PROPOSED FSI: 0.62

PROPOSED COVERAGE: 34.57%

SETBACKS	ALLOWABLE	PROPOSED
	(m)	(ft)
FRONT:	6.0	19.69
REAR:	7.5	24.60
SIDE-WEST (LEFT):	1.2	3.94
SIDE-EAST (RIGHT):	0	0.00
BUILDING HEIGHT:	6.0	26.25
BUILDING LENGTH:	17.59	57.71
LOT FRONTAGE (SEMI-DETACHED):	6.0	19.69
GARAGE:	PROVIDED	PROVIDED

NEW BY-LAW

ZONING INFORMATION FOR PROJECT 295 DOVERCOURT AVE - BY-LAW 2008-250

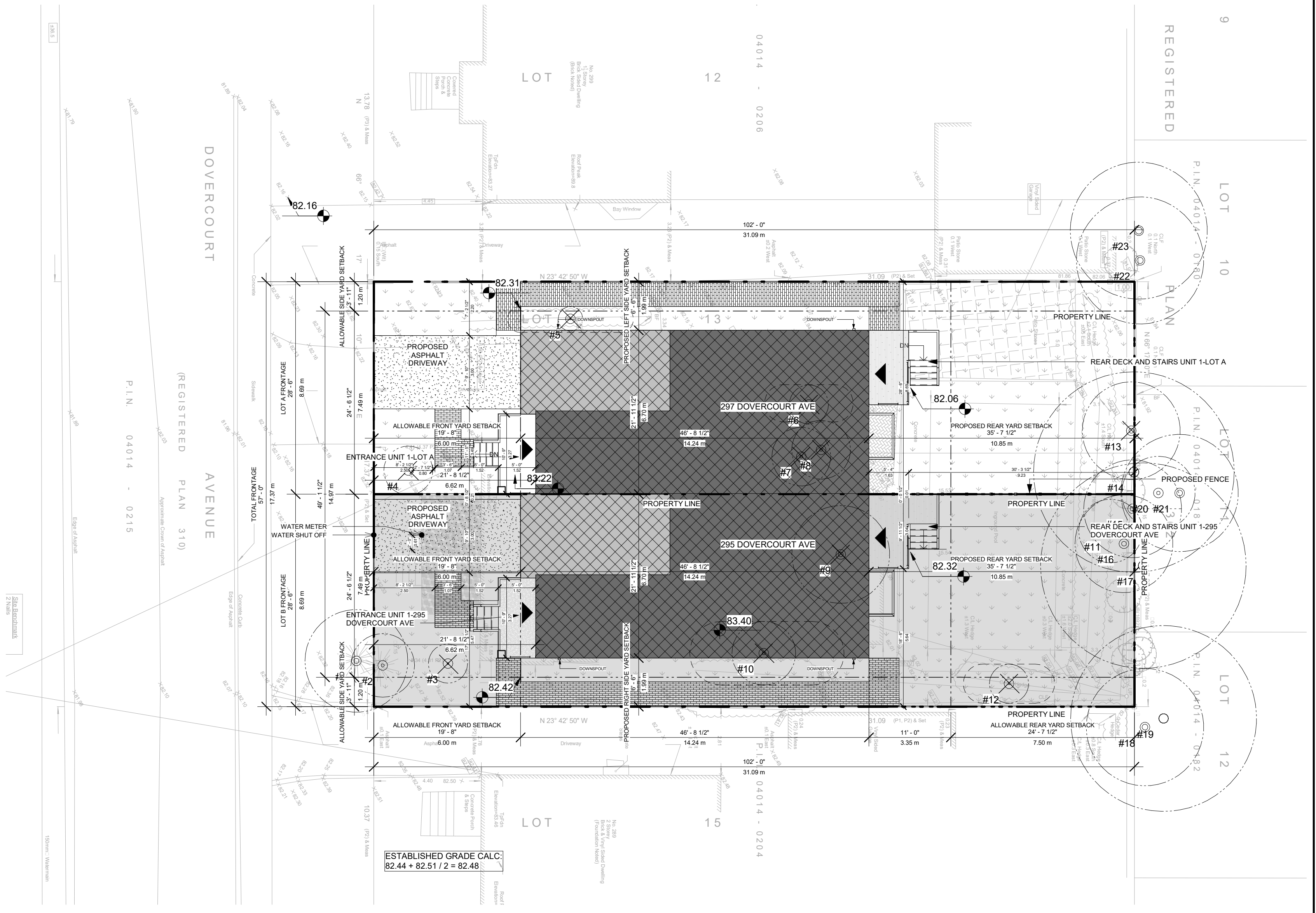
ZONING	(sq.m)	(sq.ft)
MINIMUM LOT AREA (SEMI-DETACHED):	180.0	1937.5
ALLOWABLE COVERAGE: N/A	N/A	N/A
ALLOWABLE FSI: N/A	N/A	N/A

PROPOSED BASEMENT FLOOR
PROPOSED GROUND FLOOR
PROPOSED SECOND FLOOR
PROPOSED TOTAL GFA

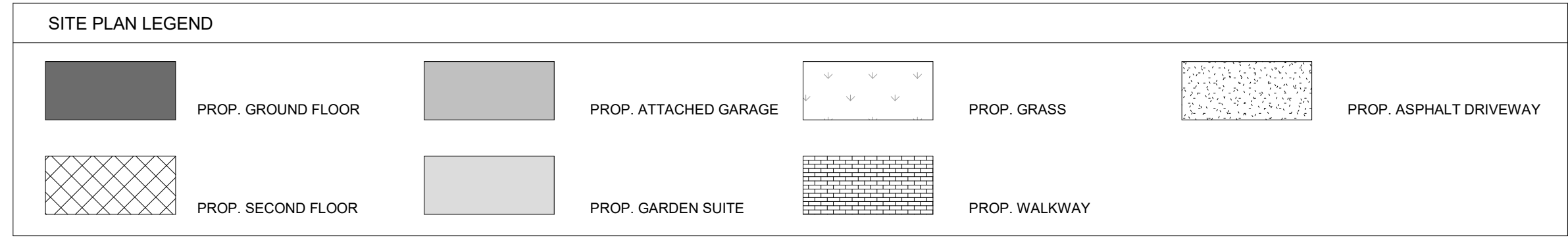
PROPOSED FSI: 0.62

PROPOSED COVERAGE: 34.57%

SETBACKS	ALLOWABLE	PROPOSED
	(m)	(ft)
FRONT:	6.0	19.69
REAR:	7.5	24.60
SIDE-WEST (LEFT):	1.2	3.94
SIDE-EAST (RIGHT):	0	0.00
BUILDING HEIGHT:	6.0	26.25
BUILDING LENGTH:	17.59	57.71
LOT FRONTAGE (SEMI-DETACHED):	6.0	19.69
GARAGE:	PROVIDED	PROVIDED



1 SITE PLAN
1" = 10'-0"



FIRM NAME: QBS ARCHITECTS INC. 1670 BAYVIEW AVENUE, SUITE 501 TORONTO, ON M4G 3C2
CERTIFICATE OF PRACTICE NUMBER: 5235
PROPOSED 2 STOREY DWELLING
LOCATION: 297 DOVERCOURT AVE, OTTAWA

ONTARIO ASSOCIATION OF ARCHITECTS

Ontario Association of Architects
SABA AL MATHIN
Licence 6913

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.

NO.	ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL	OBC REFERENCE
1	PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	11.1 TO 11.4
2	MAJOR OCCUPANCY(S): GROUP C RESIDENTIAL OCCUPANCY	3.1.2.1(1)
3	BUILDING AREA (m²): EXISTING: 100.00 NEW: 93.36	14.1.2 [A]
4	GROSS AREA (m²): EXISTING: 184.48 NEW: 167.23	14.1.2 [A]
5	NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 1	14.1.2 [A] & 3.2.1.1
6	NUMBER OF STREET/FIRE FIGHTER ACCESS: 1	3.2.2.10 & 3.2.5
7	BUILDING CLASSIFICATION: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING	3.2.2.20-83
8	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING	3.2.1.5
9	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9
10	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4
11	WATER SERVICE/SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> NO	3.2.5.7
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
13	CONSTRUCTION RESTRICTIONS: <input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH	3.2.2.20-83
14	MEZZANINE(S) AREA (m²): N/A	3.2.1.1 (3)-(8)
15	OCCUPANT LOAD BASES ON: <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17
16	BASEMENT: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
17	1st FLOOR: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
18	2nd FLOOR: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
19	3rd FLOOR: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
20	ROOF: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
21	BARRIER-FREE DESIGN: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN BUILDING IS A HOUSE (EXEMPT))	3.8
22	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.9
23	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FRR HOURS): LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20-83
24	FLOORS: 0 HOURS	3.2.1.4
25	ROOF: 0 HOURS	
26	MEZZANINE: N/A HOURS	
27	FRR OF SUPPORTING MEMBERS: LISTED DESIGN NO. OR DESCRIPTION (SG-2)	
28	FLOORS: 0 HOURS	
29	ROOF: 0 HOURS	
30	MEZZANINE: N/A HOURS	
31	SPATIAL SEPERATION - CONSTRUCTION OF EXTERIOR WALLS	
32	WALL: AREA OF E.S.F. (sq.ft) (sq.m) L.D. (ft) (m) L.H. OR H.L. (ft) (m) PERMITTED OR MAX. % OF OPENINGS (%) PROPOSED % OF OPENINGS (%) FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NON-C. COMB. CONST.	
33	FRONT (SOUTH): 492.45 45.75 19.69 6.00 100 19.56% (8.95)	
34	REAR (NORTH): 492.45 45.75 35.60 10.85 100 28.92% (13.23)	
35	SIDE-WEST (LEFT): 1001.15 93.01 0.00 0.00 0 0.00% (0.00)	
36	SIDE-EAST (RIGHT): 1046.47 97.22 6.53 1.99 7 8.21% (5.78)	
37	SIDE-LEFT (WEST): 1046.47 97.22 0.00 0.00 0 0.00% (0.00)	

FIRM NAME: QBS ARCHITECTS INC. 1670 BAYVIEW AVENUE, SUITE 501 TORONTO, ON M4G 3C2
CERTIFICATE OF PRACTICE NUMBER: 5235
PROPOSED 2 STOREY DWELLING
LOCATION: 295 DOVERCOURT AVE, OTTAWA

ONTARIO ASSOCIATION OF ARCHITECTS

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The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.

NO.	ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL	OBC REFERENCE
1	PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	11.1 TO 11.4
2	MAJOR OCCUPANCY(S): GROUP C RESIDENTIAL OCCUPANCY	3.1.2.1(1)
3	BUILDING AREA (m²): EXISTING: 100.00 NEW: 93.36	14.1.2 [A]
4	GROSS AREA (m²): EXISTING: 184.48 NEW: 167.23	14.1.2 [A]
5	NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 1	14.1.2 [A] & 3.2.1.1
6	NUMBER OF STREET/FIRE FIGHTER ACCESS: 1	3.2.2.10 & 3.2.5
7	BUILDING CLASSIFICATION: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING	3.2.2.20-83
8	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING	3.2.1.5
9	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9
10	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4
11	WATER SERVICE/SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> NO	3.2.5.7
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
13	CONSTRUCTION RESTRICTIONS: <input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH	3.2.2.20-83
14	MEZZANINE(S) AREA (m²): N/A	3.2.1.1 (3)-(8)
15	OCCUPANT LOAD BASES ON: <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17
16	BASEMENT: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
17	1st FLOOR: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
18	2nd FLOOR: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
19	3rd FLOOR: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
20	ROOF: <input type="checkbox"/> OCCUPANCY C <input checked="" type="checkbox"/> LOAD 2 PERSONS	
21	BARRIER-FREE DESIGN: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN BUILDING IS A HOUSE (EXEMPT))	3.8
22	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.9
23	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FRR HOURS): LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20-83
24	FLOORS: 0 HOURS	3.2.1.4
25	ROOF: 0 HOURS	
26	MEZZANINE: N/A HOURS	
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34	REAR (NORTH): 492.45 45.75 35.60 10.85 100 28.92% (13.23)	
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36	SIDE-EAST (RIGHT): 1046.47 97.22 6.53 1.99 7 8.21% (5.78)	
37	SIDE-LEFT (WEST): 1046.47 97.22 0.00 0.00 0 0.00% (0.00)	



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

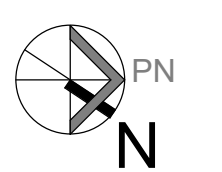
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
FLOOR AREA PLAN

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 09/08/23



PROJECT NO.
230118

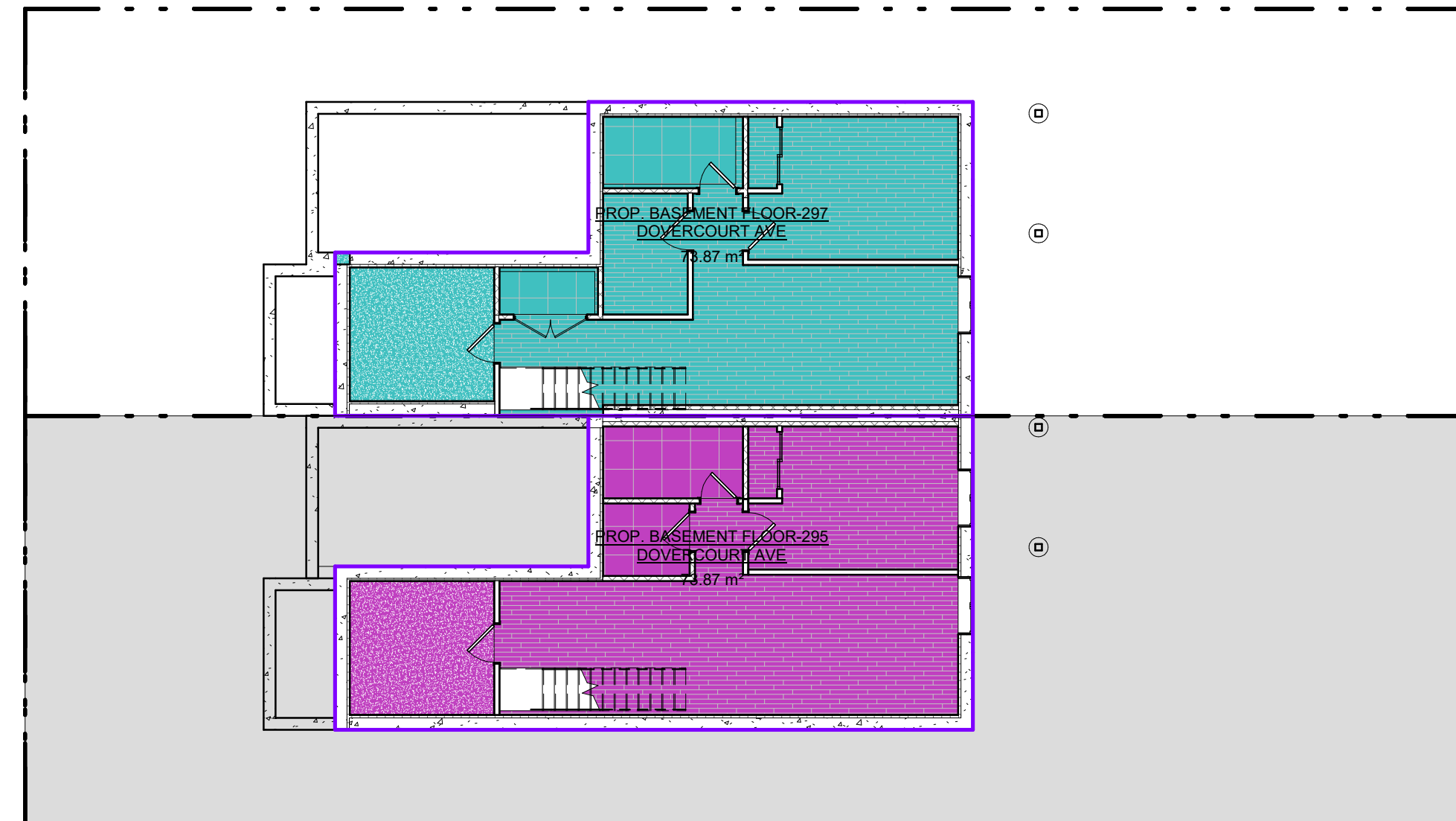
STAGE
COFA A0-04

LOCATION
OTTAWA

REVISION
10

Schema 1 Legend

- PROP. BASEMENT FLOOR-295 DOVERCOURT AVE
- PROP. BASEMENT FLOOR-297 DOVERCOURT AVE
- Calculating...

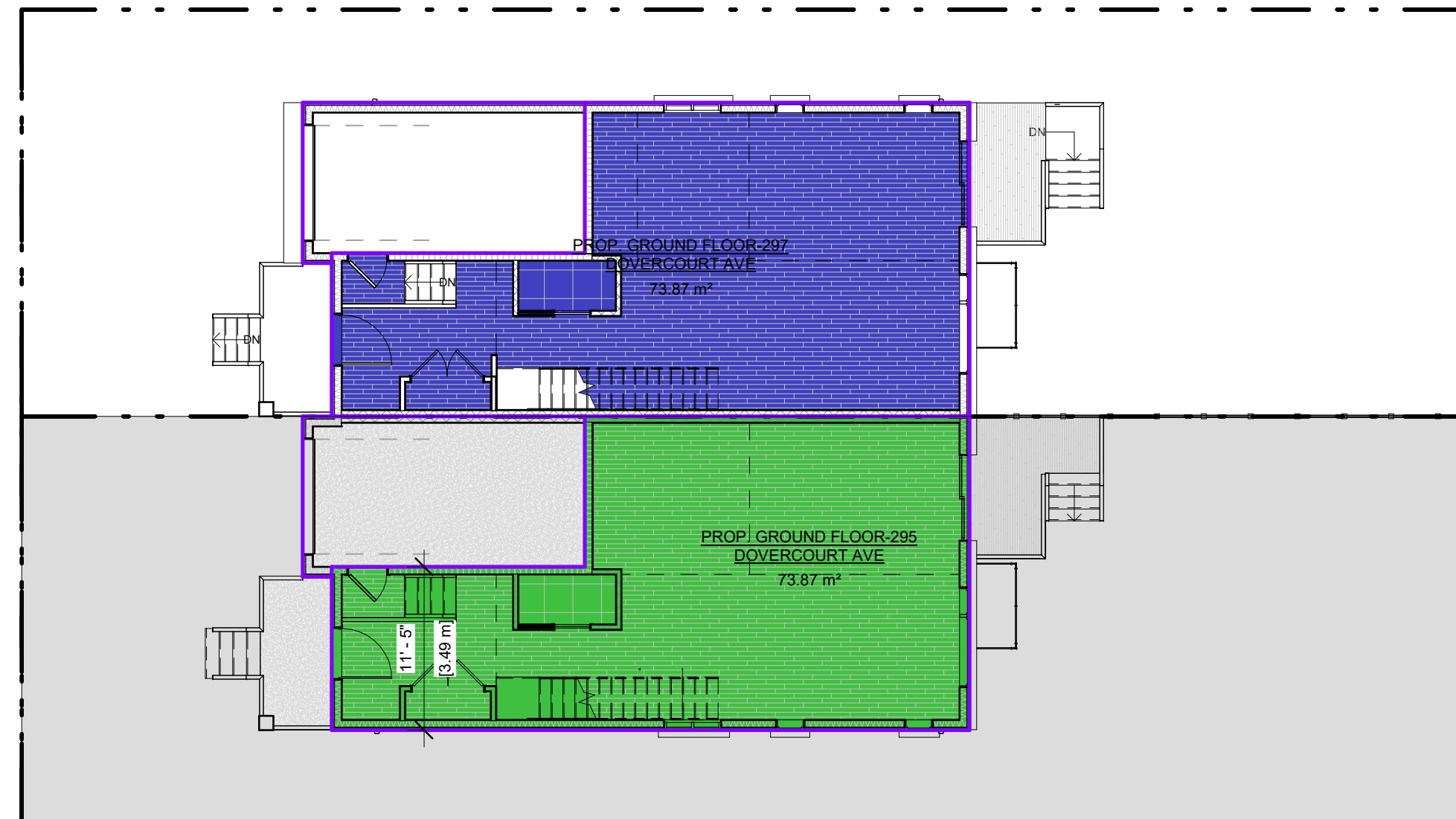


BASEMENT-PROPOSED

1" = 10'-0"

Schema 1 Legend

- PROP. GROUND FLOOR-295 DOVERCOURT AVE
- PROP. GROUND FLOOR-297 DOVERCOURT AVE
- Calculating...

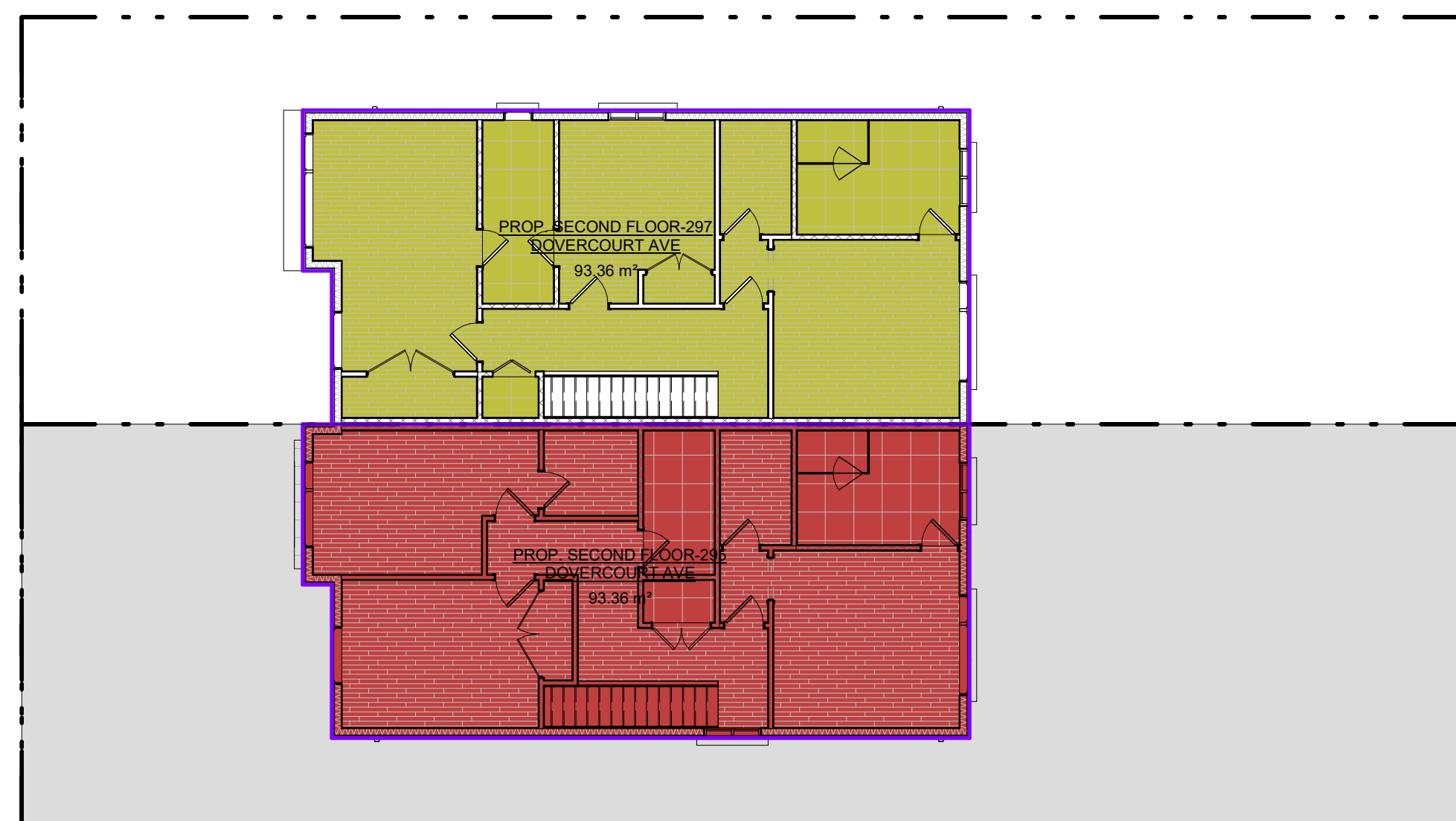


GROUND FLOOR-PROPOSED

1" = 10'-0"

Schema 1 Legend

- PROP. SECOND FLOOR-295 DOVERCOURT AVE
- PROP. SECOND FLOOR-297 DOVERCOURT AVE
- Calculating...



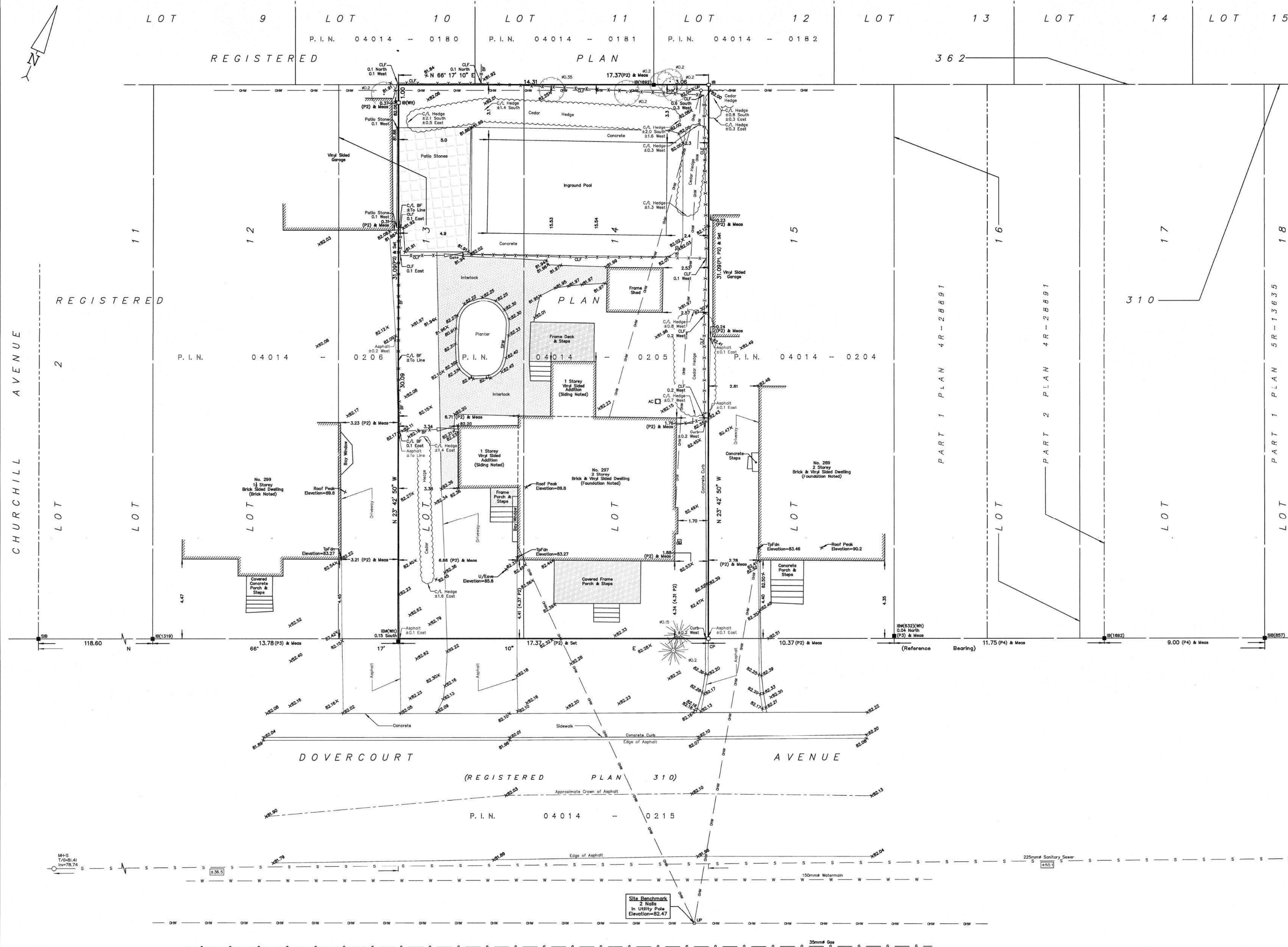
SECOND FLOOR-PROPOSED

1" = 10'-0"

Area Schedule (297 DOVERCOURT AVE)			
Level	Name	Area (SM)	Area (SF)
BASEMENT	PROP. BASEMENT FLOOR-297 DOVERCOURT AVE	73.87 m ²	795.18 SF
GROUND FLOOR	PROP. GROUND FLOOR-297 DOVERCOURT AVE	73.87 m ²	795.18 SF
SECOND FLOOR	PROP. SECOND FLOOR-297 DOVERCOURT AVE	93.36 m ²	1004.68 SF
Grand total:	3	241.11 m ²	2595.04 SF

Area Schedule (295 DOVERCOURT AVE)			
Level	Name	Area (SM)	Area (SF)
BASEMENT	PROP. BASEMENT FLOOR-295 DOVERCOURT AVE	73.87 m ²	795.17 SF
GROUND FLOOR	PROP. GROUND FLOOR-295 DOVERCOURT AVE	73.87 m ²	795.18 SF
SECOND FLOOR	PROP. SECOND FLOOR-295 DOVERCOURT AVE	93.36 m ²	1004.68 SF
Grand total:	3	241.11 m ²	2595.03 SF

363741, 5027499



TOPOGRAPHIC PLAN OF SURVEY OF
LOT 14 AND PART OF LOT 13
REGISTERED PLAN 310
CITY OF OTTAWA
 FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 100
 0 2.5 5 7.5 10 metres

Metric Note
 Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
 Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°32'50" counter-clockwise was applied to bearings on P2.

Elevation Notes
 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 19680092)
 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes
 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 2. Only visible surface utilities were located.
 3. Underground utility data derived from City of Ottawa utility sheet reference: F-04-19, F-04-20 & L2.
 4. Sanitary and storm sewer grades and inverts were derived from Field measurement.
 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

- Denotes Survey Monument Planted
- Denotes Survey Monument Found
- S— Standard Iron Bar
- SSB— Short Standard Iron Bar
- IB— Iron Bar
- IBØ— Round Iron Bar
- CP— Concrete Pin
- (WR)— Witness
- Meas— Measured
- (P1)— Registered Plan 310
- (P2)— Plan by (1287) dated June 17, 1985 (Job No. 350-85)
- (P3)— Plan by (1319) dated November 8, 1995 (Ref. No. 2-310 C)
- (P4)— Plan by (1692) dated October 4, 2019 (File No. 314-19)
- MHS— Maintenance Hole (Sanitary)
- U/S— Underground Sanitary Sewer
- s— Underground Water
- g— Underground Gas
- ow— Overhead Wires
- OP— Utility Pole
- GM— Gas Meter
- AC— Air Conditioner
- D— Diameter
- CLF— Chain Link Fence
- BF— Board Fence
- SRW— Stone Retaining Wall
- Inv— Invert
- T/G— Top of Grate
- U/Eave— Underside of Eave
- T/Fin— Top of Foundation
- C/L— Centreline
- +55.00— Location of Elevations
- +65.00— Top of Concrete Curb/Retaining Wall Elevation
- Property Line— Property Line
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
- Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=540.0 sq.m.

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2023.

Surveyor's Certificate
 I certify that:
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
 2. The survey was completed on the 26th day of June, 2023.

June 29/2023
 Date
 Emad Alrefai
 Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-56732.
FARLEY, SMITH & DENIS SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 CANADA LAND SURVEYORS
 Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
 TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
17	ISSUED FOR BUILDING CONSULTANT	2023-09-26
16	ISSUED FOR BUILDING PERMIT	2023-09-08
14	ISSUED FOR C OF A	2023-07-21
11	ISSUED FOR CLIENT	2023-06-30

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

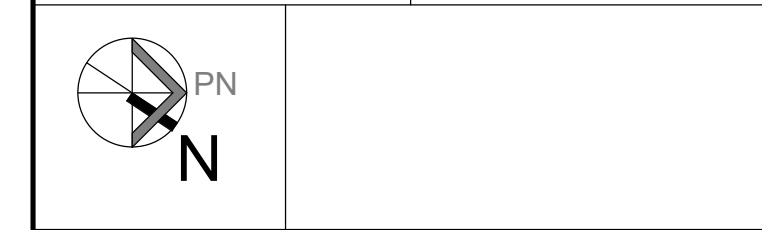
QBS ARCHITECTS INC.

ONTARIO ASSOCIATION OF ARCHITECTS
 SABA AL MATHINI
 LICENCE 6913

TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
SURVEY

DRAWN CD	CHECKED SA
SCALE @ ARCH D	DATE 09/08/23



PROJECT NO.
 230118

STAGE
 DRAWING NO.

COFA A0-05

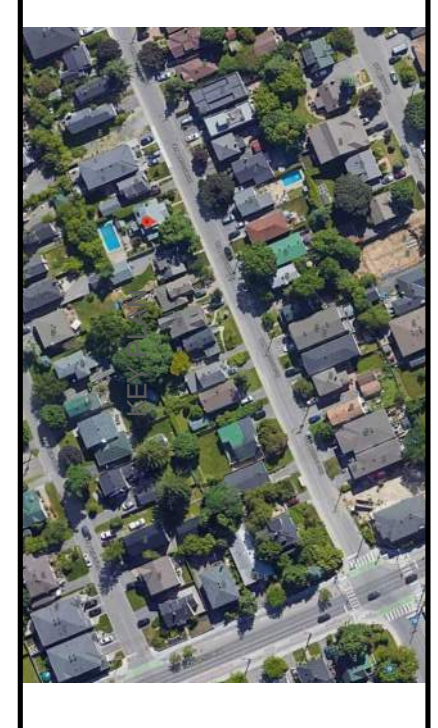
LOCATION
 OTTAWA

REVISION
10

TOPIC 2426

1:\2023\205-23_297 Dovercourt ave_topo\Final\205-23_297 Dovercourt Ave_L14 P113 RP310_T_F.dwg

PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4



REVISIONS

No.	Description	Date
11	ISSUED FOR DEMO	2023-12-04
10	ISSUED FOR C.O.F.A	2023-11-10
9	ISSUED FOR C.O.F.A	2023-11-10
8	ISSUED FOR C.O.F.A	2023-11-10
7	ISSUED FOR BUILDING PERMIT	2023-09-08
6	ISSUED FOR C.O.F.A	2023-07-21
5	ISSUED FOR C.O.F.A	2023-07-17
4	ISSUED FOR CLIENT	2023-06-30

CLIENT
Owner

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CONSULTANTS

TORONTO - CANADA 416.546.2040 info@obsarchitects.com

DRAWING TITLE
PROPOSED R PLAN

DRAWN	CD	CHECKED	SA
SCALE @ ARCH D	1" = 10'-0"	DATE	09/09/23

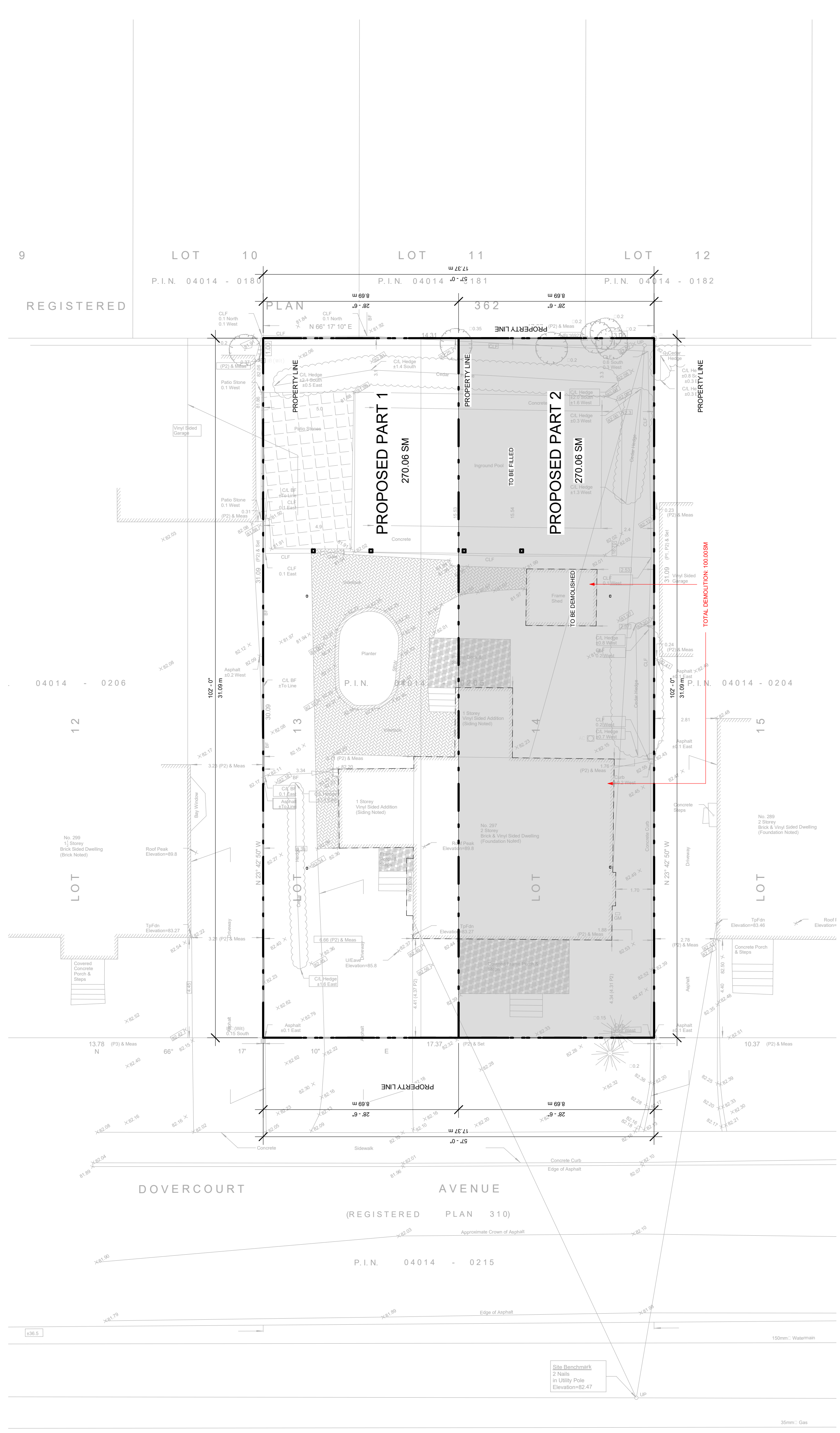
PROJECT NO. 230118

STAGE DRAWING NO.

COFA A0-06

LOCATION
OTTAWA

REVISION
11



1
R PLAN
1" = 10'-0"

CLIENT
Owner



REVISIONS

No.	Description	Date
12	ISSUED FOR C OF A	2024-01-22
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

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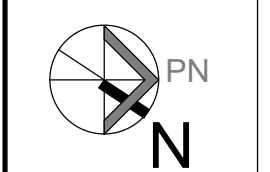
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
PROP. BASEMENT

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23



PROJECT NO.
230118

STAGE
COFA A1-01

LOCATION
OTTAWA

REVISION
12

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 44 ENGINEERED HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK

- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 40 WINDOW WELL
- 48 FLASHING

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 7 SONO TUBE FOUNDATION
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL

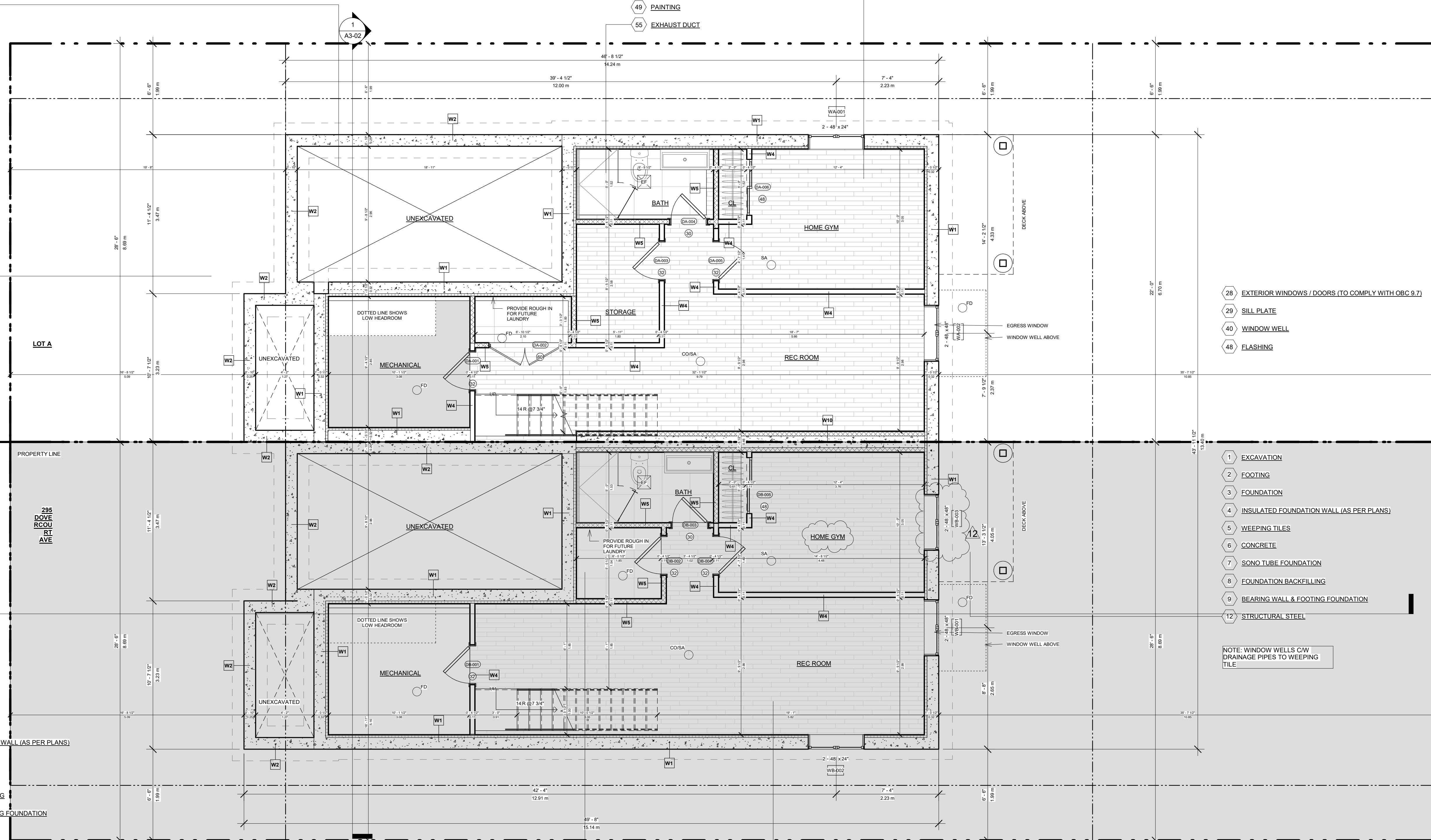
NOTE: WINDOW WELLS C/W DRAINAGE PIPES TO WEEPING TILE

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 33 STAIRS
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 44 ENGINEERED HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION



CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13

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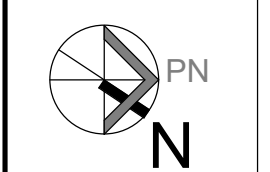
CONSULTANTS



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DRAWING TITLE
PROP. GROUND FLOOR

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

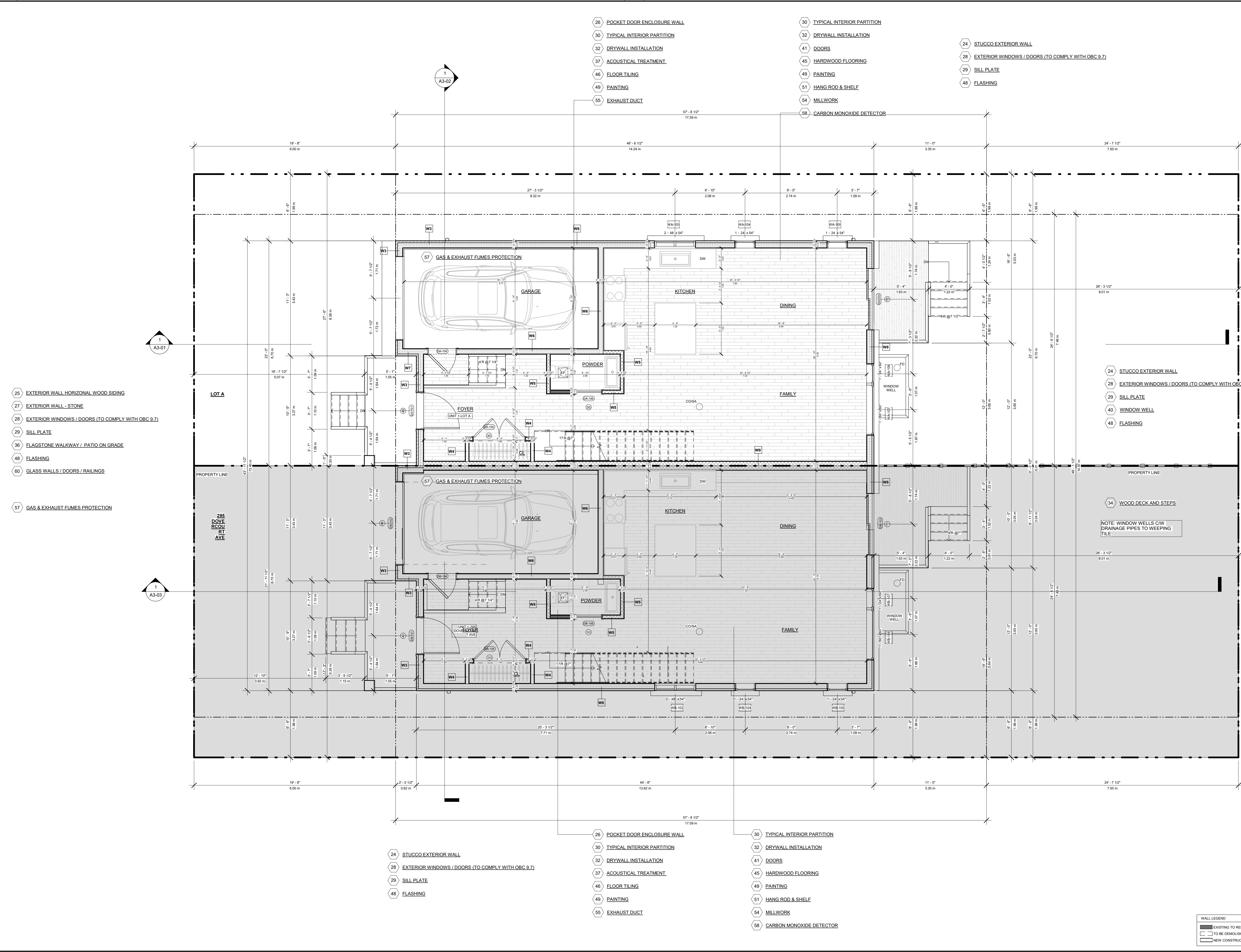


PROJECT NO.
230118

STAGE
COFA A1-02

LOCATION
OTTAWA

REVISION
10





REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13

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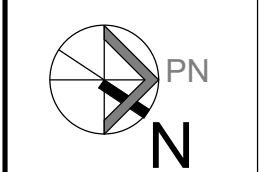


TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
PROP. SECOND FLOOR

DRAWN CD	CHECKED SA
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SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23
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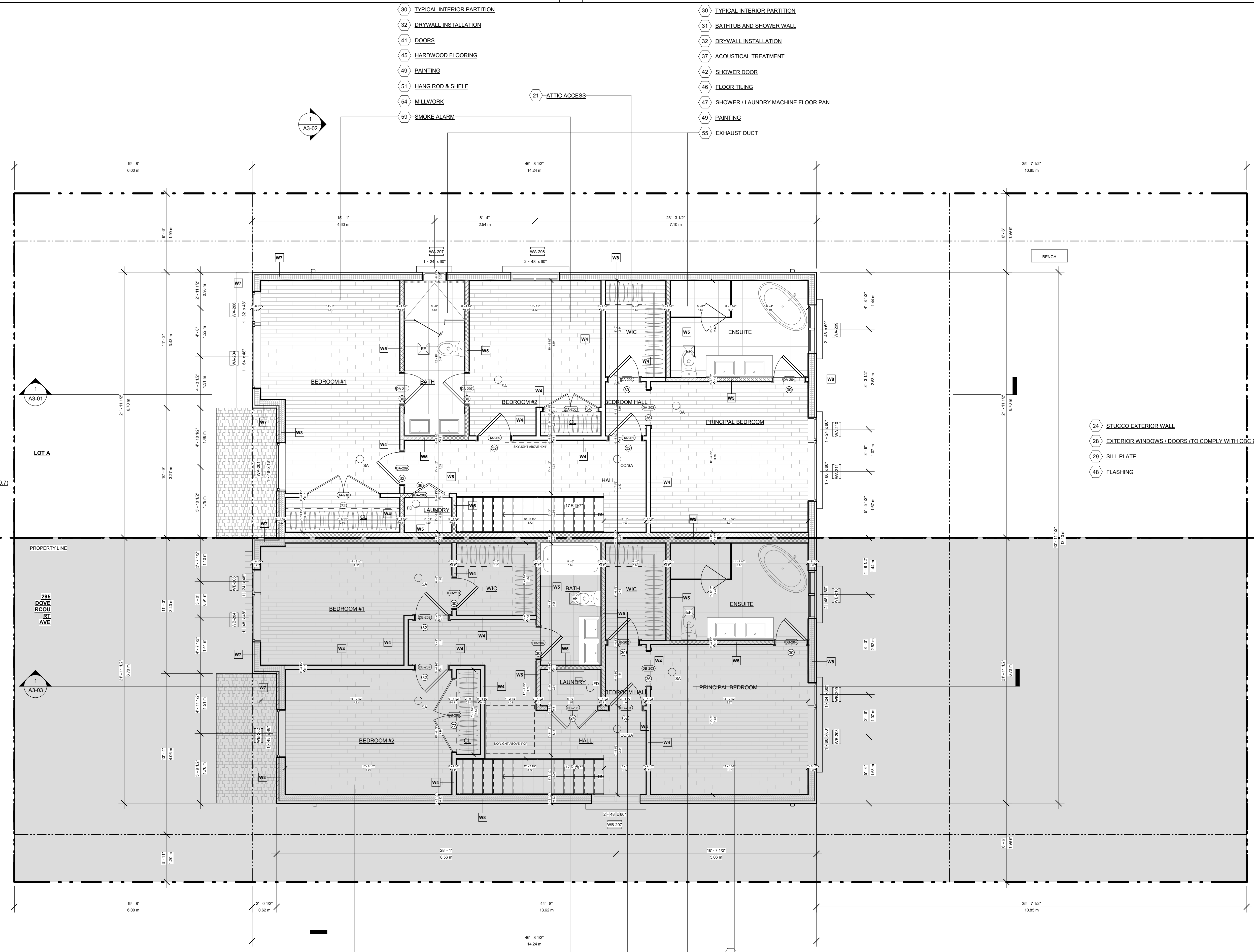


PROJECT NO.
230118

STAGE
COFA A1-03

LOCATION
OTTAWA

REVISION
10



- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 45 HARDWOOD FLOORING
- 48 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK
- 59 SMOKE ALARM
- 21 ATTIC ACCESS
- 17 CANOPY ROOF
- 25 EXTERIOR WALL - HORIZONTAL WOOD SIDING
- 27 EXTERIOR WALL - STONE
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 36 FLAGSTONE WALKWAY / PATIO ON GRADE
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT

- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 45 HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK
- 59 SMOKE ALARM

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13

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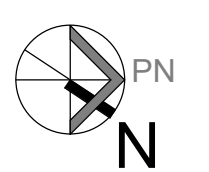
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DRAWING TITLE
PROP. ROOF PLAN

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

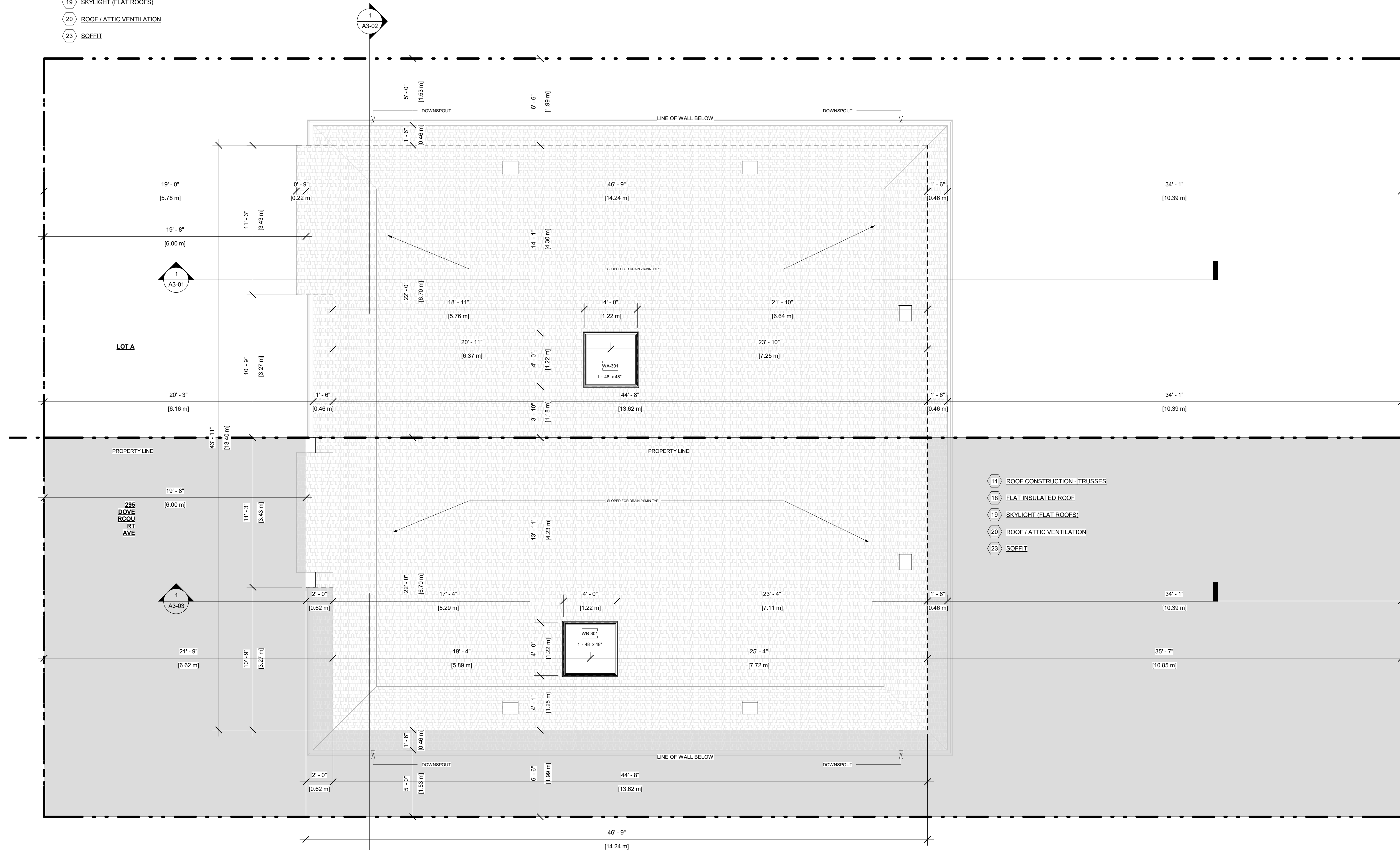


PROJECT NO. 230118

STAGE DRAWING NO.
COFA A1-04

LOCATION OTTAWA REVISION **10**

- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 20 ROOF / ATTIC VENTILATION
- 23 SOFFIT





REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
5	ISSUED FOR CONSULTANTS	2023-08-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

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DRAWING TITLE
PROP. FRONT ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D As indicated	DATE 09/08/23

PROJECT NO.
 230118

STAGE
COFA A2-01

LOCATION
 OTTAWA

REVISION
10

NOTE: SOUTH ORIENTATION AND COORDINATES SHOWN ON THE DRAWINGS (IF APPLICABLE)
NOTE: EXISTING ADJACENT ROOF SEPARATION TO BE MAINTAINED AND NEW ROOF TO BE LOWER ROOF
IMPORTANT NOTE: PROPERTY TITLE, CONVEYANCE, FINAL PLANNING FOR DUMMIES ON SITE BLENDED TO CURRENT PROPOSED DEVELOPMENT ARE READY FOR REVIEW
NOTE: OWNER TO PROVIDE ALL WINDOWS AND GLASS EXTERIOR WALLS TO BE MAINTAINED TO BE ADAPTED TO ACCOMMODATE SOME ELEMENTS
NOTE: NO TREES IN FRONT ELEVATION
NOTE: IF FINISHING MIN TYP OVER EXPOSED FOUNDATION
NOTE: WINDOW WELLS OR DRAINAGE PIPES TO WEEDPAD TILE

- 10 ROOF CONSTRUCTION
- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 23 SOFFIT

- 25 EXTERIOR WALL HORIZONTAL WOOD SIDING
- 27 EXTERIOR WALL -STONE
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 36 FLAGSTONE WALKWAY / PATIO ON GRADE
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL



LIMITING DISTANCE: 19.69 FT-6.0 M
 MAX OPENING: 100%
 EXPOSED BUILDING FACE: 492.45 SQFT-45.75 SQM
 ALLOWABLE GLAZING AREA: 492.45 SQFT-45.75 SQM
 PROPOSED GLAZING AREA: 36.34 SQFT-3.35 SQM

LIMITING DISTANCE: 19.69 FT-6.0 M
 MAX OPENING: 100%
 EXPOSED BUILDING FACE: 492.45 SQFT-45.75 SQM
 ALLOWABLE GLAZING AREA: 492.45 SQFT-45.75 SQM
 PROPOSED GLAZING AREA: 94.51 SQFT-8.78 SQM

PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
5	ISSUED FOR CONSULTANTS	2023-08-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

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DRAWING TITLE
PROP. REAR ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

PROJECT NO.
230118

STAGE
COFA A2-02

LOCATION
OTTAWA

REVISION
10

- 10 ROOF CONSTRUCTION
- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 20 ROOF / ATTIC VENTILATION
- 23 SOFFIT

- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 40 WINDOW WELL
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 34 WOOD DECK AND STEPS

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL
- 7 SONO TUBE FOUNDATION



PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08

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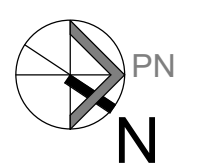
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DRAWING TITLE
PROP. LEFT ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23



PROJECT NO. 230118

STAGE DRAWING NO.
COFA A2-03

LOCATION OTTAWA REVISION **10**

- 10 ROOF CONSTRUCTION
- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 20 ROOF / ATTIC VENTILATION
- 23 SOFFIT

- 25 EXTERIOR WALL HORIZONTAL WOOD SIDING

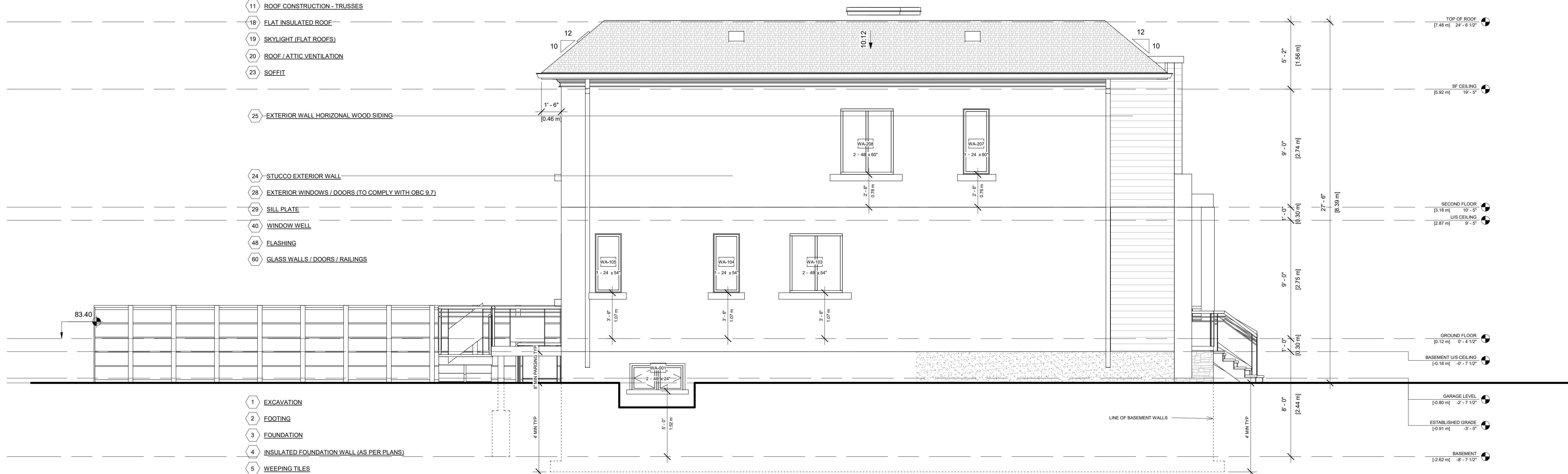
- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 40 WINDOW WELL
- 46 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL

7 SONO TUBE FOUNDATION

LIMITING DISTANCE: 6.53 FT-1.99 M
 MAX OPENING: 7%
 EXPOSED BUILDING FACE: 1046.47 SQFT-97.22 SQM
 ALLOWABLE GLAZING AREA: 73.30 SQFT-6.81 SQM
 PROPOSED GLAZING AREA: 72.23 SQFT-6.71 SQM

FOOTING & FOUNDATIONS SHOWN DOTTED



PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08

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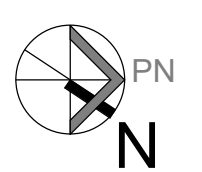
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DRAWING TITLE
PROP. RIGHT ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

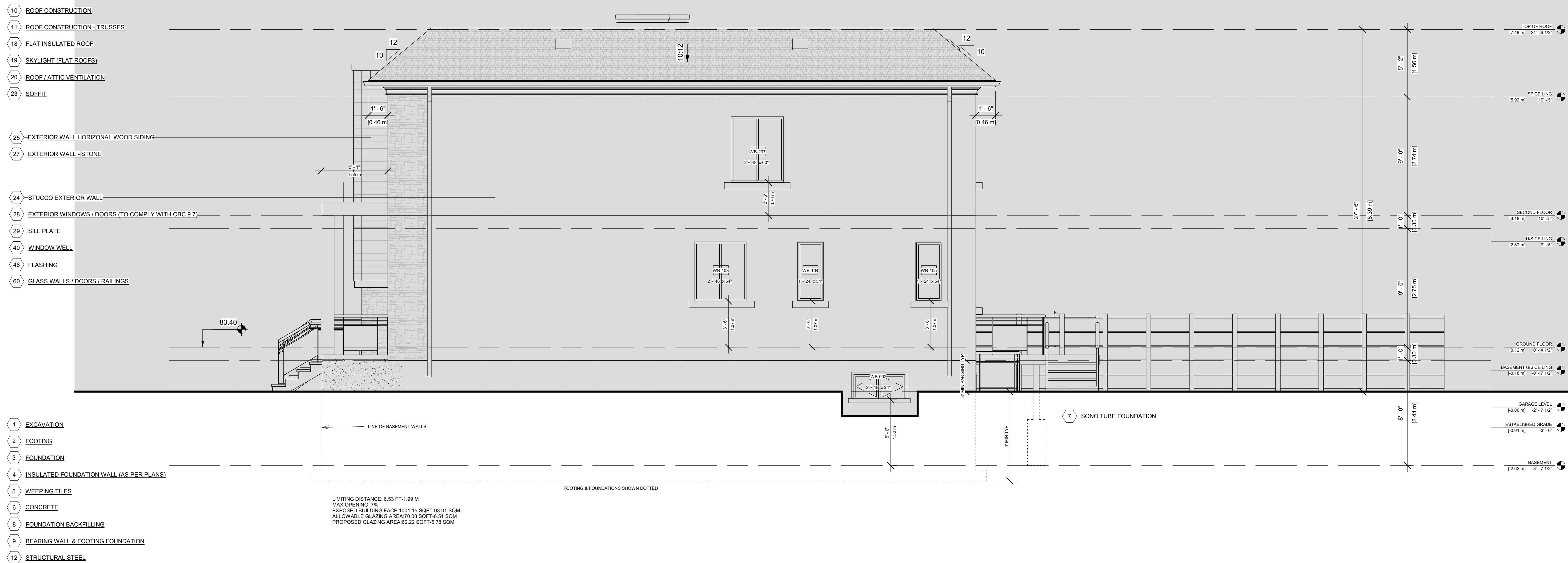


PROJECT NO.
230118

STAGE
COFA A2-04

LOCATION
OTTAWA

REVISION
10



PROJECT
295 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
5	ISSUED FOR CONSULTANTS	2023-08-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

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DRAWING TITLE
SECTION

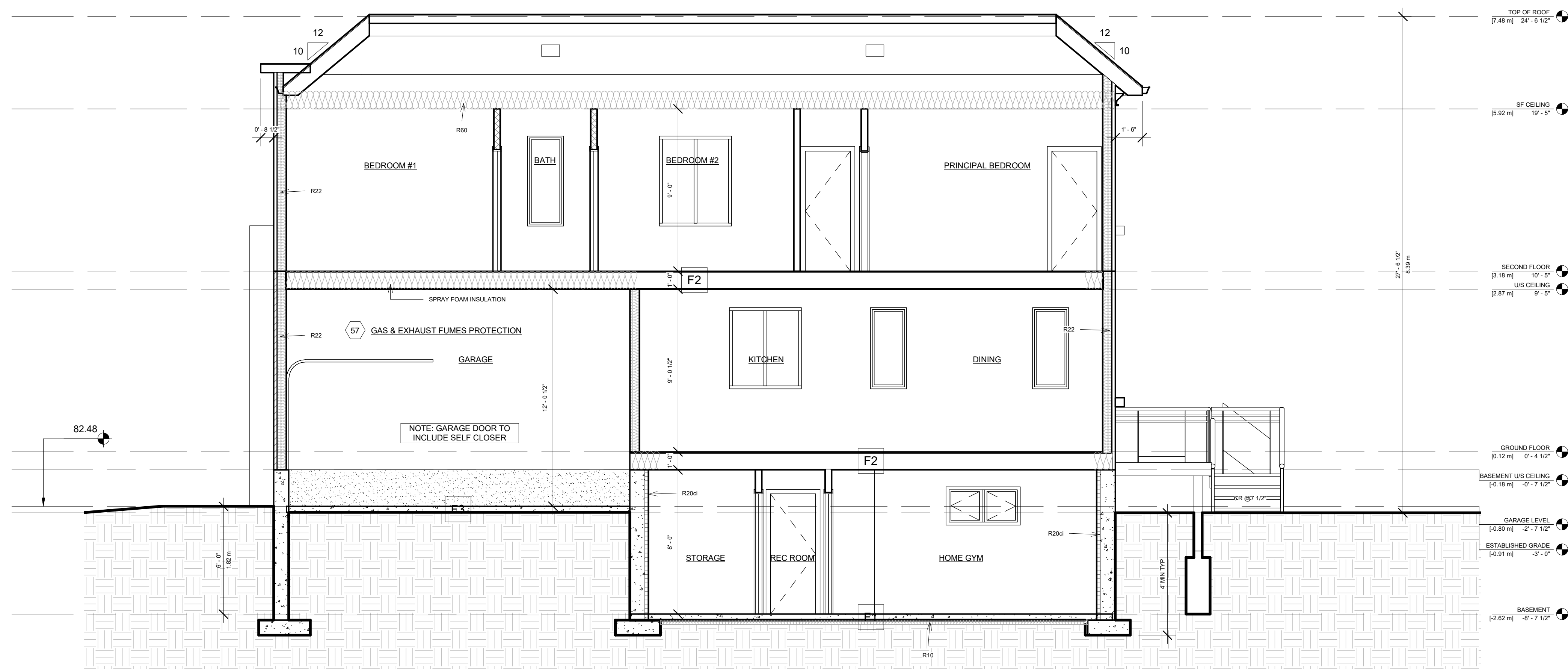
DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

PROJECT NO.
230118

STAGE
COFA A3-01

LOCATION
OTTAWA

REVISION
10



PROJECT
297 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

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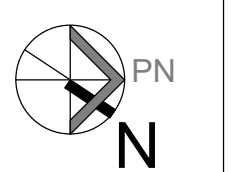
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DRAWING TITLE
COVER

DRAWN CD	CHECKED SA
SCALE @ ARCH D	DATE 09/08/23



PROJECT NO.
230118

STAGE
COFA A0-00

LOCATION
OTTAWA

REVISION
10

Committee of Adjustment
 Received | Reçu le
2024-02-01
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

ARCHITECTURAL SHEET LIST			
Sheet Number	Sheet Name	Sheet Issue Date	Revision Number
A0-00	COVER	09/08/23	6
A0-01	LANDSCAPE AREA PLAN	09/08/23	6
A0-02	LOT AREA AND LOT COVERAGE	09/08/23	6
A0-03	SITE PLAN, DATA MATRIX, STATISTICS AND GENERAL NOTES	09/08/23	6
A0-04	FLOOR AREA PLAN	09/08/23	6
A0-05	SURVEY	09/08/23	6
A0-06	PROPOSED R PLAN	09/08/23	6
A0-07	CONSTRUCTION NOTES	09/08/23	6
A0-08	DEMOLITION PLAN	10/11/23	6
A1-01	PROP. BASEMENT	09/08/23	6
A1-02	PROP. GROUND FLOOR	09/08/23	6
A1-03	PROP. SECOND FLOOR	09/08/23	6
A1-04	PROP. ROOF PLAN	09/08/23	6
A2-01	PROP. FRONT ELEVATION	09/08/23	6
A2-02	PROP. REAR ELEVATION	09/08/23	6
A2-03	PROP. LEFT ELEVATION	09/08/23	6
A2-04	PROP. RIGHT ELEVATION	09/08/23	6
A3-01	SECTION	09/08/23	6
A3-02	SECTION	09/08/23	6
A3-03	SECTION	09/08/23	6
A4-01	WINDOW AND DOOR SCHEDULE	09/08/23	6
A4-02	DETAILS, WALL, FLOOR AND ROOF ASSEMBLIES	09/08/23	6
Grand total: 22			





REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

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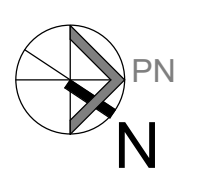
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DRAWING TITLE
LANDSCAPE AREA PLAN

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 09/08/23



PROJECT NO.
230118

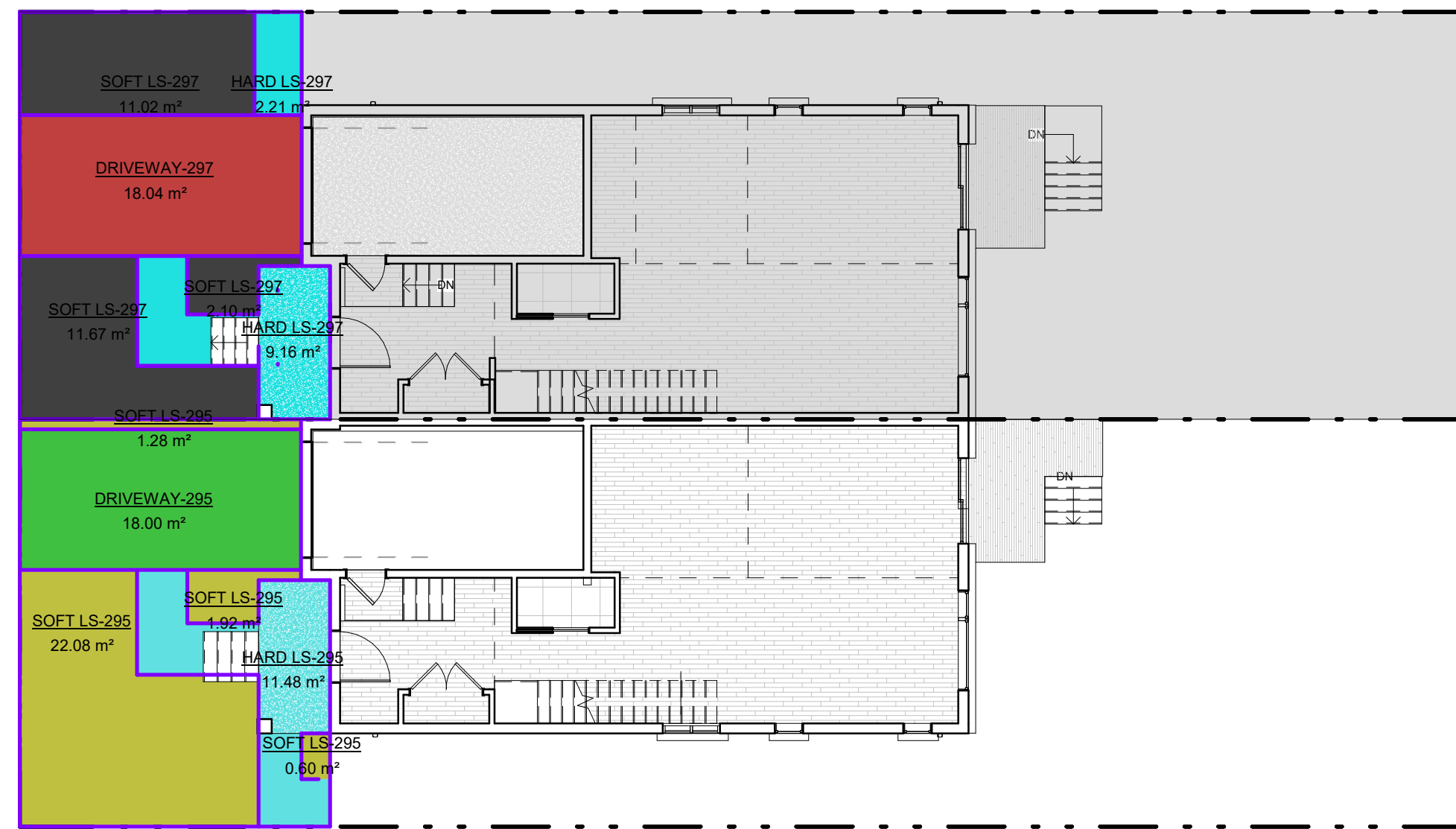
STAGE
COFA A0-01

LOCATION
OTTAWA

REVISION
10

Schema 1 Legend

- DRIVEWAY-295
- DRIVEWAY-297
- HARD LS-295
- HARD LS-297
- SOFT LS-295
- SOFT LS-297



FRONT YARD LANDSCAPE

1" = 10'-0"

01 - FRONT YARD AREA CALCULATION-297 DOVERCOURT AVE			
Name	Area	AREA SF	
SOFT LS-297	24.79 m ²	24.79 m ²	
HARD LS-297	11.38 m ²	11.38 m ²	
DRIVEWAY-297	18.04 m ²	18.04 m ²	
Σ	54.21 m²	54.21 m²	

01 - FRONT YARD AREA CALCULATION-295 DOVERCOURT AVE			
Name	Area	AREA SF	
SOFT LS-295	26.88 m ²	26.88 m ²	
HARD LS-295	11.48 m ²	11.48 m ²	
DRIVEWAY-295	18.00 m ²	18.00 m ²	
Σ	56.37 m²	56.37 m²	

Schema 1 Legend

- HARD LS-295
- HARD LS-297
- SOFT LS-295
- SOFT LS-297



REAR LANDSCAPE

1" = 10'-0"

01 - REAR YARD AREA-297 DOVERCOURT AVE			
Name	Area	AREA SF	
HARD LS-297	2.46 m ²	2.46 m ²	
SOFT LS-297	82.14 m ²	82.14 m ²	
TOTAL REAR YARD AREA	84.60 m²	84.60 m²	

01 - REAR YARD AREA-295 DOVERCOURT AVE			
Name	Area	AREA SF	
HARD LS-295	2.46 m ²	2.46 m ²	
SOFT LS-295	82.14 m ²	82.14 m ²	
TOTAL REAR YARD AREA	84.60 m²	84.60 m²	

PROJECT
297 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

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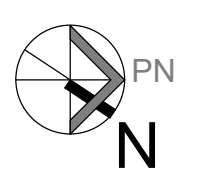
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DRAWING TITLE
LOT AREA AND LOT COVERAGE

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 09/08/23

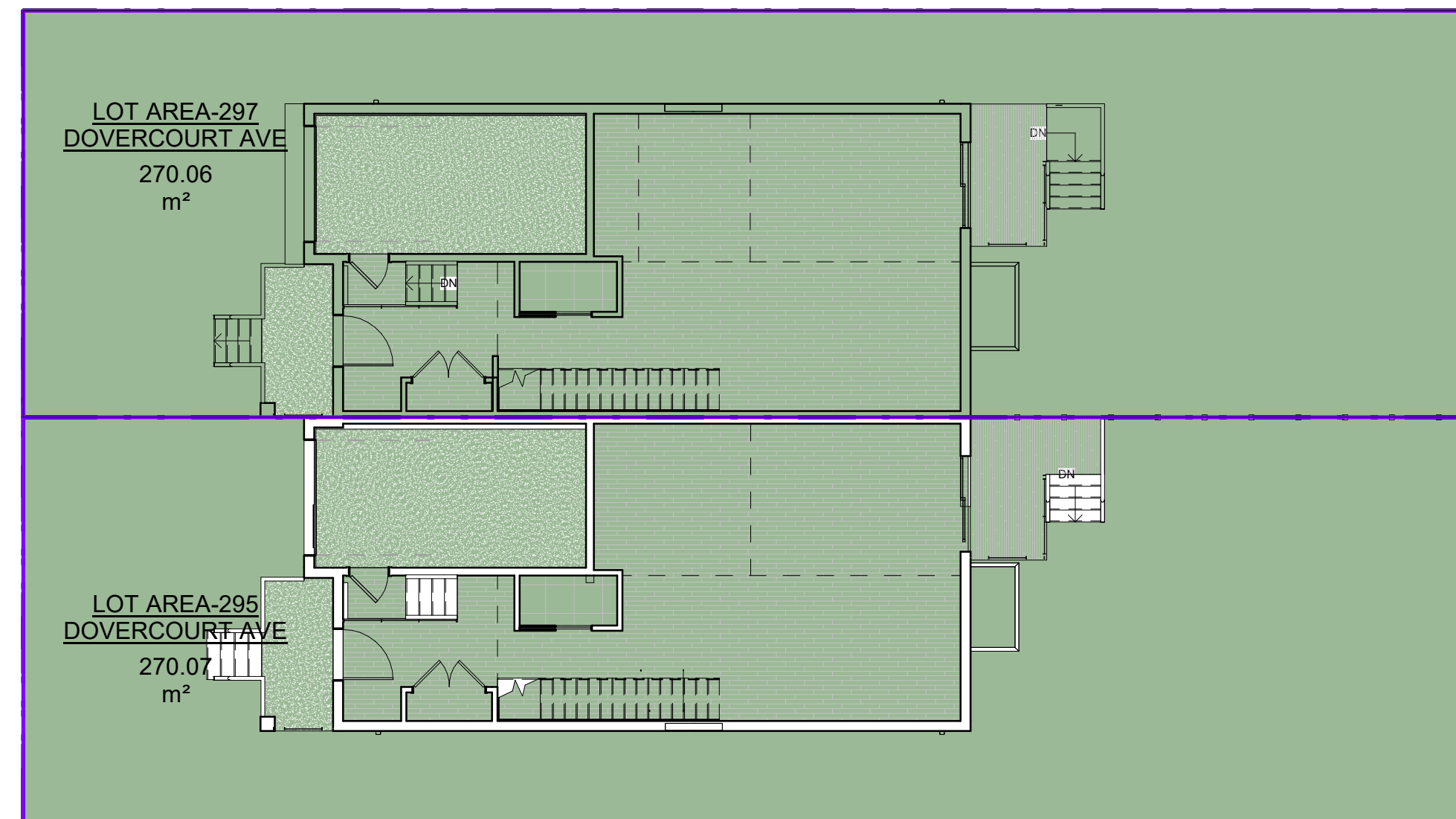


PROJECT NO.
230118

STAGE
COFA A0-02

LOCATION
OTTAWA

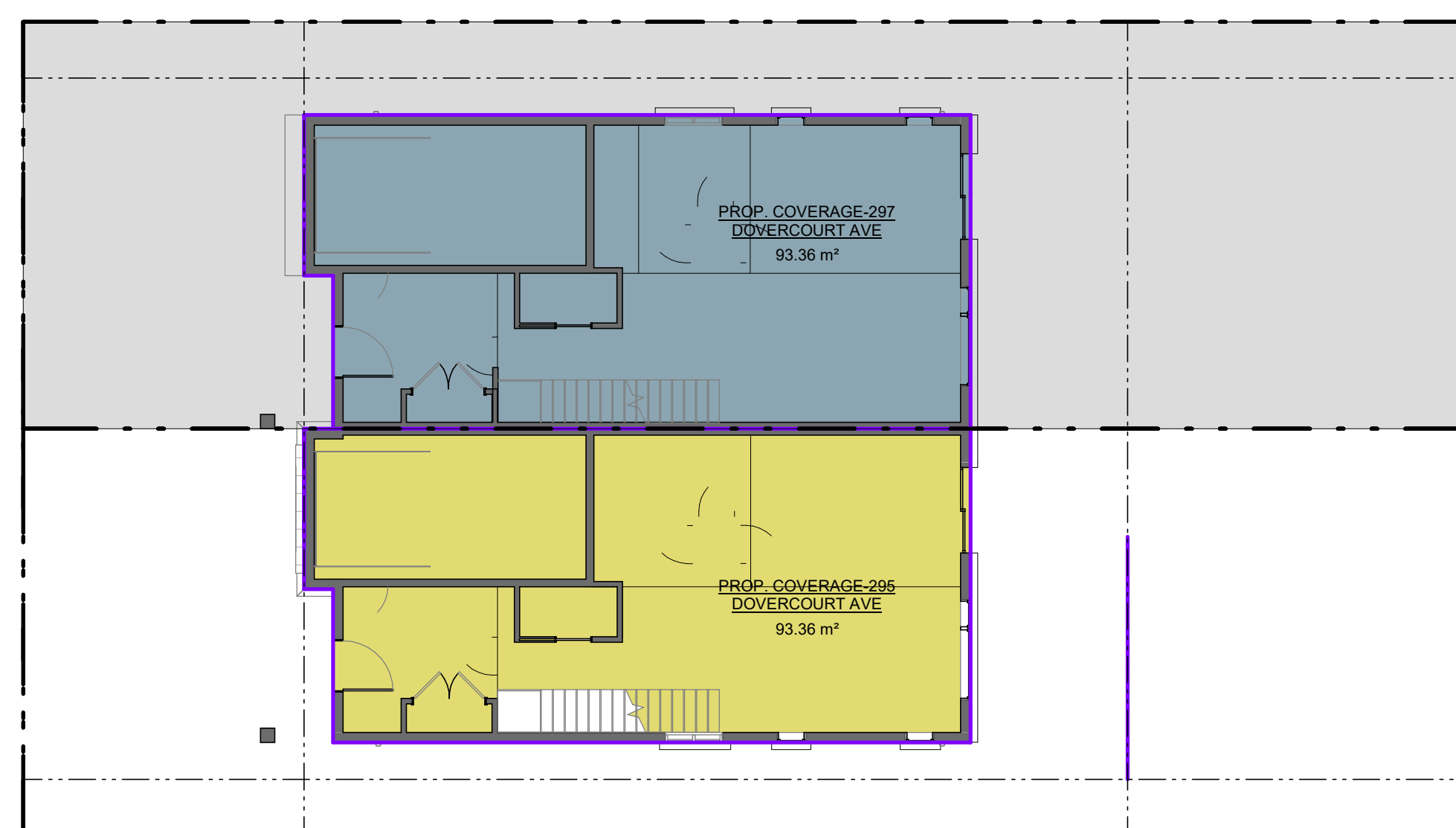
REVISION
10



1 LOT AREA
1" = 10'-0"

Schema 1 Legend

- PROP. COVERAGE-295 DOVERCOURT AVE
- PROP. COVERAGE-297 DOVERCOURT AVE



2 PROP. COVERAGE
1" = 10'-0"



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-20
8	ISSUED FOR CONSULTANT	2023-09-28
7	ISSUED FOR BUILDING PERMIT	2023-09-08
6	ISSUED FOR C OF A	2023-07-21
5	ISSUED FOR CLIENT	2023-07-17
4	ISSUED FOR CLIENT	2023-07-13

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

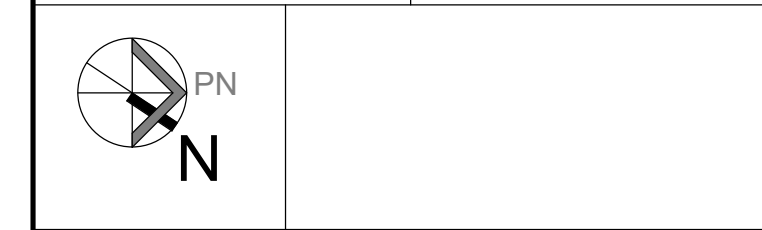
CONSULTANTS

ONTARIO ASSOCIATION OF ARCHITECTS
SABA AL MATHIN
LICENCE 6913

TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
SITE PLAN, OAA MATRIX, STATISTICS AND GENERAL NOTES

DRAWN	CD	CHECKED	SA
SCALE @ ARCH D	As indicated	DATE	09/08/23



PROJECT NO. 230118

STAGE
COFA A0-03

LOCATION
OTTAWA

REVISION
10

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE 2012 OBC, AS AMENDED.
- ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE PROJECT.
- REPORT IN WRITING ALL DISCOVERED ERRORS OR OMISSIONS TO THE ARCHITECT AT ONCE.
- DO NOT SCALE DRAWINGS. USE LATEST SCALE DRAWINGS ONLY.
- CONTRACTOR TO VERIFY ALL VERTICAL AND HORIZONTAL SITE DIMENSIONS PRIOR TO COMMENCING WORK - INCLUDING EXTERIOR LANDSCAPING DIMENSIONS.
- CONTRACTOR TO PROVIDE PLYWOOD HOARDING AROUND THE PERIMETER OF THE JOB SITE BETWEEN THE PROPOSED NEW STRUCTURE TO THE PROPERTY LINE. IF ADDITIONAL STAGING/STORAGE AREA IS REQUIRED, CONTRACTOR TO APPLY FOR PERMIT TO BUILD HOARDING ON CITY PROPERTY. IN LIEU OF PLYWOOD HOARDING, A 7'-0" HIGH CHAIN LINK FENCE BY "FAST FENCE" OR EQUAL IS TO BE USED.
- SITE MUST BE SAFE AND SECURE AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR LOCKING THE CONSTRUCTION GATE NIGHTLY.
- CONTRACTOR MUST POST "NO TRESPASSING" AND "DANGER CONSTRUCTION AREA" SIGNS AS WELL AS ANY OTHER SIGNS REQUIRED BY ANY GOVERNING BODY. G. HEALTH AND SAFETY, ETC.
- EXISTING GRADE DIMENSIONS DISTURBED DURING CONSTRUCTION TO BE MAINTAINED UNLESS OTHERWISE NOTED ON LOT DRAINAGE PLAN. ALL BACKFILL MUST BE ELEVATED. ADD 4" TOPSOIL AND SOO IN ALL AREAS DISTURBED DURING CONSTRUCTION.
- REPAIRS TO EXISTING LANDSCAPING - USE TRIPLE MIX SOIL AT ALL PLANTING BEDS.
- REFER TO ARBORIST REPORT (WHERE APPLICABLE) FOR SPECIAL INSTRUCTION REGARDING EXCAVATION / CONSTRUCTION IN PROXIMITY TO MATURE TREES.
- EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- ENSURE ADEQUATE BRACING OF FOUNDATION WALLS PRIOR TO BACKFILLING.
- ALL STRUCTURAL WOOD TO BE #2 SPRUCE OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE POSTS UNDER ALL BEAMS / GIRDERS / TRUSSES, ETC. POSTS TO RUN CONTINUOUS TO FOUNDATION OR EQUIVALENT SUPPORT.
- ALL STUMPS, ROOTS AND OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL TO A MIN. DEPTH OF 12" IN UNEXCAVATED AREAS UNDER A BUILDING. WOOD DEBRIS REMOVAL SHALL EXCEED 2'-0" MIN. BEYOND THE PERIMETER OF THE BUILDING.
- ALL WOOD SCRAPS AND FORMS SHALL BE REMOVED FROM AROUND THE FOUNDATIONS BEFORE BACKFILLING AND FROM UNDER EXTERIOR STEPS OR PORCHES BEFORE CONSTRUCTION IS COMPLETED.
- ALL EXISTING SURFACES ADJACENT TO NEW CONSTRUCTION AND THROUGH WHICH CONSTRUCTION MATERIALS AND CONTRACTORS' FORCES MOVE ARE TO BE PROTECTED.
- PROVIDE TEMPORARY DUST BARRIERS AS REQUIRED TO MAINTAIN DUST FREE ENVIRONMENT FOR ALL BUILDING AREAS OCCUPIED BY OWNER / TENANTS.
- CONTRACTOR SHALL MAINTAIN THE JOB SITE AND WORK IN A Tidy CONDITION. DAILY CLEAN UP OF JOB SITE IS REQUIRED.
- REMOVE ALL CONSTRUCTION DEBRIS FROM SITE UNLESS OTHERWISE NOTED. ALL WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE WHICH IS IN DIRECT CONTACT WITH SOIL IS TO BE SEPARATED FROM CONCRETE WITH DAMP PROOFING MATERIAL (9.2.2.3 OBC).
- GARAGE ACCESS DOOR TO BUILDING TO BE CW SELF CLOSURE MECHANISM AND GAS TIGHT.
- ALL WINDOWS LOCATED WITHIN 6" FROM GRADE, SHALL CONFORM TO CLAUSE 10.13 OF CSA STANDARD A440-M90 AND 9.7.6.1 OBC (RESISTANCE TO FORCED ENTRY). SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD (SILL AT ALL EXTERIOR DOORS) WINDOWS (INCLUDING BASEMENT).
- ALL GUARD RAILS ARE TO SUSTAIN MINIMUM LOADING AS PER OBC 4.1.10.1 AND 9.8.8 FOR HEIGHT AND SPACING OF PICKETS. HANDRAILS AND TO CONFIRM WITH 9.8.8 OBC.
- ALL INTERIOR TRIM TO BE POPLAR (PAINT) UNLESS OTHERWISE NOTED. EXTERIOR TRIM TO BE #1 CLEAR PINE (PAINT). NOTE: USE KILN DRIED KNOTS PRIOR TO PRIMER COAT. ALL WOOD TO BE KEPT DRY AND MUST NOT BE PAINTED IN TEMPERATURES OF LESS THAN 10 DEGREES CELSIUS.
- ALL TRIM TO BE PRE-PAINTED (PRIMER + ONE COAT) PRIOR TO INSTALLATION.
- CONTRACTOR MUST RECEIVE PERMISSION FROM OWNER PRIOR TO INSTALLATION OF JOB SIGN.
- SEE INSTRUCTIONS TO CONTRACTOR FOR ADDITIONAL SPECIFICATIONS AND CASH ALLOWANCES.
- CONTRACTOR TO USE FLEXIBLE CORNER BEAD AT ALL RADII USE DRYWALL EDGES.
- THESE WORKING DRAWINGS ARE BASED ON "MEASURED DRAWINGS" OF THE EXISTING BUILDING, NOT "RECORD DRAWINGS", WHICH ARE THE ORIGINAL CONSTRUCTION DRAWINGS REVISED TO REFLECT "AS BUILT" CONDITIONS. MEASUREMENTS HAVE BEEN TAKEN TO EXTERIOR SURFACE ONLY, AND EXCEPT WHERE NOTED NO ATTEMPT HAS BEEN MADE TO VERIFY "HIDDEN" CONDITIONS.
- NO REPRESENTATION IS MADE THAT THE BUILDING CONFORMS TO ANY CODE REQUIREMENTS, OR ANY CONSTRUCTION DRAWINGS THAT MAY HAVE BEEN PREPARED BY OTHERS.

NEW BY-LAW

ZONING INFORMATION FOR PROJECT 297 DOVERCOURT AVE - BY-LAW 2008-250

ZONING	(sq.m)	(sq.ft)
MINIMUM LOT AREA (SEMI-DETACHED):	180.0	1937.5
ALLOWABLE COVERAGE: N/A	N/A	N/A
ALLOWABLE FSI: N/A	N/A	N/A

PROPOSED BASEMENT FLOOR
PROPOSED GROUND FLOOR
PROPOSED SECOND FLOOR
PROPOSED TOTAL GFA

PROPOSED FSI: 0.62

PROPOSED COVERAGE: 34.57%

SETBACKS	ALLOWABLE	PROPOSED
	(m)	(ft)
FRONT:	6.0	19.69
REAR:	7.5	24.60
SIDE (WEST (LEFT)):	1.2	3.94
SIDE (EAST (RIGHT)):	0	0.00
BUILDING HEIGHT:	6.0	26.25
BUILDING LENGTH:	17.59	57.71
LOT FRONTAGE (SEMI-DETACHED):	6.0	19.69
GARAGE:	PROVIDED	28.51

NEW BY-LAW

ZONING INFORMATION FOR PROJECT 239 ALDERCREST RD LOT B - BY-LAW 1229-99-90

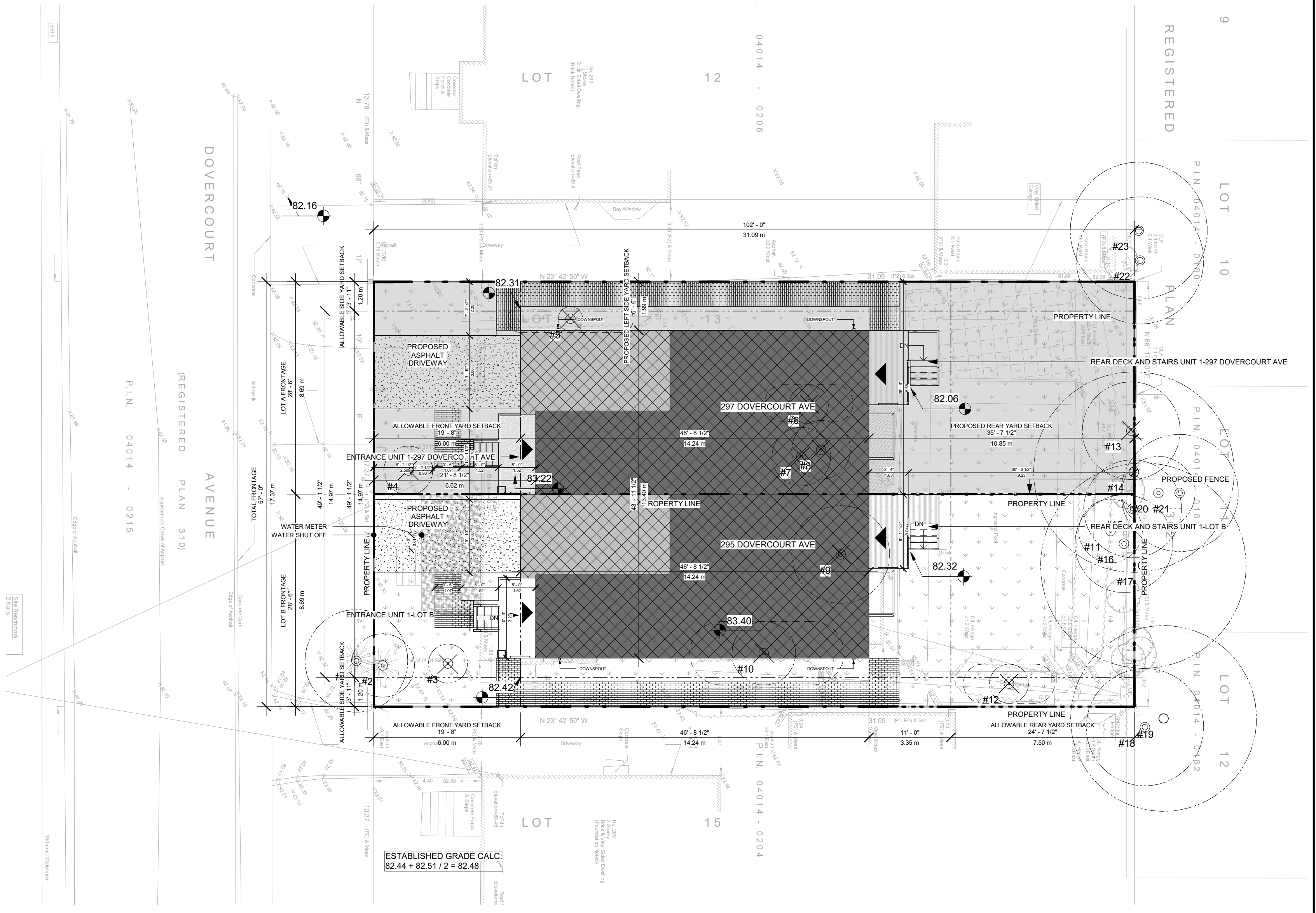
ZONING	(sq.m)	(sq.ft)
MINIMUM LOT AREA (SEMI-DETACHED):	180.0	1937.5
ALLOWABLE COVERAGE: N/A	N/A	N/A
ALLOWABLE FSI: N/A	N/A	N/A

PROPOSED BASEMENT FLOOR
PROPOSED GROUND FLOOR
PROPOSED SECOND FLOOR
PROPOSED TOTAL GFA

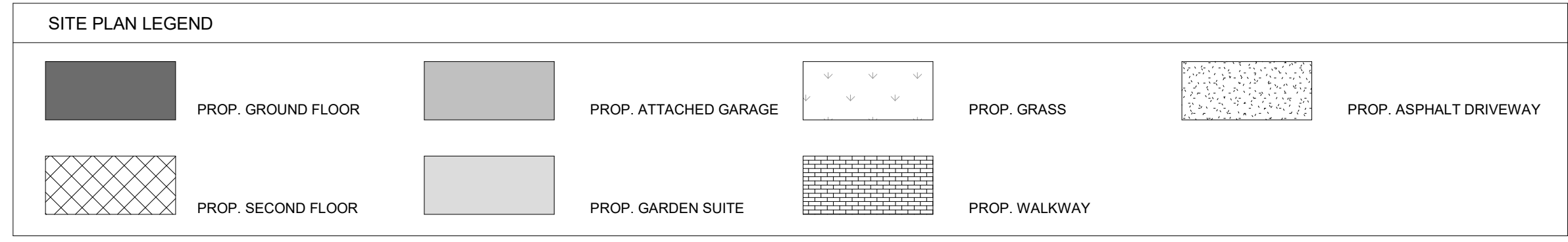
PROPOSED FSI: 0.62

PROPOSED COVERAGE: 34.57%

SETBACKS	ALLOWABLE	PROPOSED
	(m)	(ft)
FRONT:	6.0	19.69
REAR:	7.5	24.60
SIDE (WEST (LEFT)):	0	0.00
SIDE (EAST (RIGHT)):	1.2	3.94
BUILDING HEIGHT:	6.0	26.25
BUILDING LENGTH:	17.59	57.71
LOT FRONTAGE (SEMI-DETACHED):	6.0	19.69
GARAGE:	PROVIDED	28.51



1 SITE PLAN
1" = 10'-0"



FIRM NAME: QBS ARCHITECTS INC. 1070 BAYVIEW AVENUE, SUITE 501 TORONTO, ON M4G 3C2
CERTIFICATE OF PRACTICE NUMBER: 5235
PROPOSED 2 STOREY DWELLING
LOCATION: 297 DOVERCOURT AVE - OTTAWA

ONTARIO ASSOCIATION OF ARCHITECTS
SABA AL MATHIN
LICENCE 6913

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCQCN.

NO.	ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL	OBC REFERENCE
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9	References are to Division B unless noted (A) for Division A or (C) for Division C.
2	MAJOR OCCUPANCY(S): GROUP C RESIDENTIAL OCCUPANCY	3.1.2.1(1) 9.10.2
3	BUILDING AREA (m²): EXISTING: 100.00 NEW: 93.36	1.4.1.2 [A] 1.4.1.2 [A]
4	GROSS AREA (m²): EXISTING: +/- 184.48 NEW: 167.23	1.4.1.2 [A] 8.3.2.1.1 1.4.1.2 [A] 8.9.10.4
5	NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 1	3.2.2.10 & 3.2.5 9.10.20
6	NUMBER OF STREET/FIRE FIGHTER ACCESS: 1	3.2.2.10 & 3.2.5 9.10.20
7	BUILDING CLASSIFICATION: 1	3.2.2.10-83 9.10.2
8	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.10-83 3.2.1.5 3.2.2.17 INDEX INDEX
9	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9 N/A
10	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4 9.10.18
11	WATER SERVICE/SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> YES (NON-MUNICIPAL) <input type="checkbox"/> NO	3.2.5.7 N/A
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6 N/A
13	CONSTRUCTION RESTRICTIONS: <input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH	3.2.2.10-83 9.10.6
14	MEZZANINE(S) AREA (m²): N/A	3.2.1.1 (3)-(8) 9.10.4.1
15	OCCUPANT LOAD BASES ON: <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17 9.9.1.3
16	BASEMENT: OCCUPANCY C LOAD 2 PERSONS	
1st FLOOR:	OCCUPANCY C LOAD 2 PERSONS	
2nd FLOOR:	OCCUPANCY C LOAD 2 PERSONS	
3rd FLOOR:	OCCUPANCY C LOAD 2 PERSONS	
ROOF:	OCCUPANCY C LOAD 2 PERSONS	
18	BARRIER-FREE DESIGN: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN BUILDING IS A HOUSE (EXEMPT))	3.8 9.5.2
17	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3(4)
19	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FRR HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.10-83 3.2.1.4 9.10.9
	FLOORS 0 HOURS	
	ROOF 0 HOURS	
	MEZZANINE N/A HOURS	
	FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2)	
	FLOORS 0 HOURS	
	ROOF 0 HOURS	
	MEZZANINE N/A HOURS	
19	SPATIAL SEPERATION - CONSTRUCTION OF EXTERIOR WALLS	
	WALL AREA OF E.B.F. (sq.ft) (sq.m) L.D. (ft) (m) LH OR HL MAX. % OF OPENINGS PERMITTED (max. % of openings) PROPOSED % OF OPENINGS (max. % of openings) FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NON-C. CLADDING NON-COMB. CONSTR.	
	FRONT (SOUTH): 492.45 45.75 19.69 6.00 100 19.56% (8.95) [X]	
	REAR (NORTH): 492.45 45.75 35.60 10.85 100 28.92% (13.23) [X]	
	SIDE (EAST): 1001.15 93.01 0.00 0.00 0 0.00% (0.00) [X]	
	SIDE (WEST (LEFT)): 1046.47 97.22 6.53 1.99 7 8.21% (5.78) [X]	

FIRM NAME: QBS ARCHITECTS INC. 1070 BAYVIEW AVENUE, SUITE 501 TORONTO, ON M4G 3C2
CERTIFICATE OF PRACTICE NUMBER: 5235
PROPOSED 2 STOREY DWELLING
LOCATION: 297 DOVERCOURT AVE LOT B, OTTAWA

ONTARIO ASSOCIATION OF ARCHITECTS
SABA AL MATHIN
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2	MAJOR OCCUPANCY(S): GROUP C RESIDENTIAL OCCUPANCY	3.1.2.1(1) 9.10.2
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4	GROSS AREA (m²): EXISTING: +/- 184.48 NEW: 167.23	1.4.1.2 [A] 8.3.2.1.1 1.4.1.2 [A] 8.9.10.4
5	NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 1	3.2.2.10 & 3.2.5 9.10.20
6	NUMBER OF STREET/FIRE FIGHTER ACCESS: 1	3.2.2.10 & 3.2.5 9.10.20
7	BUILDING CLASSIFICATION: 1	3.2.2.10-83 9.10.2
8	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.10-83 3.2.1.5 3.2.2.17 INDEX INDEX
9	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9 N/A
10	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4 9.10.18
11	WATER SERVICE/SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> YES (MUNICIPAL) <input type="checkbox"/> YES (NON-MUNICIPAL) <input type="checkbox"/> NO	3.2.5.7 N/A
12	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6 N/A
13	CONSTRUCTION RESTRICTIONS: <input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH	3.2.2.10-83 9.10.6
14	MEZZANINE(S) AREA (m²): N/A	3.2.1.1 (3)-(8) 9.10.4.1
15	OCCUPANT LOAD BASES ON: <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17 9.9.1.3
16	BASEMENT: OCCUPANCY C LOAD 2 PERSONS	
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ROOF:	OCCUPANCY C LOAD 2 PERSONS	
18	BARRIER-FREE DESIGN: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN BUILDING IS A HOUSE (EXEMPT))	3.8 9.5.2
17	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3(4)
19	REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES (FRR HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.10-83 3.2.1.4 9.10.9
	FLOORS 0 HOURS	
	ROOF 0 HOURS	
	MEZZANINE N/A HOURS	
	FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2)	
	FLOORS 0 HOURS	
	ROOF 0 HOURS	
	MEZZANINE N/A HOURS	
19	SPATIAL SEPERATION - CONSTRUCTION OF EXTERIOR WALLS	
	WALL AREA OF E.B.F. (sq.ft) (sq.m) L.D. (ft) (m) LH OR HL MAX. % OF OPENINGS PERMITTED (max. % of openings) PROPOSED % OF OPENINGS (max. % of openings) FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NON-C. CLADDING NON-COMB. CONSTR.	
	FRONT (SOUTH): 492.45 45.75 19.69 6.00 100 19.56% (8.95) [X]	
	REAR (NORTH): 492.45 45.75 35.60 10.85 100 28.92% (13.23) [X]	
	SIDE (EAST): 1001.15 93.01 0.00 0.00 0 0.00% (0.00) [X]	
	SIDE (WEST (LEFT)): 1046.47 97.22 6.53 1.99 7 8.21% (5.78) [X]	



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13
1	ISSUED FOR CLIENT	2023-06-30

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

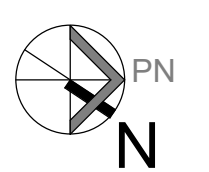
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
FLOOR AREA PLAN

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 09/08/23



PROJECT NO.
230118

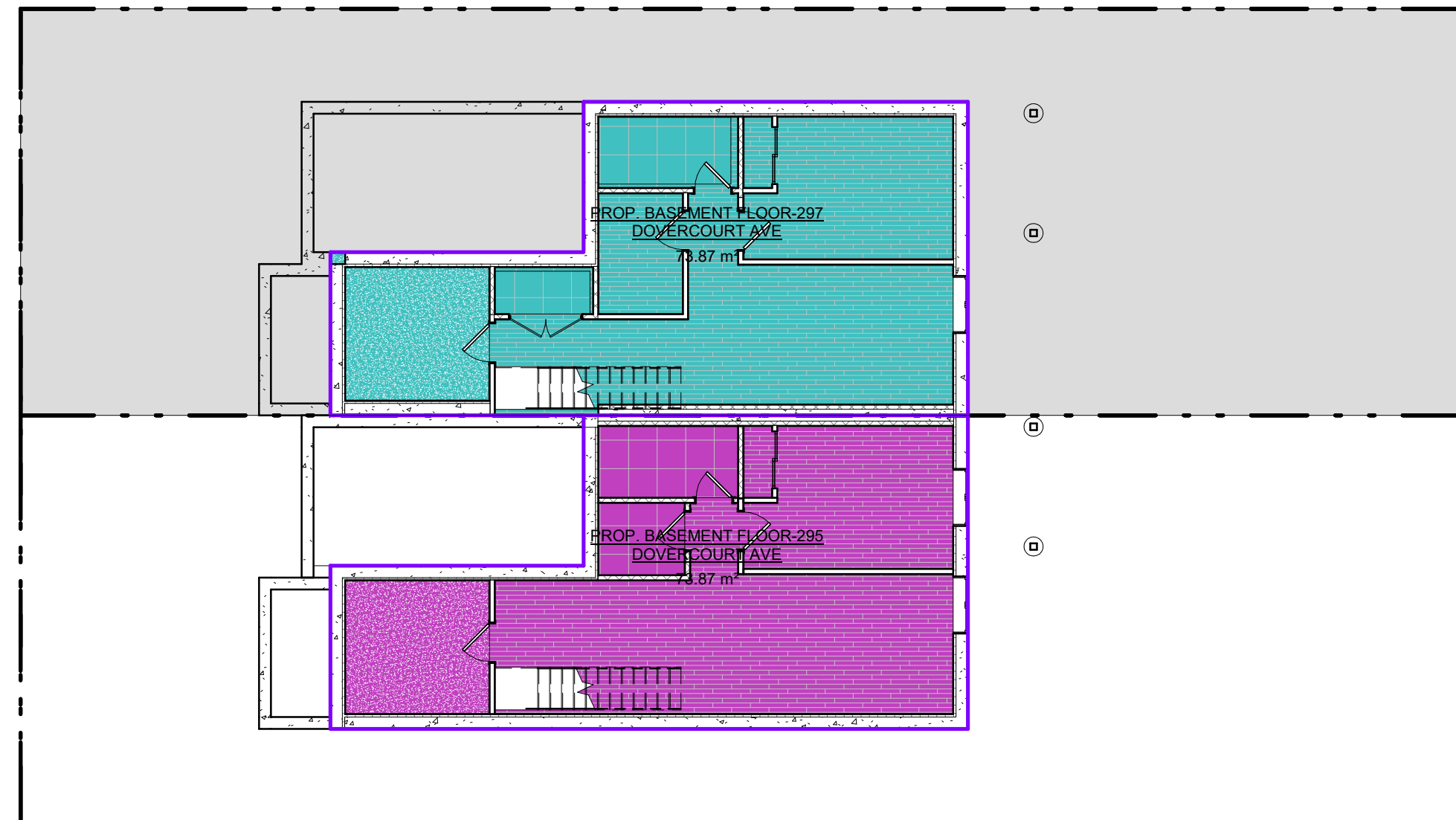
STAGE
COFA A0-04

LOCATION
OTTAWA

REVISION
10

Schema 1 Legend

- PROP. BASEMENT FLOOR-295 DOVERCOURT AVE
- PROP. BASEMENT FLOOR-297 DOVERCOURT AVE

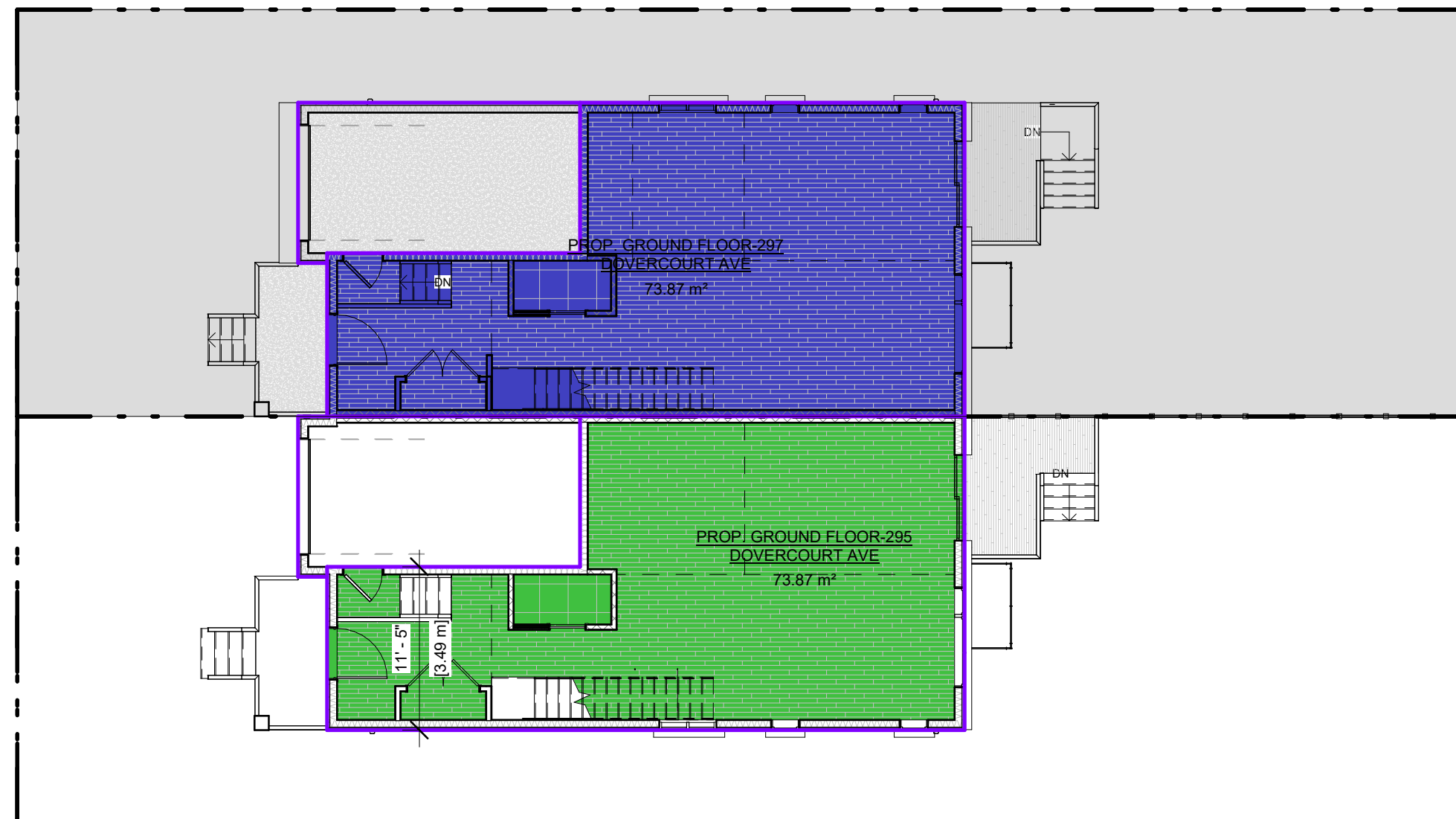


BASEMENT-PROPOSED

1" = 10'-0"

Schema 1 Legend

- PROP. GROUND FLOOR-295 DOVERCOURT AVE
- PROP. GROUND FLOOR-297 DOVERCOURT AVE

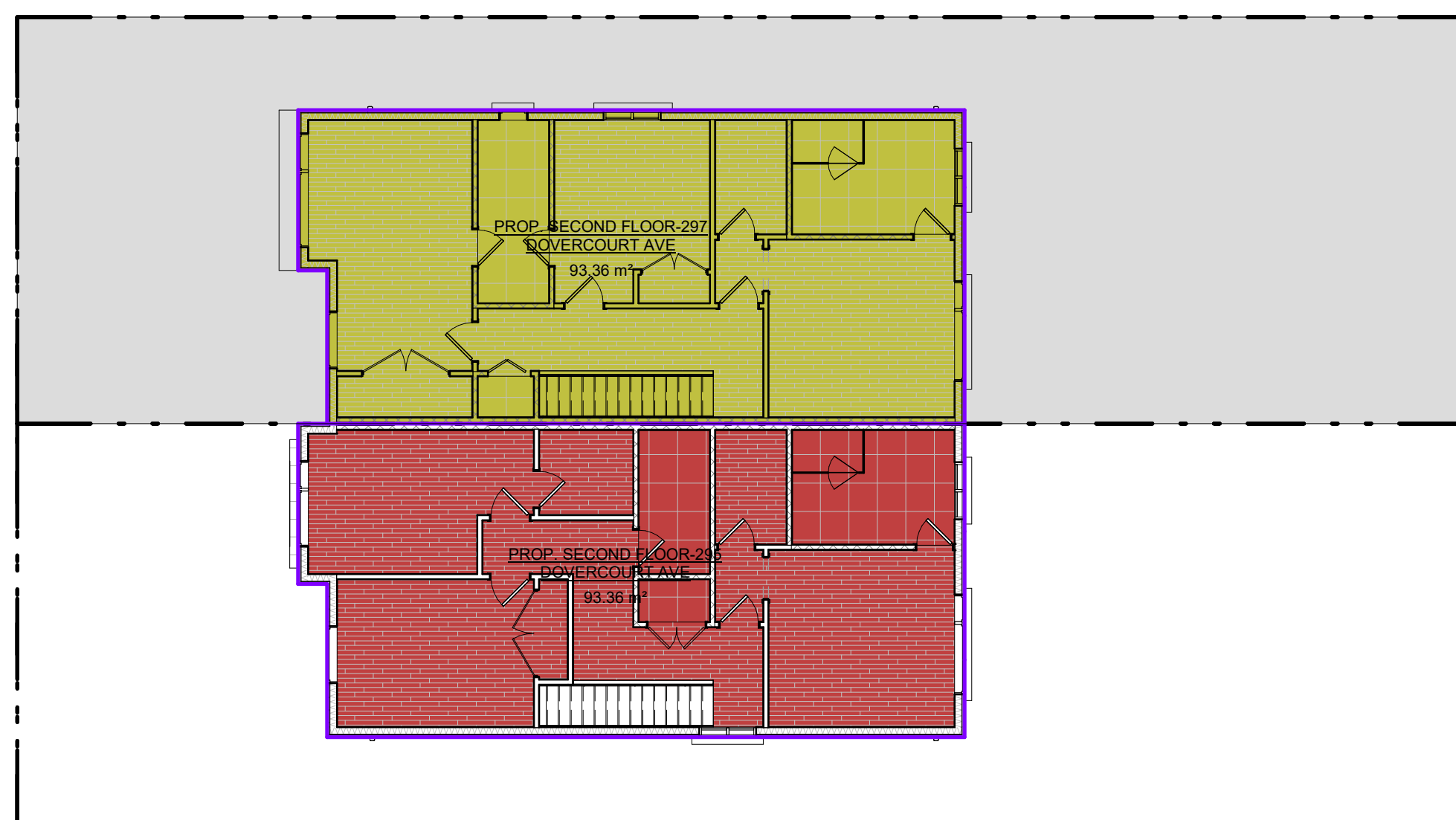


GROUND FLOOR-PROPOSED

1" = 10'-0"

Schema 1 Legend

- PROP. SECOND FLOOR-295 DOVERCOURT AVE
- PROP. SECOND FLOOR-297 DOVERCOURT AVE



SECOND FLOOR-PROPOSED

1" = 10'-0"

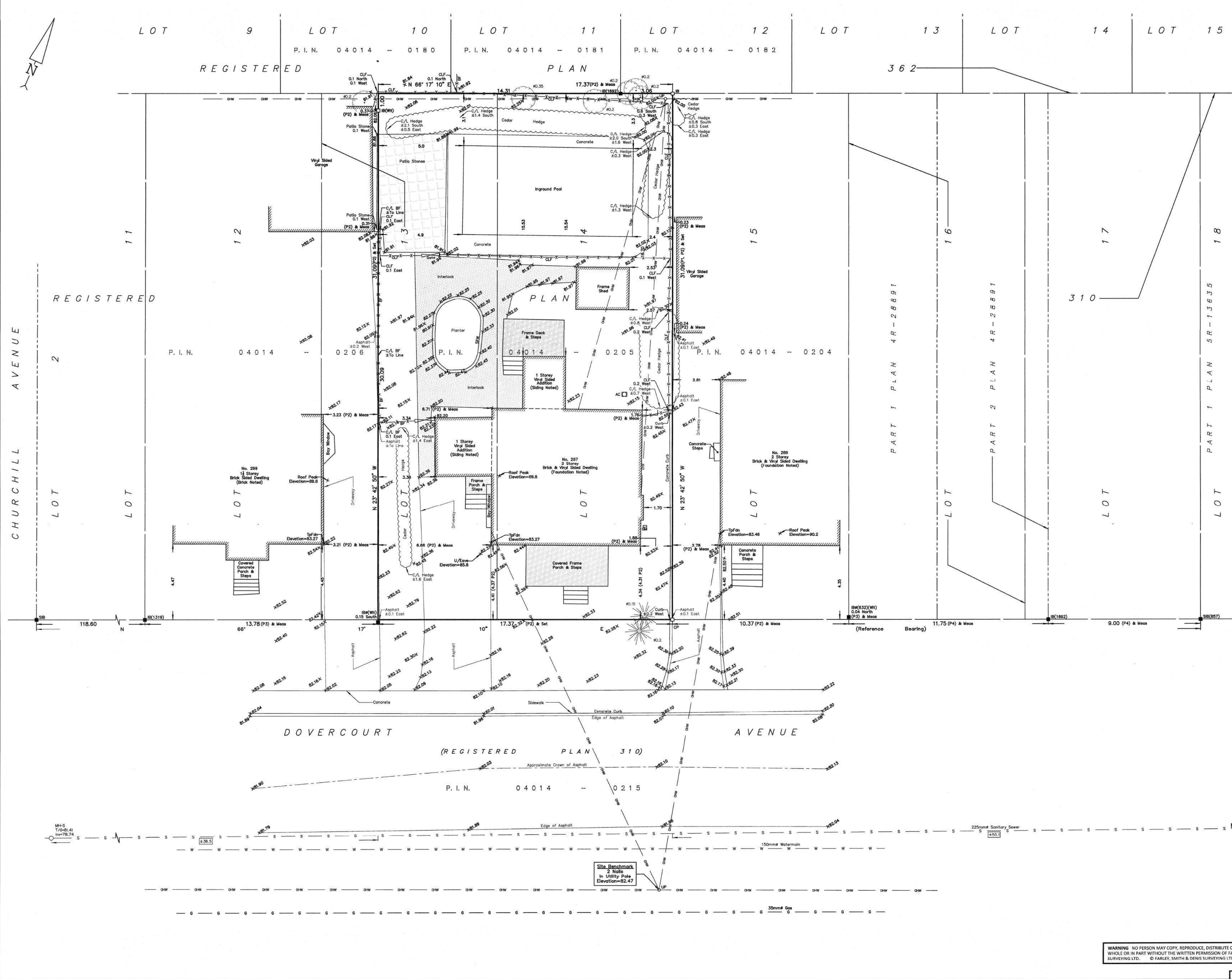
Area Schedule (297 DOVERCOURT AVE)

Level	Name	Area (SM)	Area (SF)
BASEMENT	PROP. BASEMENT FLOOR-297 DOVERCOURT AVE	73.87 m ²	795.18 SF
GROUND FLOOR	PROP. GROUND FLOOR-297 DOVERCOURT AVE	73.87 m ²	795.18 SF
SECOND FLOOR	PROP. SECOND FLOOR-297 DOVERCOURT AVE	93.36 m ²	1004.68 SF
Grand total: 3		241.11 m ²	2595.04 SF

Area Schedule (295 DOVERCOURT AVE)

Level	Name	Area (SM)	Area (SF)
BASEMENT	PROP. BASEMENT FLOOR-295 DOVERCOURT AVE	73.87 m ²	795.17 SF
GROUND FLOOR	PROP. GROUND FLOOR-295 DOVERCOURT AVE	73.87 m ²	795.18 SF
SECOND FLOOR	PROP. SECOND FLOOR-295 DOVERCOURT AVE	93.36 m ²	1004.68 SF
Grand total: 3		241.11 m ²	2595.03 SF

363741, 5027499



TOPOGRAPHIC PLAN OF SURVEY OF

LOT 14 AND PART OF LOT 13 REGISTERED PLAN 310 CITY OF OTTAWA FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 100

Metric Note Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

Elevation Notes 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 19680092) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: F-04-19, F-04-20 & L2. 4. Sanitary and storm sewer grades and inverts were derived from Field measurement. 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend Denotes Survey Monument Planted, Survey Monument Found, Standard Iron Bar, Short Standard Iron Bar, Round Iron Bar, Concrete Pin, Witness, Measured, Registered Plan 310, Plan by (1287) dated June 17, 1985 (Job No. 350-85), Plan by (1319) dated November 8, 1995 (Ref. No. 2-310 C), Plan by (1692) dated October 4, 2019 (File No. 314-19), Maintenance Hole (Sanitary), Underground Sanitary Sewer, Underground Water, Underground Gas, Overhead Wires, Utility Pole, Gas Meter, Air Conditioner, Diameter, Chain Link Fence, Board Fence, Stone Retaining Wall, Invert, Top of Grate, Underside of Eave, Top of Foundation, Centreline, Location of Elevations, Top of Concrete Curb/Retaining Wall Elevation, Property Line.

- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
- Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=540.0 sq.m.

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2023.

Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 26th day of June, 2023.

June 29/2023
Date
Emad Alrefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-56732.
FARLEY, SMITH & DENIS SURVEYING LTD.
ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

FILE NO.: 205-23

PROJECT 297 DOVERCOURT AVE OTTAWA, ON K1Z 7H4

CLIENT Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
17	ISSUED FOR BUILDING CONSULTANT	2023-09-26
16	ISSUED FOR BUILDING PERMIT	2023-09-08
14	ISSUED FOR C OF A	2023-07-21
11	ISSUED FOR CLIENT	2023-06-30

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

QBS ARCHITECTS INC.

ONTARIO ASSOCIATION OF ARCHITECTS
SABA AL MATHINI
LICENCE 6913

TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE SURVEY

DRAWN CD	CHECKED SA
SCALE @ ARCH D	DATE 09/08/23



PROJECT NO. 230118

STAGE DRAWING NO.

COFA A0-05

LOCATION OTTAWA REVISION 10

TOPOG 2426

1:\2023\205-23_297 Dovercourt ave_topo\Final\205-23_297 Dovercourt Ave_L14 P113 RP310_T_F.dwg

PROJECT
297 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
11	ISSUED FOR DEMO	2023-12-04
10	ISSUED FOR C OF A	2023-11-10
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
1	ISSUED FOR CLIENT	2023-06-30

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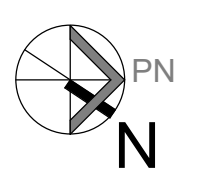
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DRAWING TITLE
PROPOSED R PLAN

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1" = 10'-0"	DATE 09/08/23

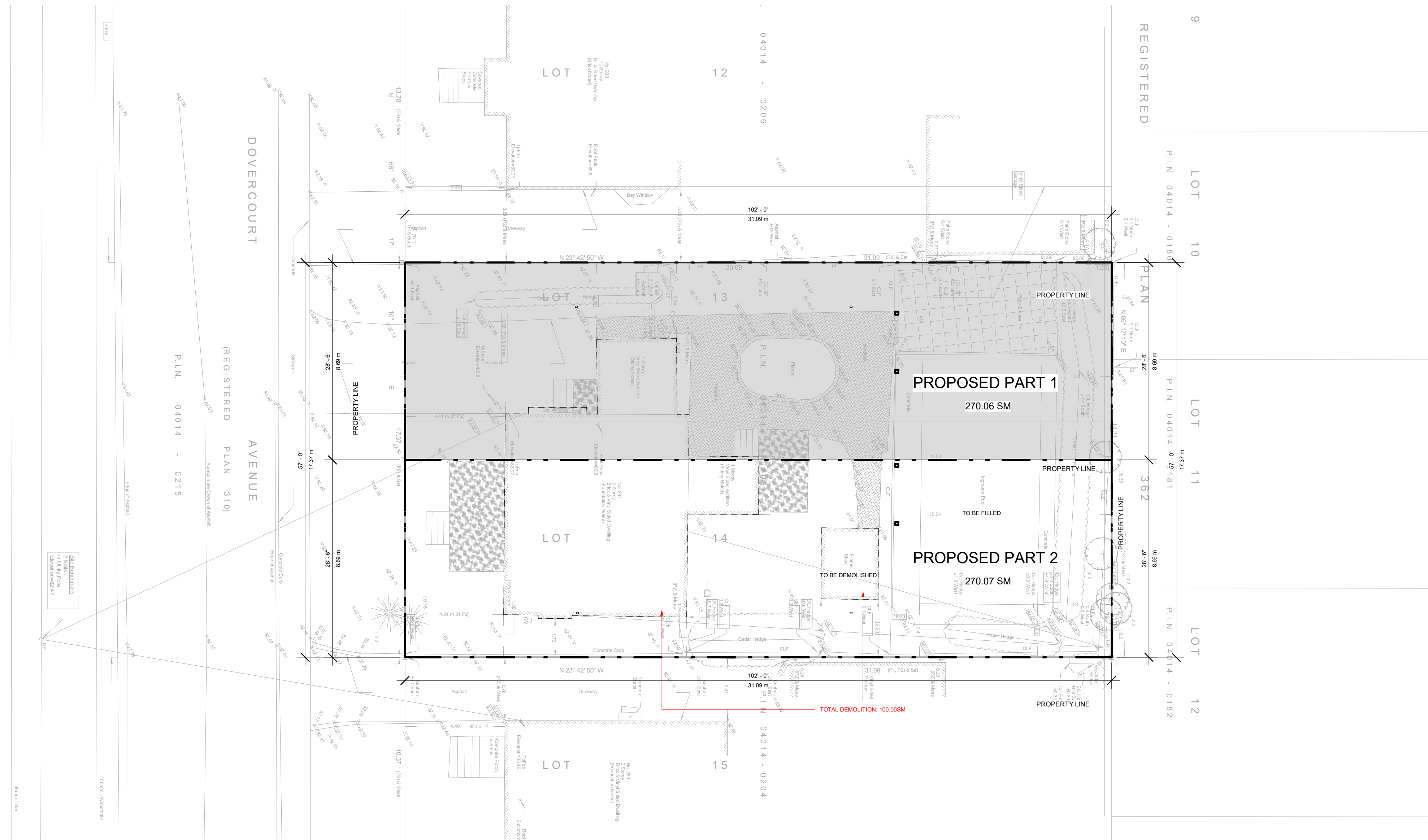


PROJECT NO.
230118

STAGE
COFA A0-06

LOCATION
OTTAWA

REVISION
11



1 R PLAN
 1" = 10'-0"



REVISIONS

No.	Description	Date
12	REISSUED FOR C OF A	2024-01-22
10	ISSUED FOR C OF A	2023-11-10
9	REISSUED FOR BUILDING PERMIT	2023-10-24
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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DRAWING TITLE
PROP. BASEMENT

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23



PROJECT NO.
 230118

STAGE
COFA A1-01

LOCATION
 OTTAWA

REVISION
12

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEeping TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 44 ENGINEERED HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK

- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 40 WINDOW WELL
- 48 FLASHING

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEeping TILES
- 6 CONCRETE
- 7 SONO TUBE FOUNDATION
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL

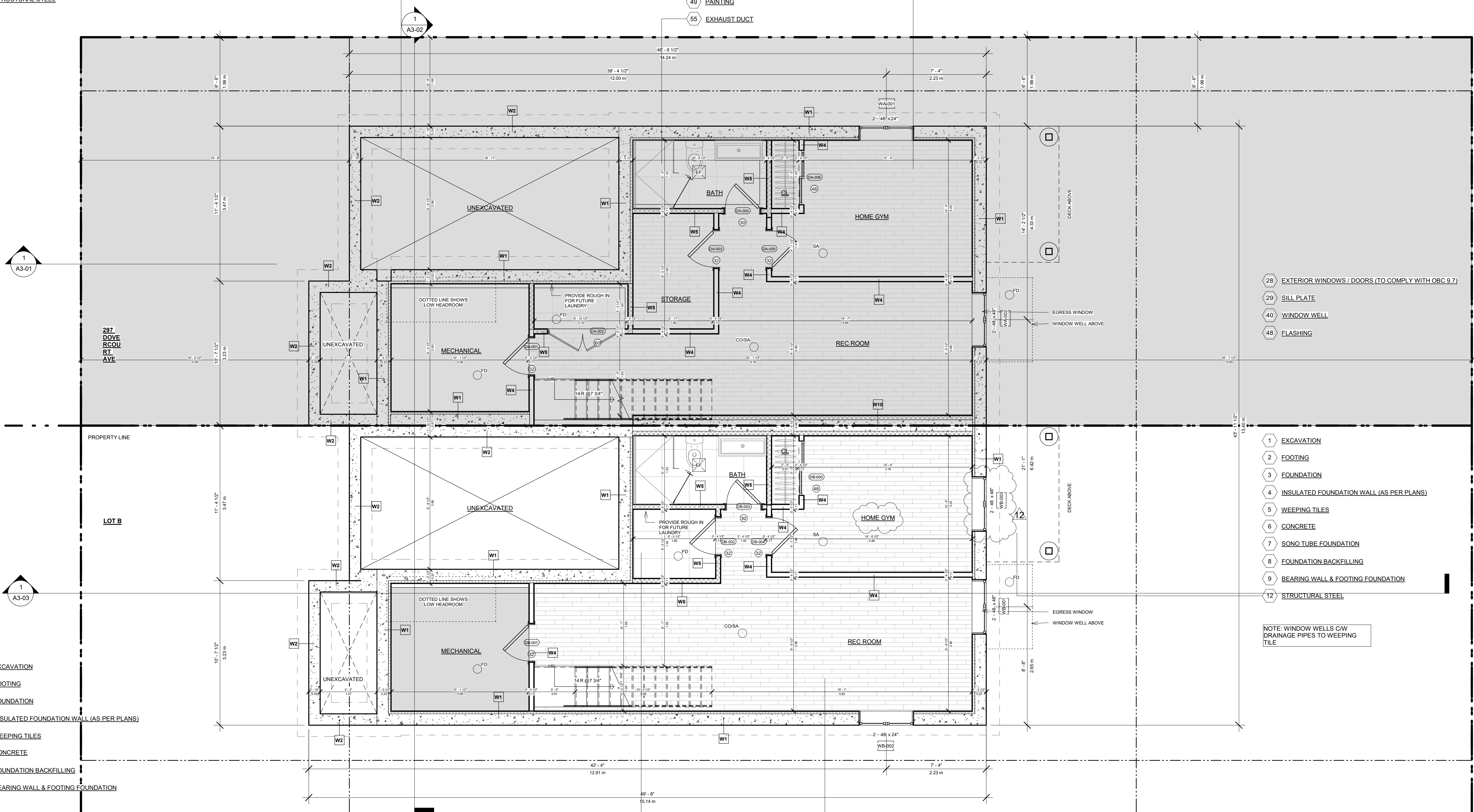
NOTE: WINDOW WELLS CW DRAINAGE PIPES TO WEeping TILE

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEeping TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 33 STAIRS
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 44 ENGINEERED HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION



CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
6	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
8	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13

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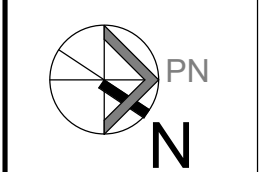
CONSULTANTS



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DRAWING TITLE
PROP. GROUND FLOOR

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

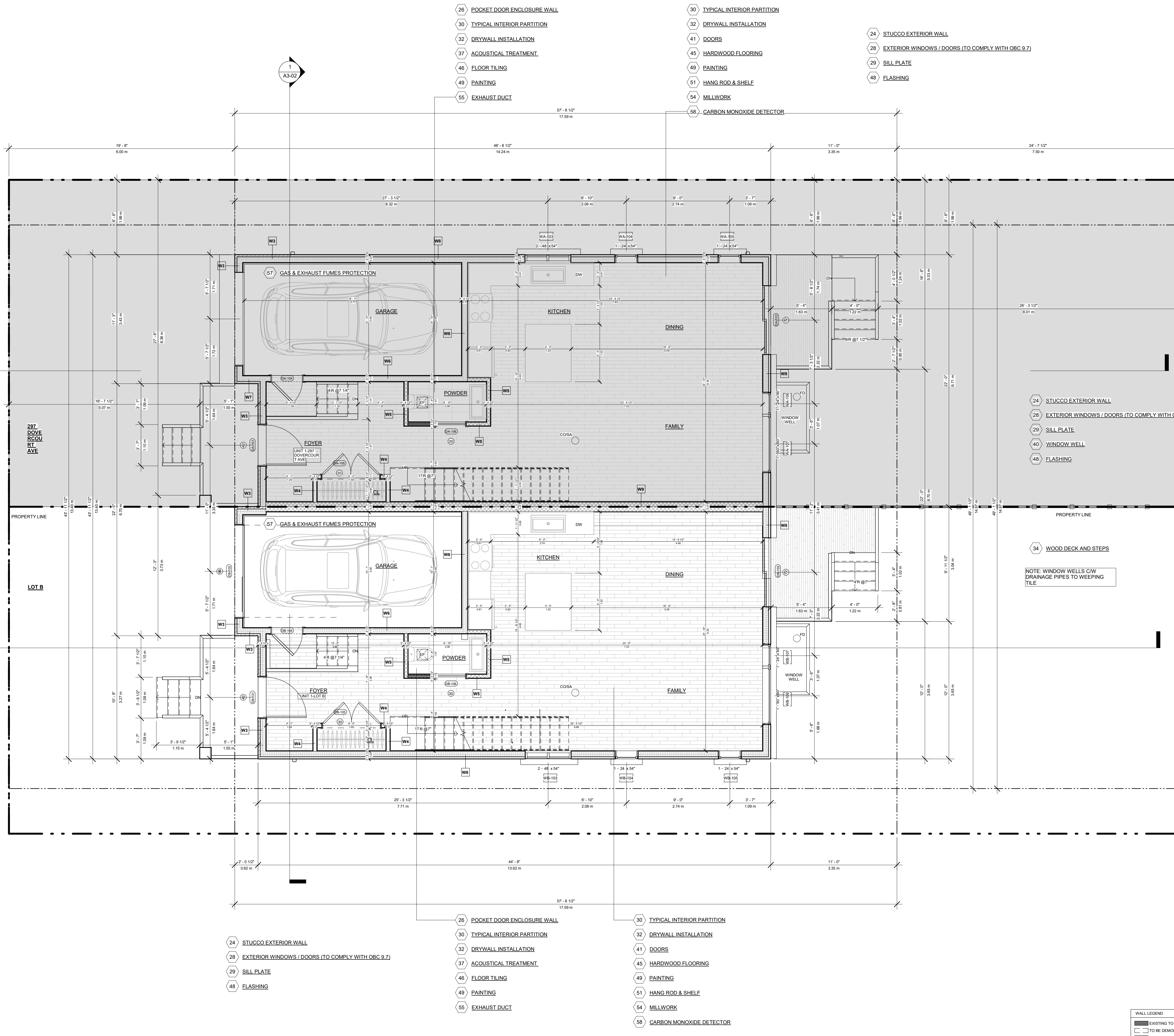


PROJECT NO.
230118

STAGE
COFA A1-02

LOCATION
OTTAWA

REVISION
10



- 25 EXTERIOR WALL HORIZONTAL WOOD SIDING
- 27 EXTERIOR WALL - STONE
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 36 FLAGSTONE WALKWAY / PATIO ON GRADE
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 57 GAS & EXHAUST FUMES PROTECTION

- 26 POCKET DOOR ENCLOSURE WALL
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 45 HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK
- 58 CARBON MONOXIDE DETECTOR

- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 48 FLASHING

- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 40 WINDOW WELL
- 48 FLASHING

- 34 WOOD DECK AND STEPS

NOTE: WINDOW WELLS C/W DRAINAGE PIPES TO WEEPING TILE

- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 48 FLASHING

- 26 POCKET DOOR ENCLOSURE WALL
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 45 HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK
- 58 CARBON MONOXIDE DETECTOR

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13

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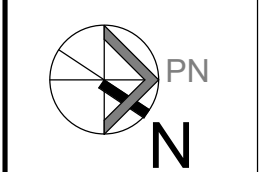
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
PROP. SECOND FLOOR

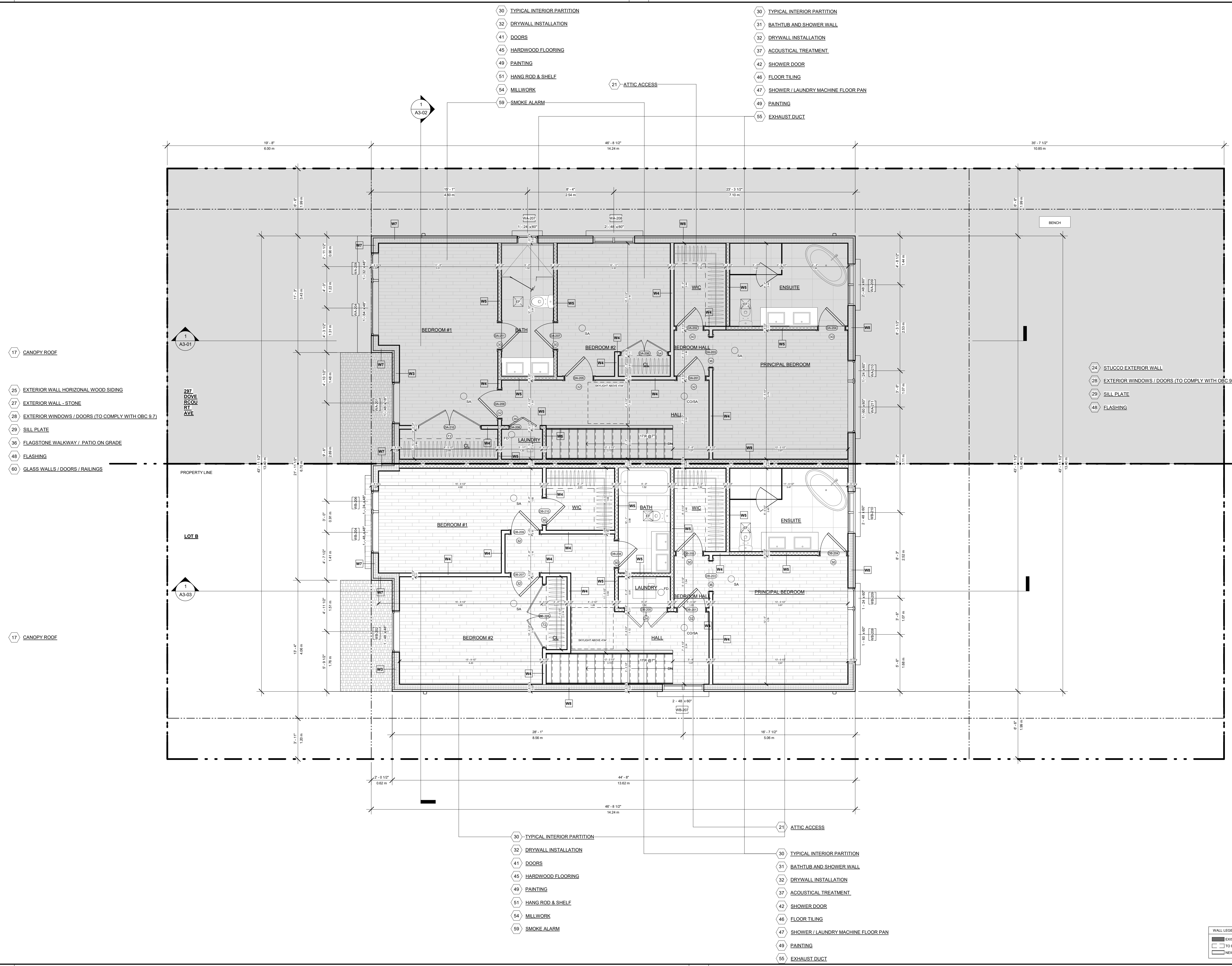
DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23



PROJECT NO. 230118

STAGE DRAWING NO.
COFA A1-03

LOCATION OTTAWA REVISION **10**



- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 45 HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK
- 59 SMOKE ALARM

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT

- 17 CANOPY ROOF
- 25 EXTERIOR WALL HORIZONTAL WOOD SIDING
- 27 EXTERIOR WALL - STONE
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 36 FLAGSTONE WALKWAY / PATIO ON GRADE
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 48 FLASHING

- 17 CANOPY ROOF
- 30 TYPICAL INTERIOR PARTITION
- 32 DRYWALL INSTALLATION
- 41 DOORS
- 45 HARDWOOD FLOORING
- 49 PAINTING
- 51 HANG ROD & SHELF
- 54 MILLWORK
- 59 SMOKE ALARM

- 30 TYPICAL INTERIOR PARTITION
- 31 BATHTUB AND SHOWER WALL
- 32 DRYWALL INSTALLATION
- 37 ACOUSTICAL TREATMENT
- 42 SHOWER DOOR
- 46 FLOOR TILING
- 47 SHOWER / LAUNDRY MACHINE FLOOR PAN
- 49 PAINTING
- 55 EXHAUST DUCT

WALL LEGEND

	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17
2	ISSUED FOR CLIENT	2023-07-13

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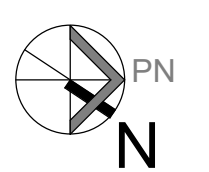
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
PROP. ROOF PLAN

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

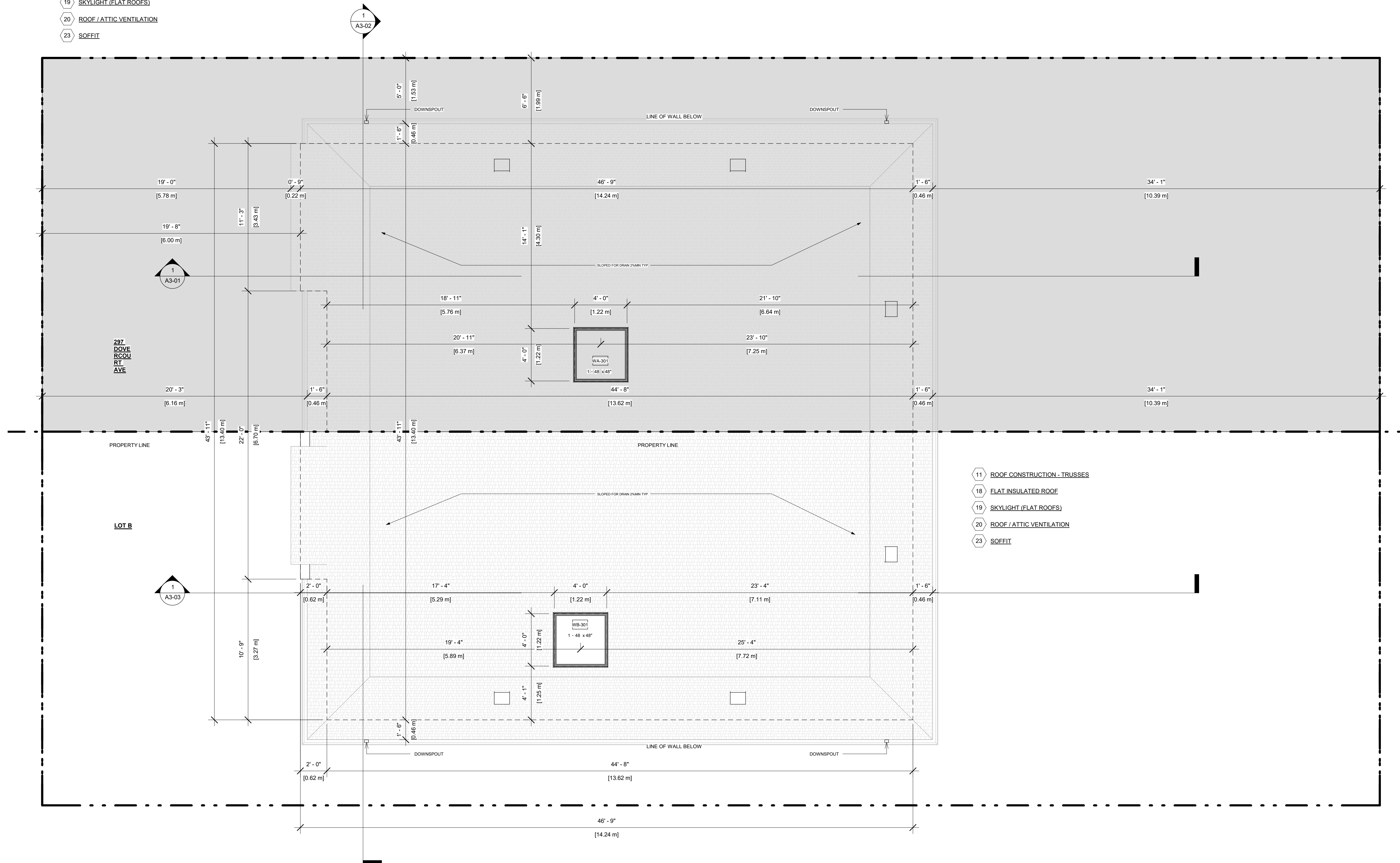


PROJECT NO. 230118

STAGE DRAWING NO.
COFA A1-04

LOCATION OTTAWA REVISION **10**

- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 20 ROOF / ATTIC VENTILATION
- 23 SOFFIT



- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 20 ROOF / ATTIC VENTILATION
- 23 SOFFIT



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08
5	ISSUED FOR CONSULTANTS	2023-08-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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DRAWING TITLE
PROP. FRONT ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D As indicated	DATE 09/08/23

PROJECT NO.
230118

STAGE
COFA A2-01

LOCATION
OTTAWA

REVISION
10

- 10 ROOF CONSTRUCTION
- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 23 SOFFIT

- 25 EXTERIOR WALL HORIZONTAL WOOD SIDING
- 27 EXTERIOR WALL - STONE
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 36 FLAGSTONE WALKWAY / PATIO ON GRADE
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL



LIMITING DISTANCE: 19.69 FT-6.0 M
 MAX OPENING: 100%
 EXPOSED BUILDING FACE: 492.45 SQFT-45.75 SQM
 ALLOWABLE GLAZING AREA: 492.45 SQFT-45.75 SQM
 PROPOSED GLAZING AREA: 96.34 SQFT-8.95 SQM

LIMITING DISTANCE: 19.69 FT-6.0 M
 MAX OPENING: 100%
 EXPOSED BUILDING FACE: 492.45 SQFT-45.75 SQM
 ALLOWABLE GLAZING AREA: 492.45 SQFT-45.75 SQM
 PROPOSED GLAZING AREA: 94.51 SQFT-8.78 SQM

PROJECT
297 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
5	ISSUED FOR CONSULTANTS	2023-08-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

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DRAWING TITLE
PROP. REAR ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

PROJECT NO. 230118

STAGE DRAWING NO.

COFA A2-02

LOCATION OTTAWA REVISION **10**

- 10 ROOF CONSTRUCTION
- 11 ROOF CONSTRUCTION - TRUSSES
- 18 FLAT INSULATED ROOF
- 19 SKYLIGHT (FLAT ROOFS)
- 20 ROOF / ATTIC VENTILATION
- 23 SOFFIT

- 24 STUCCO EXTERIOR WALL
- 28 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 29 SILL PLATE
- 40 WINDOW WELL
- 48 FLASHING
- 60 GLASS WALLS / DOORS / RAILINGS

- 34 WOOD DECK AND STEPS

- 1 EXCAVATION
- 2 FOOTING
- 3 FOUNDATION
- 4 INSULATED FOUNDATION WALL (AS PER PLANS)
- 5 WEEPING TILES
- 6 CONCRETE
- 8 FOUNDATION BACKFILLING
- 9 BEARING WALL & FOOTING FOUNDATION
- 12 STRUCTURAL STEEL
- 7 SONO TUBE FOUNDATION



LIMITING DISTANCE: 35.60 FT-10.85 M
 MAX OPENING: 100%
 EXPOSED BUILDING FACE: 492.45 SQFT-45.75 SQM
 ALLOWABLE GLAZING AREA: 492.45 SQFT-45.75 SQM
 PROPOSED GLAZING AREA: 142.41 SQFT-13.23 SQM

LIMITING DISTANCE: 35.60 FT-10.85 M
 MAX OPENING: 100%
 EXPOSED BUILDING FACE: 492.45 SQFT-45.75 SQM
 ALLOWABLE GLAZING AREA: 492.45 SQFT-45.75 SQM
 PROPOSED GLAZING AREA: 142.41 SQFT-13.23 SQM



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

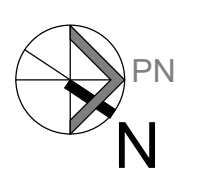
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
PROP. LEFT ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

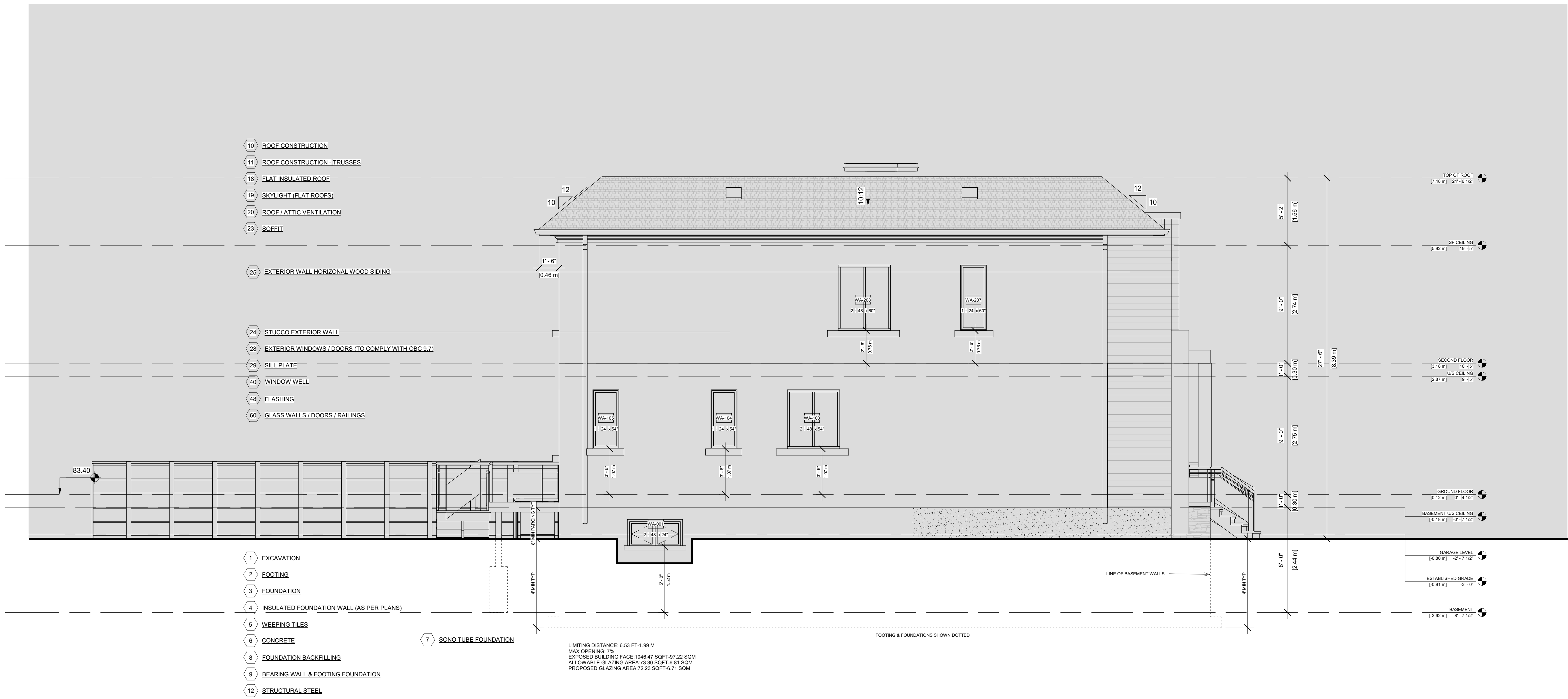


PROJECT NO.
230118

STAGE
COFA A2-03

LOCATION
OTTAWA

REVISION
10



PROJECT
297 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-26
6	ISSUED FOR BUILDING PERMIT	2023-09-08

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

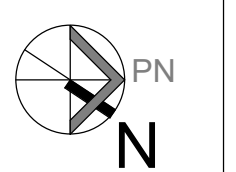
CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
PROP. RIGHT ELEVATION

DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

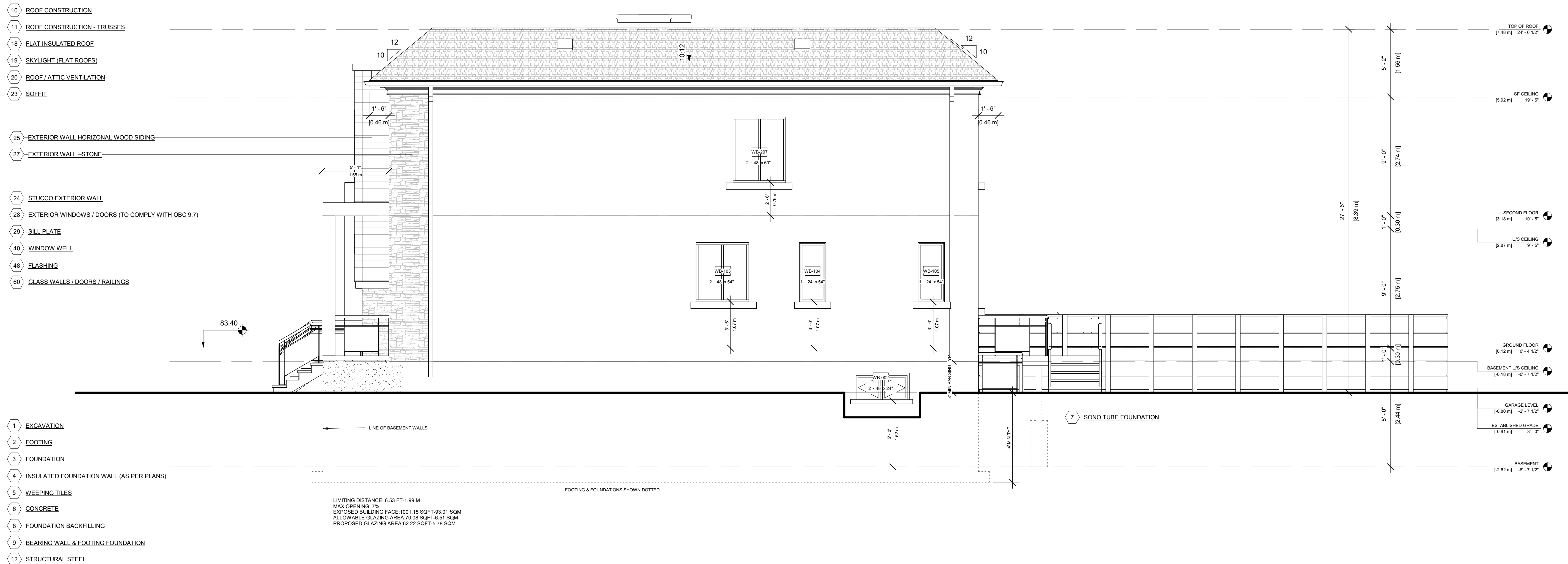


PROJECT NO.
230118

STAGE
COFA A2-04

LOCATION
OTTAWA

REVISION
10



PROJECT
297 DOVERCOURT AVE
OTTAWA, ON
K1Z 7H4

CLIENT
Owner



REVISIONS

No.	Description	Date
10	ISSUED FOR C OF A	2023-11-10
8	REISSUED FOR BUILDING PERMIT	2023-10-20
7	ISSUED FOR CONSULTANT	2023-09-28
6	ISSUED FOR BUILDING PERMIT	2023-09-08
5	ISSUED FOR CONSULTANTS	2023-08-08
4	ISSUED FOR C OF A	2023-07-21
3	ISSUED FOR CLIENT	2023-07-17

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CONSULTANTS



TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
SECTION

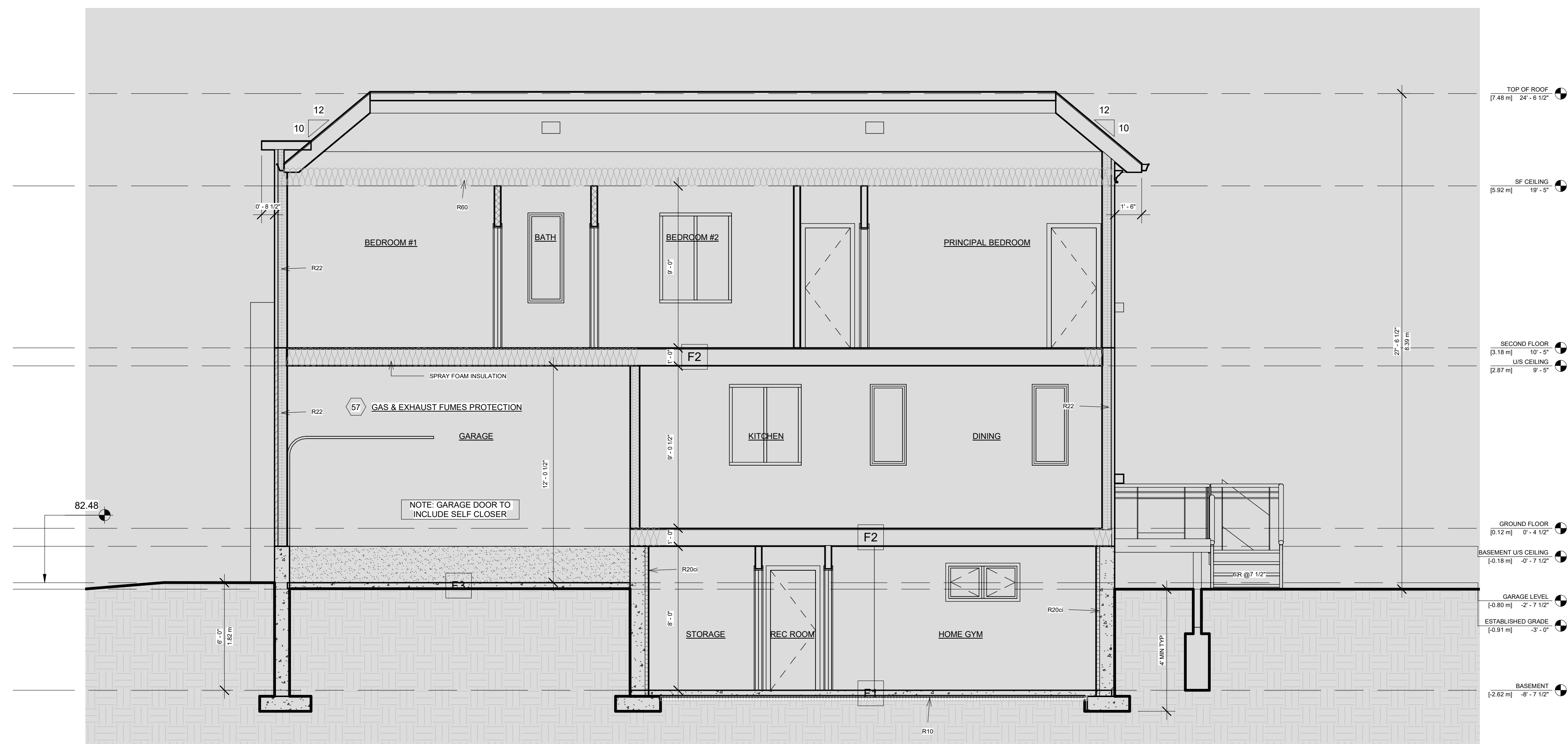
DRAWN CD	CHECKED SA
SCALE @ ARCH D 1/4" = 1'-0"	DATE 09/08/23

PROJECT NO.
230118

STAGE
COFA A3-01

LOCATION
OTTAWA

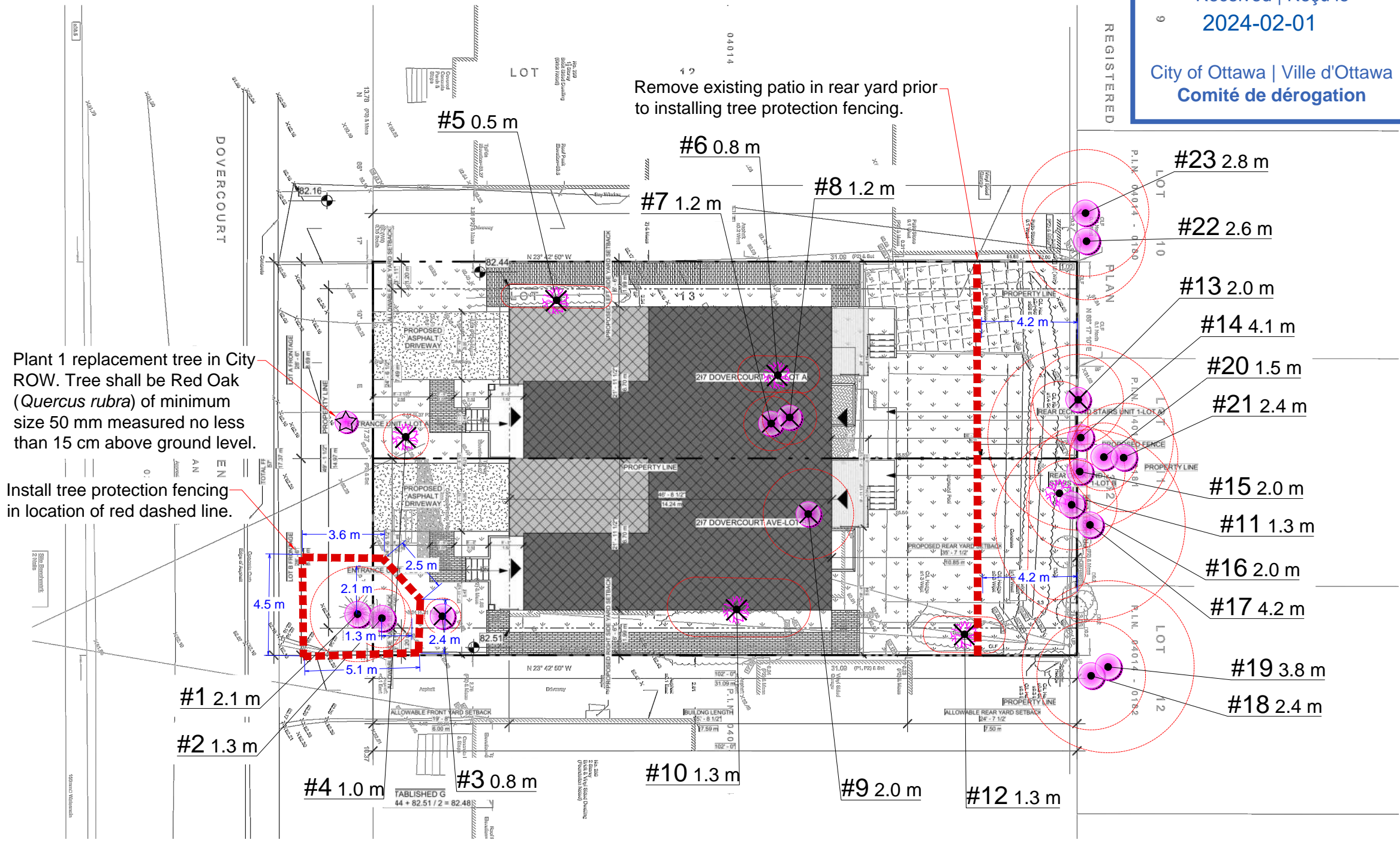
REVISION
10



AS BUILT CONDITIONS. MEASUREMENTS HAVE BEEN TAKEN TO EXTERIOR SURFACES ONLY, AND EXCEPT WHERE NOTED NO ATTEMPT HAS BEEN MADE TO VERIFY HIDDEN CONDITIONS.
 NO REPRESENTATION IS MADE THAT THE BUILDING CONFORMS TO ANY CODE REQUIREMENTS, OR ANY CONSTRUCTION DRAWINGS THAT MAY HAVE BEEN PREPARED BY OTHERS.

Committee of Adjustment
 Received | Reçu le
 2024-02-01
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

NOTES: Tree locations not surveyed, locations are field measured by the arborist. Work location estimated from clients provided site plan.
 Contains information licensed under the Open Government Licence – Toronto.
 • All field data have been recorded by Jordan Barker ISA Certified Arborist® ON-2488A. All tree locations are based on the survey supplied by the client and field observation by the arborist.
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PLAN KEY

- TREE RECOMMENDED FOR REMOVAL
- RETAINED TREE
- CONIFEROUS TREE FOR REMOVAL
- RETAINED CONIFEROUS TREE
- REPLACEMENT TREE
- RETAINED HEDGEROW
- HEDGEROW FOR REMOVAL
- TREE PROTECTION FENCE
- TREE PROTECTION ZONE

No.	DATE	BY	REVISIONS
1	9/7/2023	JB	



TITLE: 297 Dovercourt Ave
 Ottawa, ON
 Pre-Construction Assessment

CLIENT: Quintessential Developments Inc.

DRAWING NO.: 001 **SCALE:** 1:200

JOB NO.: **SHEET:** 1 of 3

1 SITE PLAN
 1" = 10'-0"

SITE PLAN LEGEND

PROP. GROUND FLOOR	PROP. ATTACHED GARAGE	PROP. GRASS	PROP. ASPHALT DRIVEWAY
PROP. SECOND FLOOR	PROP. GARDEN SUITE	PROP. WALKWAY	










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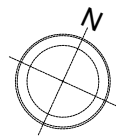
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Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)	Recommendations
1	Austrian Pine	<i>Pinus nigra</i>	21	City	2.1	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
2	Colorado Blue Spruce	<i>Picea pungens</i>	13	Private	1.3	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
3	Sand Cherry	<i>Prunus x cistena</i>	8	Private	0.8	Good	Good	Good	Y	High	Remove	N	Remove tree to accommodate proposed construction.
4	Juniper	<i>Juniperus species</i>	10	Private	1.0	Good	Good	Good	Y	High	Remove	N	Remove tree to accommodate proposed construction.
5	Eastern White Cedar	<i>Thuja occidentalis</i>	2-5	Private	0.5	Good	Good	Good	Y	High	Remove	N	Remove tree to accommodate proposed construction.
6	Eastern White Cedar	<i>Thuja occidentalis</i>	8	Private	0.8	Dead	Dead	Dead	Y	High	Remove	N	Remove tree to accommodate proposed construction.
7	Norway Maple	<i>Acer platanoides</i>	12	Private	1.2	Good	Good	Good	Y	High	Remove	N	Remove tree to accommodate proposed construction.
8	Crab Apple	<i>Malus profusion</i>	12	Private	1.2	Fair	Fair	Fair	Y	High	Remove	N	Remove tree to accommodate proposed construction.
9	Lilac Tree	<i>Syringa reticulata</i>	20	Private	2.0	Good	Good	Good	Y	Medium	Remove	N	Remove tree to accommodate proposed construction.
10	Eastern White Cedar	<i>Thuja occidentalis</i>	5-13	Private	1.3	Good	Good	Good	Y	Medium	Remove	N	Remove tree to accommodate proposed construction.
11	Eastern White Cedar	<i>Thuja occidentalis</i>	5-13	Private	1.3	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
12	Eastern White Cedar	<i>Thuja occidentalis</i>	2-8	Private	0.8	Good	Good	Good	N	None	Remove	N	Remove tree to accommodate proposed construction.
13	Manitoba Maple	<i>Acer negundo</i>	20	Boundary	2.0	Poor	Poor	Poor	N	None	Remove	N	Remove poor condition tree.
14	Manitoba Maple	<i>Acer negundo</i>	41	Boundary	4.1	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
15	Norway Maple	<i>Acer platanoides</i>	20	Boundary	2.0	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
16	Manitoba Maple	<i>Acer negundo</i>	20	Private	2.0	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
17	Norway Maple	<i>Acer platanoides</i>	42	Neighbour	4.2	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
18	Manitoba Maple	<i>Acer negundo</i>	24	Neighbour	2.4	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
19	Manitoba Maple	<i>Acer negundo</i>	38	Neighbour	3.8	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
20	Common Buckthorn	<i>Rhamnus cathartica</i>	15	Neighbour	1.5	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
21	Manitoba Maple	<i>Acer negundo</i>	24	Neighbour	2.4	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
22	Norway Maple	<i>Acer platanoides</i>	26	Neighbour	2.6	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.
23	Norway Maple	<i>Acer platanoides</i>	28	Neighbour	2.8	Good	Good	Good	N	None	Preserve	N	Protect tree with tree protection fencing.

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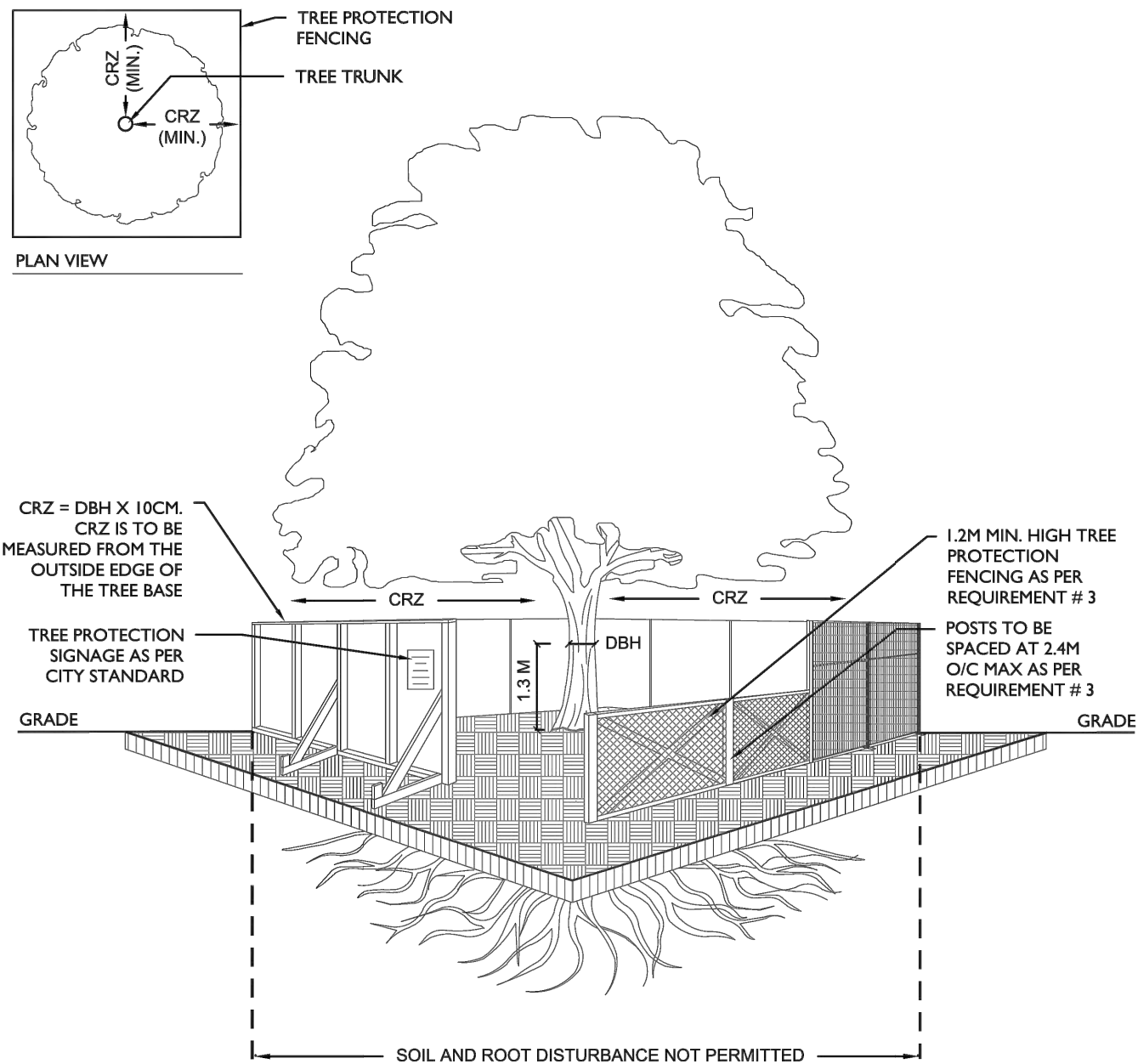
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- TREE PROTECTION REQUIREMENTS:**
- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 - UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
 - TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
 - THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 - IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

ACCESSIBLE FORMATS AND COMMUNICATION SUPPORTS ARE AVAILABLE, UPON REQUEST

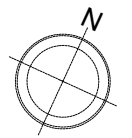
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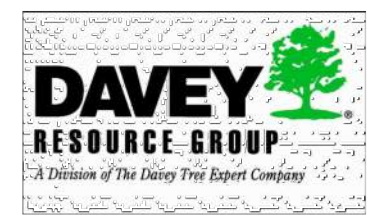
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TREE PROTECTION SPECIFICATION

TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE:	NTS
DATE:	MARCH 2021
DRAWING NO.:	1 of 1