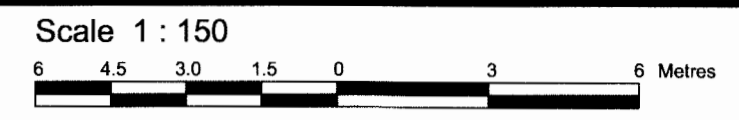


MAILES AVENUE



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Bearings are grid, derived from Can-Net 2016 Real Time Network Observations and are referred to the Central Meridian of MTM Zone 9 ( 76°30' West Longitude ) NAD-83 (original).

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of

LOT 83
REGISTERED PLAN 400
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 25th day of January, 2018.

January 26, 2018
Date
Richard R. Gauthier
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: Jan 26, 2018

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to Tanuja Vaidya (The Client), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Table with 2 columns: Denotes and Description. Includes symbols for Survey Monument Planted, Iron Bar, Cut Cross, Overhead Wires, Utility Pole, Sign, Chain Link Fence, Board Fence, Centreline, Retaining Wall, Gate, Air Conditioner, Gas Meter, Maintenance Hole (Storm Sewer), Maintenance Hole (Traffic), Maintenance Hole (Sanitary), Catch Basin, Valve Chamber (Watermain), Top of Grade, Location of Elevations, Top of Concrete Curb Elevation, Registered plan 400, (857) Plan January 20, 1989, Plan 4R-25514, Plan 4R-25760, Plan 4R-24642.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2039421
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Topographic data was collected under Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

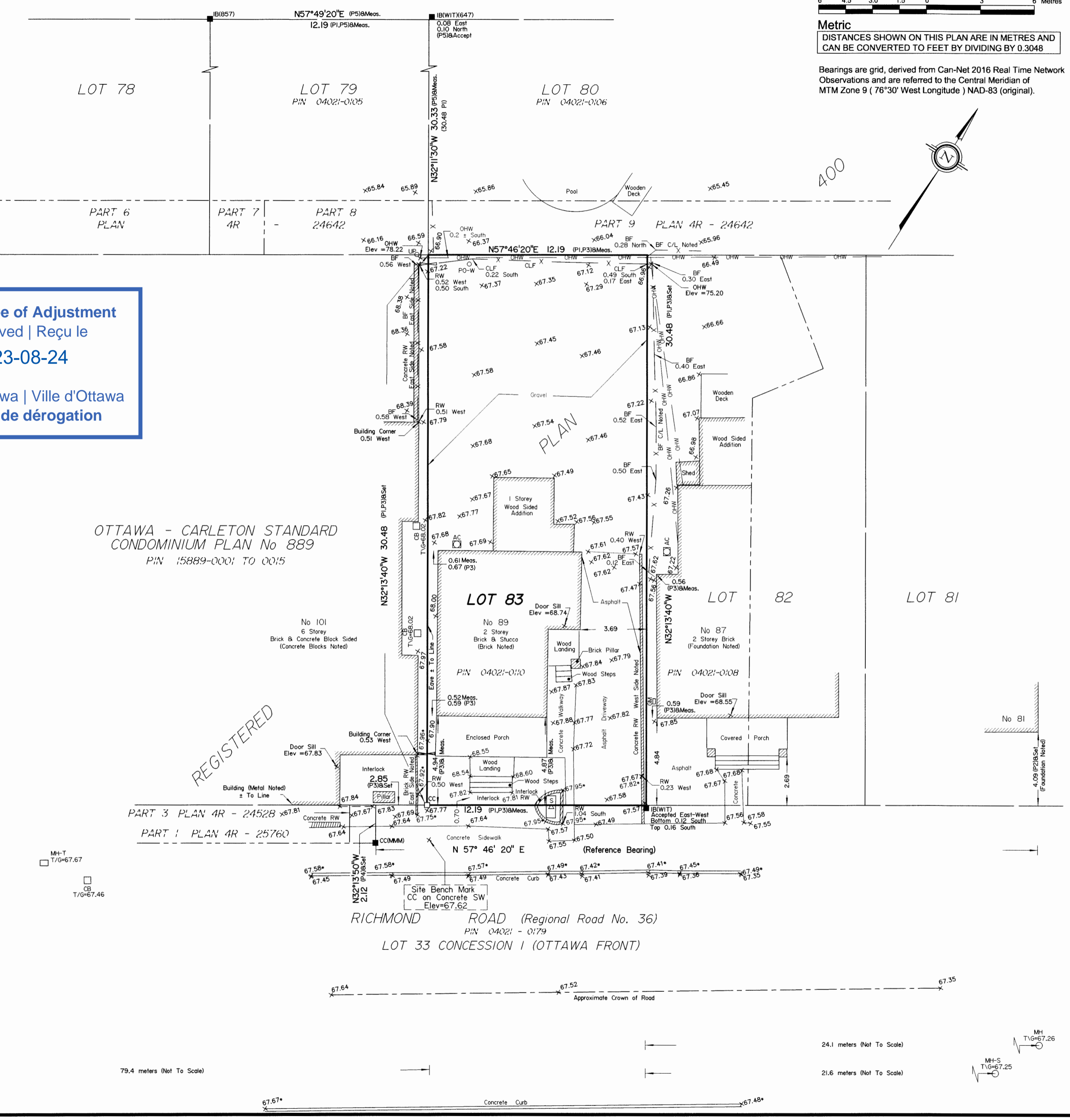
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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aosvlltd.com
Ontario Land Surveyors
Job No. 18438-17 T Vaidya L183 PL400 T F

Committee of Adjustment
Received | Reçu le
2023-08-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation

OTTAWA - CARLETON STANDARD
CONDOMINIUM PLAN No 889
PIN 15889-000; TO 0015

PART 3 PLAN 4R - 24528
PART 1 PLAN 4R - 25760

RICHMOND ROAD (Regional Road No. 36)
LOT 33 CONCESSION 1 (OTTAWA FRONT)



MH-S
T/G=67.86
79.4 meters (Not To Scale)

24.1 meters (Not To Scale)
21.6 meters (Not To Scale)



# 22049 89 RICHMOND RD

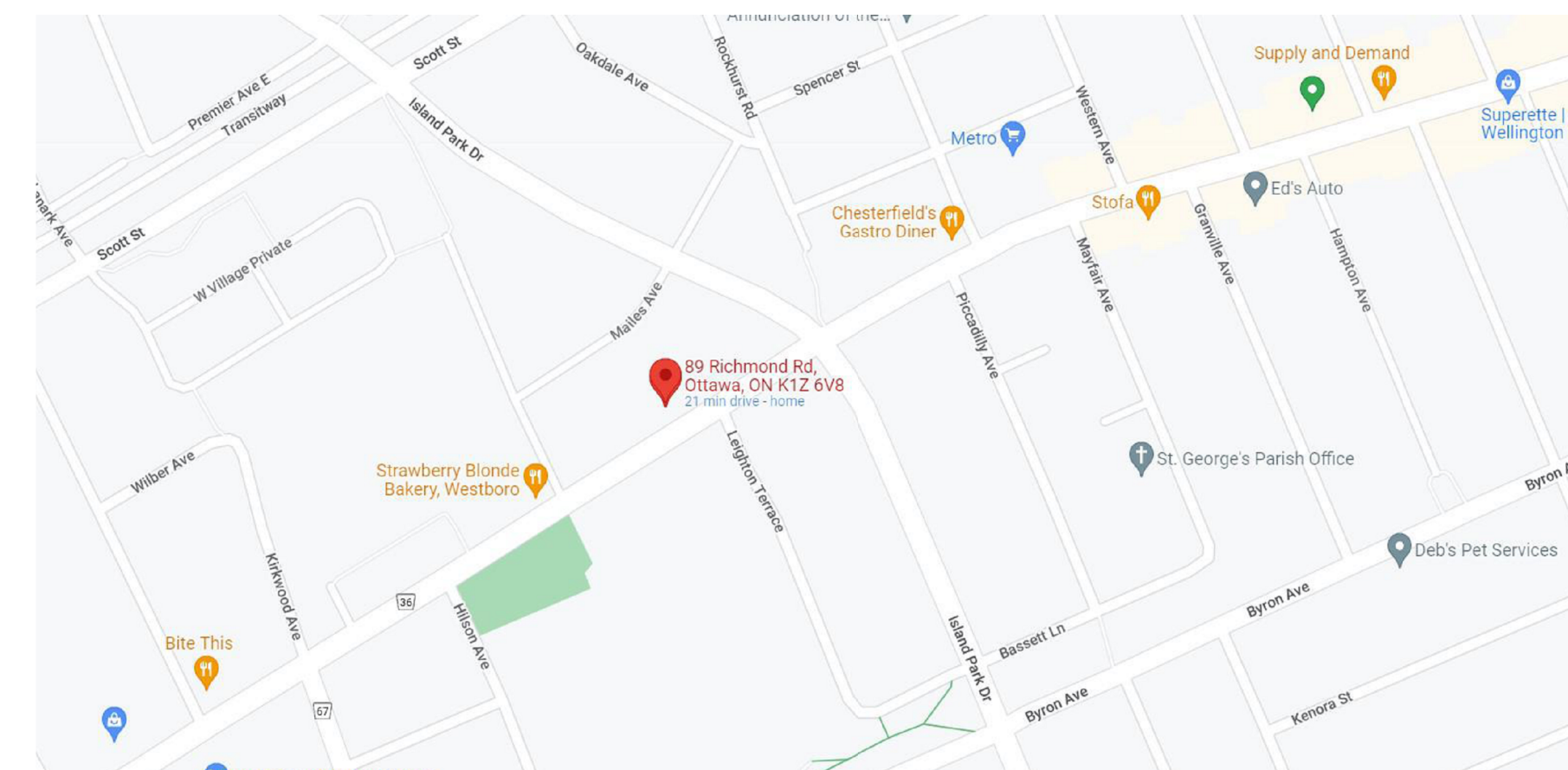
RELEASE 1 - ISSUED FOR CONSTRUCTION  
2023-07-04

Version 1

PLANS FOR CONSTRUCTION

SHEET NO.	SHEET NAME	Revision Number
A004	TYPICAL NOTES AND LEGENDS	
A005	CODE MATRIX, BOMA CALCULATIONS	
A020	TYPICAL PARTITION & WALL ASSEMBLIES	
A030	FIRE RATING PLANS	
A031	FIRE RATING PLANS	
A050	SITE PLAN	
A100.2	BASEMENT FLOOR PLAN B2	
A100.1	BASEMENT FLOOR PLAN B1	
A101	GROUND FLOOR PLAN	
A102	SECOND FLOOR PLAN	
A103	THIRD FLOOR PLAN	
A104	FOURTH FLOOR PLAN	
A105	FIFTH FLOOR PLAN	
A106	SIXTH FLOOR PLAN	
A107	MECHANICAL PENTHOUSE FLOOR PLAN	
A108	ROOF PLAN	
A150.2	SLAB EDGE PLAN B2	
A150.1	SLAB EDGE PLAN B1	
A151	SLAB EDGE PLAN GROUND	
A152	SLAB EDGE PLAN SECOND	
A153	SLAB EDGE PLAN THIRD AND FOURTH	
A154	SLAB EDGE PLAN FIFTH	
A156	SLAB EDGE PLAN SIXTH	
A157	SLAB EDGE PLAN PENTHOUSE	
A158	SLAB EDGE PLAN MEC ROOF	
A200	ELEVATION - EAST	
A201	ELEVATION - WEST	
A202	ELEVATION - NORTH AND SOUTH	
A300	BUILDING SECTIONS	
A301	BUILDING SECTIONS	
A302	BUILDING SECTIONS	
A303	BUILDING SECTIONS	
A320	PARTIAL SECTIONS	

SHEET NO.	SHEET NAME	Revision Number
A350	WALL SECTIONS	
A401	STAIR 1 AND ELEVATOR PLANS & SECTIONS	
A402	STAIR 2 PLANS & SECTIONS	
A600.2	REFLECTED CEILING PLAN - B2	
A600.1	REFLECTED CEILING PLAN - B1	
A500	BUILDING ENVELOPE SECTION DETAILS	
A501	BUILDING ENVELOPE SECTION DETAILS	
A515	BUILDING ENVELOPE PLAN DETAILS	
A516	BUILDING ENVELOPE PLAN DETAILS	
A520	TYPICAL ENVELOPE OPENING DETAILS	
A525	SECTION ROOF DETAILS	
A526	TYPICAL SECTION AND PLAN DETAILS	
A601	REFLECTED CEILING PLAN - GROUND FLOOR	
A602	REFLECTED CEILING PLAN - SECOND FLOOR	
A603	REFLECTED CEILING PLAN - THIRD FLOOR	
A604	REFLECTED CEILING PLAN - FOURTH FLOOR	
A605	REFLECTED CEILING PLAN - FIFTH FLOOR	
A606	REFLECTED CEILING PLAN - SIXTH FLOOR	
A700.2	FINISHES PLAN - B2	
A700.1	FINISHES PLAN - B1	
A701	FINISHES PLAN - GROUND LEVEL	
A702	FINISHES PLAN - SECOND LEVEL	
A703	FINISHES PLAN - THIRD LEVEL	
A704	FINISHES PLAN - LEVEL 4	
A705	FINISHES PLAN - LEVEL 5	
A706	FINISHES PLAN - LEVEL 6	
A707	FINISHES PLAN - LEVEL PENTHOUSE	
A800	DOOR & WINDOW SCHEDULES	
A801	WINDOW WALL SCHEDULE	
A802	WINDOW WALL SCHEDULE	
A820	FINISHES SCHEDULE	



**ROSSMANN**  
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88 Saint-Joseph Boulevard,  
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819-600-1555

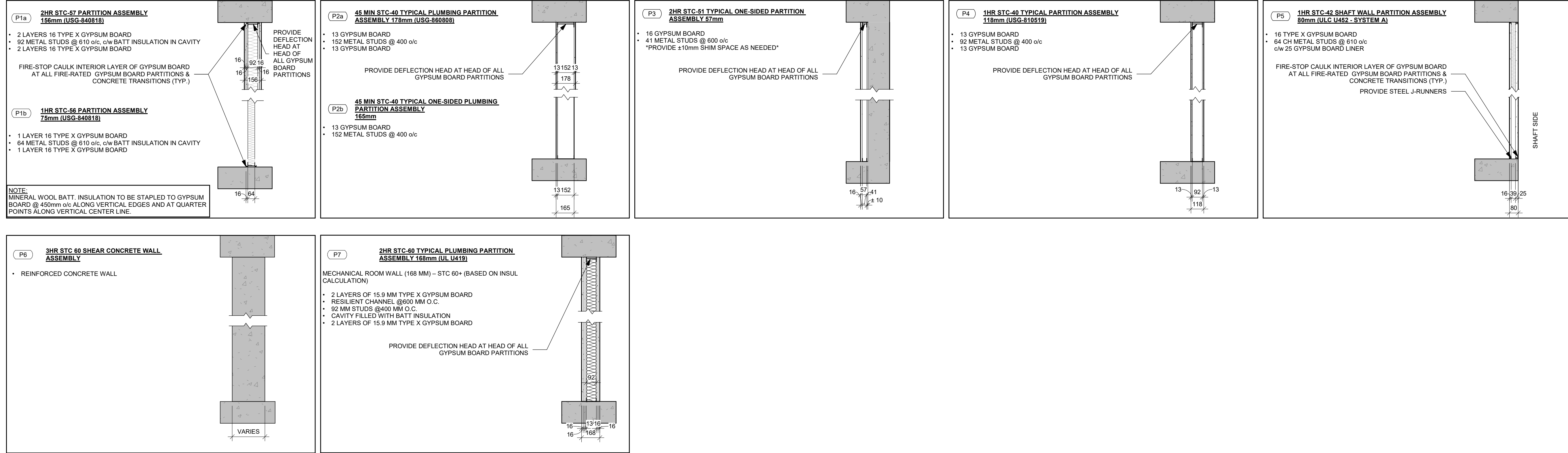
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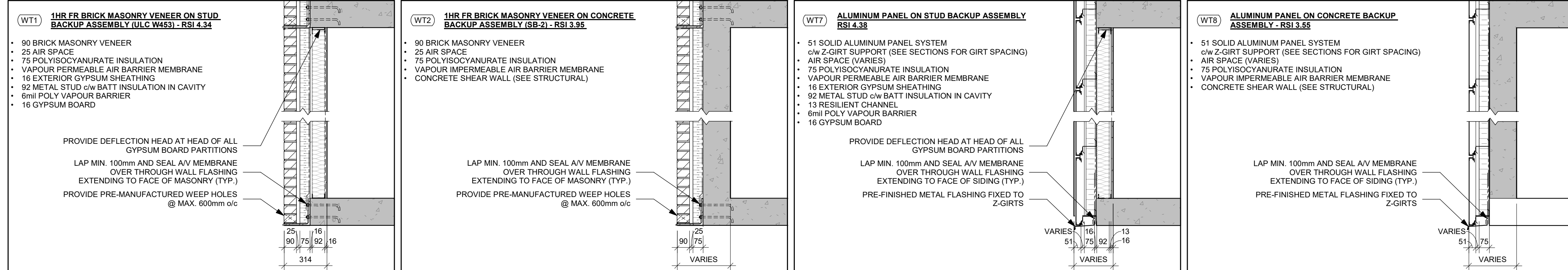




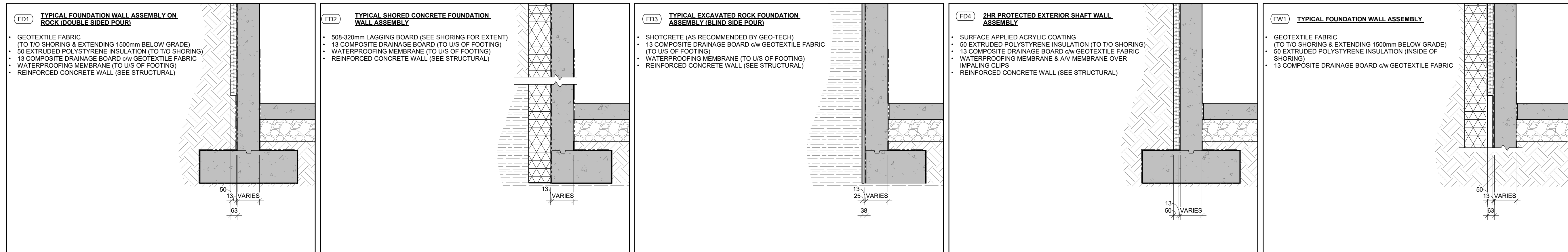
**PARTITION WALL ASSEMBLIES**



**EXTERIOR WALL ASSEMBLIES**



**FOUNDATION WALL ASSEMBLIES (TO BE VERIFIED BY STRUCTURAL)**



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 Email: abbasi@fotenn.com

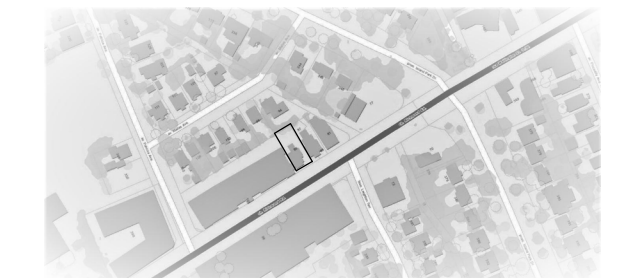
PROJECT DEVELOPER  
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BUILDER  
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KEY PLAN / PLAN CLÉ :



CLIENT :

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9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

6 Permit Resubmittal 22/12/02

4 Issued for 22/08/24

3 ISSUED FOR BUILDING PERMIT 22/07/29

Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**TYPICAL PARTITION & WALL ASSEMBLIES**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / ET

REVIEWED BY / VÉRIFIÉ PAR : LG

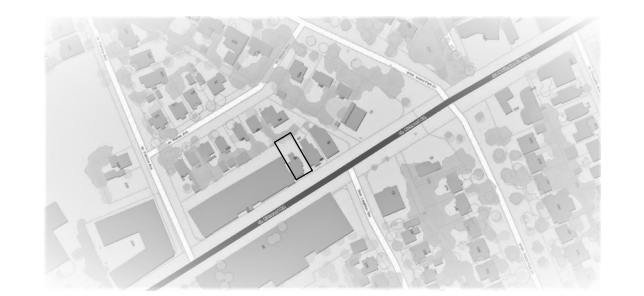
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PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A020

REVISION NO. / NO. DE RÉVISION :



9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99% PERMIT SUBMITTAL	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
Revision Number	description	date

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**TYPICAL ROOF, CEILING, & FLOOR ASSEMBLIES**

PROJECT NO. / NO. DE PROJET :	22049
DATE :	23/01/10
DRAWN BY / DESSINÉ PAR :	AM / ET
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	1 : 20
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A021
REVISION NO. / NO. DE RÉVISION :	

**UPSTAND ASSEMBLIES**

**U1 BRICK MASONRY VENEER ON CONCRETE UPSTAND ASSEMBLY**

- 90 BRICK MASONRY VENEER
- 25 AIR SPACE
- 75 EXTRUDED POLYSTYRENE INSULATION
- VAPOUR IMPERMEABLE AIR BARRIER MEMBRANE
- CONCRETE SHEAR WALL (SEE STRUCTURAL)
- TWO PLY HOT RUBBERIZED ROOFING MEMBRANE
- 75 EXTRUDED POLYSTYRENE INSULATION
- c/w 10 DRAINAGE CAVITIES
- PRE-FINISHED METAL FLASHING SUPPORTED BY Z-GIRTS

**ROOF TYPE ASSEMBLIES**

**R1 1HR CONCRETE PAVER ROOF ASSEMBLY (OBC SB2) EFFECTIVE RSI: 6**

- 38 PRECAST CONCRETE PAVERS
- MIN. 19 (VARIES) POLYMERIC SAND LEVELING BED
- FILTER FABRIC
- TWO LAYERS 75 POLYISOCYANURATE INSULATION
- 13 COMPOSITE DRAINAGE BOARD
- TWO PLY HOT RUBBERIZED ROOFING MEMBRANE
- MIN 2% SLOPED REINFORCED CONCRETE SLAB (SEE STRUCTURAL)

**R2 LANDSCAPED ROOF ASSEMBLY**

- SOFT LANDSCAPING (SEE SITE PLAN)
- 25 LEVELING BED (GRANULAR CRUSHED STONE BALLAST)
- FILTER FABRIC
- 75 POLYISOCYANURATE INSULATION
- 13 COMPOSITE DRAINAGE BOARD
- TWO PLY HOT RUBBERIZED ROOFING MEMBRANE
- MIN 2% SLOPED REINFORCED CONCRETE SLAB (SEE STRUCTURAL)

**R3 STONE BALLAST ROOF ASSEMBLY (OBC SB2) EFFECTIVE RSI: 6**

- GRANULAR CRUSHED STONE BALLAST
- FILTER FABRIC
- TWO LAYERS 75 POLYISOCYANURATE INSULATION
- 13 COMPOSITE DRAINAGE BOARD
- TWO PLY HOT RUBBERIZED ROOFING MEMBRANE
- MIN 2% SLOPED REINFORCED CONCRETE SLAB (SEE STRUCTURAL)

**CEILING TYPE ASSEMBLIES (TBD)**

**C1 GYPSUM CEILING AND BULKHEAD ASSEMBLY - 54mm**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 41 CARRYING CHANNELS @ 1200 o/c
- 13 GYPSUM BOARD

**C2 SUSPENDED GYPSUM CEILING ASSEMBLY - 76mm**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 60 SOUND ATTENUATION BATT INSULATION
- 41 CARRYING CHANNELS @ 1200 o/c
- 22 METAL STRAPPING @ 400 o/c
- 13 GYPSUM BOARD

**C3 SUSPENDED LAY-IN-TILE CEILING ASSEMBLY - 61mm**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 41 CARRYING CHANNELS @ 1200 o/c
- c/w 41 CROSS BARS @ 610 o/c
- 10 LAY-IN-TILES

**C4 2HR SHAFT WALL CEILING ASSEMBLY 112mm (ULC W907)**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 64 CH STUDS @ 400 o/c
- c/w 38 BATT INSULATION IN CAVITY & 25 GYPSUM BOARD LINER
- 3 LAYERS 16 TYPE X GYPSUM BOARD

NOTE: HORIZONTAL SHAFT WALL TO BE CONSTRUCTED TO BMEC-89-01-118 OR BMEC-92-06-162

**C5 ALUMINUM PANEL SOFFIT ASSEMBLY**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 75 CLOSED CELL SPRAY FOAM INSULATION
- c/w CONTINUOUS RADIANT HEATING FASTENED TO U/S OF STRUCTURE (SEE MECHANICAL)
- 30 AIR SPACE
- 90 LINEAR METAL CEILING CLOSED SYSTEM c/w CARRIER SYSTEM

**C6 GYPSUM CEILING UNDER TERRACE ROOF ASSEMBLY - 38mm**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 25 CARRYING CHANNELS @ 400 o/c
- 13 GYPSUM BOARD

**FLOOR TYPE ASSEMBLIES**

**F1 2HR CONCRETE FLOOR ASSEMBLY (OBS SB2) STC 60**

- REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- ACOUSTIC UNDERLAYMENT 'GENIEMAT RST-05' OR SIMILAR FLOOR FINISH (TBD)

NOTE: PROVIDE TRAFFIC OR PEDESTRIAN COATING WHERE REQD

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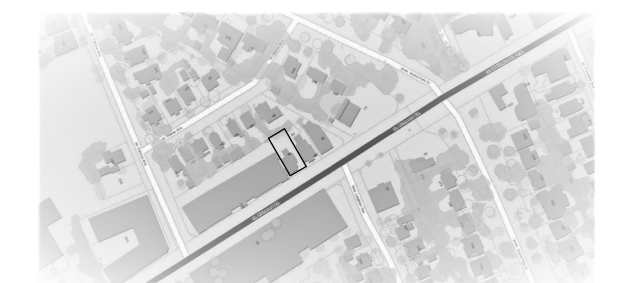
PROJECT DEVELOPER  
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Email: bjohnson@clelandjardine.com

BUILDER  
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Gatineau, QC, J8Z 3G4  
Email: jtl@beautoncanada.com

KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
5	SPA Approval	22/09/19
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29

Revision Number	description	date
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PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**FIRE RATING PLANS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / ET

REVIEWED BY / VÉRIFIÉ PAR : LG

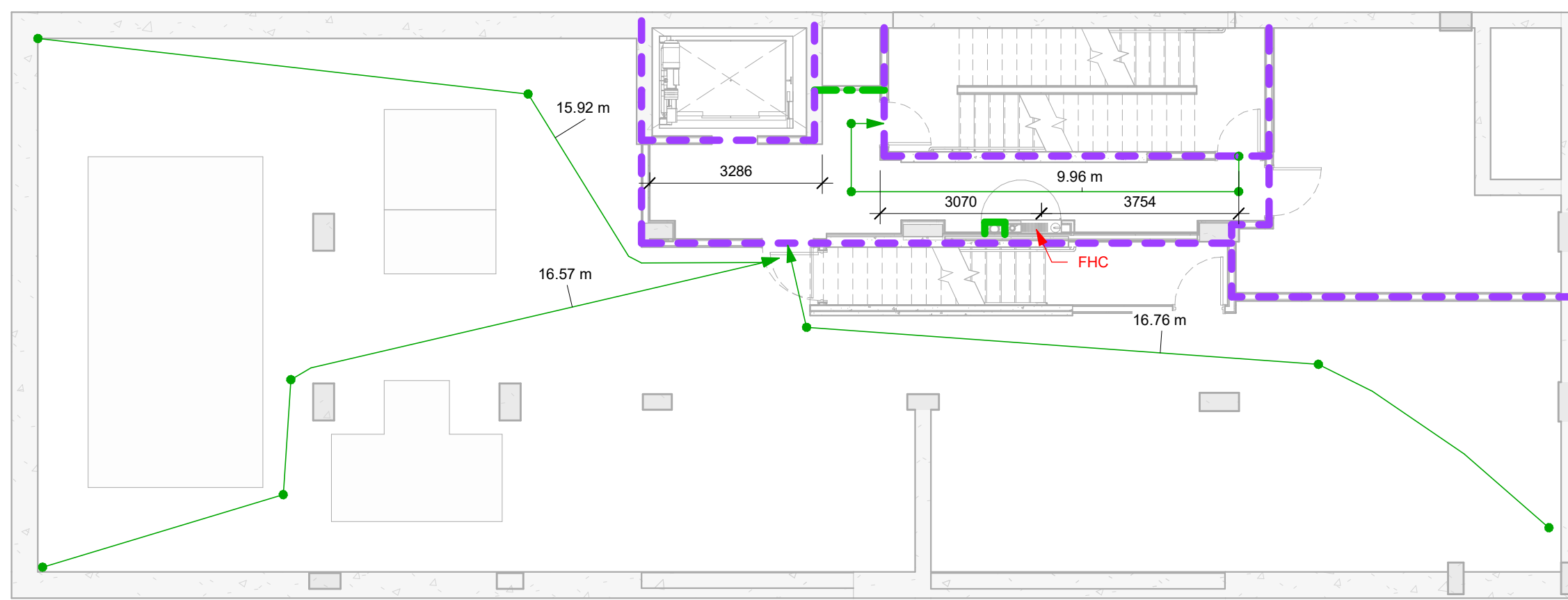
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PROJECT PHASE / PHASE DU PROJET : 1

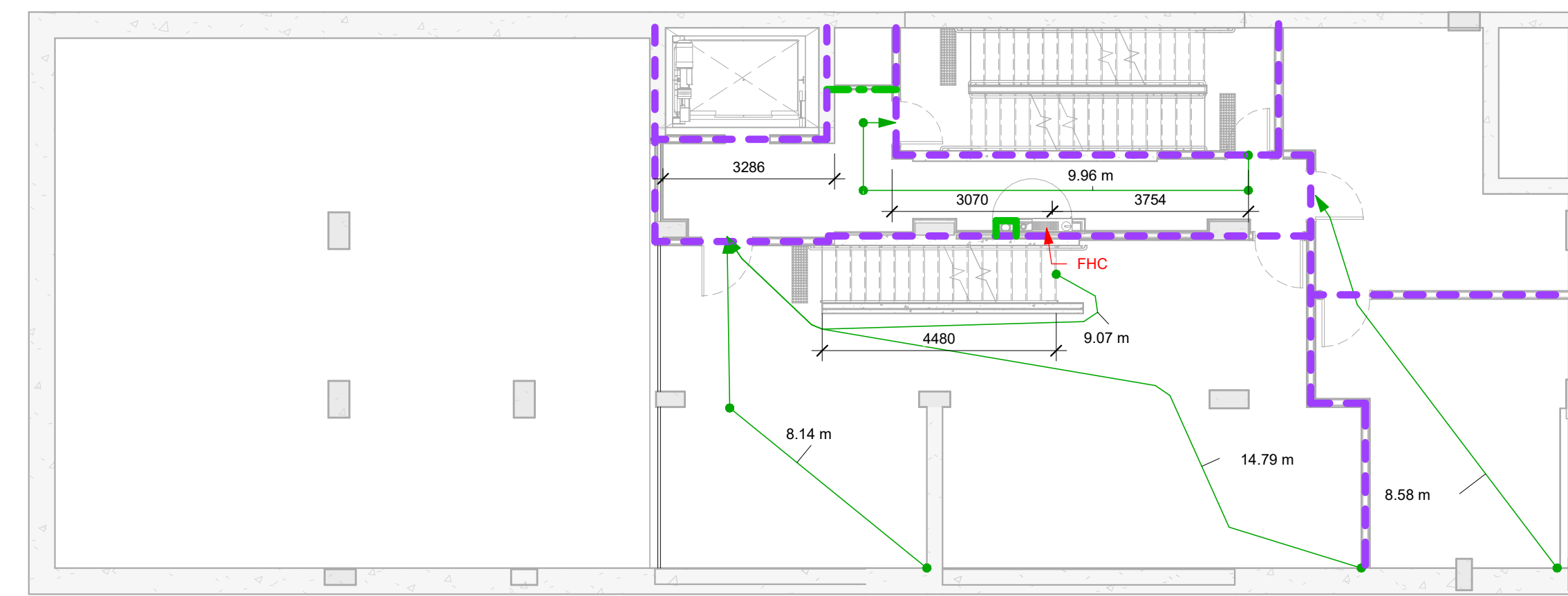
DWG NO. / NO. DESSIN : A030

REVISION NO. / NO. DE RÉVISION : 9

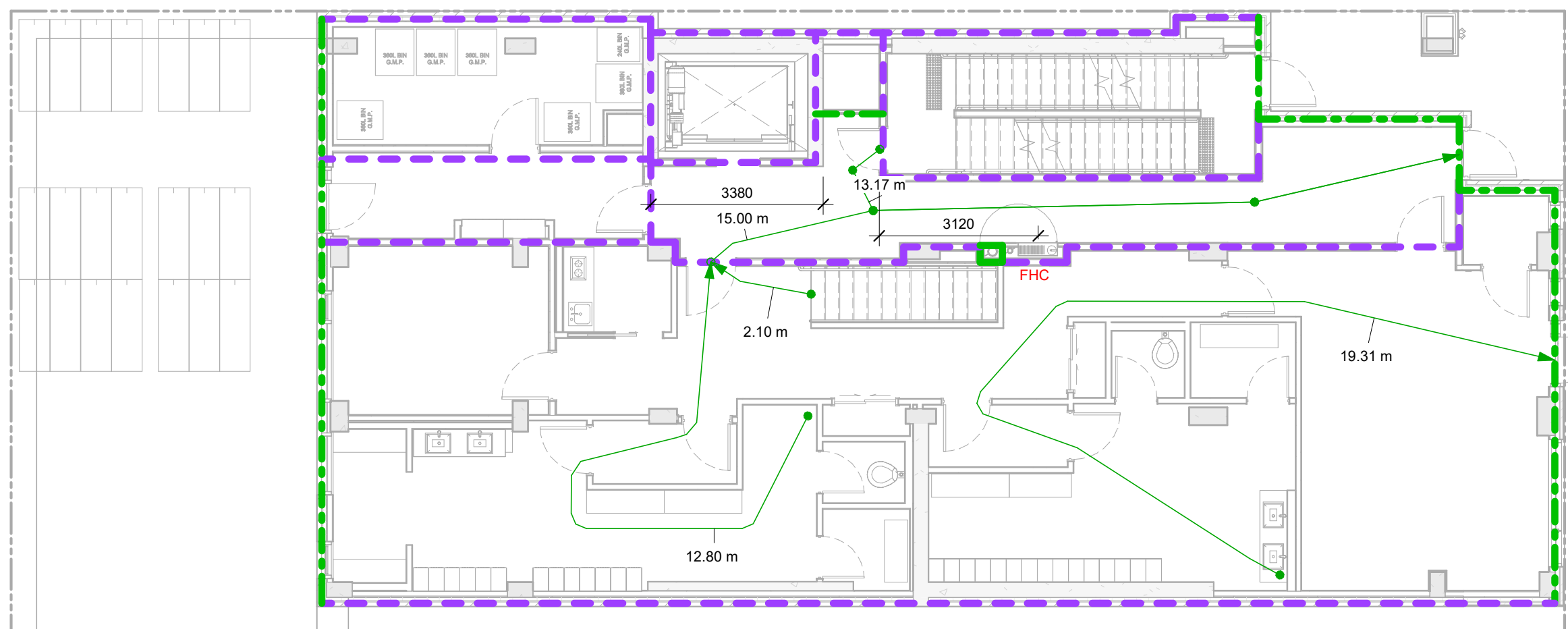
DOI-12-16-087



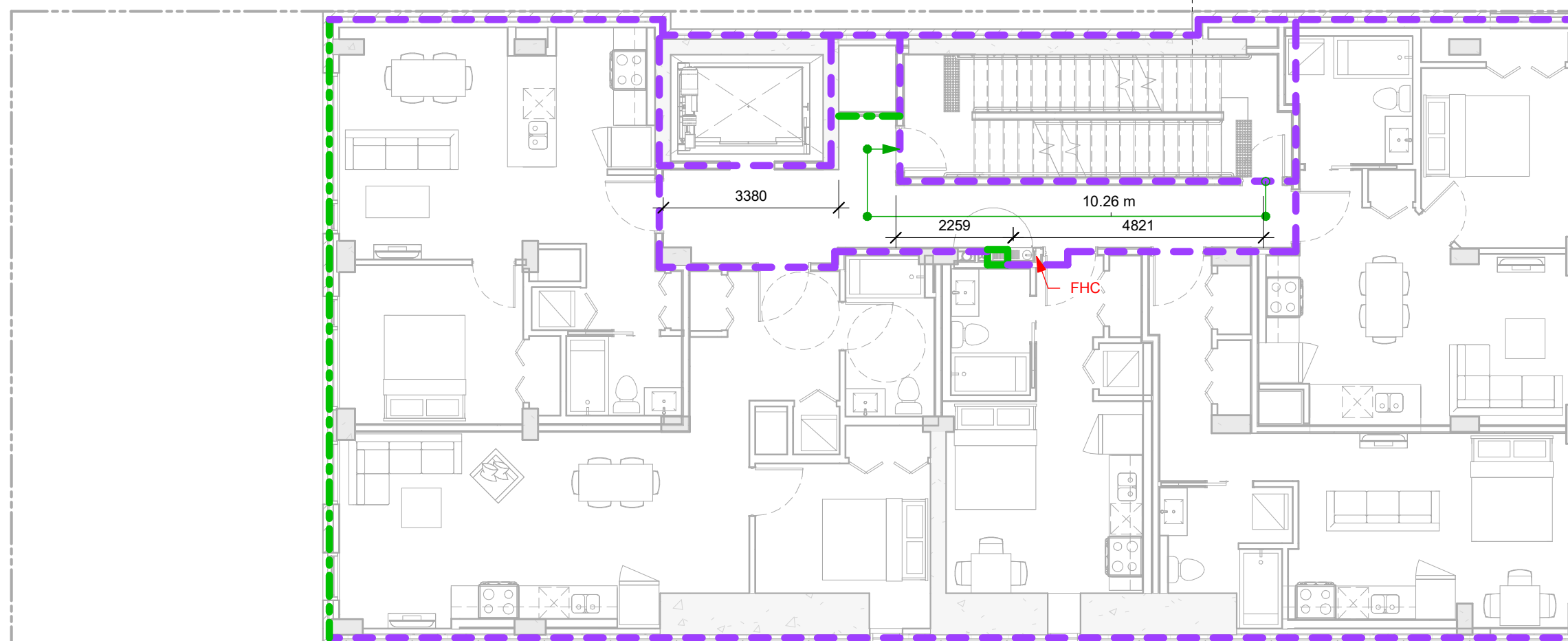
2 T/O B2 SLAB FIRE PLAN  
A030 1 : 100



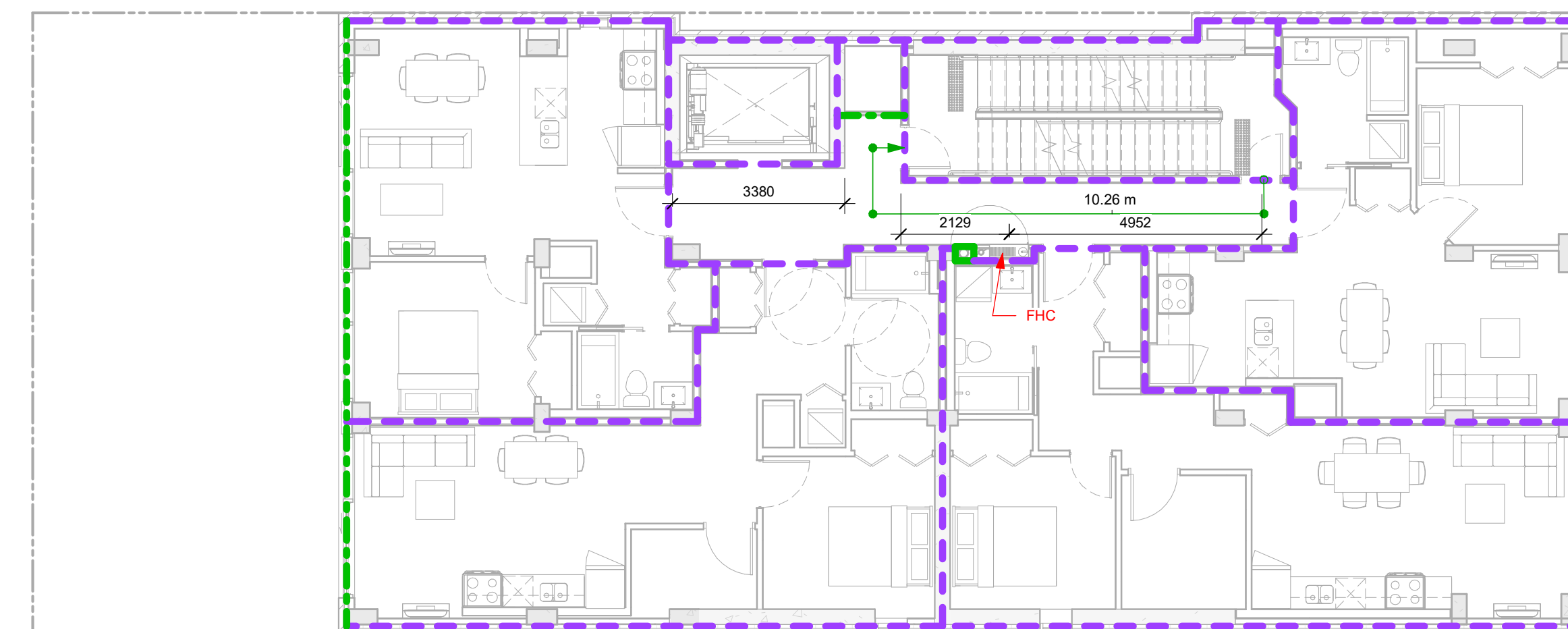
1 T/O B1 SLAB FIRE PLAN  
A030 1 : 100



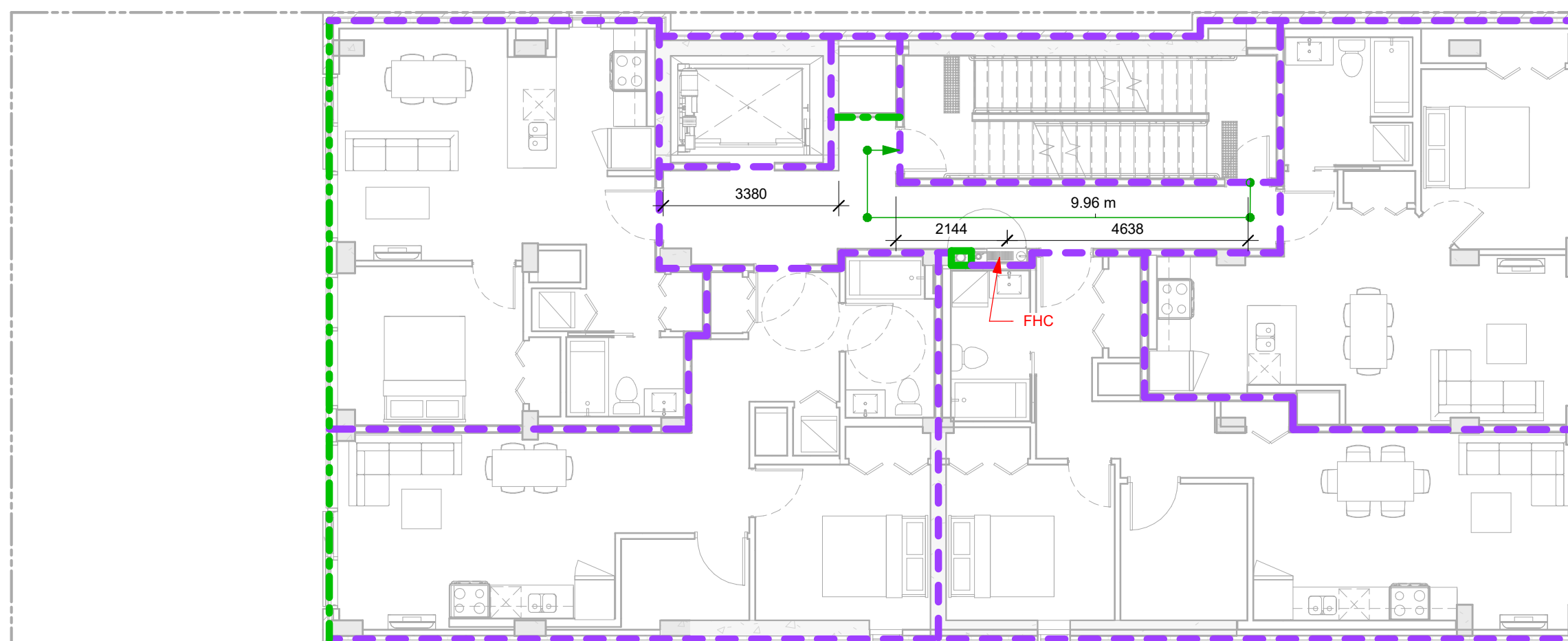
3 T/O GROUND FLOOR FIRE PLAN  
A030 1 : 100



4 T/O 2nd FLOOR FIRE PLAN  
A030 1 : 100



5 T/O 3rd FLOOR FIRE PLAN  
A030 1 : 100



6 T/O 4th FLOOR FIRE PLAN  
A030 1 : 100

**FIRE-RATING KEY:**

- 1 HR REQ'D FIRE RESISTANCE RATING
- 45 MIN REQ'D FIRE RESISTANCE RATING

NOTE: STANDPIPE TO BE SEPARATED FROM ADJACENT OCCUPANCIES BY MINIMUM 45 min FIRE RESISTANCE

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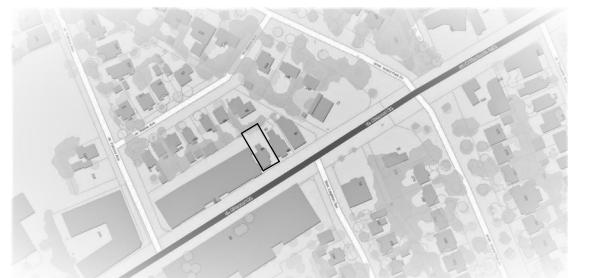
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Revision Number description date

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DRAWING NAME / NOM DU DESSIN :

**FIRE RATING PLANS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / ET

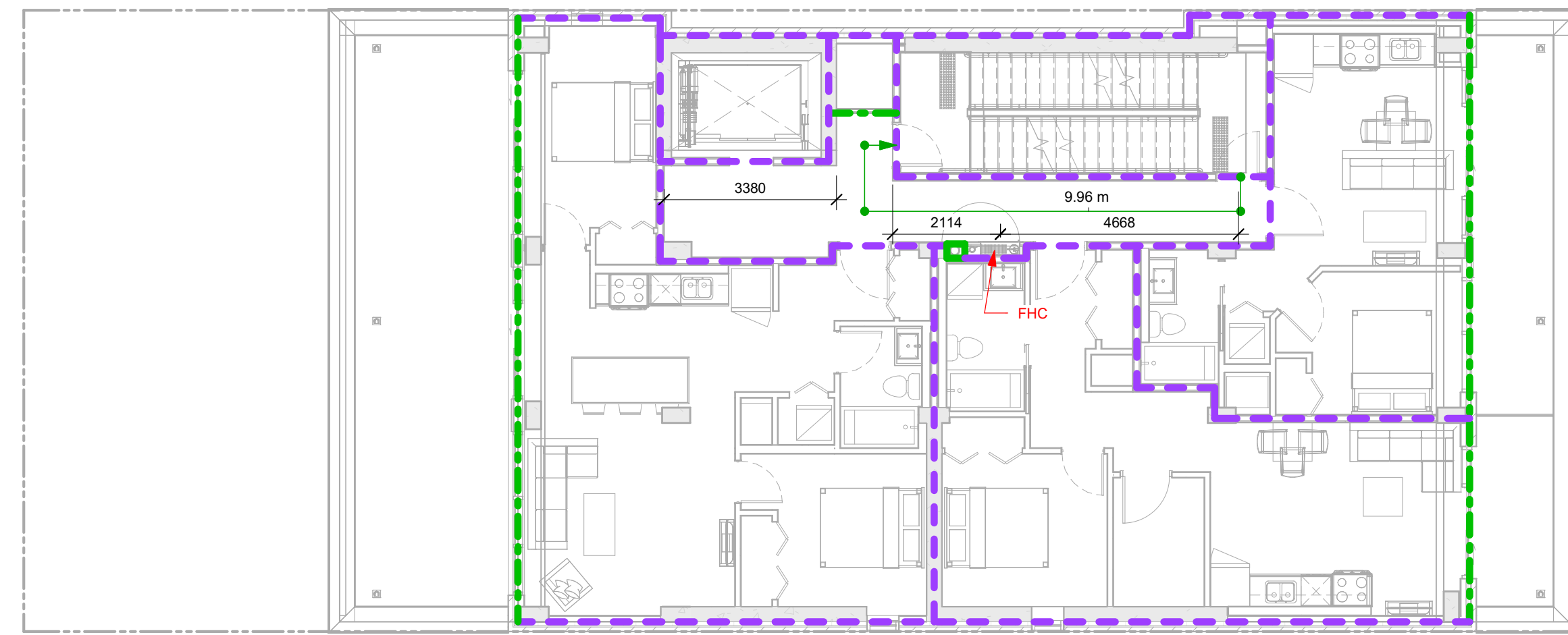
REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

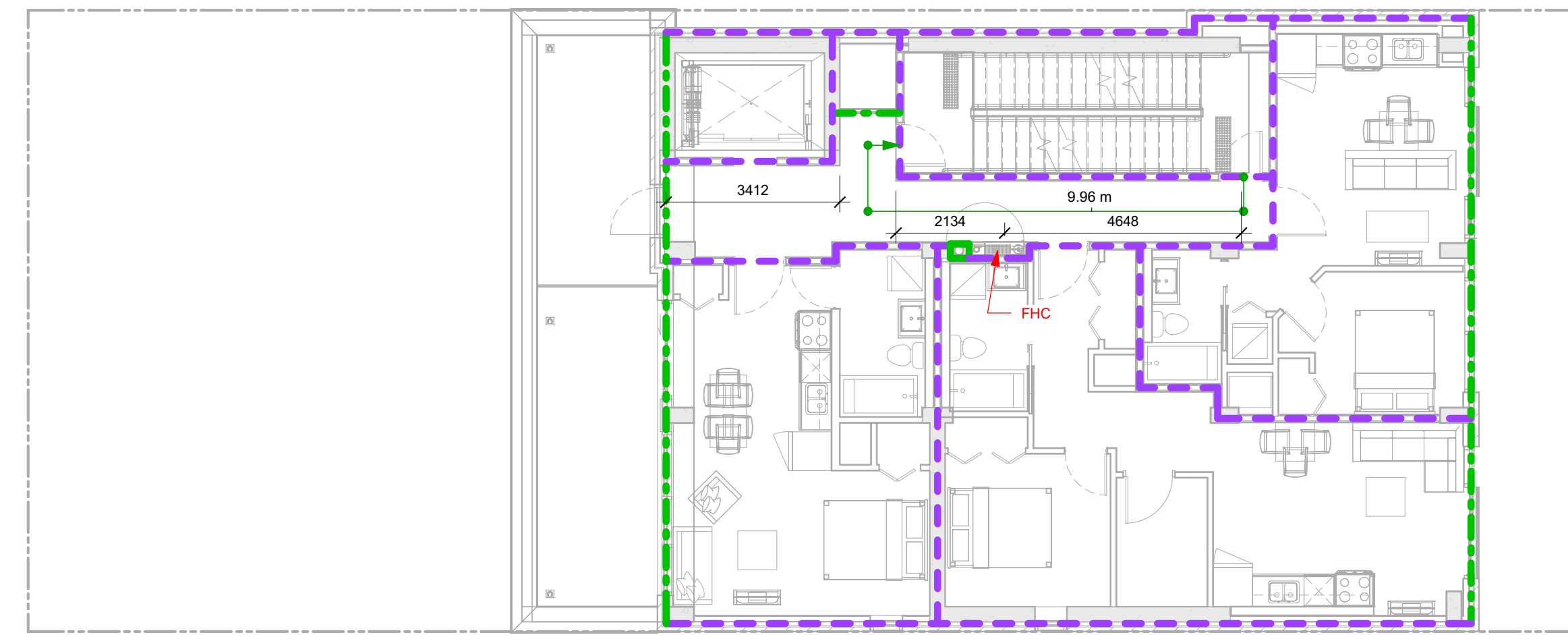
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A031

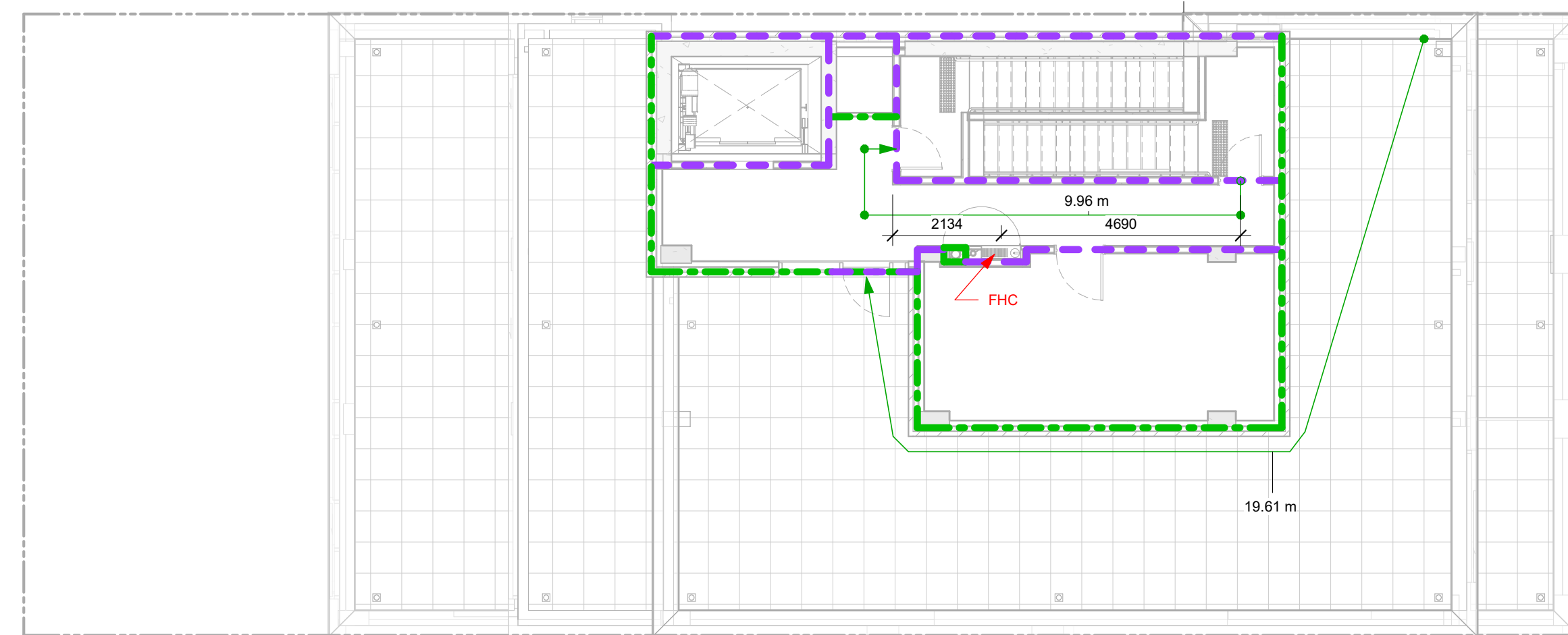
REVISION NO. / NO. DE RÉVISION : 9



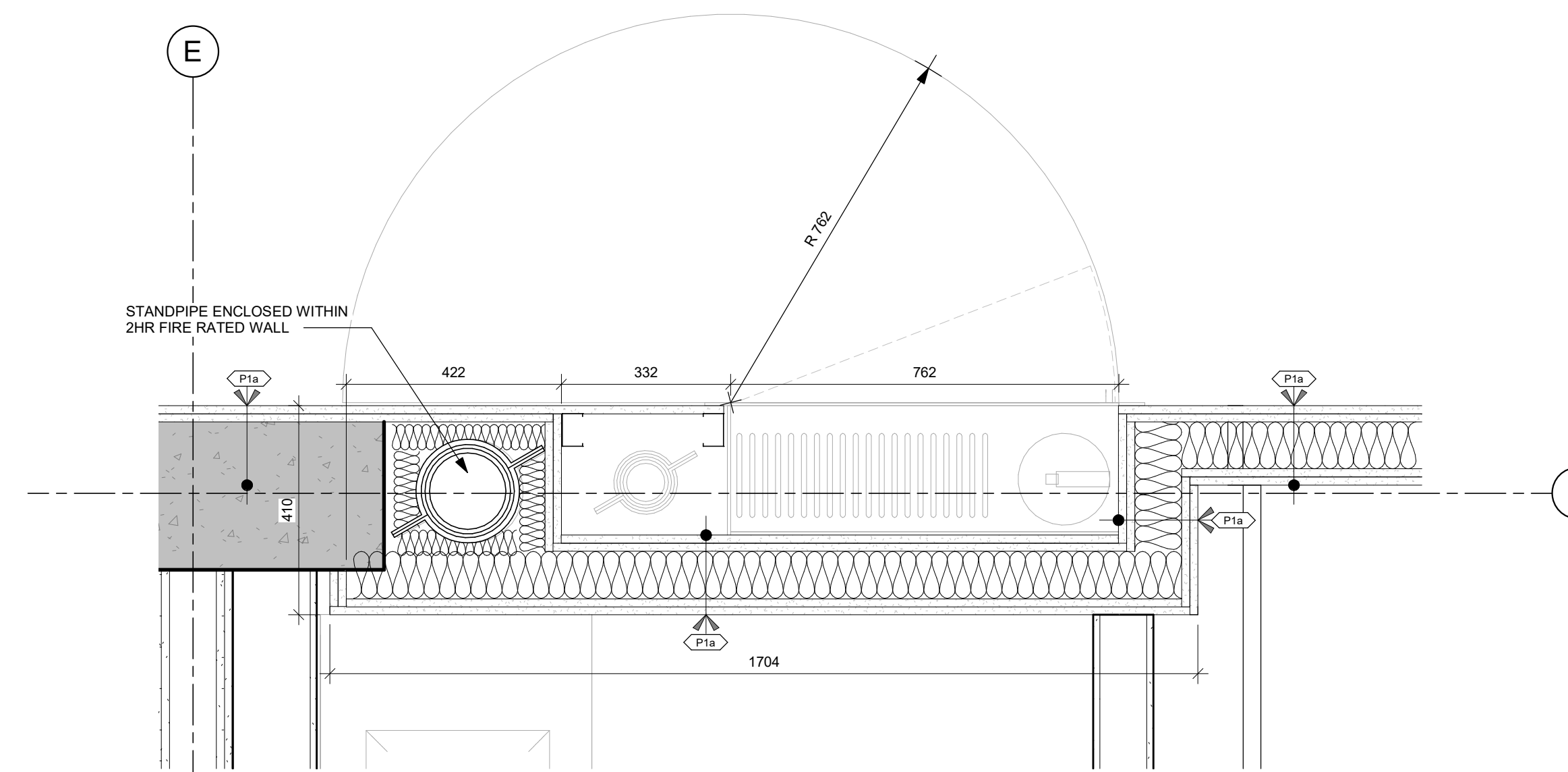
01 T/O 5th FLOOR FIRE PLAN  
A031 1 : 100



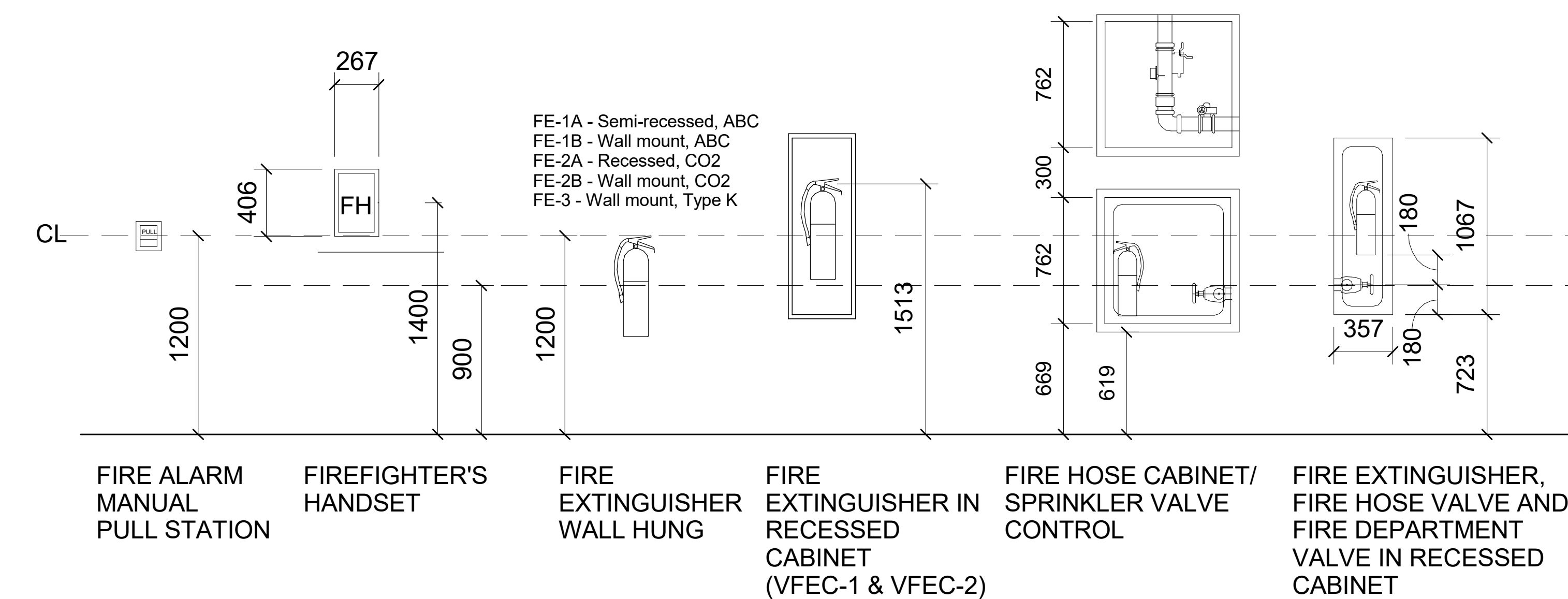
02 T/O 6th FLOOR FIRE PLAN  
A031 1 : 100



03 T/O MECH. PENTHOUSE FIRE PLAN  
A031 1 : 100

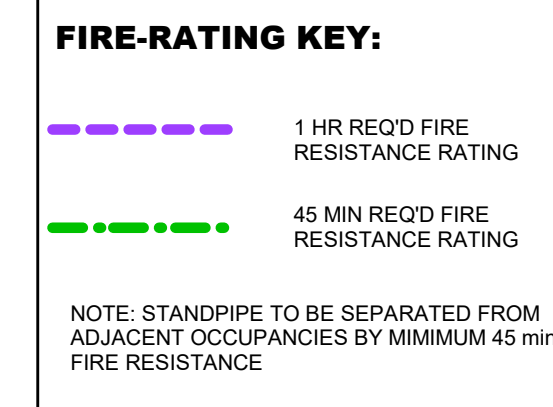


04 FIRE HOSE CABINET PLAN VIEW - DETAIL  
A031 1 : 10



NOTE: OBC REQUIRED HEIGHT FOR THERMOSTATS AND MANUAL PULL STATION CONTROLS 1200MM

NOTE: MOUNTING HEIGHTS TO BE CONFIRMED WITH THE FIRE SUPPRESSION AND THE MECHANICAL CONSULTANTS. OCCURENCES OF EQUIPMENT INTERFERENCE INTO THE CONTINUITY OF THE HANDRAIL SHOULD BE MINIMIZED.



05 TYPICAL ELEVATIONS  
A031 1 : 600



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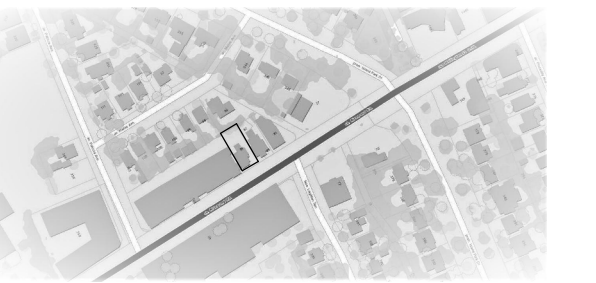
PROJECT DEVELOPER:  
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Email: tanujavaidya@hotmail.com

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KEY PLAN / PLAN CLÉ:



CLIENT:

Tel: 613-600-8275 | tanujavaidya@hotmail.com

NO.	DESCRIPTION	DATE
9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99% PERMIT RESUBMITTAL	22/12/09
6	Co-Ordination	22/08/24
4	ISSUED FOR BUILDING PERMIT	22/07/29
3	Co-ORDINATION	22/06/13
2	VERIFICATION	22/05/12
1	Revision Number	description

PROJECT NAME / NOM DU PROJET:

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN:

### SITE PLAN

PROJECT NO. / NO. DE PROJET: 22049

DATE: 22/12/16

DRAWN BY / DESSINÉ PAR: LG. ET

REVIEWED BY / VÉRIFIÉ PAR: PP

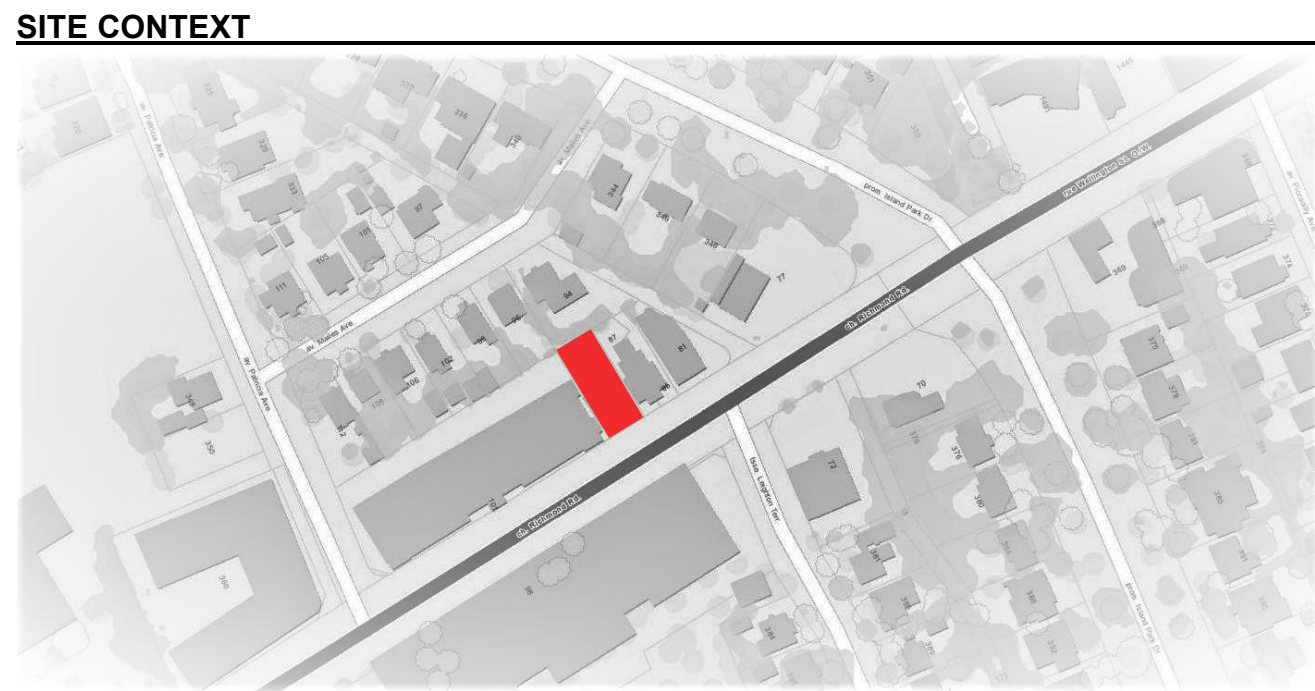
SCALE / ÉCHELLE: As indicated

PROJECT PHASE / PHASE DU PROJET: 1

DWG NO. / NO. DESSIN: A050

REVISION NO. / NO. DE RÉVISION: 9

DOI-12-16-0087



#### LEGEND

##### SURFACES

- GRASS
- RIVERSTONE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED

##### LINES

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES

##### VEGETATION

- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED
- SHRUB: NEW PROPOSED

##### SYMBOLS

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- WALL MOUNTED LIGHT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS
- BIKE PARKING
- CAR PARKING
- BF PARKING
- BF PARKING (TYPE A)
- BF PARKING (TYPE B)

#### GENERAL NOTES

**NOTE-A:**  
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**NOTE-B:**  
ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

**NOTE-C:**  
CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

**NOTE-D:**  
REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

**NOTE-E:**  
DO NOT SCALE DRAWINGS.

**NOTE-F:**  
ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

#### SURVEY INFO

TOPOGRAPHIC SURVEY OF:  
PART 1 OF LOT 83 REGISTERED PLAN 400 CITY OF OTTAWA

#### PROJECT INFORMATION

**SITE SUMMARY**

ADDRESS: 89 Richmond Road  
CURRENT ZONING: TM83011 H(20)  
SITE AREA: 372.94 m<sup>2</sup>  
PROPOSED USE: MIXED-USE  
BUILDING AREA: 298.38 m<sup>2</sup>

ZONING SUMMARY	REQUIRED	PROPOSED
LOT AREA	0.00 m <sup>2</sup>	372.94 m <sup>2</sup>
LOT WIDTH	0.00 m	12.19 m
MIN. LOT WIDTH	0.00 m	0.00 m
MAX. BUILDING HEIGHT	20.00 m max	18.90 m
MAX. PARAPET HEIGHT (above building)	0.00 m	1.08 m

SET BACKS	(up to 15m)	(over 15m)
- FRONT YARD	0.00 m	2.00 m
- CORNER SIDE YARD	0.00 m(min.)	0.00 m
- INTERIOR SIDE YARD	0.00 m(min.)	0.00 m
- REAR YARD	6.00 m(min.)	6.00 m
- LANDSCAPE ABUTTING RESIDENTIAL ZONE	3.00 m	6.00 m

MIN LANDSCAPED AREA: 36.57 m<sup>2</sup> (REQUIRED) vs 73.13 m<sup>2</sup> (PROPOSED)

VEHICULAR PARKING	REQUIRED	PROPOSED
MIN PARKING SPACES	0	0
MIN VISITOR PARKING SPACES	0	0
MIN ACCESSIBLE PRKG SPACES	0	0

BIKE PARKING	REQUIRED	PROPOSED
MIN PARKING SPACES	8	22

WASTE CONTAINERS	REQUIRED	PROPOSED
GARBAGE (0.11 y <sup>3</sup> / unit)	2.09	2.35
RECYCLING (0.018 y <sup>3</sup> / unit)	0.34	0.47
ORGANICS (Litre)	240	240

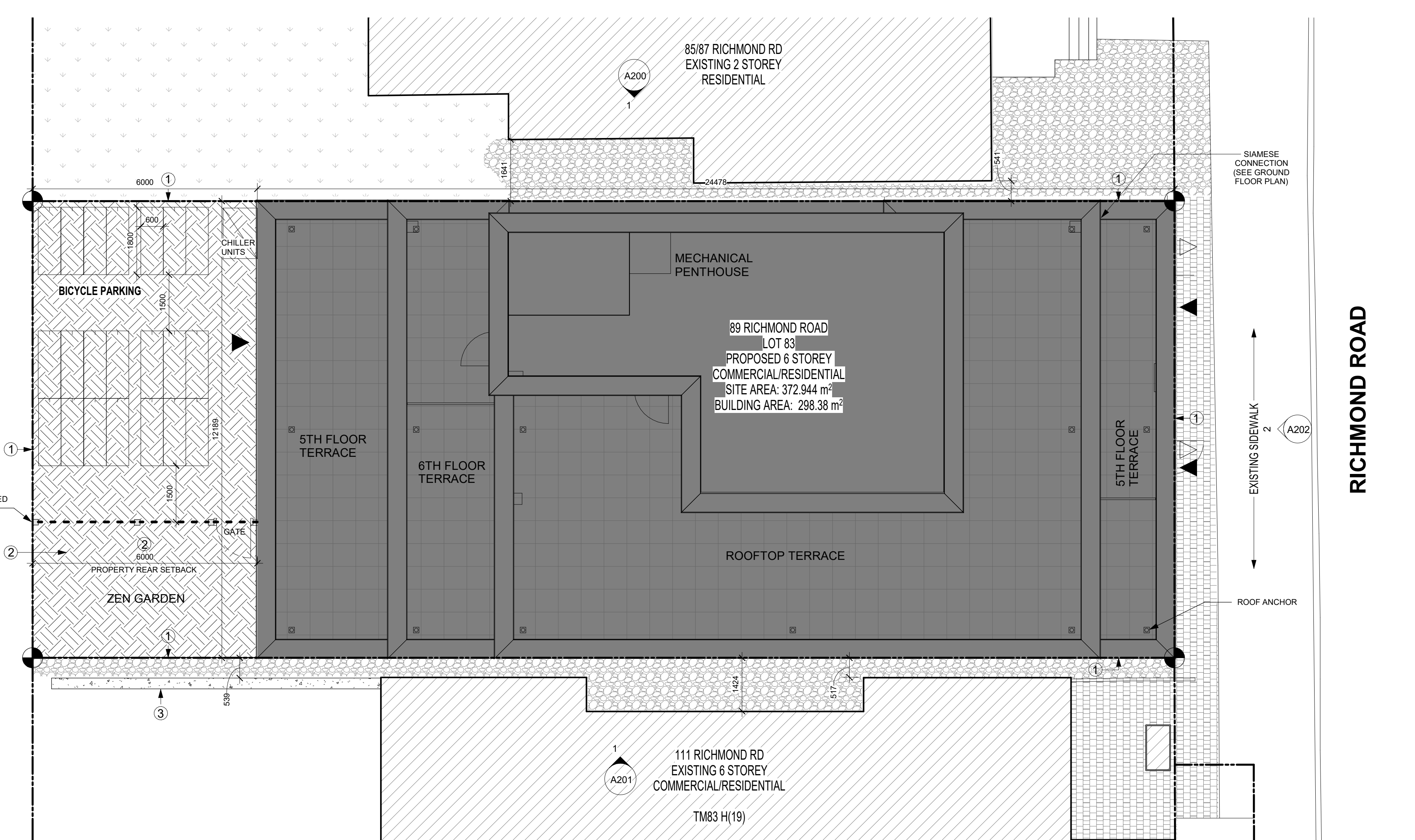
AMENITY AREA	REQUIRED	PROPOSED
PRIVATE	57.00 m <sup>2</sup>	102.36 m <sup>2</sup>
COMMUNAL	57.00 m <sup>2</sup>	96.39 m <sup>2</sup>

BUILDING SUMMARY	UNITS	GFA - OBC	GFA - CITY
Basement B2	0	328.62 m <sup>2</sup>	217.10 m <sup>2</sup>
Basement B1	0	187.49 m <sup>2</sup>	71.90 m <sup>2</sup>
Ground Level	0	268.27 m <sup>2</sup>	154.20 m <sup>2</sup>
2nd Level	5	294.30 m <sup>2</sup>	210.90 m <sup>2</sup>
3rd Level	4	294.41 m <sup>2</sup>	214.79 m <sup>2</sup>
4th Level	4	294.41 m <sup>2</sup>	216.00 m <sup>2</sup>
5th Level	3	225.18 m <sup>2</sup>	153.40 m <sup>2</sup>
6th Level	3	206.40 m <sup>2</sup>	123.20 m <sup>2</sup>
Mech Penthouse	0	84.13 m <sup>2</sup>	0.00 m <sup>2</sup>
TOTAL	19	2183.21 m <sup>2</sup>	1361.49 m <sup>2</sup>

Health Spa Area Schedule (City of Ottawa (GFA))		
Level	Name	Area
T/O GROUND FLOOR	Ground SPA GFA	154.2 m <sup>2</sup>
SLAB		154.2 m <sup>2</sup>

#### NOTES:

- PROPERTY LINE
- LANDSCAPED ZEN GARDEN
- EXISTING PRIVACY WALL



2 SITE PLAN  
A650 1:75

**GENERAL NOTES**

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NOTE-G: REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

GF LEVEL : 5 PER SEX = 10

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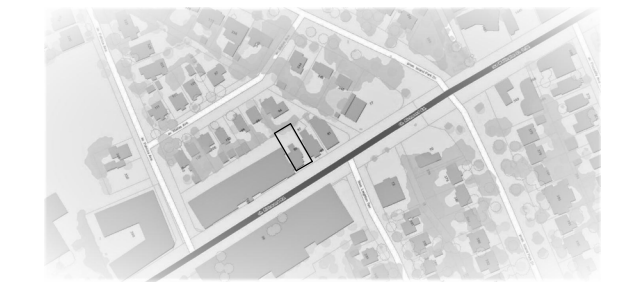
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6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**BASEMENT FLOOR PLAN B1**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

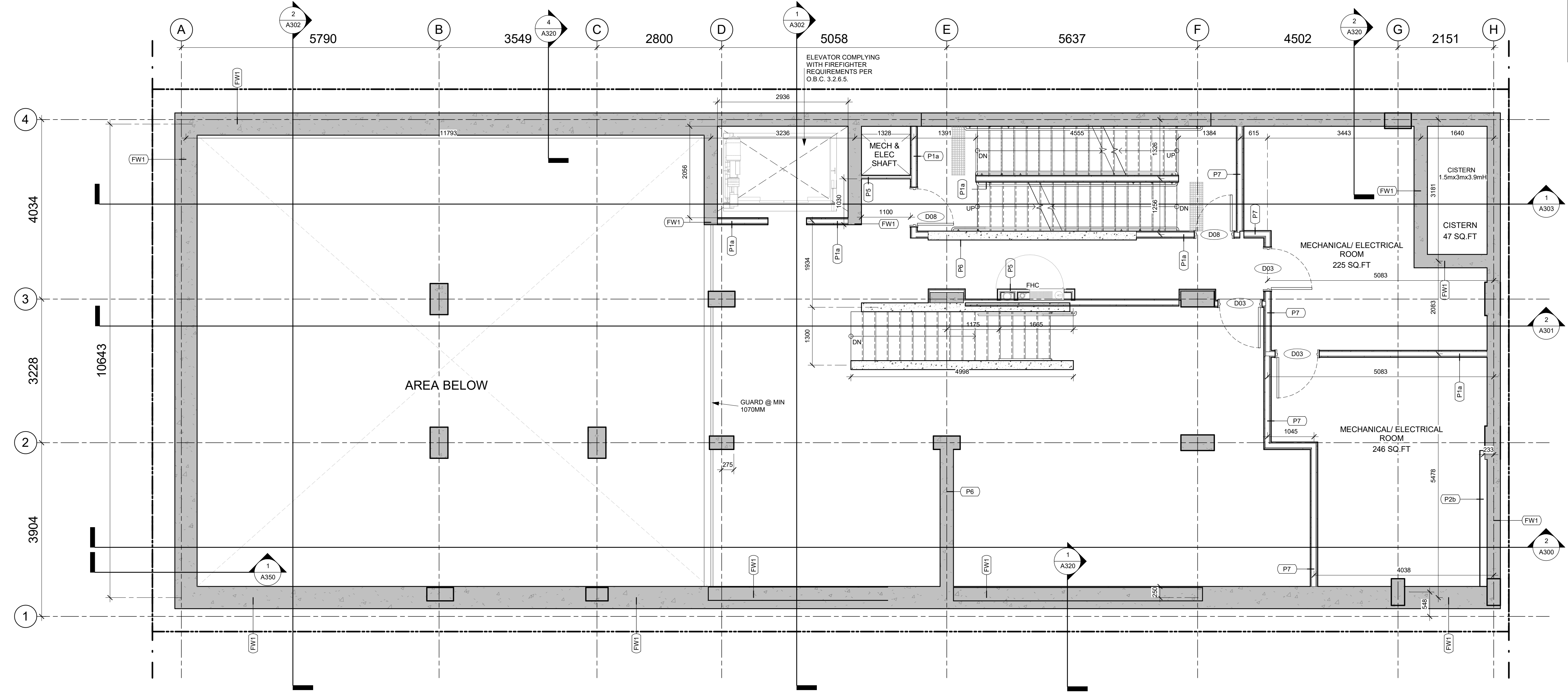
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1  
DWG NO. / NO. DESSIN :

**A100.1**

REVISION NO. / NO. DE RÉVISION :



**T/O B1 SLAB**  
1:50

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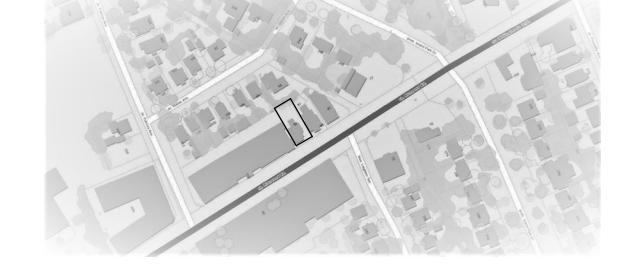
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1	VERIFICATION	22/05/12

Revision Number description date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**BASEMENT FLOOR PLAN B2**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

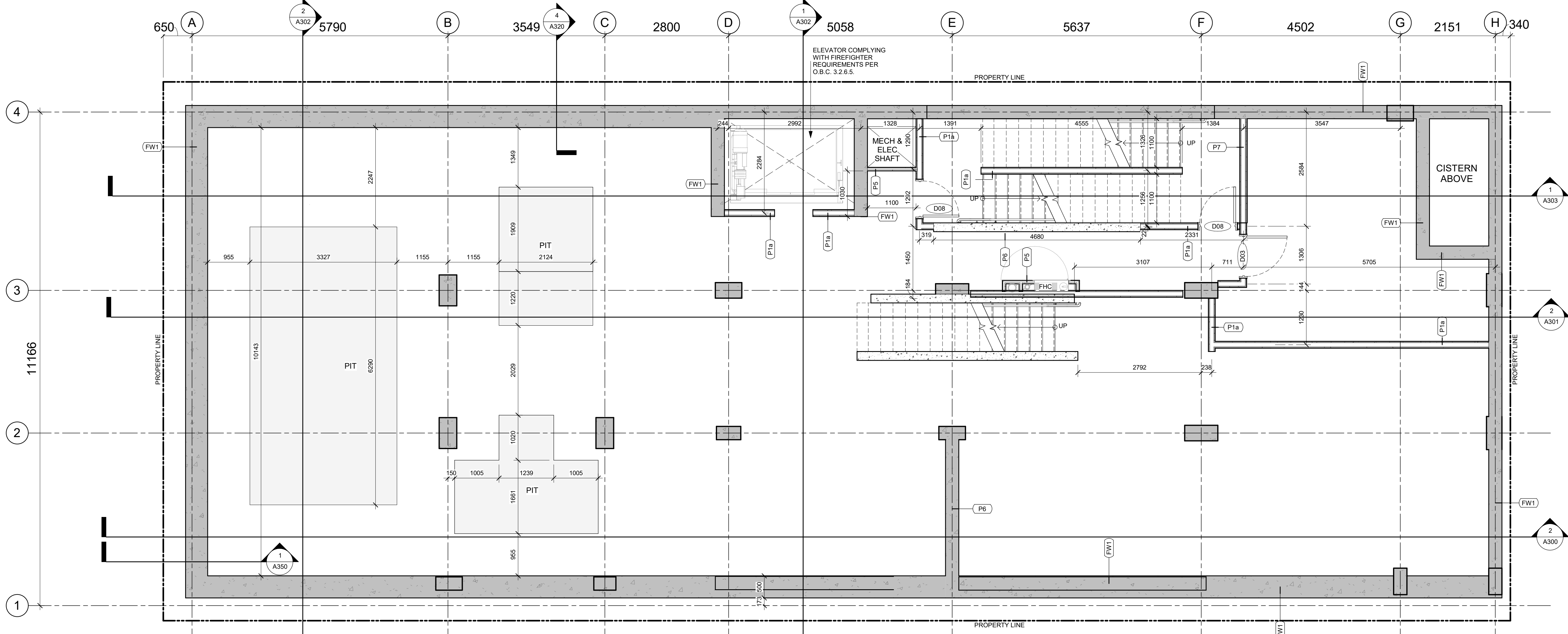
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1  
DWG NO. / NO. DESSIN :

**A100.2**

REVISION NO. / NO. DE RÉVISION :



1 T/O B2 SLAB\_ A100.2 1 : 50

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OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.1.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
G1 LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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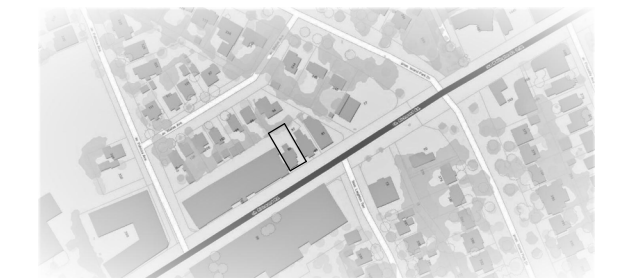
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1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**GROUND FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

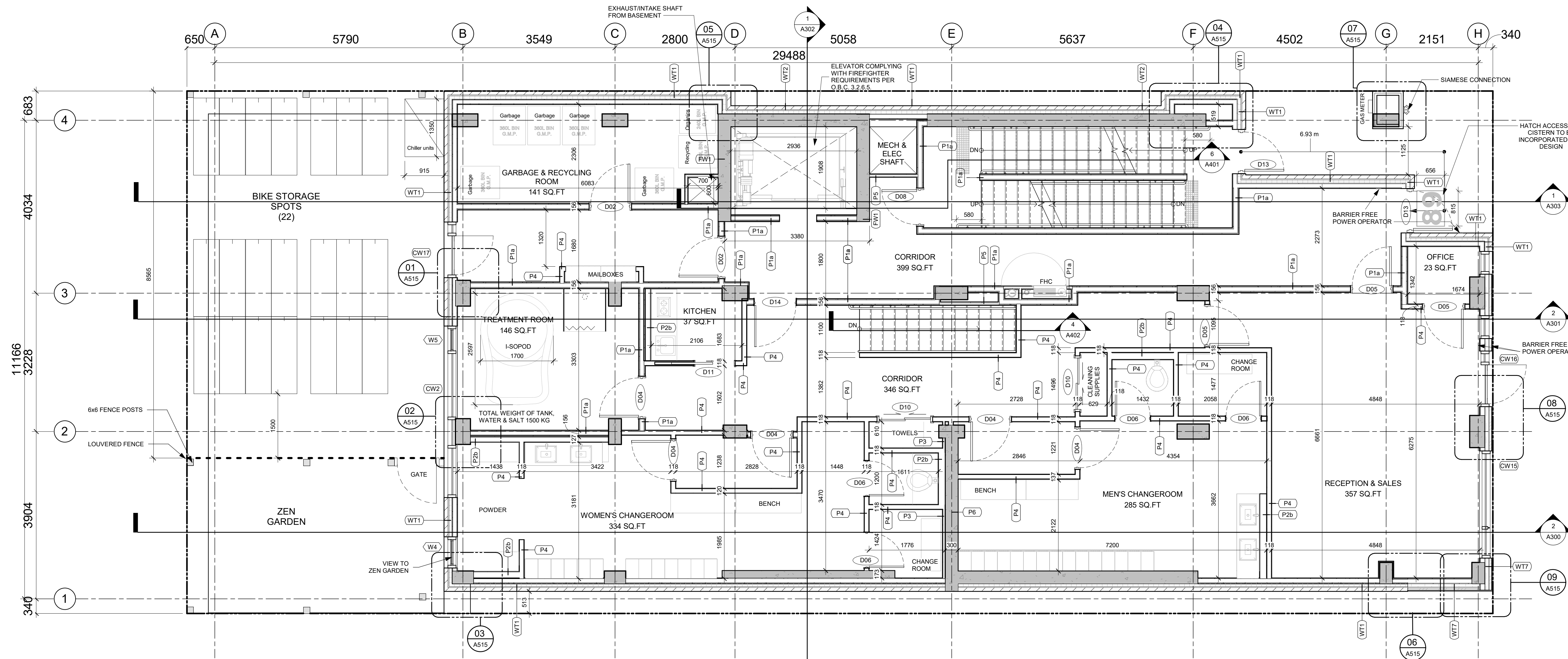
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A101

REVISION NO. / NO. DE RÉVISION : 1

DWG NO. / NO. DESSIN : A101

REVISION NO. / NO. DE RÉVISION : 1



1 T/O GROUND FLOOR  
A101 1:50

**GENERAL NOTES**

NOTE-A: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VALIDATING ALL DIMENSIONS ON SITE AND REPORTING ANY ERRORS AND/OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.

NOTE-D: REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

NOTE-E: DO NOT MEASURE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

NOTE-G: REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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**LANDSCAPE ARCHITECT**  
223 McLeod Street Tel: 613 730 5709  
Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotem.com

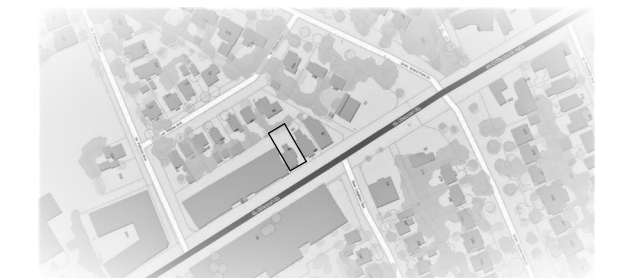
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Email: tanujavaidya@hotmail.com

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Email: bjohnson@clandjardine.com

**BUILDER**  
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Email: jtl@beauautoncanada.com

**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**SECOND FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

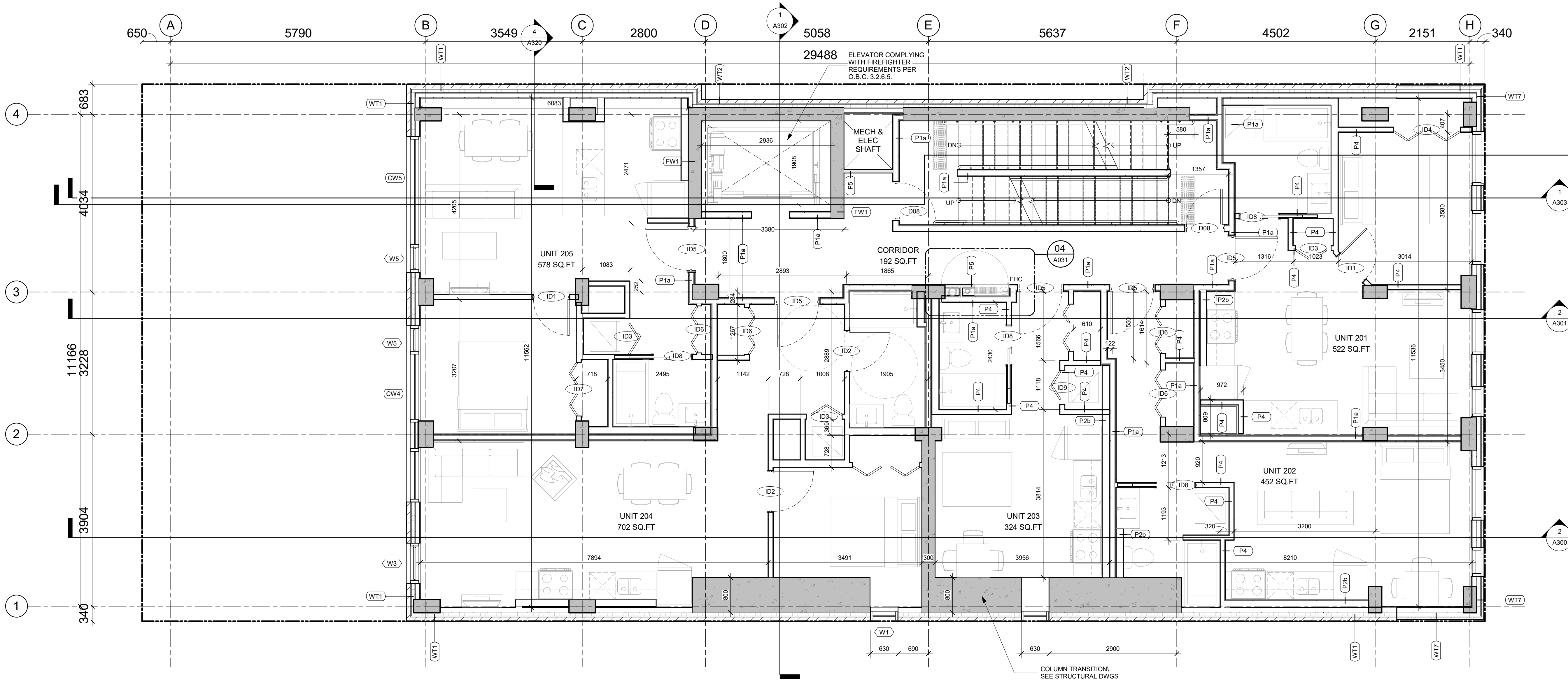
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A102

REVISION NO. / NO. DE RÉVISION :



1 T/O 2nd FLOOR SLAB  
A102 1 : 50

**GENERAL NOTES**

NOTE-A: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VALIDATING ALL DIMENSIONS ON SITE AND REPORTING ANY ERRORS AND/OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.

NOTE-D: REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

NOTE-E: DO NOT MEASURE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

NOTE-G: REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.1.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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**LANDSCAPE ARCHITECT**  
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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotern.com

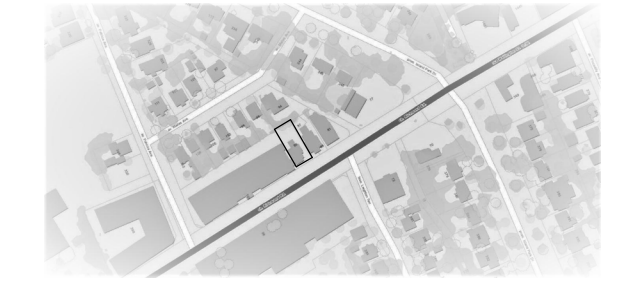
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**THIRD FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

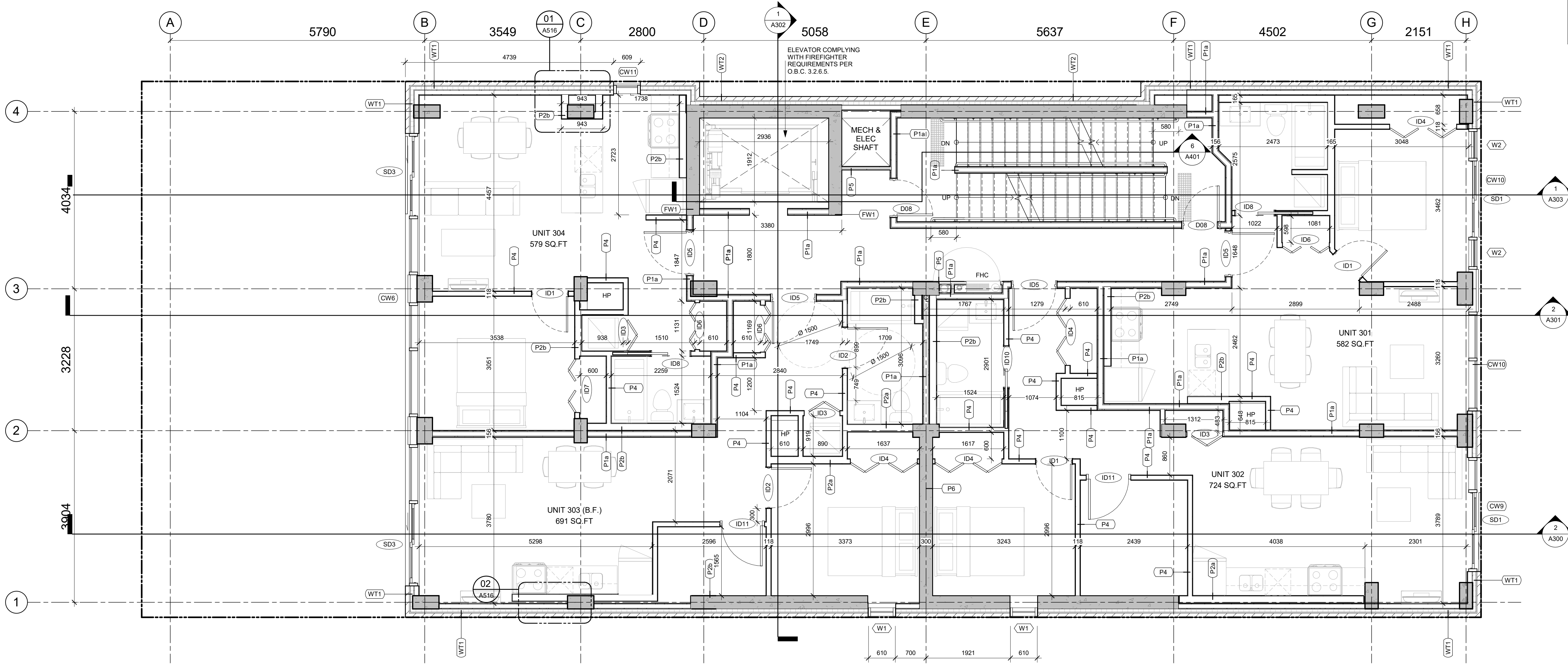
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A103

REVISION NO. / NO. DE RÉVISION :



1 T/O 3rd FLOOR SLAB  
A103 1 : 50

**GENERAL NOTES**

**NOTE-A:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

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**NOTE-D:** REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

**NOTE-E:** DO NOT MEASURE DRAWINGS.

**NOTE-F:** ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

**NOTE-G:** REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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Email: abbas@fotem.com

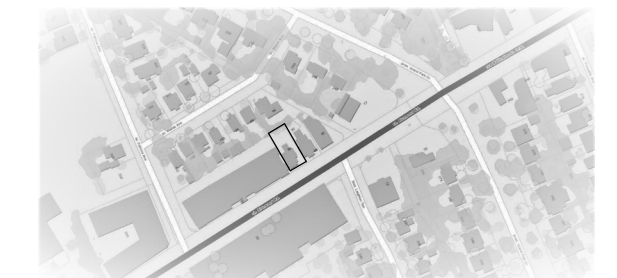
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Email: jtl@beauincanada.com

**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**FOURTH FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

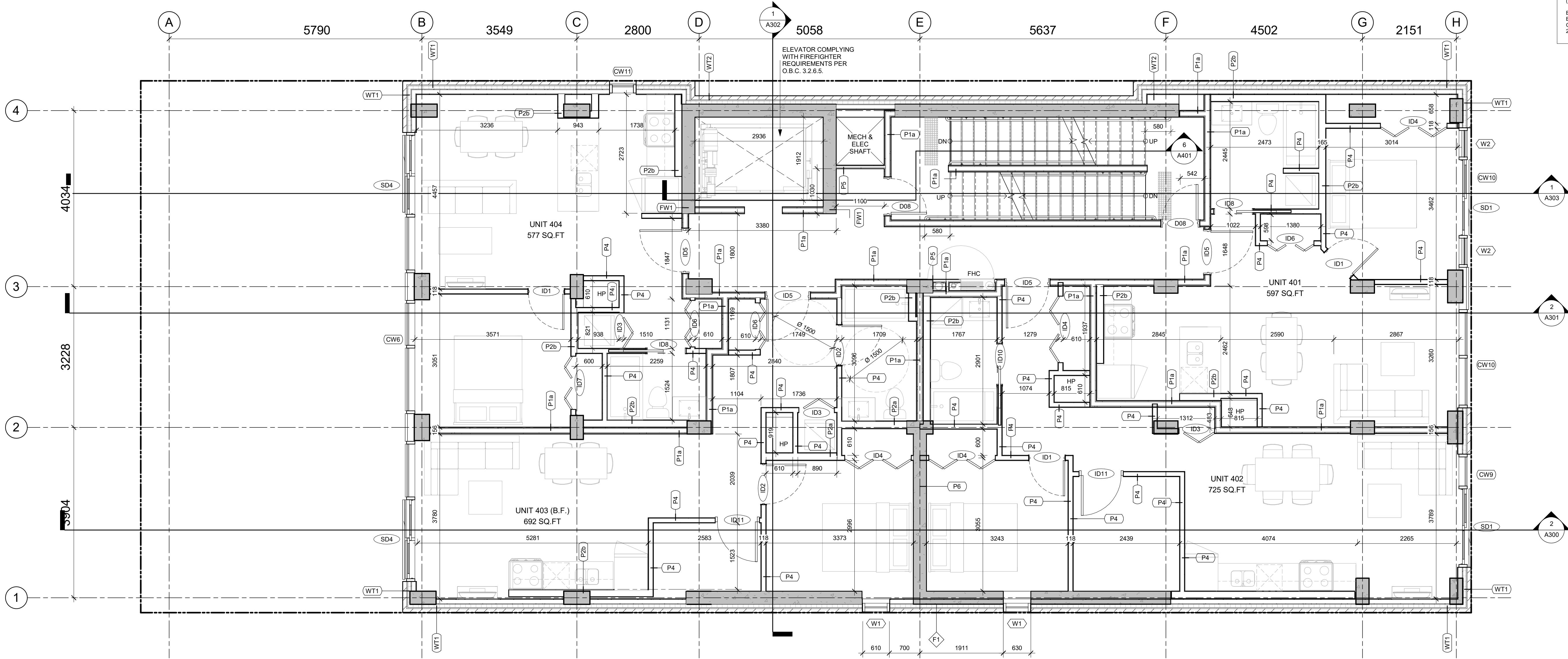
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A104

REVISION NO. / NO. DE RÉVISION : 9



**T/O 4th FLOOR SLAB**  
1 : 50

**GENERAL NOTES**

**NOTE-A:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

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**NOTE-D:** REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

**NOTE-E:** DO NOT MEASURE DRAWINGS.

**NOTE-F:** ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

**NOTE-G:** REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
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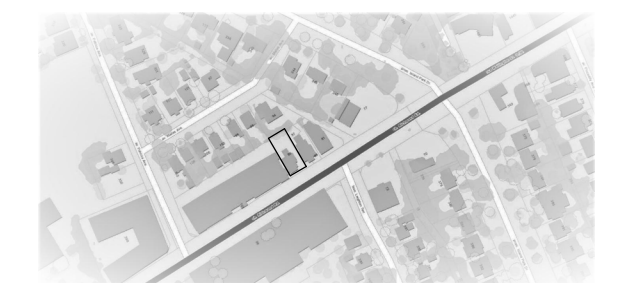
**PROJECT DEVELOPER**  
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**FIFTH FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

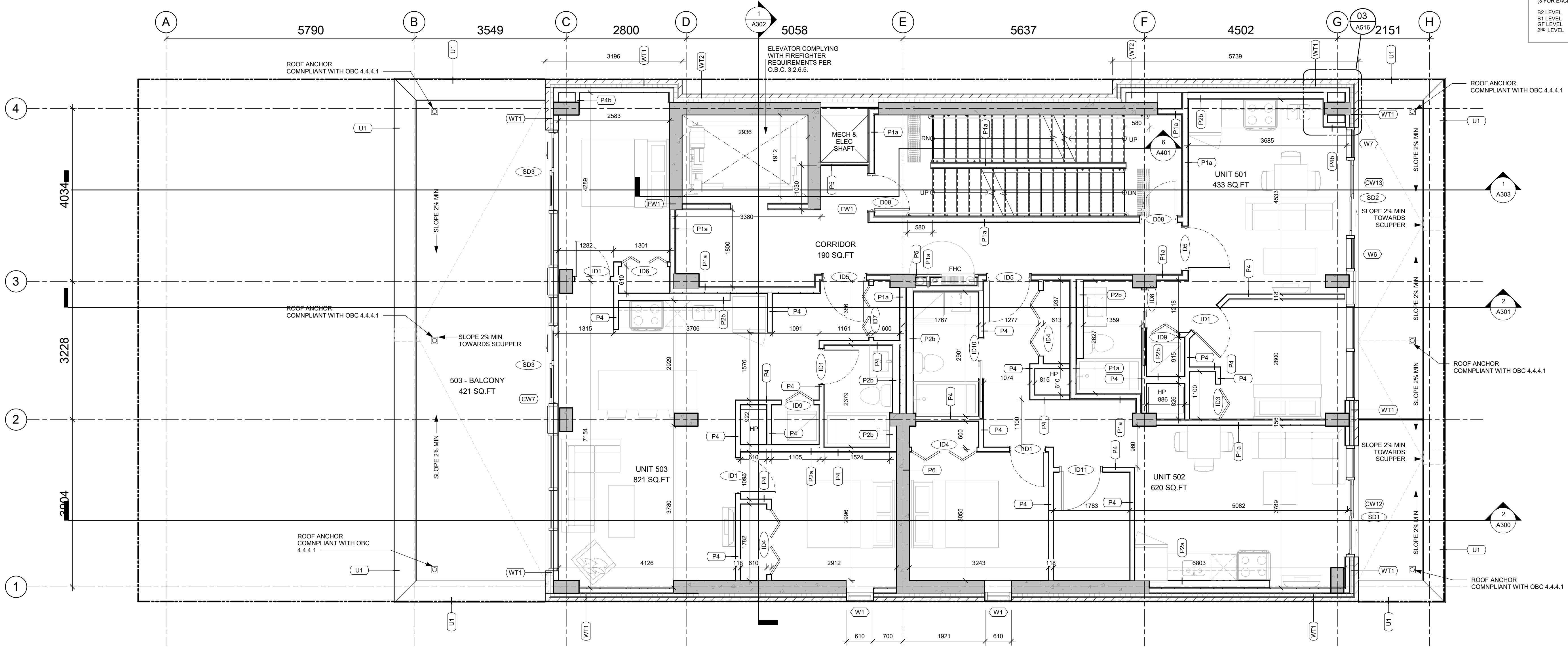
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A105

REVISION NO. / NO. DE RÉVISION : 9



T/O 5th FLOOR SLAB  
1 : 50



**GENERAL NOTES**

**NOTE-A:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

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**NOTE-F:** ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

**NOTE-G:** REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.1.4.7.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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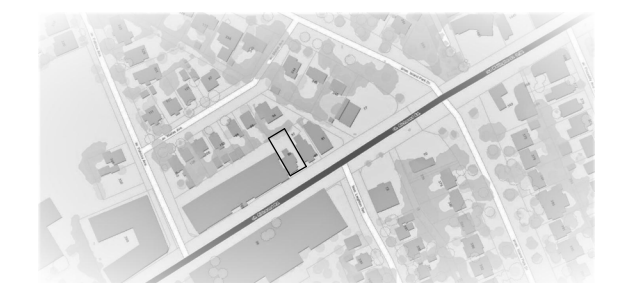
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**BUILDER**  
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12
Revision Number	description	date

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**SIXTH FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG. ET

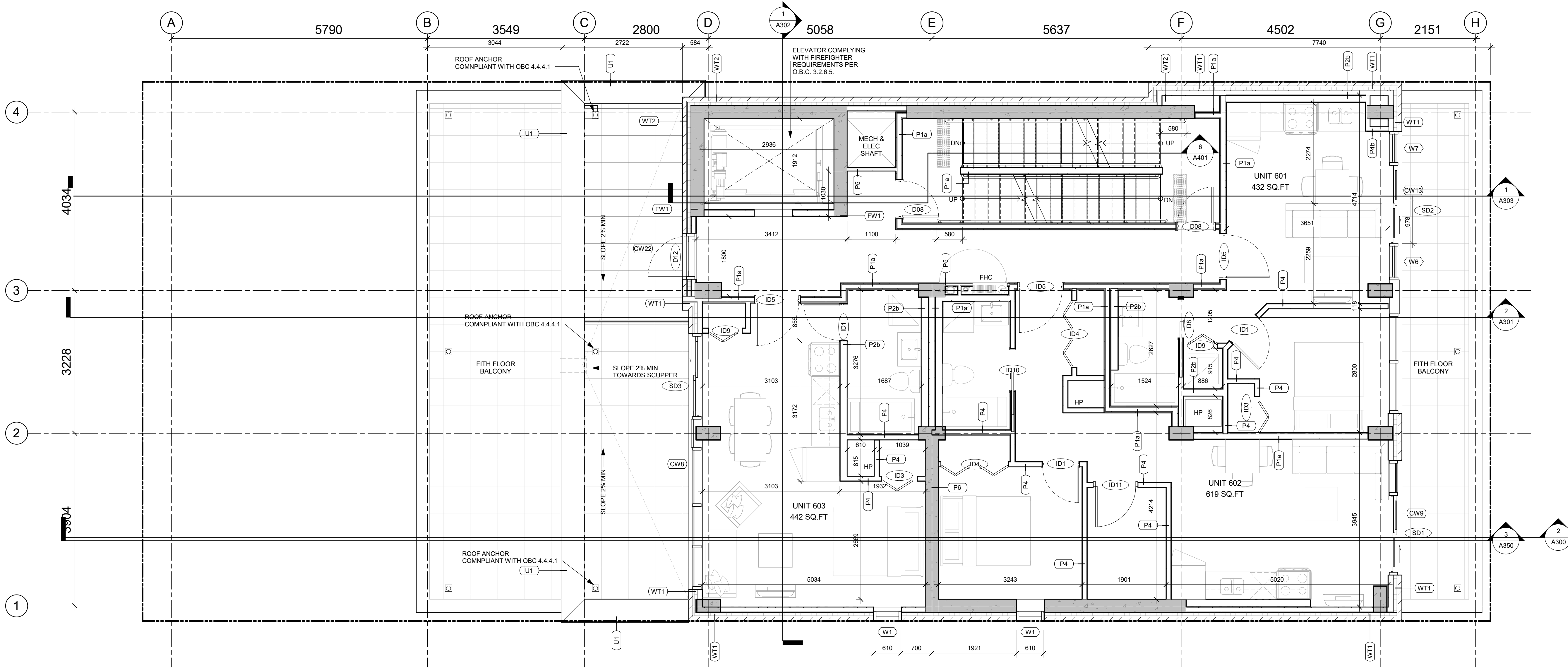
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A106

REVISION NO. / NO. DE RÉVISION : 1



**T/O 6th FLOOR SLAB**  
1 : 50

**GENERAL NOTES**

**NOTE-A:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

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**NOTE-E:** DO NOT MEASURE DRAWINGS.

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**NOTE-G:** REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.1.4.7.)

B1 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotern.com

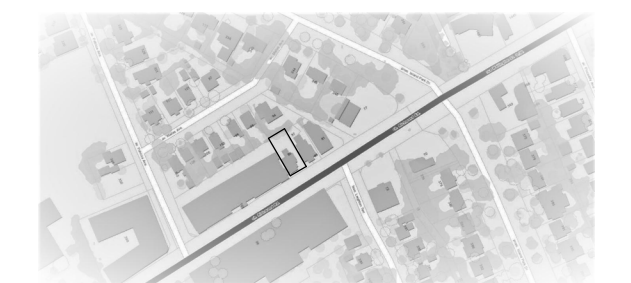
**PROJECT DEVELOPER**  
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12
Revision Number	description	date

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**  
**MECHANICAL PENTHOUSE FLOOR PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

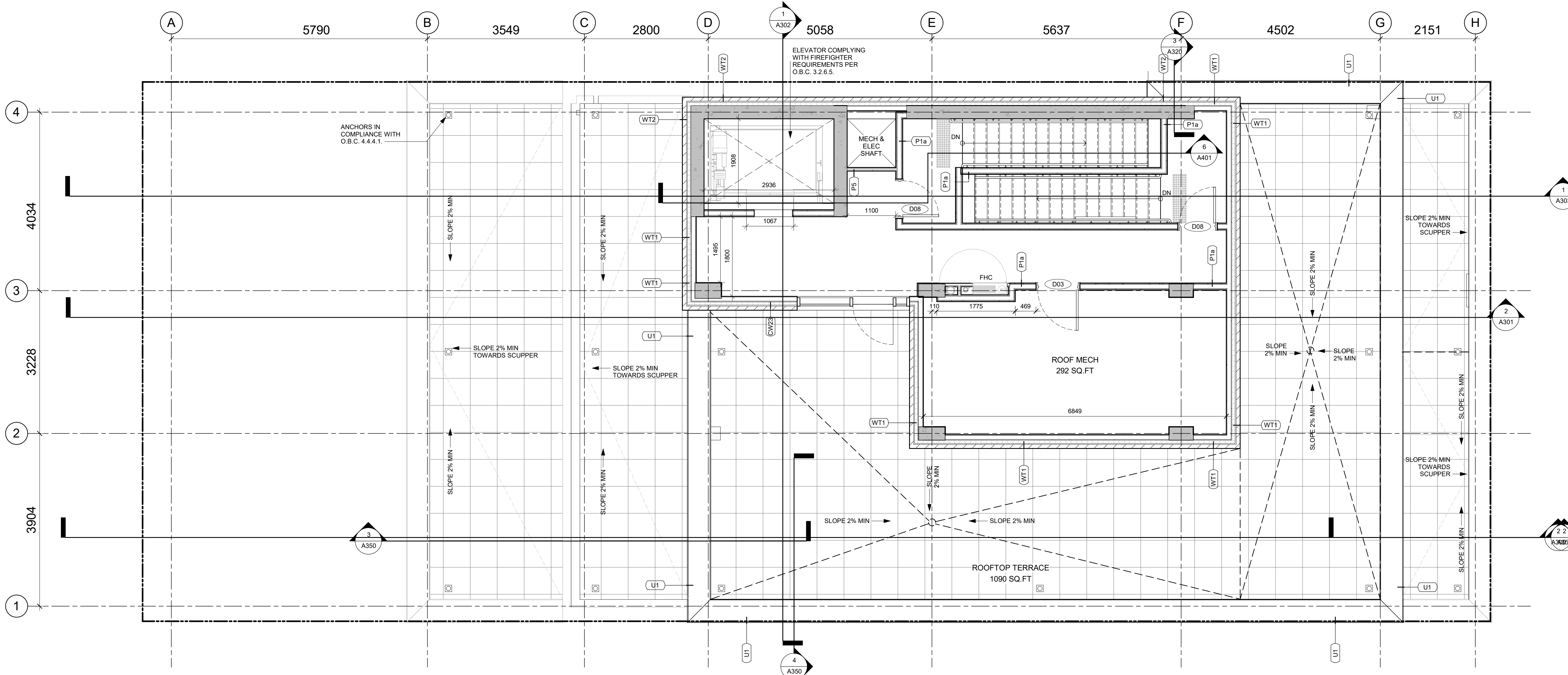
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A107

REVISION NO. / NO. DE RÉVISION : 1



1 T/O MECH. PENTHOUSE SLAB  
A107 1 : 50

**GENERAL NOTES**

**NOTE-A:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

**NOTE-B:** ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

**NOTE-C:** THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VALIDATING ALL DIMENSIONS ON SITE AND REPORTING ANY ERRORS AND/OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.

**NOTE-D:** REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

**NOTE-E:** DO NOT MEASURE DRAWINGS.

**NOTE-F:** ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

**NOTE-G:** REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.1.4.7.)

B1 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2ND LEVEL : 20 PER SEX = 40

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotern.com

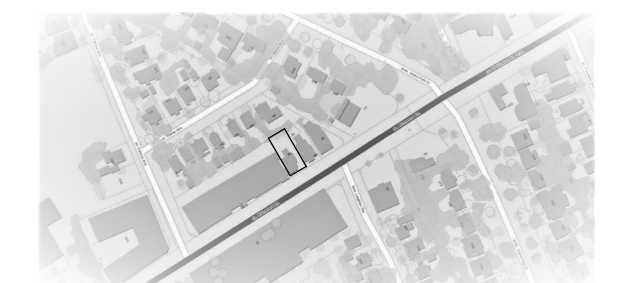
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
5	SPA Approval	22/09/19
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**ROOF PLAN**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

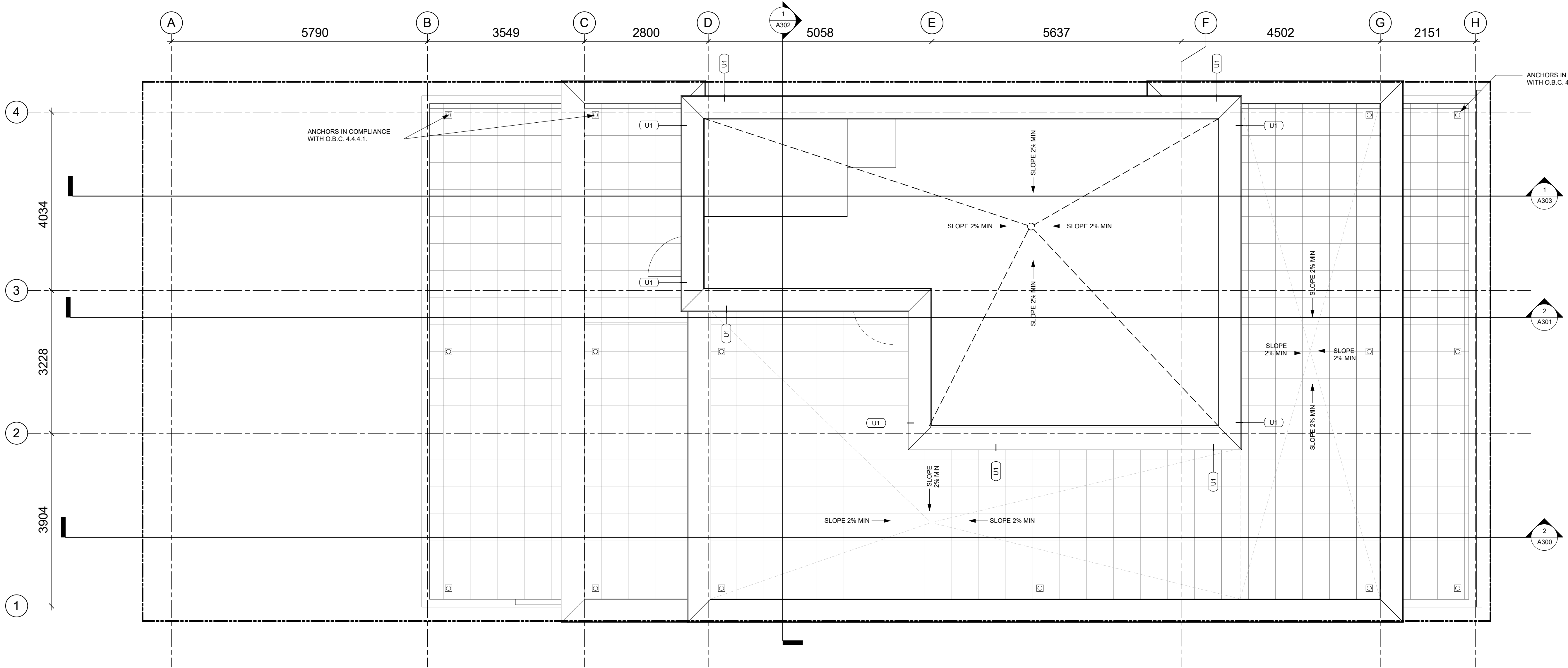
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A108

REVISION NO. / NO. DE RÉVISION : 9



**T/O MECH. PENTHOUSE ROOF**  
1:50

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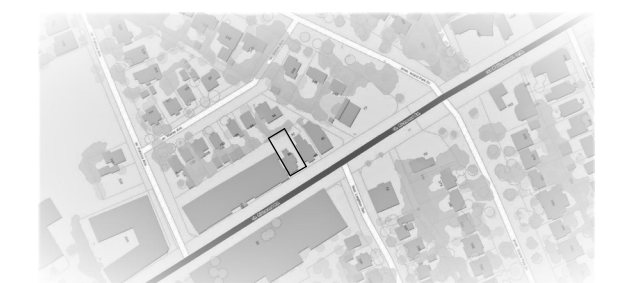
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9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SLAB EDGE PLAN B1**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

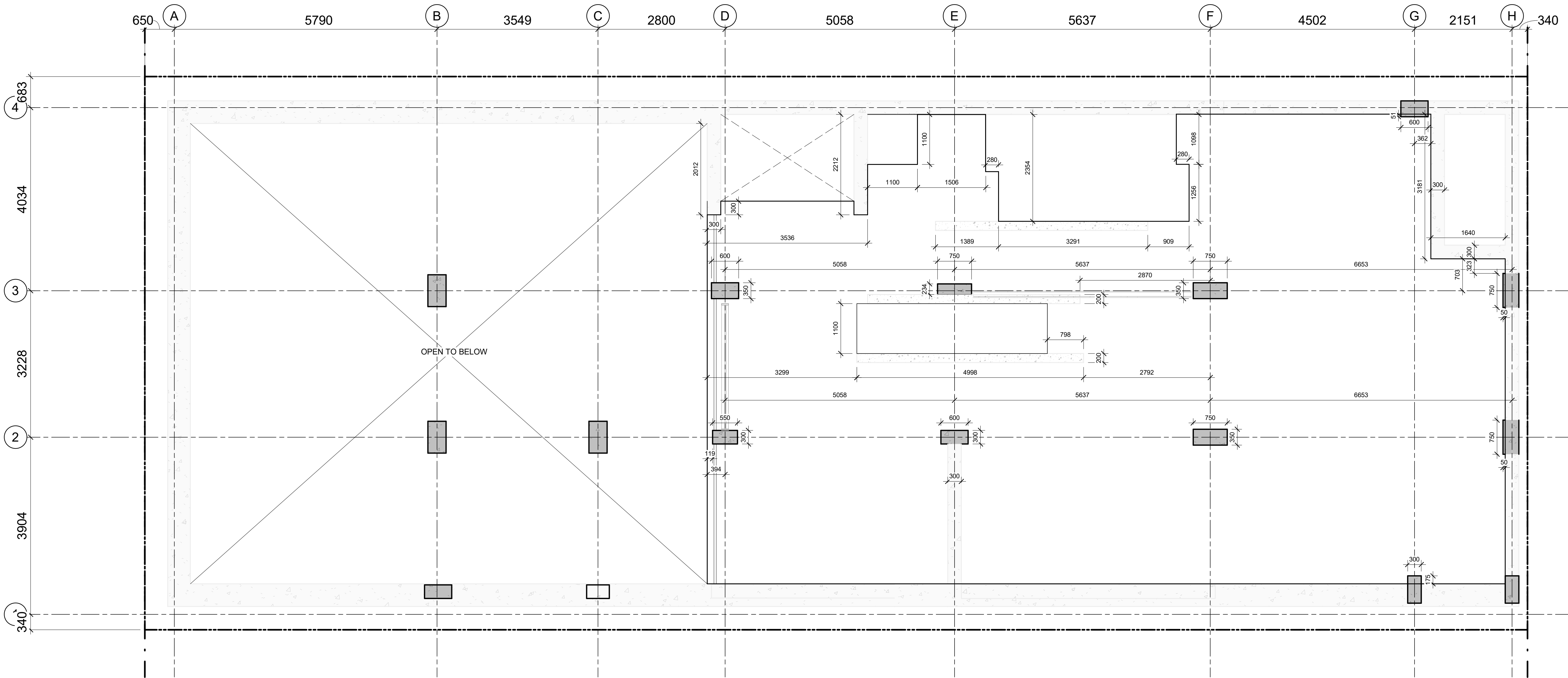
SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A150.1**

REVISION NO. / NO. DE RÉVISION :



1 SLAB EDGE PLAN - B1  
A150.1 1 : 50

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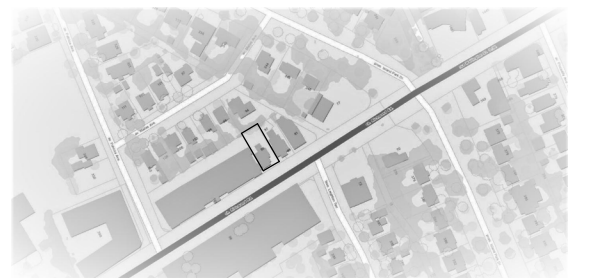
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9	ISSUED FOR CONSTRUCTION	23/01/16
1	VERIFICATION	22/05/12
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SLAB EDGE PLAN B2**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

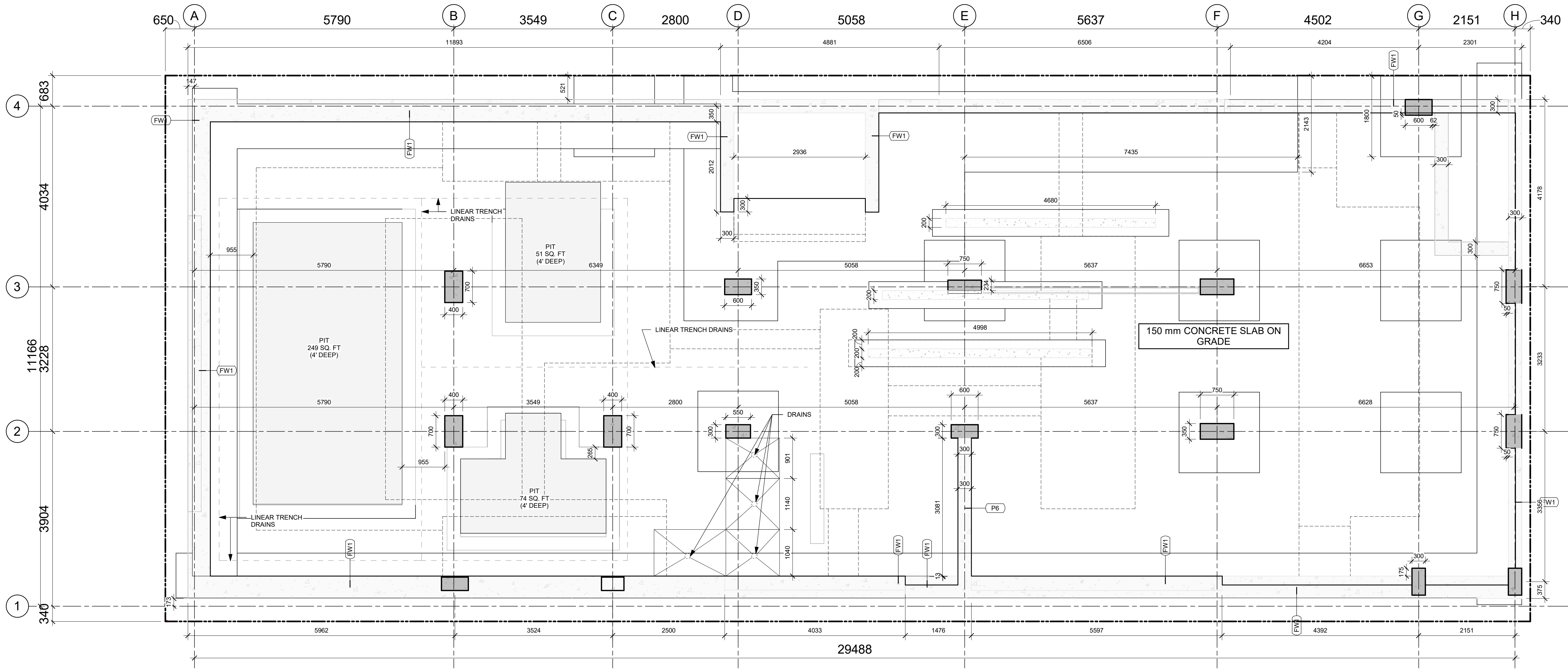
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PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A150.2**

REVISION NO. / NO. DE RÉVISION :



2 SLAB EDGE PLAN - B2  
A150.2 1 : 50

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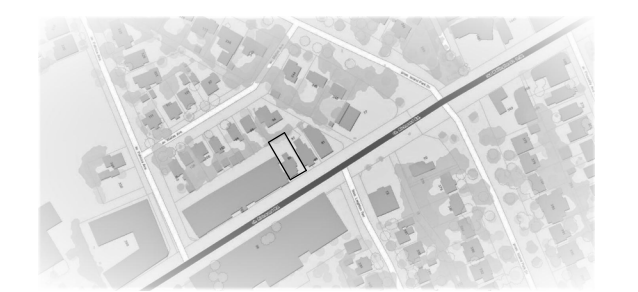
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9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SLAB EDGE PLAN GROUND**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

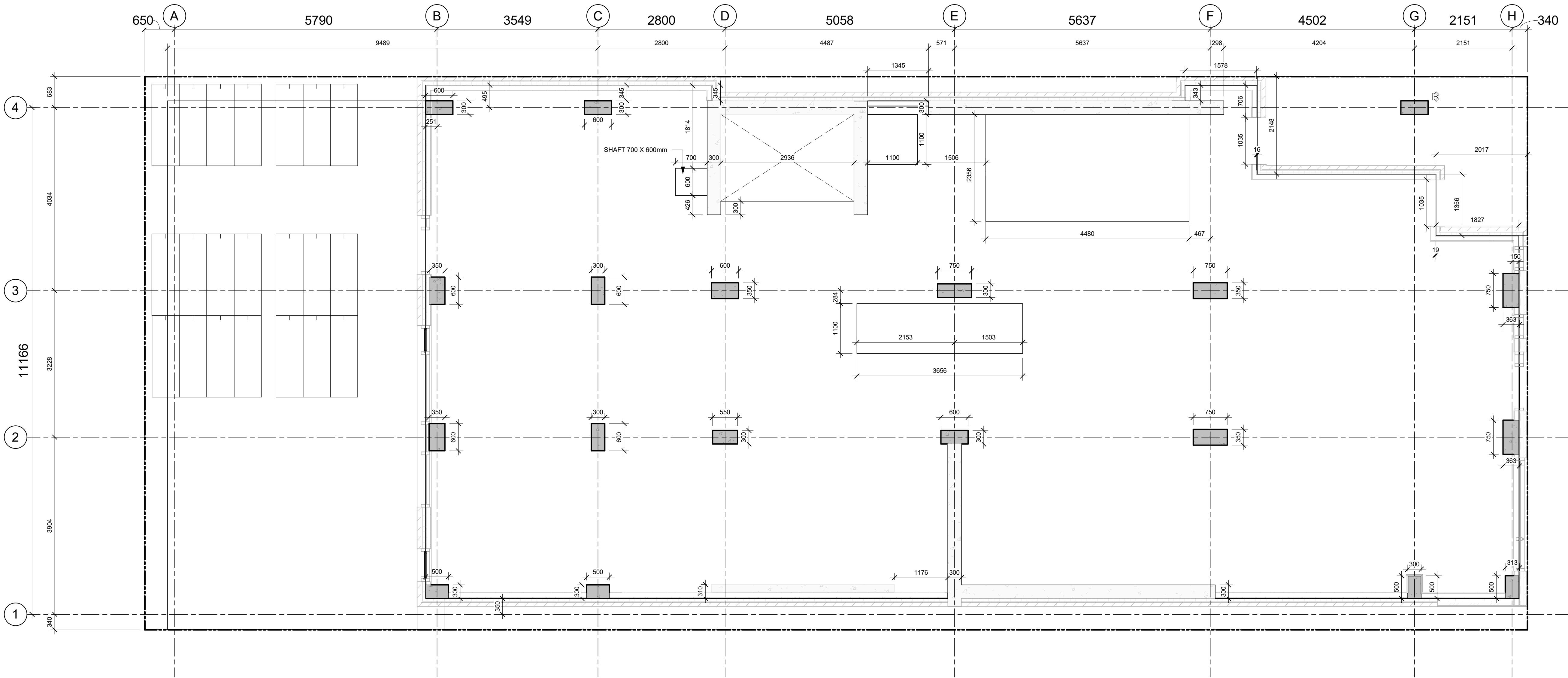
REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1  
DWG NO. / NO. DESSIN :

**A151**

REVISION NO. / NO. DE RÉVISION :



1 SLAB EDGE PLAN - GROUND LEVEL  
A151 1 : 50

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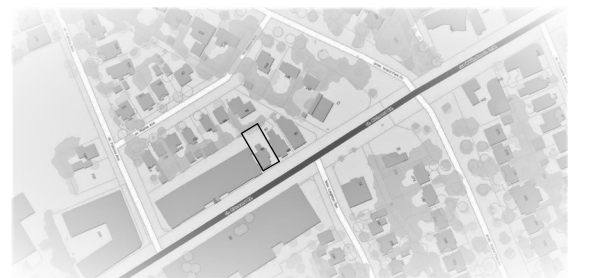
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9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SLAB EDGE PLAN SECOND**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

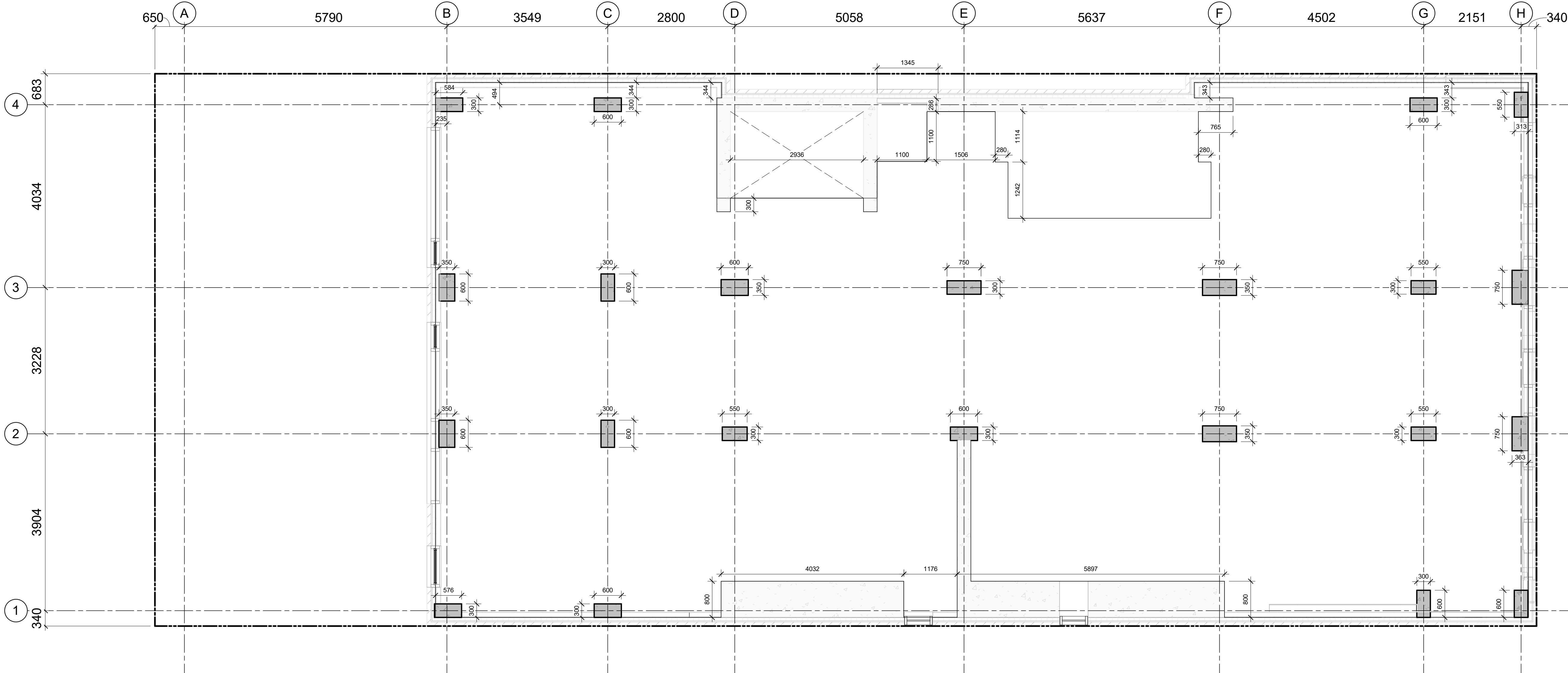
SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A152**

REVISION NO. / NO. DE RÉVISION :



1 SLAB EDGE PLAN - LEVEL 2  
A152 1 : 50

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotem.com

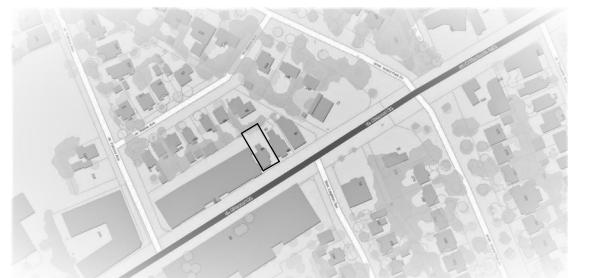
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**KEY PLAN / PLAN CLÉ :**



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9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

**SLAB EDGE PLAN THIRD AND FOURTH**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

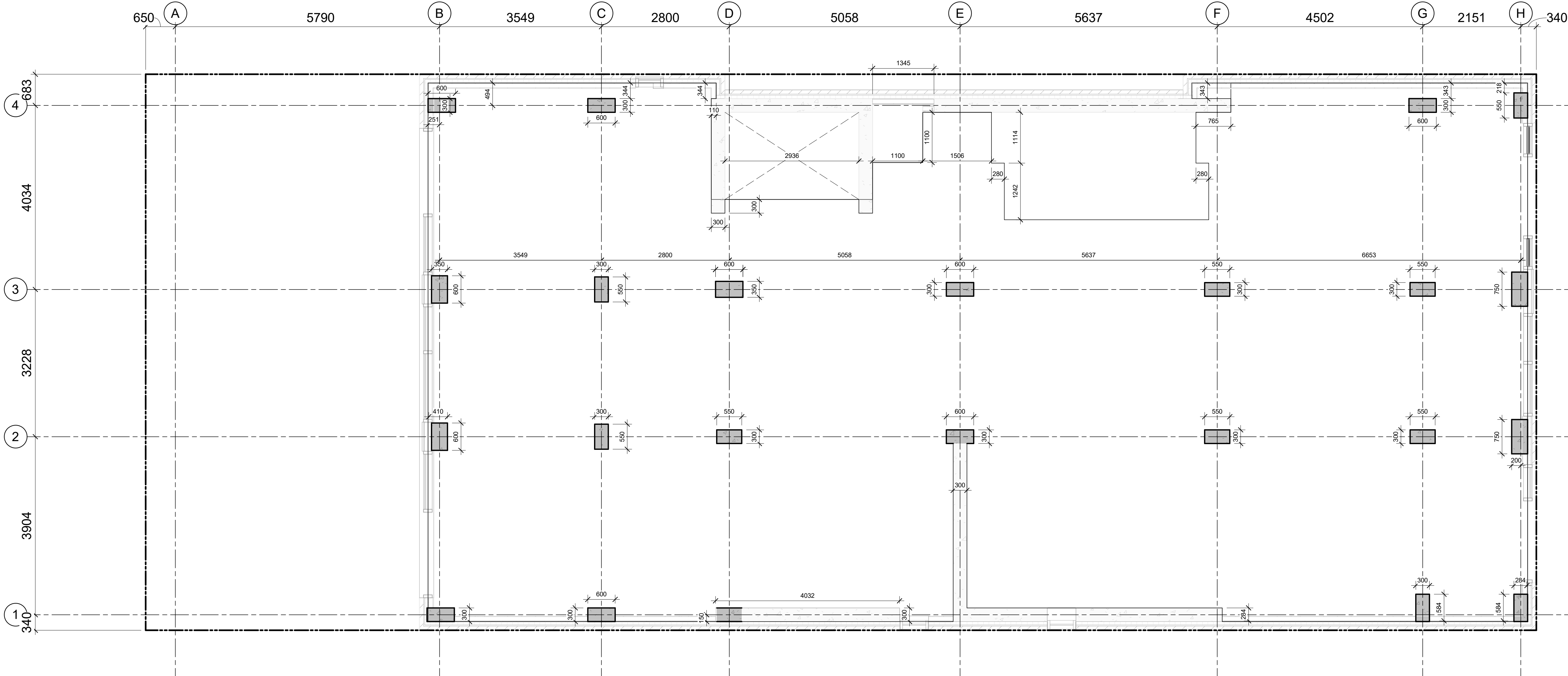
REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A153

REVISION NO. / NO. DE RÉVISION : 9



1 SLAB EDGE PLAN - LEVEL 3-4  
A153 1 : 50



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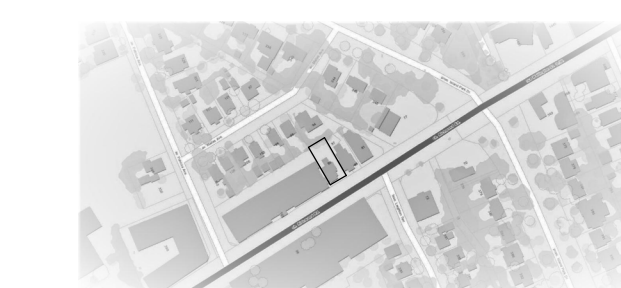
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KEY PLAN / PLAN CLÉ :



CLIENT :

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9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOM DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### SLAB EDGE PLAN FIFTH

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : 1 : 50

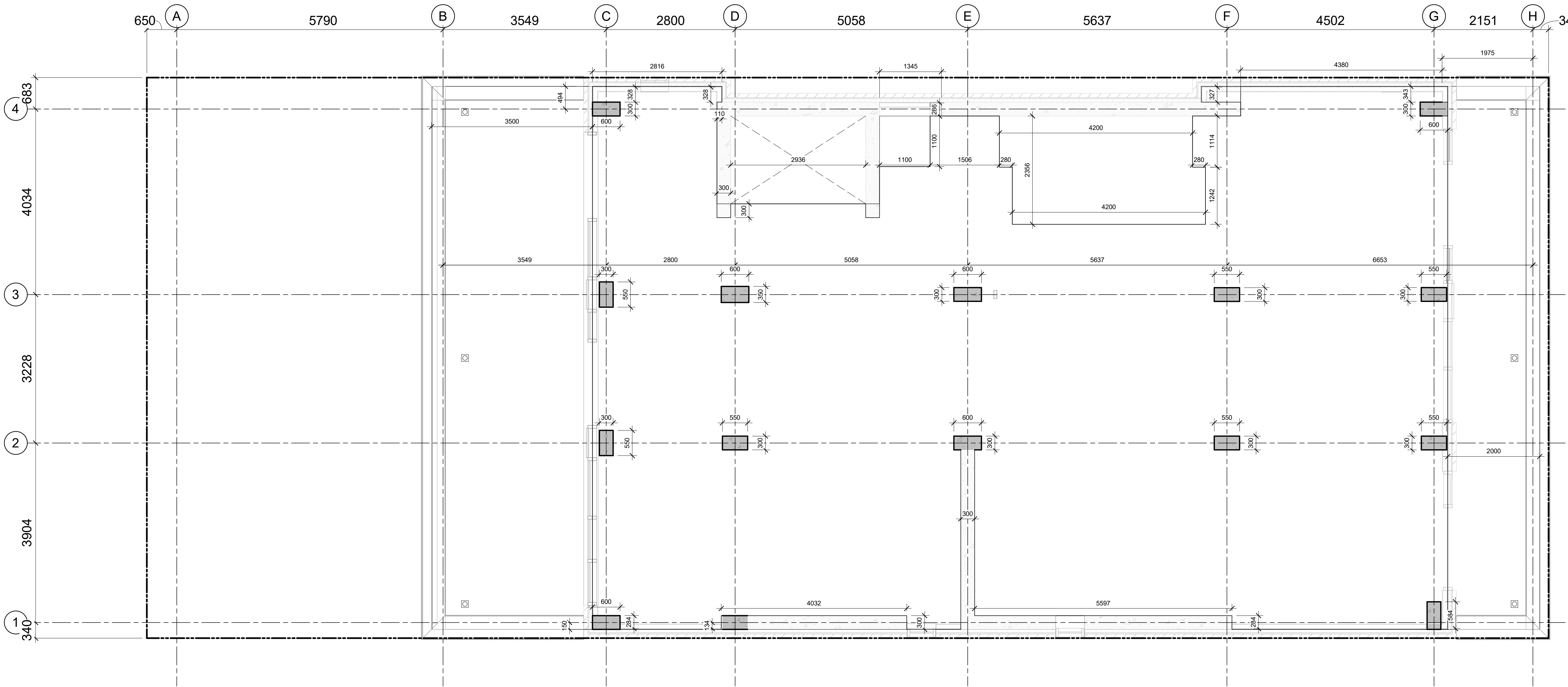
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A154

REVISION NO. / NO. DE RÉVISION :

A154

D07-12-16-0087 9



1 SLAB EDGE PLAN - LEVEL 5  
A154 1 : 50

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**LANDSCAPE ARCHITECT**  
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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotem.com

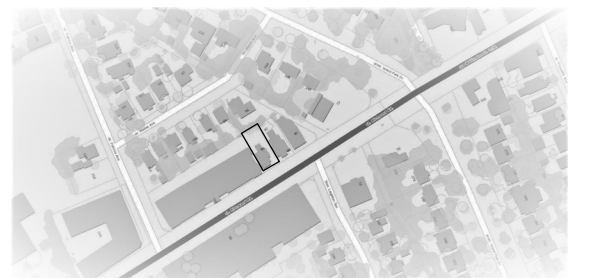
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SLAB EDGE PLAN SIXTH**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

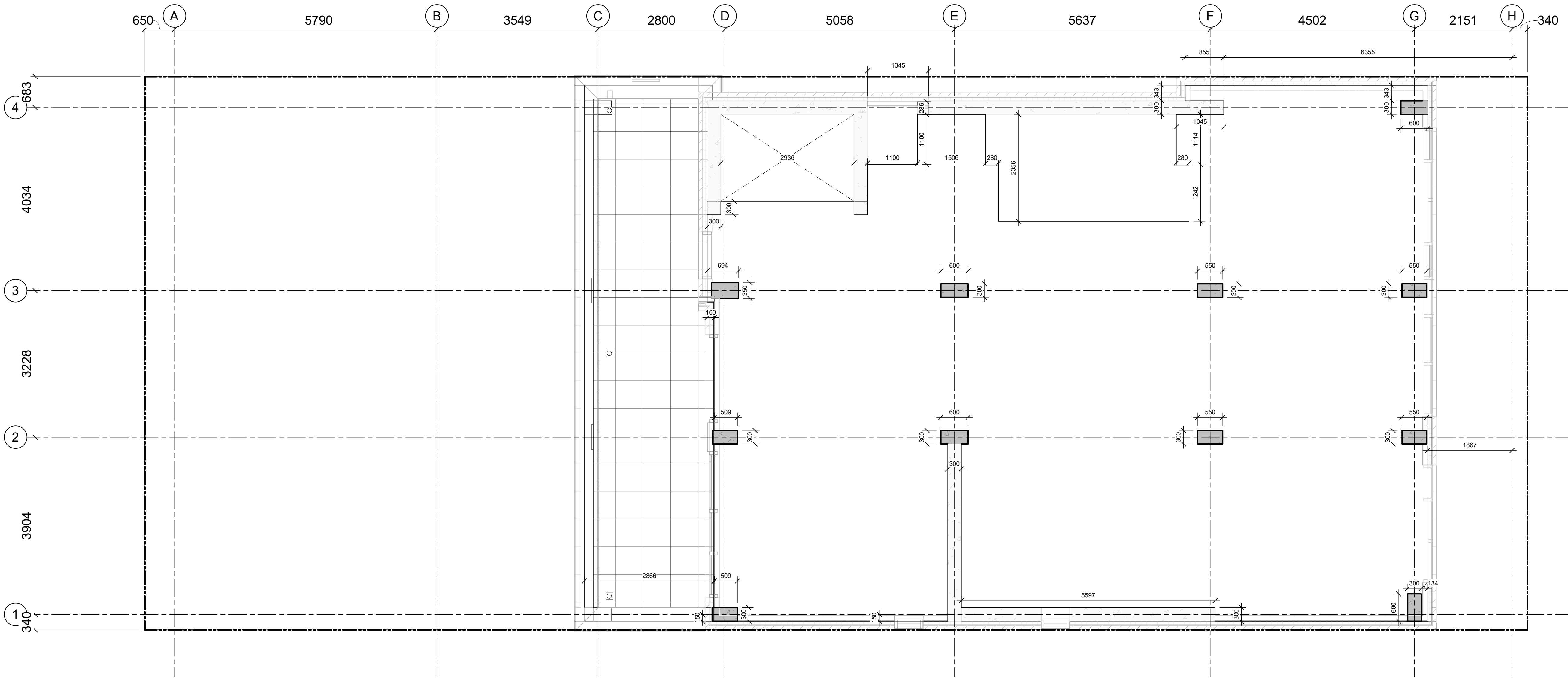
SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A156**

REVISION NO. / NO. DE RÉVISION :



1 SLAB EDGE PLAN - LEVEL 6  
A156 1 : 50

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**LANDSCAPE ARCHITECT**  
223 McLeod Street Tel: 613 730 5709  
Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbas@fotem.com

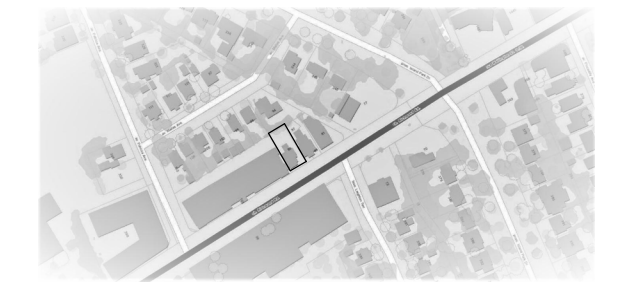
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**STRUCTURAL ENGINEER**  
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SLAB EDGE PLAN  
PENTHOUSE**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

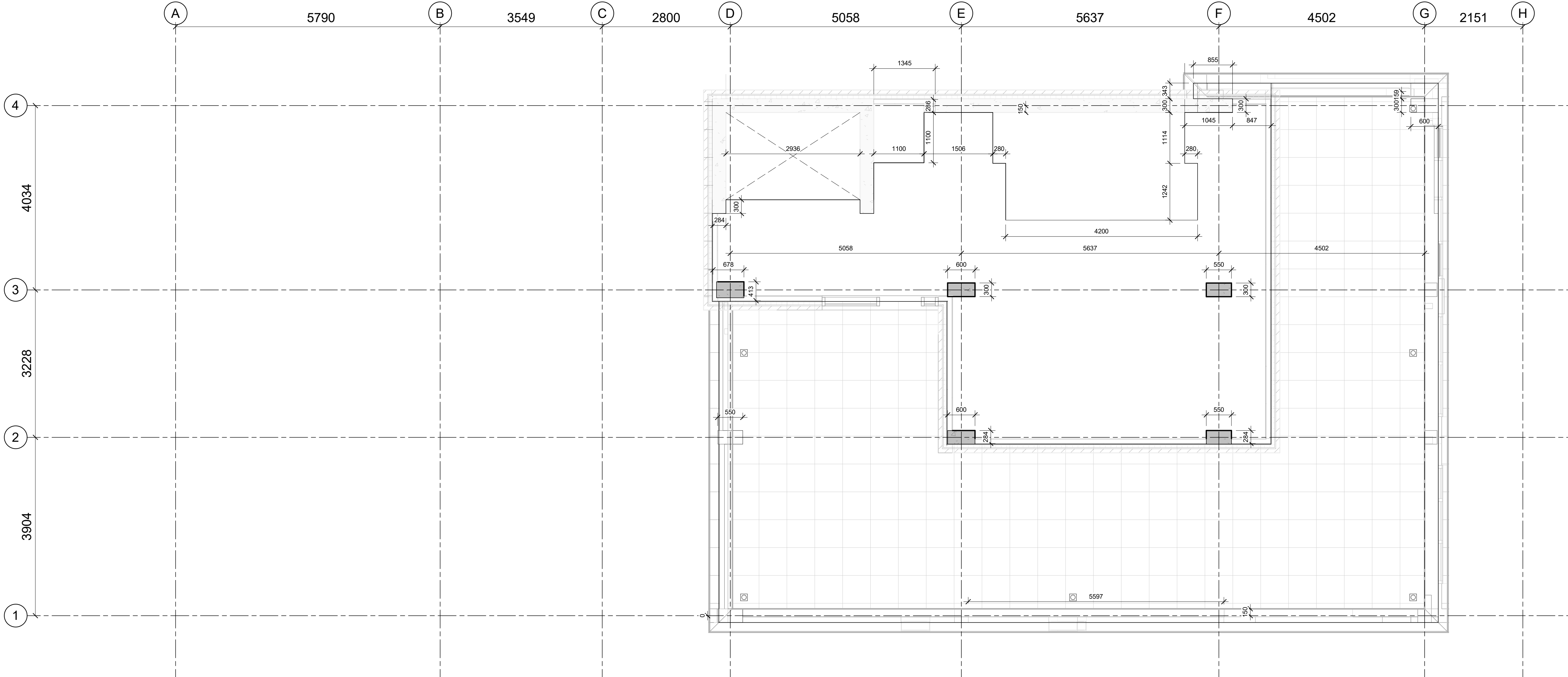
SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A157**

REVISION NO. / NO. DE RÉVISION :



1 SLAB EDGE PLAN - PENTHOUSE  
A157 1 : 50

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbasi@foterm.com

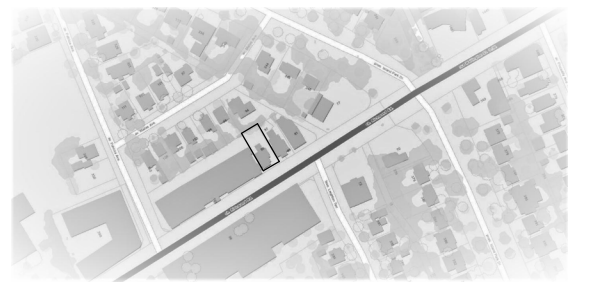
**PROJECT DEVELOPER**  
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**SLAB EDGE PLAN MEC ROOF**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

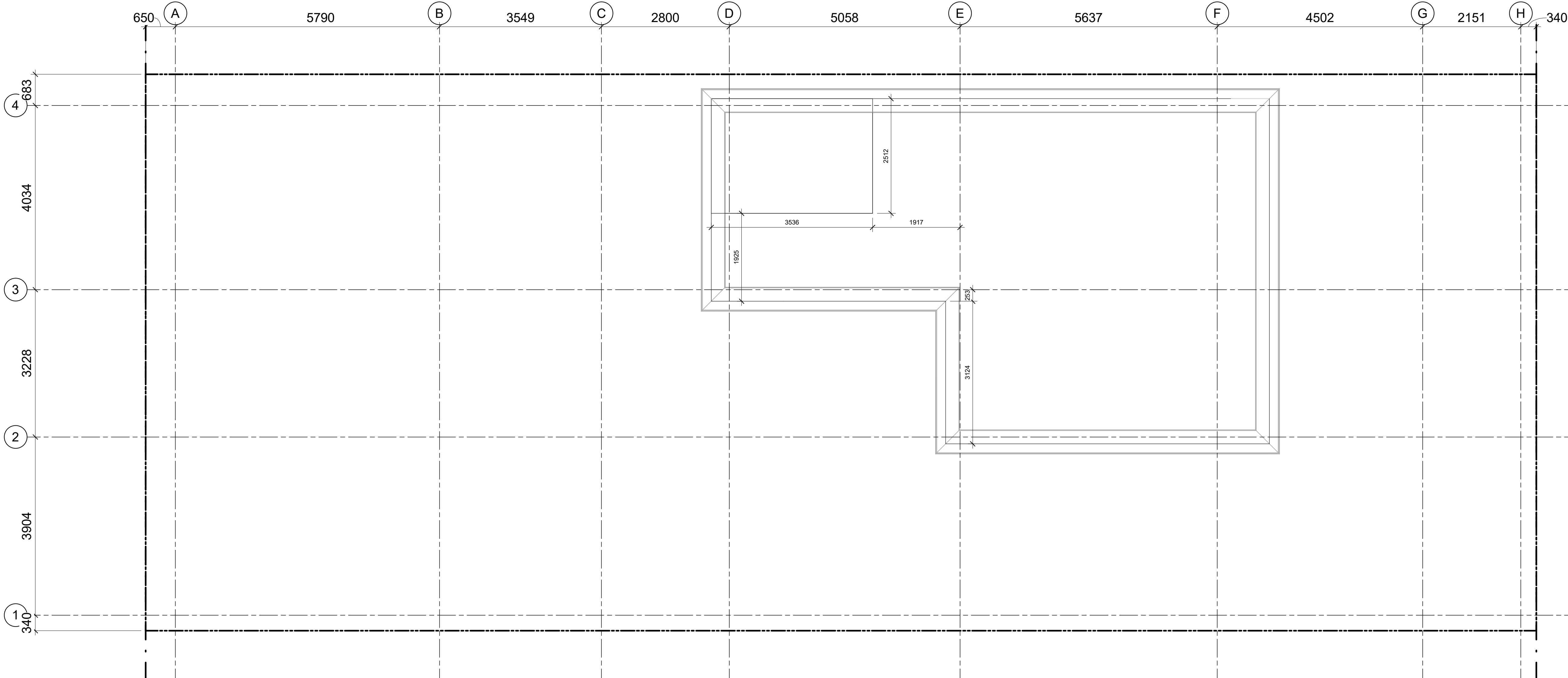
REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A158

REVISION NO. / NO. DE RÉVISION :



1  
A158  
SLAB EDGE PLAN - ROOF  
1 : 50

**GENERAL NOTES**

**NOTE A:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

**NOTE B:** ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

**NOTE C:** THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VALIDATING ALL DIMENSIONS ON SITE AND REPORTING ANY ERRORS AND/OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.

**NOTE D:** REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

**NOTE E:** DO NOT MEASURE DRAWINGS.

**NOTE F:** ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

**NOTE G:** REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR D OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

B2 LEVEL : 20 PER SEX = 40  
B1 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2<sup>ND</sup> LEVEL : 20 PER SEX = 40

**ELEVATION NOTES:**

1. REFER TO PLAN FOR ROOF DIMENSIONS AND SLOPES




2. REFER TO DOOR AND WINDOW SCHEDULES FOR DIMENSIONS AND GLAZING TYPES.

3. VENT GRILLS, ELECTRICAL OUTLETS AND LIGHT FIXTURES TO BE PROPERLY SEALED IN CLADDING.

4. FOR WALL ASSEMBLIES, REFER TO A-020

5. FOR ALL WALL OPENING LOCATIONS AND DIMENSIONS REFER TO WINDOW ELEVATIONS ON PAGE A801-802

**MATERIAL LEGEND**

-  B-1 BRICK CLADDING TYPE-1  
- COLOUR: GREY
-  M-1 ALUMINIUM PANELS  
- COLOUR: BLEACHED CEDAR
-  M-2 ALUMINIUM PANELS  
- COLOUR: CHARCOAL

**SPATIAL SEPARATION OF EXTERIOR WALLS**

FACADE	AREA OF EBF	PERMITTED %	PROPOSED %
NORTH A	164.220 m <sup>2</sup>	52%	42%
NORTH B	37.154 m <sup>2</sup>	100%	54%
NORTH C	55.973 m <sup>2</sup>	100%	23%
SOUTH	270.172 m <sup>2</sup>	100%	37%
EAST	488.239 m <sup>2</sup>	0%	0%
WEST	441.216 m <sup>2</sup>	0%	0%

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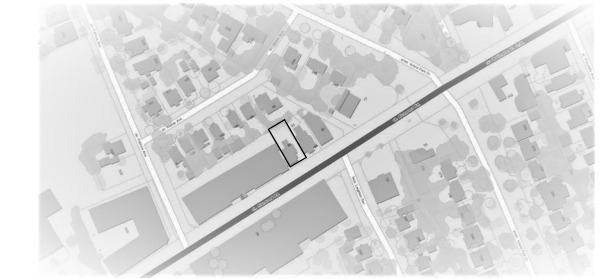
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**KEY PLAN / PLAN CLÉ :**



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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**ELEVATION - EAST**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

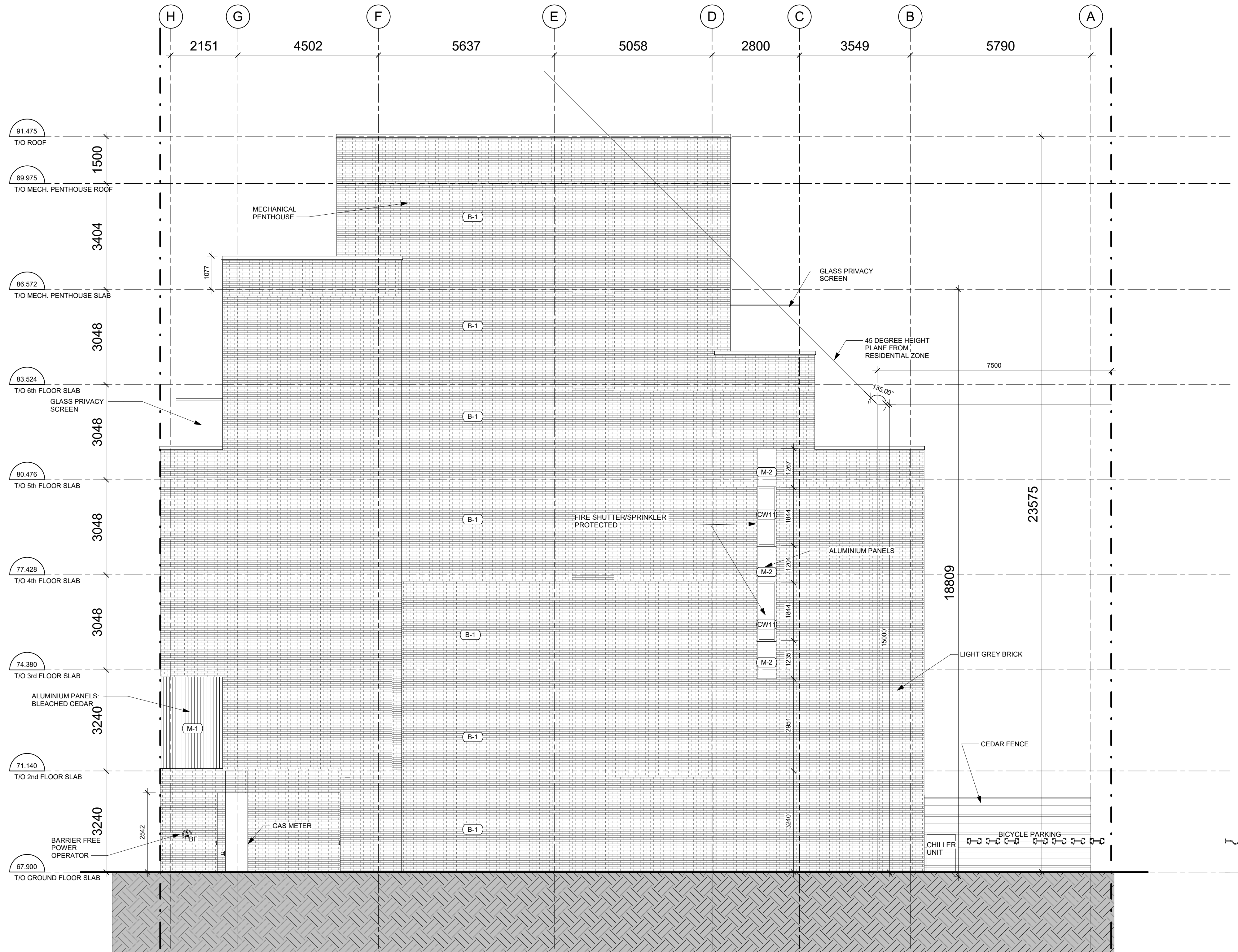
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A200

REVISION NO. / NO. DE RÉVISION :



**1 EAST ELEVATION**  
A200 1:75

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbasi@fotern.com

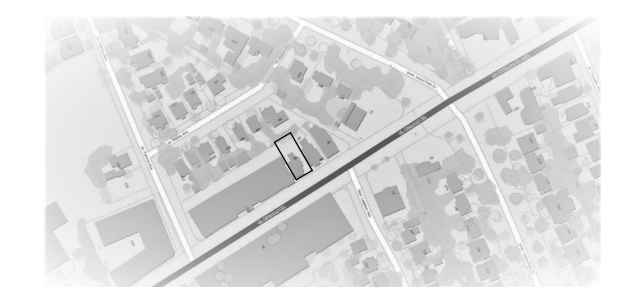
PROJECT DEVELOPER  
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

Revision Number description date

PROJECT NAME / NOM DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### ELEVATION - WEST

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

## A201

REVISION NO. / NO. DE RÉVISION :

### GENERAL NOTES

NOTE-A: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VALIDATING ALL DIMENSIONS ON SITE AND REPORTING ANY ERRORS AND/OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.

NOTE-D: REFER TO THE LANDSCAPING PLAN FOR ALL LANDSCAPING ITEMS.

NOTE-E: DO NOT MEASURE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE STANDARDS, CODES AND REGULATIONS.

NOTE-G: REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

WATER CLOSET CALCULATION FOR OCCUPANCY  
OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

81 LEVEL : 20 PER SEX = 40  
82 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2<sup>ND</sup> LEVEL : 20 PER SEX = 40

### ELEVATION NOTES:

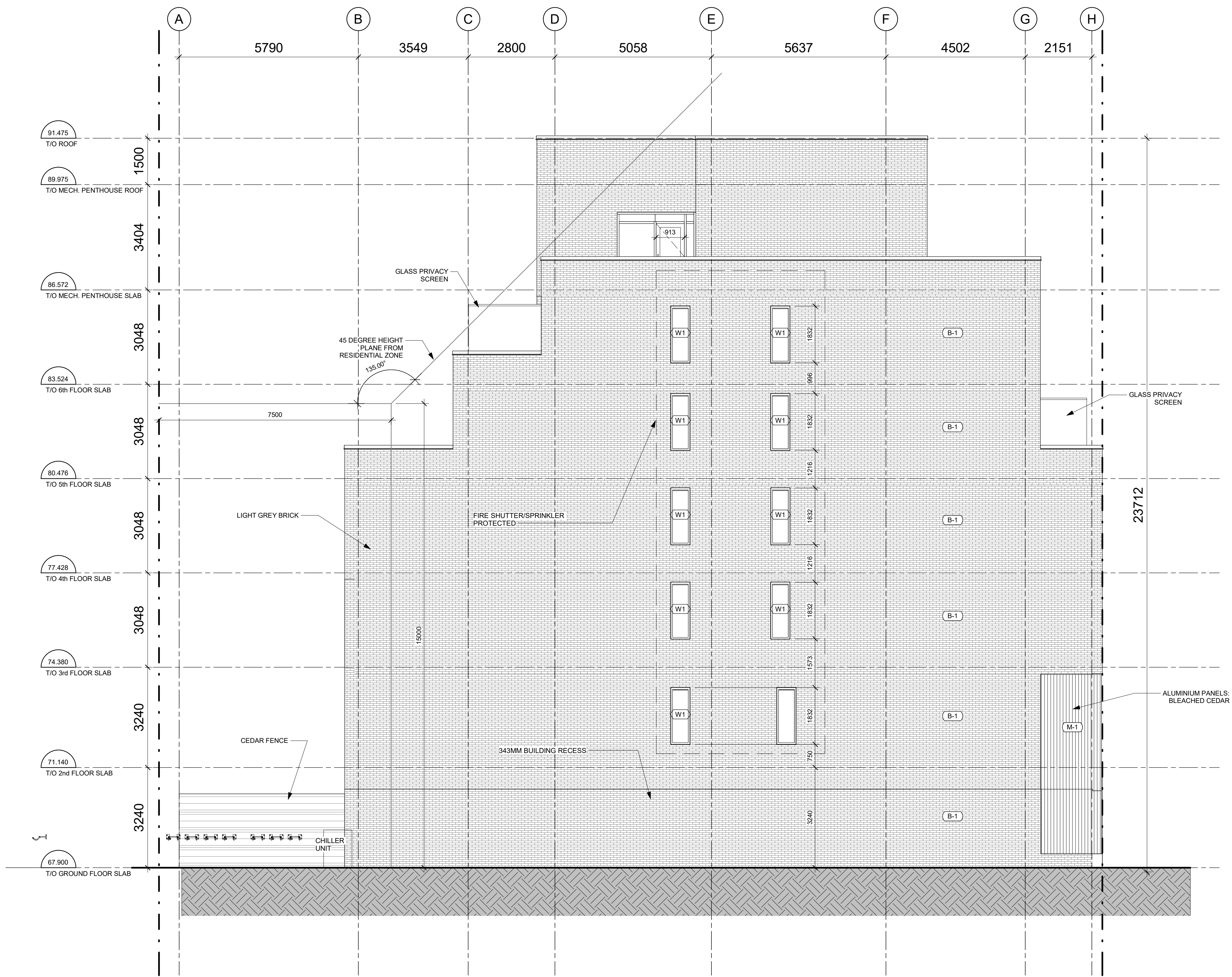
- REFER TO PLAN FOR ROOF DIMENSIONS AND SLOPES
- REFER TO DOOR AND WINDOW SCHEDULES FOR DIMENSIONS AND GLAZING TYPES.
- VENT GRILLS, ELECTRICAL OUTLETS AND LIGHT FIXTURES TO BE PROPERLY SEALED IN CLADDING.
- FOR WALL ASSEMBLIES, REFER TO A-020
- FOR ALL WALL OPENING LOCATIONS AND DIMENSIONS REFER TO WINDOW ELEVATIONS ON PAGE A801-802

### MATERIAL LEGEND

- B-1 BRICK CLADDING TYPE-1  
- COLOUR : GREY
- M-1 ALUMINIUM PANELS  
- COLOUR : BLEACHED CEDAR
- M-2 ALUMINIUM PANELS  
- COLOUR : CHARCOAL

### SPATIAL SEPARATION OF EXTERIOR WALLS

FACADE	AREA OF EBF	PERMITTED %	PROPOSED %
NORTH A	164.229 m <sup>2</sup>	52%	42%
NORTH B	37.154 m <sup>2</sup>	100%	54%
NORTH C	55.973 m <sup>2</sup>	100%	23%
SOUTH	270.172 m <sup>2</sup>	100%	37%
EAST	488.239 m <sup>2</sup>	0%	0%
WEST	441.216 m <sup>2</sup>	0%	0%



1 WEST ELEVATION  
A201 1 : 75

**GENERAL NOTES**

NOTE-A: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING DRAWINGS FROM OTHER CONSULTANTS. ANY INCONSISTENCIES BETWEEN DRAWINGS MUST BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING CONSTRUCTION.

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NOTE-G: REFER TO THE LANDSCAPE PLAN FOR ALL SITE FURNISHINGS.

**WATER CLOSET CALCULATION FOR OCCUPANCY**

OCCUPANCY BY DESIGN: 47 OF EACH (84 TOTAL)  
(3 FOR EACH SEX PER O.B.C. TABLE 3.7.4.7.)

82 LEVEL : 20 PER SEX = 40  
81 LEVEL : 2 PER SEX = 4  
GF LEVEL : 5 PER SEX = 10  
2<sup>ND</sup> LEVEL : 20 PER SEX = 40

**ELEVATION NOTES:**

- REFER TO PLAN FOR ROOF DIMENSIONS AND SLOPES
- REFER TO DOOR AND WINDOW SCHEDULES FOR DIMENSIONS AND GLAZING TYPES.
- VENT GRILLS, ELECTRICAL OUTLETS AND LIGHT FIXTURES TO BE PROPERLY SEALED IN CLADDING.
- FOR WALL ASSEMBLIES, REFER TO A-020
- FOR ALL WALL OPENING LOCATIONS AND DIMENSIONS REFER TO WINDOW ELEVATIONS ON PAGE A801-A802

**MATERIAL LEGEND**

- B-1 BRICK CLADDING TYPE-1  
- COLOUR : GREY
- M-1 ALUMINIUM PANELS  
- COLOUR : BLEACHED CEDAR
- M-2 ALUMINIUM PANELS  
- COLOUR : CHARCOAL

**SPATIAL SEPARATION OF EXTERIOR WALLS**

FACADE	AREA OF EBF	PERMITTED %	PROPOSED %
NORTH A	164.229 m <sup>2</sup>	52%	42%
NORTH B	37.154 m <sup>2</sup>	100%	54%
NORTH C	55.973 m <sup>2</sup>	100%	23%
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EAST	488.239 m <sup>2</sup>	0%	0%
WEST	441.216 m <sup>2</sup>	0%	0%

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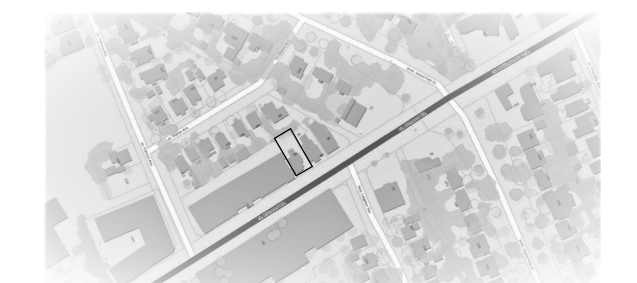
**PROJECT DEVELOPER**  
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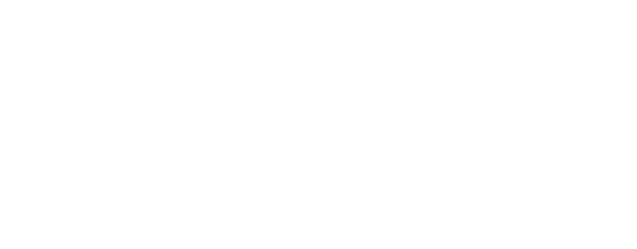
**STRUCTURAL ENGINEER**  
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Email: bjohanson@clelandjardine.com

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**KEY PLAN / PLAN CLÉ :**



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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

**PROJECT NAME / NOM DU PROJET :**

**89 RICHMOND RD**

**DRAWING NAME / NOM DU DESSIN :**

**ELEVATION - NORTH AND SOUTH**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

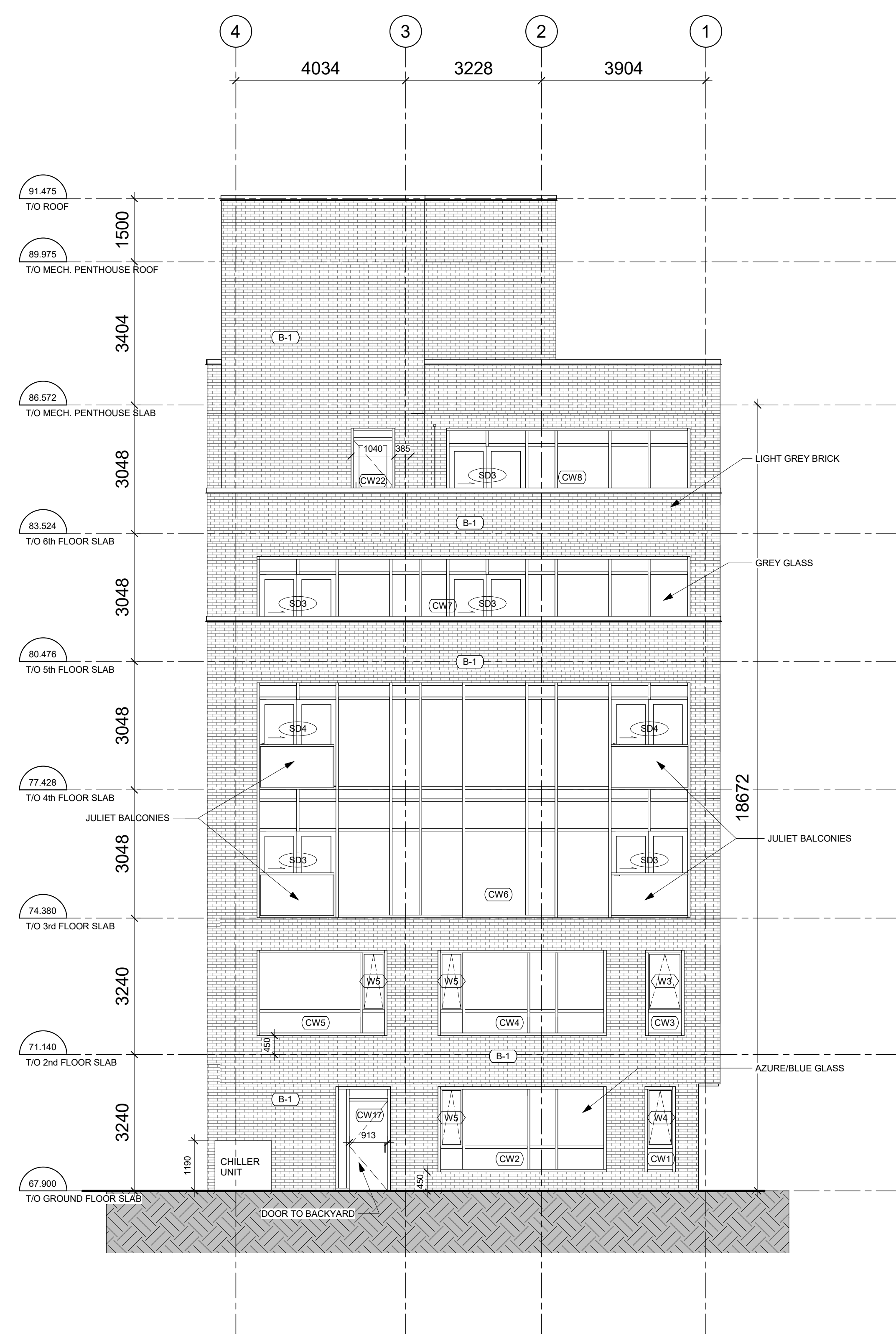
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : As indicated

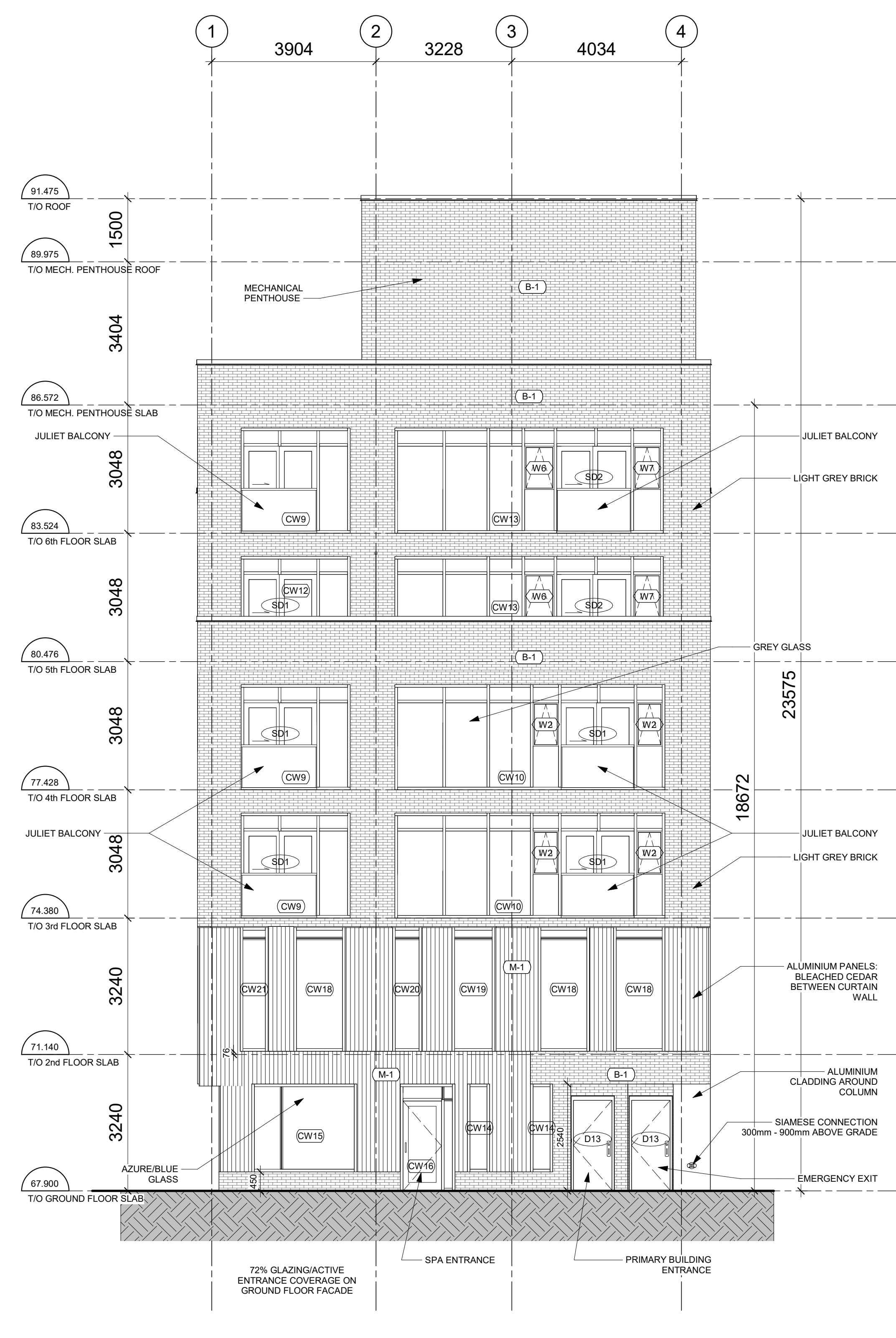
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A202

REVISION NO. / NO. DE RÉVISION :



**1 NORTH ELEVATION**  
A202 1 : 75



**2 SOUTH ELEVATION**  
A202 1 : 75

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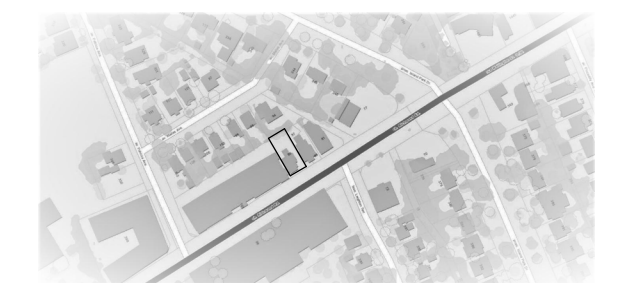
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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
5	SPA Approval	22/09/19
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**BUILDING SECTIONS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

REVIEWED BY / VÉRIFIÉ PAR : PP

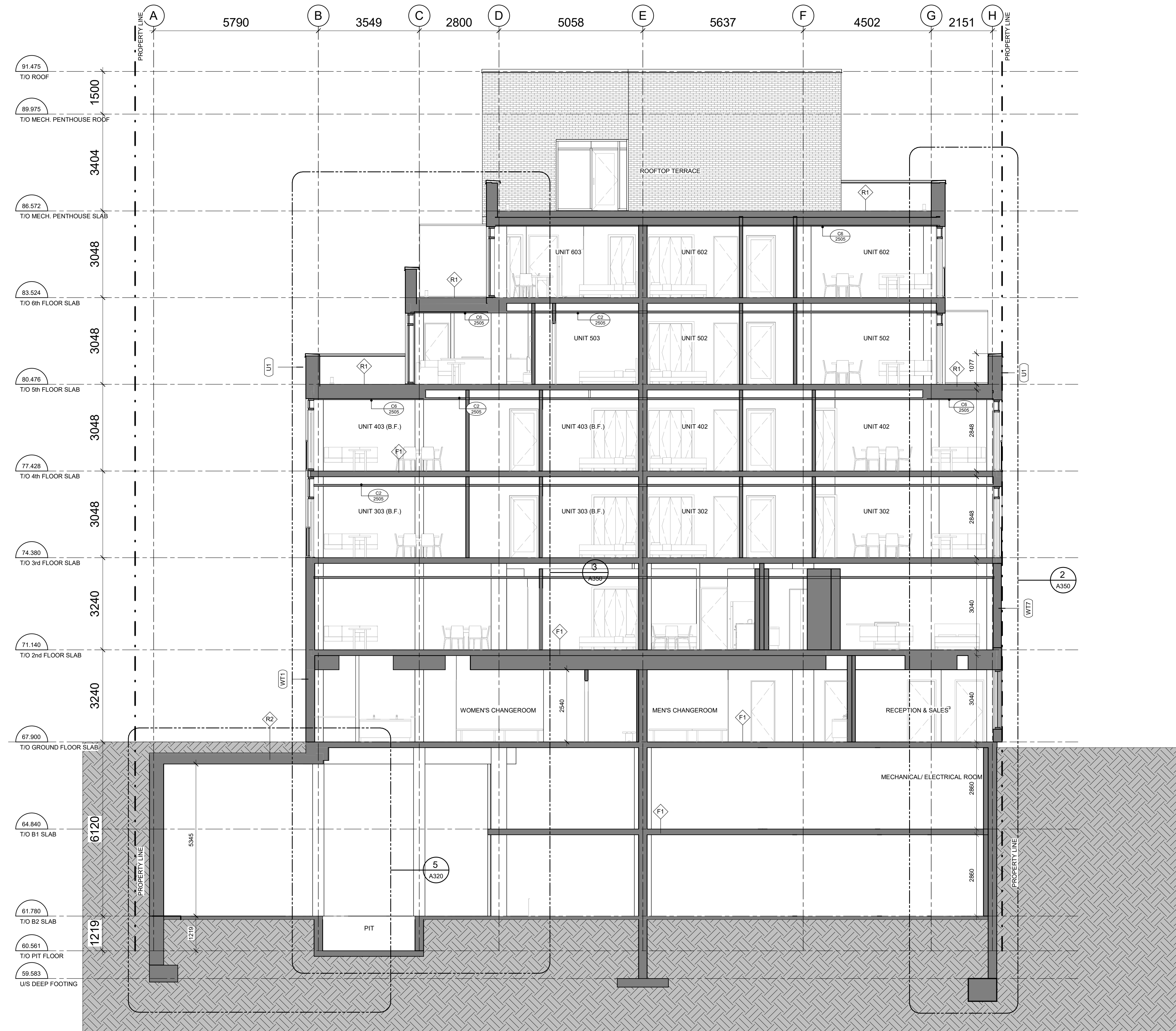
SCALE / ÉCHELLE : 1 : 75

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A300**

REVISION NO. / NO. DE RÉVISION :



**BUILDING SECTION\_1**  
1 : 75



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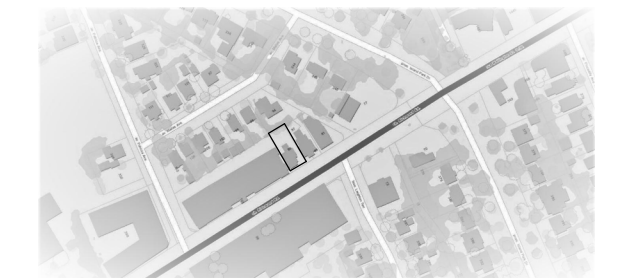
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3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12
	Revision Number	description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**BUILDING SECTIONS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

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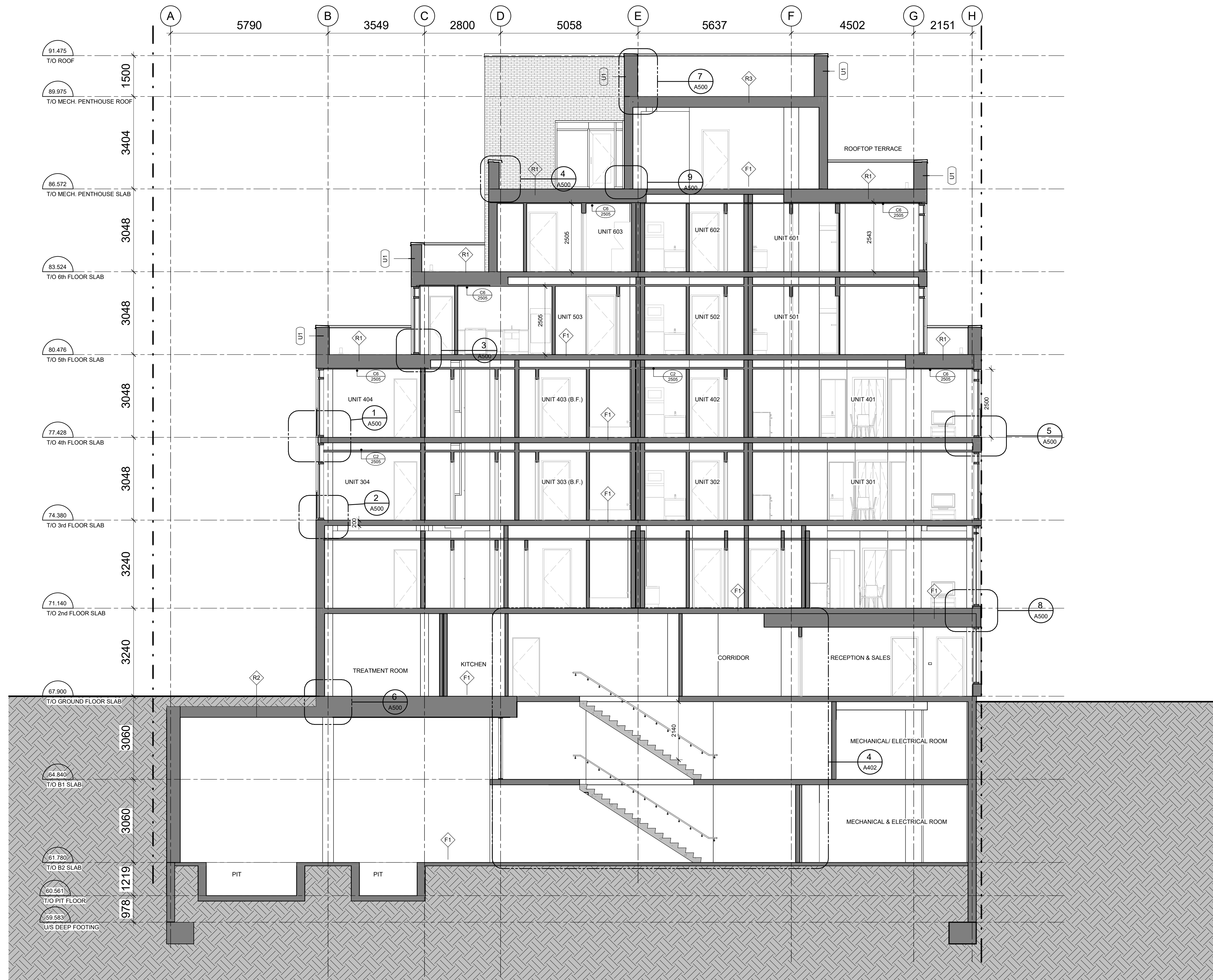
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : 1 : 75

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A301

REVISION NO. / NO. DE RÉVISION :



SECTION THROUGH WELLNESS CENTRE STAIR  
1 : 75

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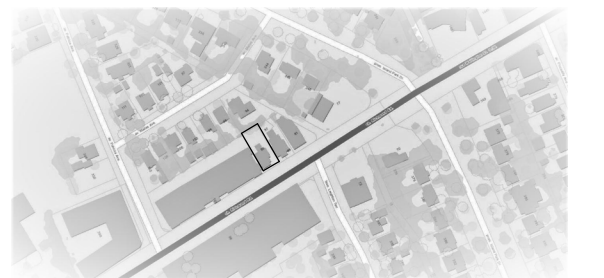
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8	ISSUED FOR 99% PERMIT RESUBMITTAL	22/12/09
6	Permit Resubmittal	22/12/02
5	SPA Approval	22/09/19
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12

PROJECT NAME / NOM DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### BUILDING SECTIONS

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

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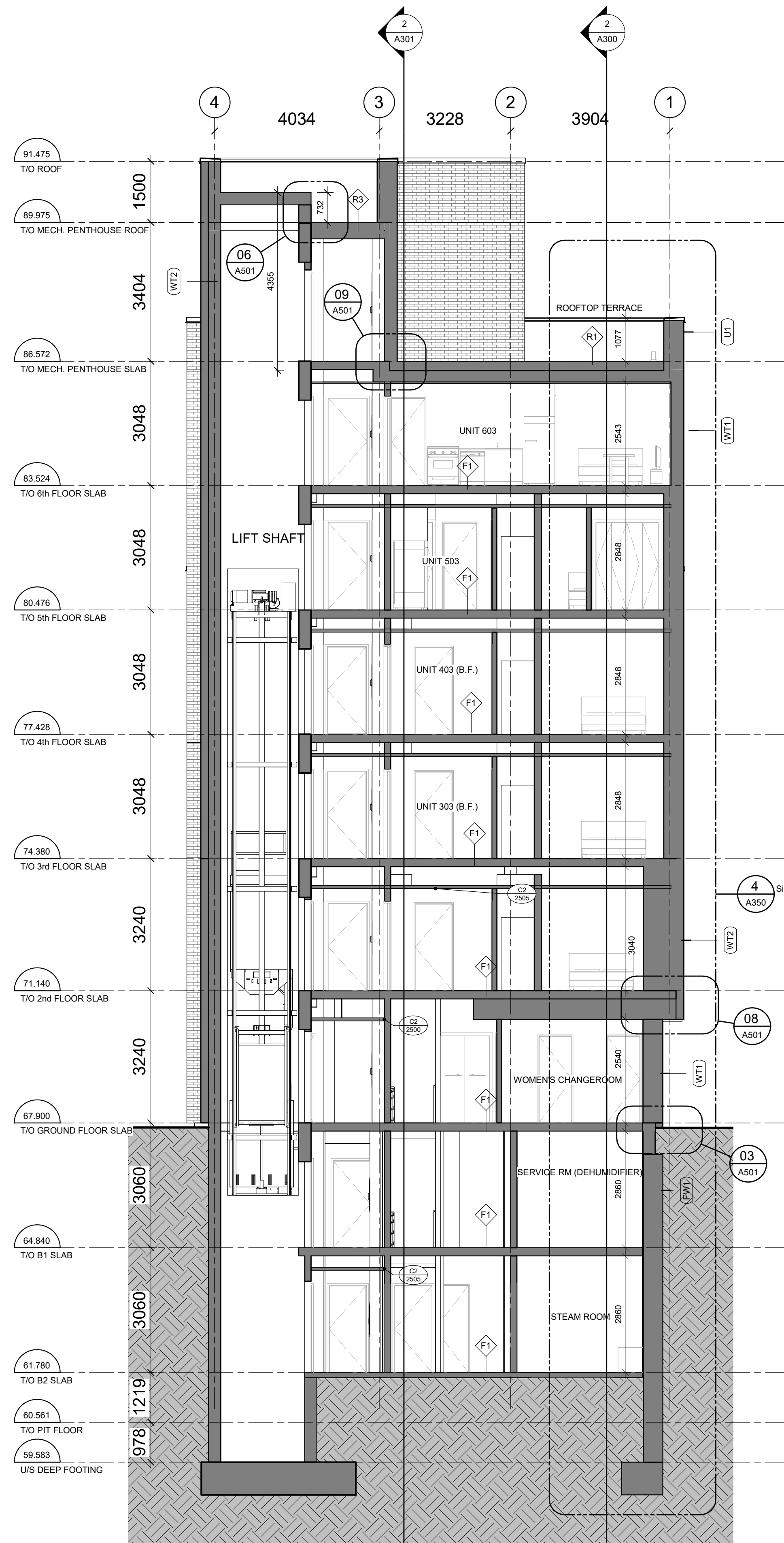
REVIEWED BY / VÉRIFIÉ PAR : PP

SCALE / ÉCHELLE : 1 : 75

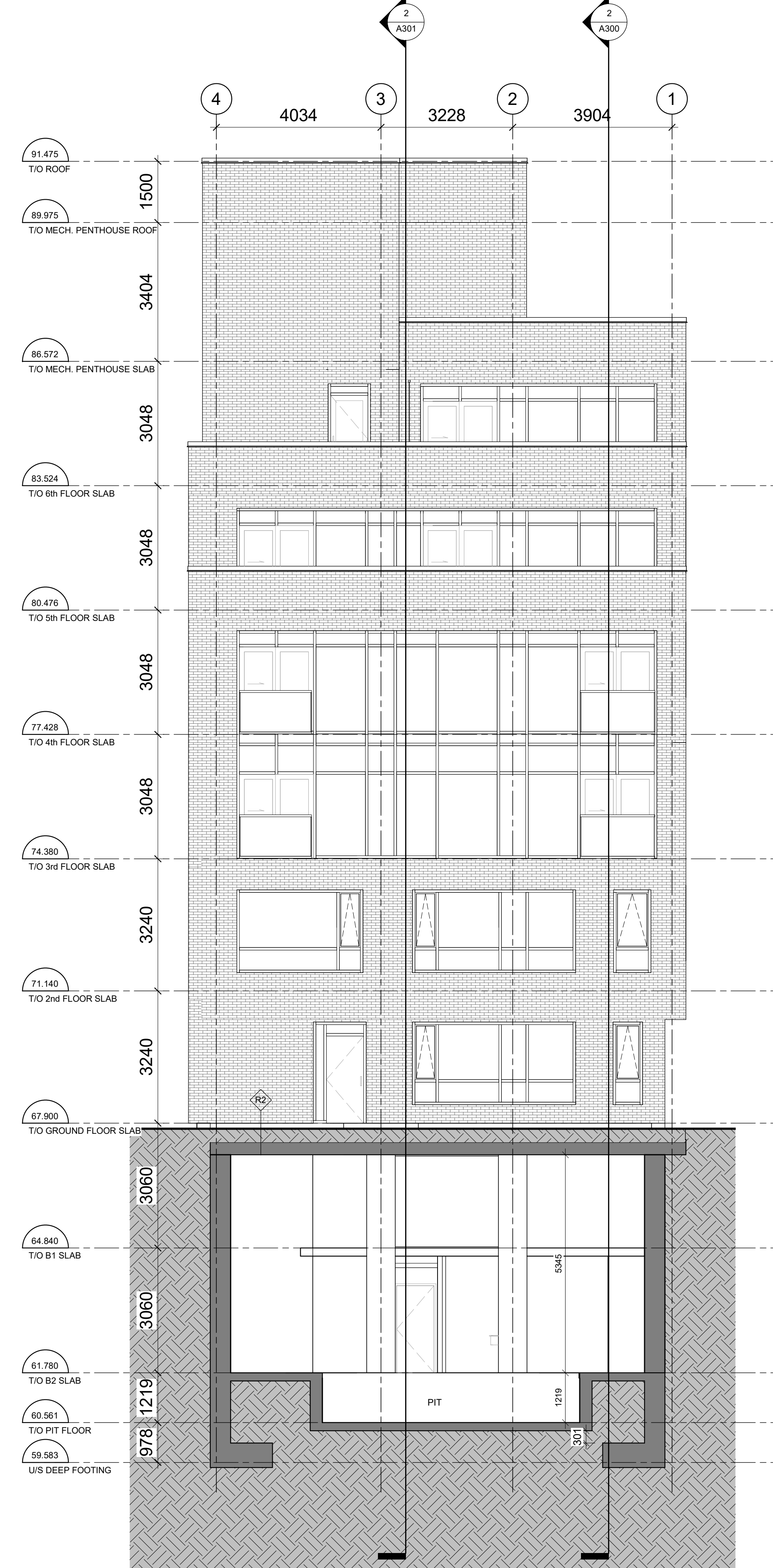
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A302

REVISION NO. / NO. DE RÉVISION : 9



1 SECTION THROUGH ELEVATOR SHAFT  
A302 1 : 75



2 SECTION THROUGH ZEN GARDEN  
A302 1 : 75

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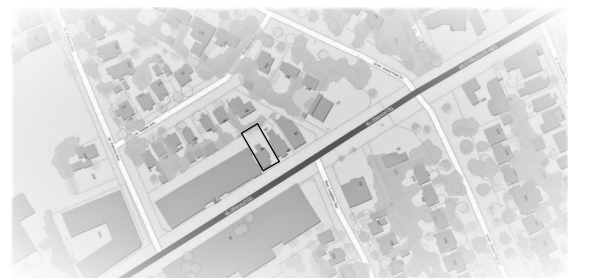
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3	ISSUED FOR BUILDING PERMIT	22/07/29
2	CO-ORDINATION	22/06/13
1	VERIFICATION	22/05/12
	Revision Number	description date

PROJECT NAME / NOM DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### BUILDING SECTIONS

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : LG / ET

REVIEWED BY / VÉRIFIÉ PAR : PP

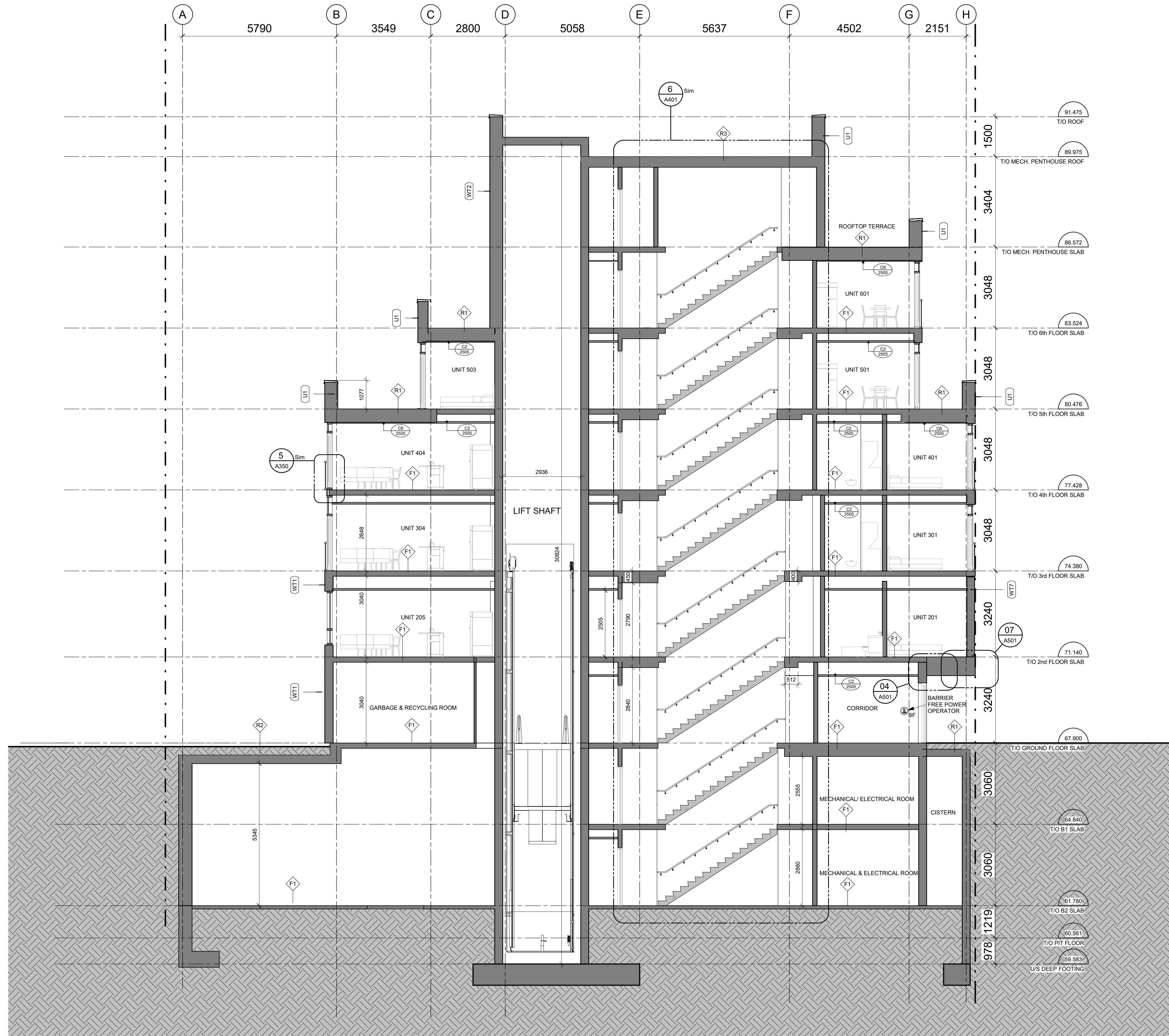
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PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A303

A303

REVISION NO. / NO. DE RÉVISION : 9



1 SECTION THROUGH STAIRCASE  
A303 1 : 75

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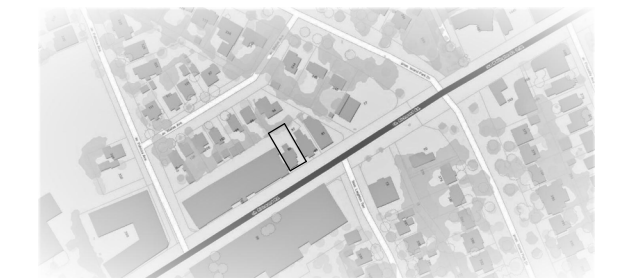
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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**PARTIAL SECTIONS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

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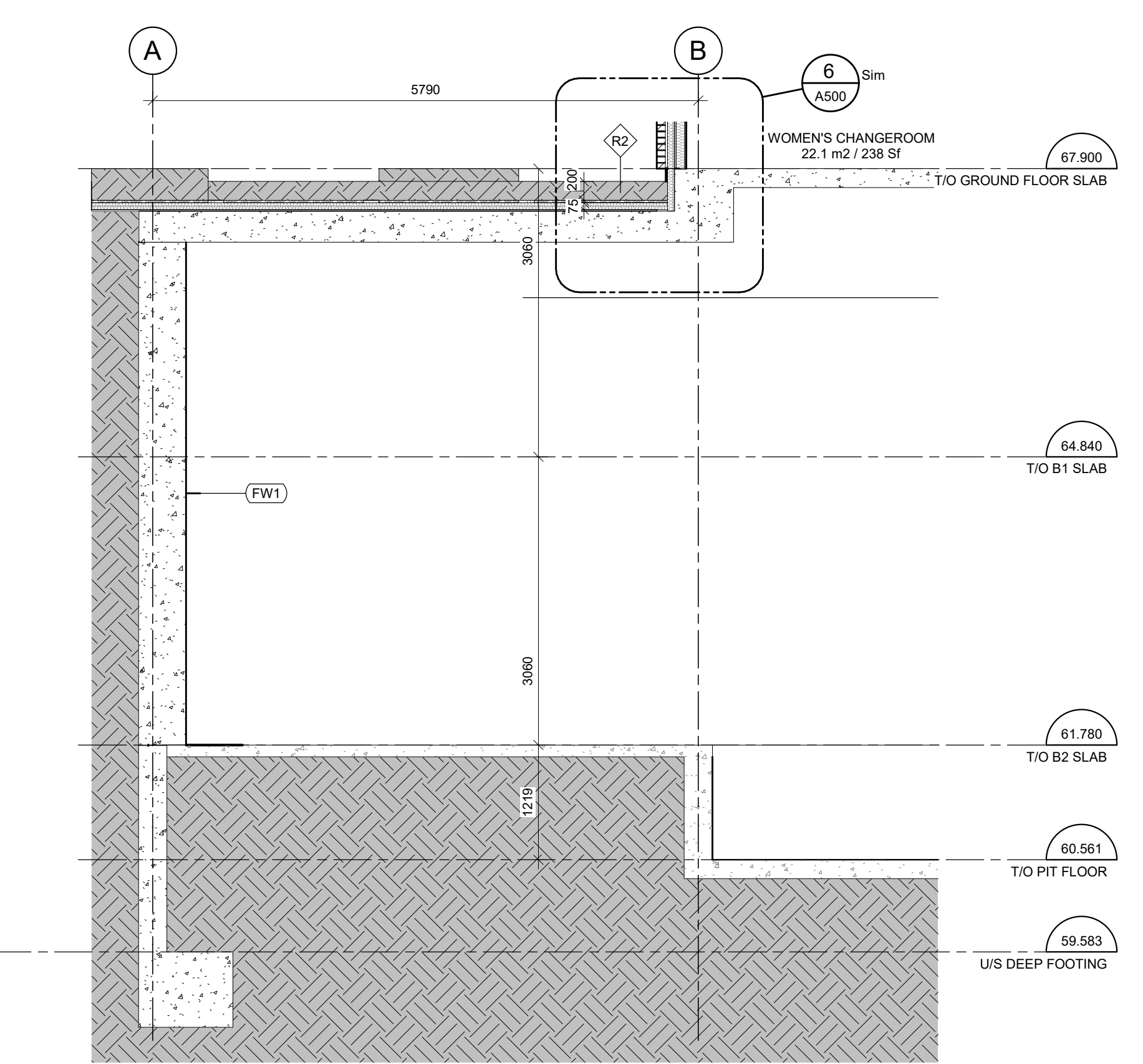
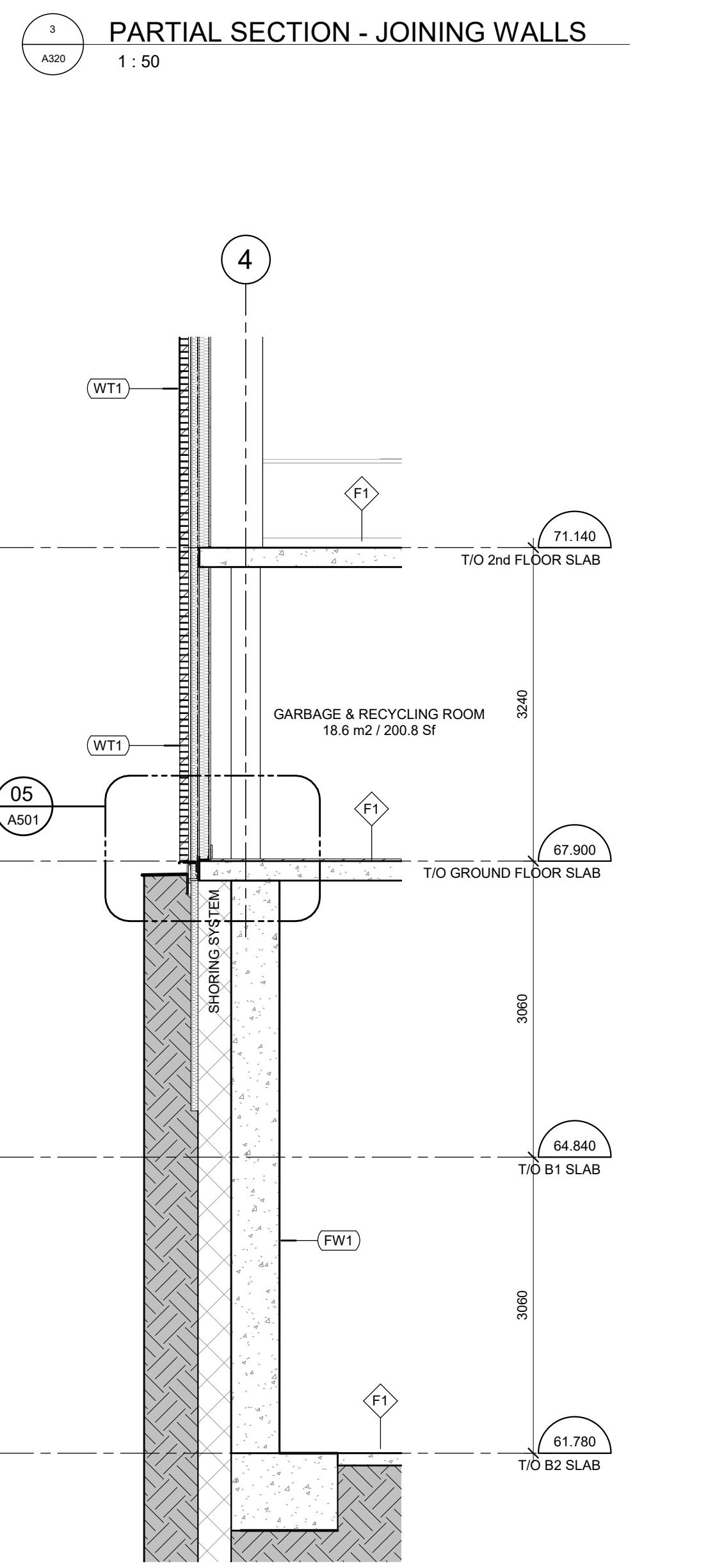
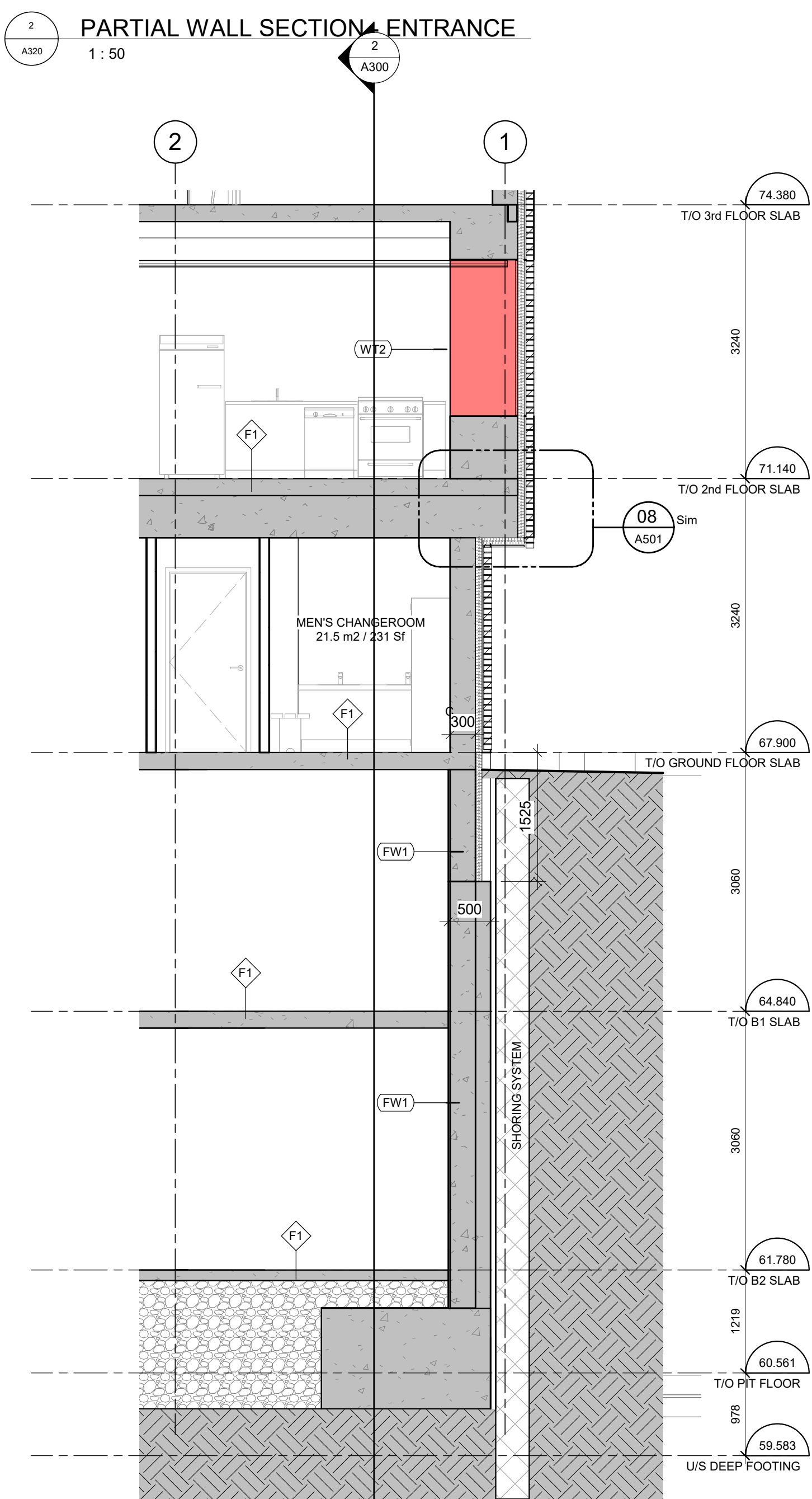
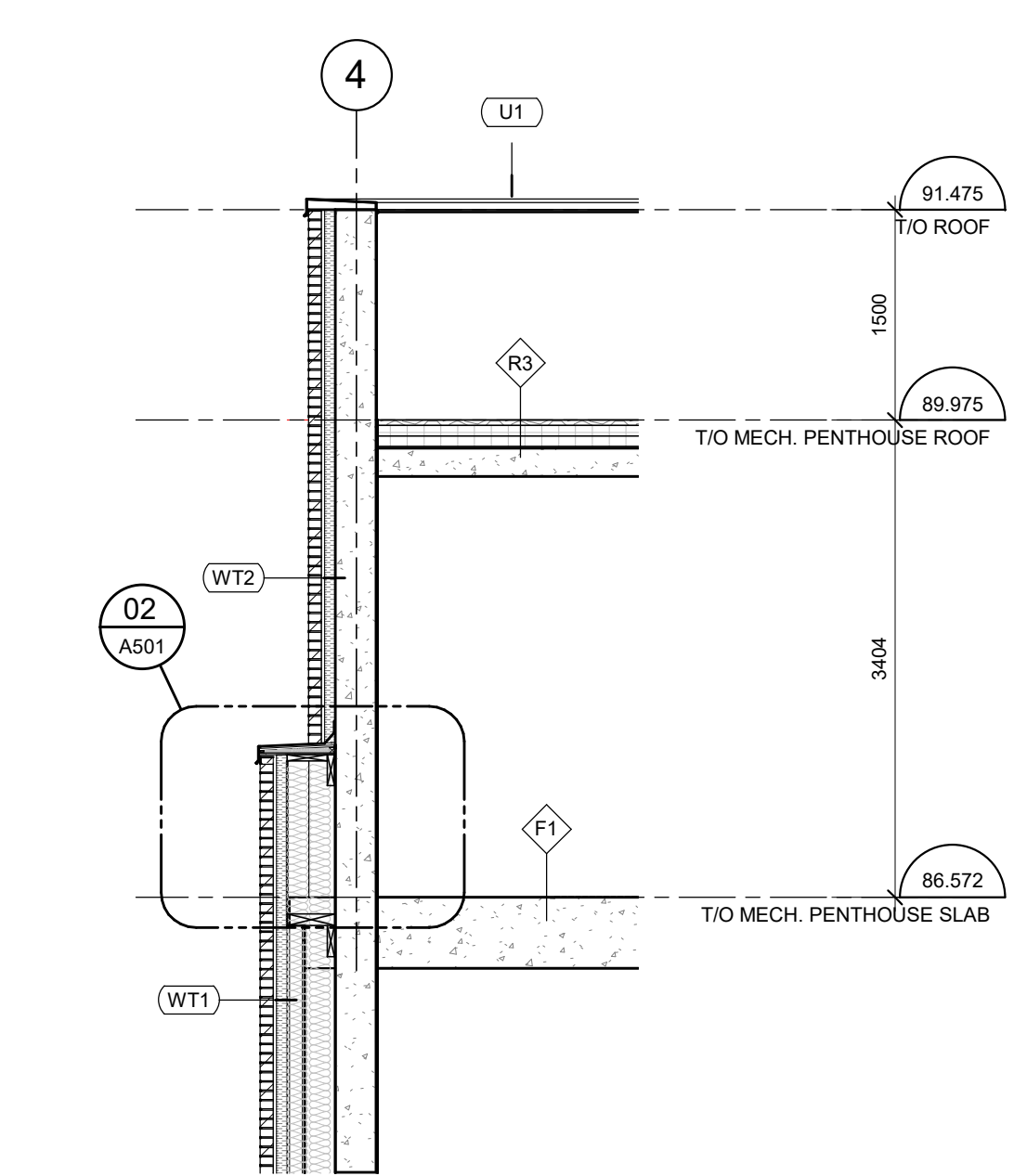
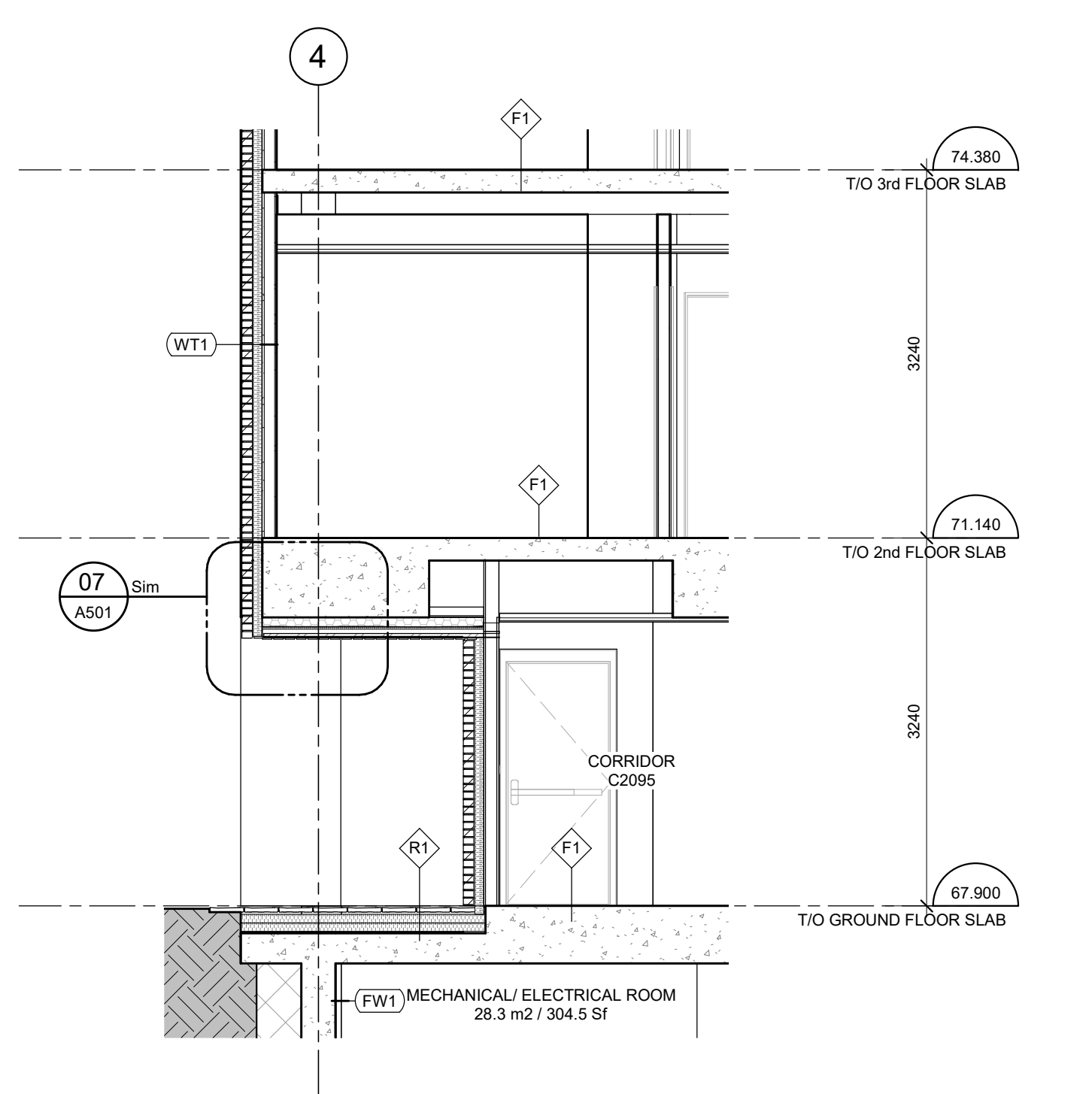
REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : 1 : 50

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A320

REVISION NO. / NO. DE RÉVISION : 9



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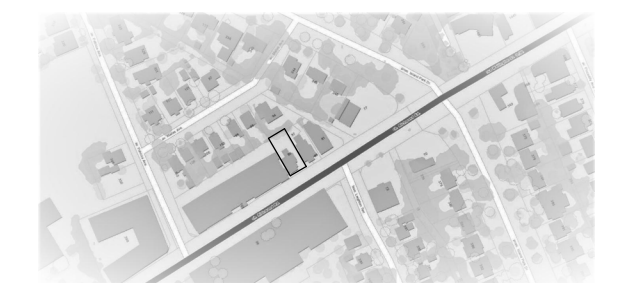
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4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29

Revision Number description date

PROJECT NAME / NOM DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### WALL SECTIONS

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / ET

REVIEWED BY / VÉRIFIÉ PAR : LG

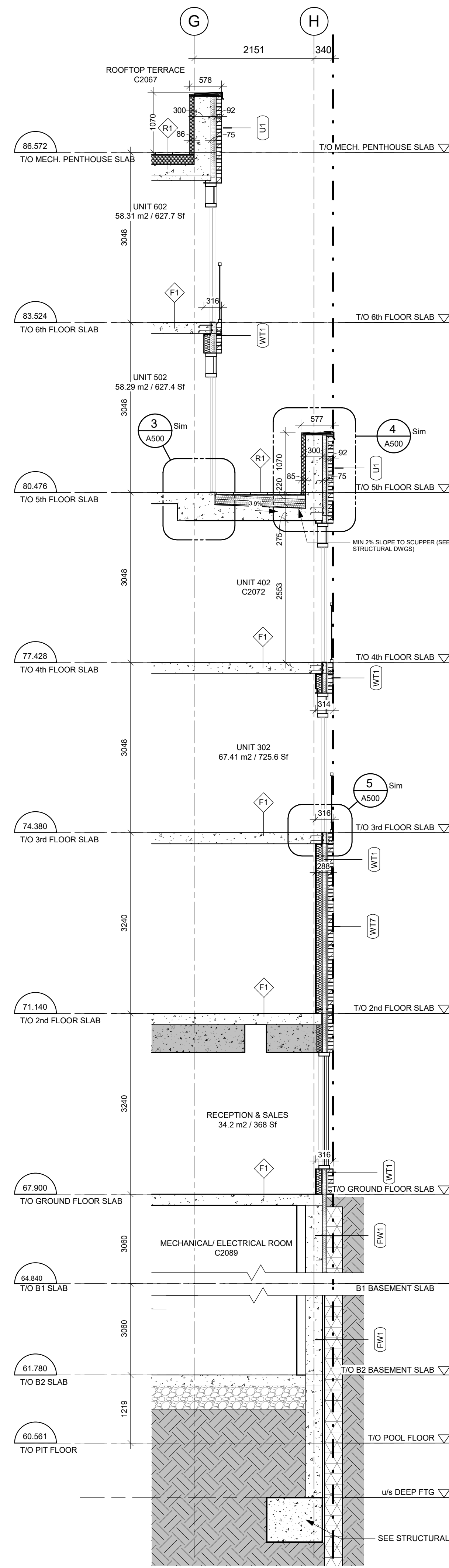
SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

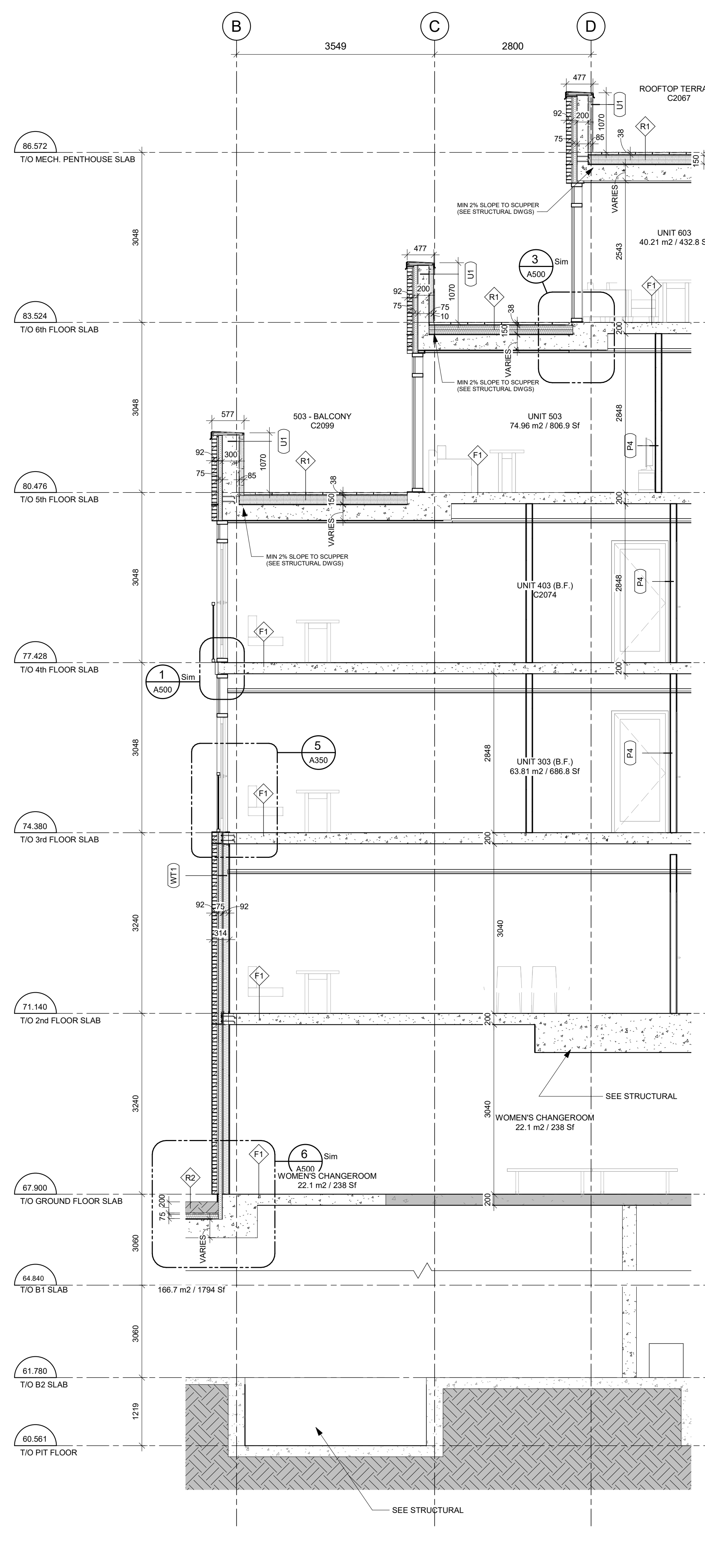
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REVISION NO. / NO. DE RÉVISION :

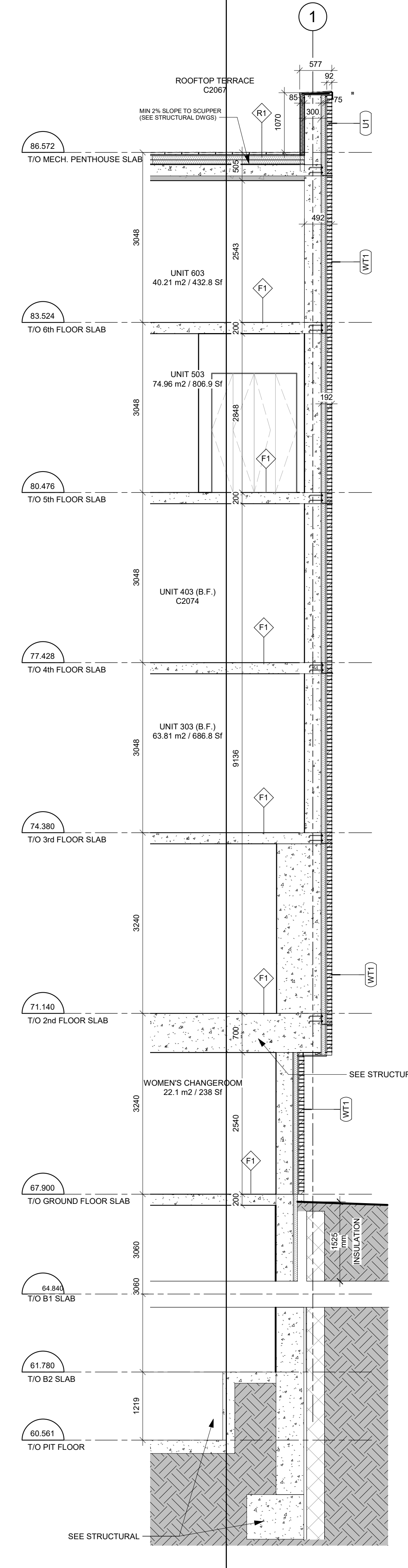
9 D07-12-16-0087



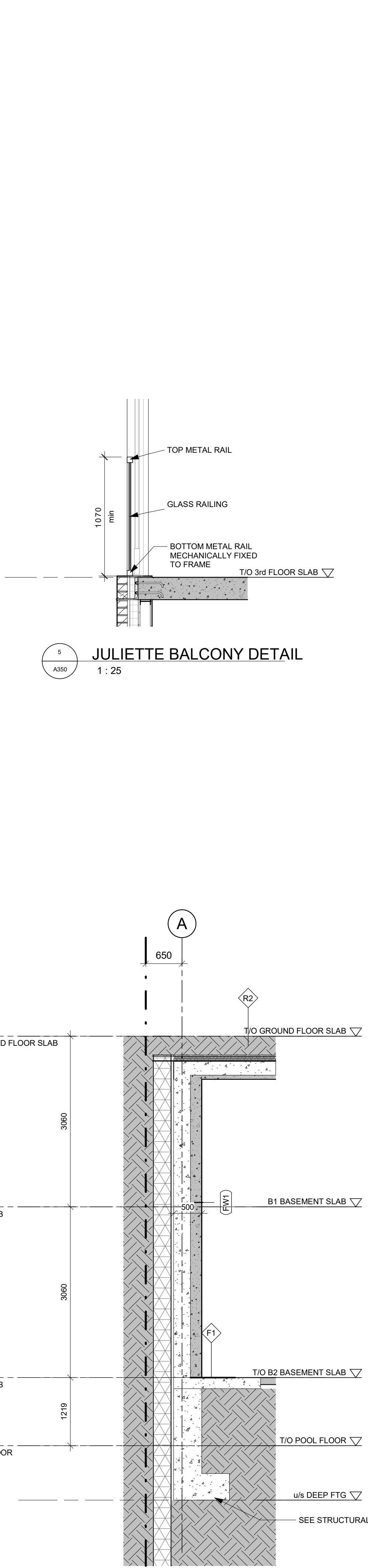
2 WALL SECTION 2  
A350 1:50



3 WALL SECTION 3  
A350 1:50



4 WALL SECTION 4  
A350 1:50



1 WALL PIT AREA  
A350 1:50

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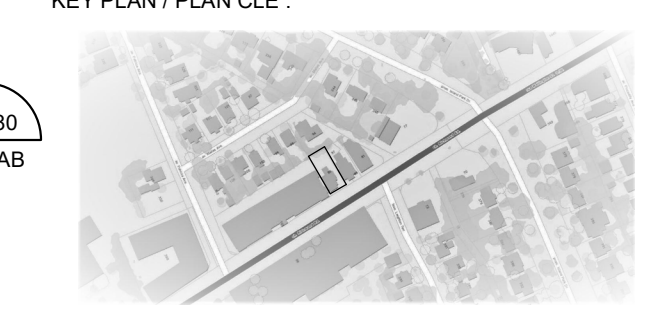
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CLIENT:

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
6	Permit Resubmittal	22/12/02
5	SPA Approval	22/09/19
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29

Revision Number description date

PROJECT NAME / NOM DU PROJET:

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3	ISSUED FOR BUILDING PERMIT	22/07/29

Revision Number description date

PROJECT NAME / NOM DU PROJET:

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN:  
**STAIR 1 AND ELEVATOR PLANS & SECTIONS**

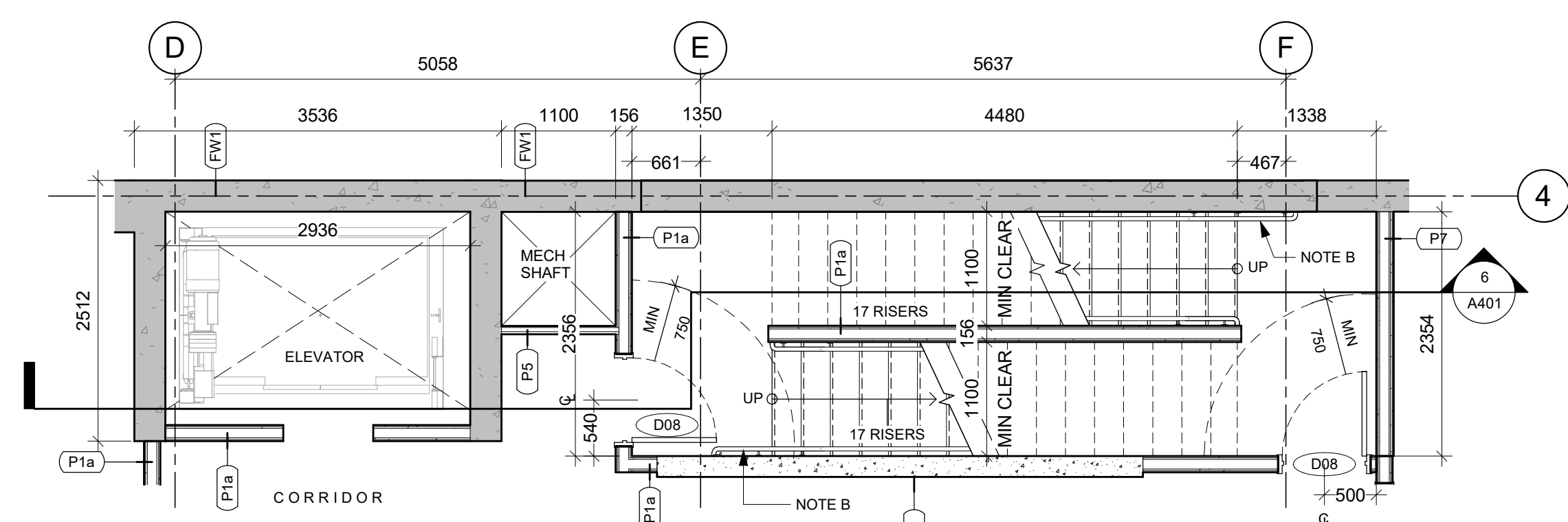
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DATE: 22/12/16  
DRAWN BY / DESSINÉ PAR: AM / ET  
REVIEWED BY / VÉRIFIÉ PAR: LG  
SCALE / ÉCHELLE: As indicated

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REVISION NO. / NO. DE RÉVISION:

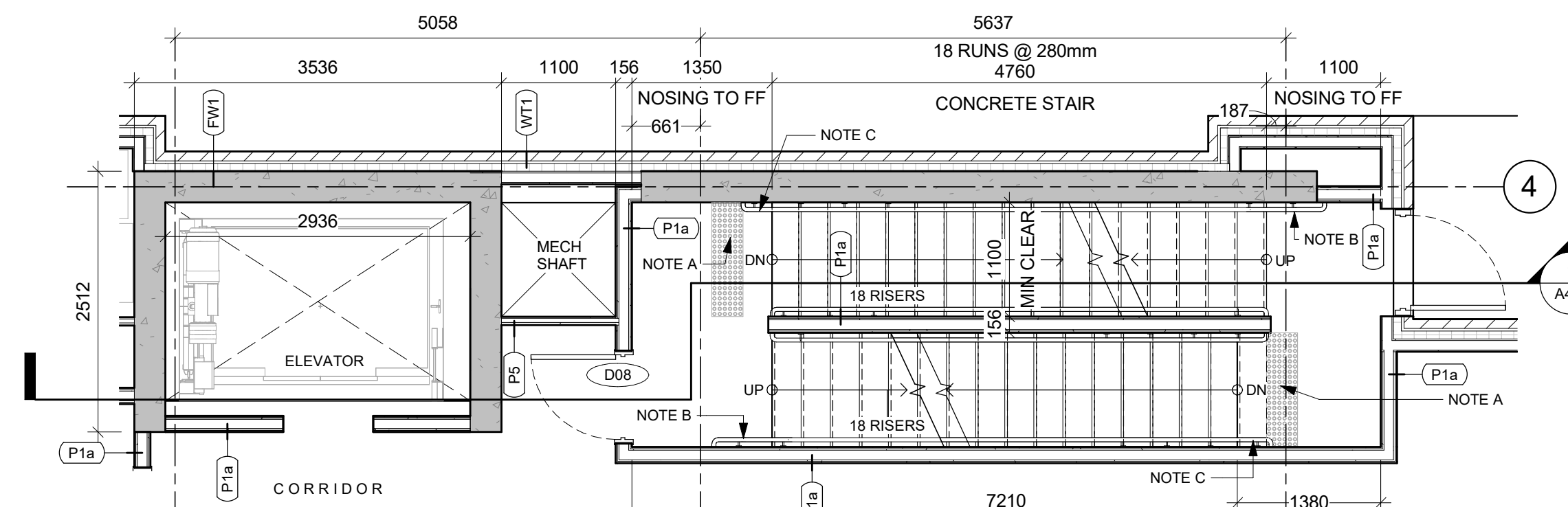
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PROJECT PHASE / PHASE DU PROJET: 1  
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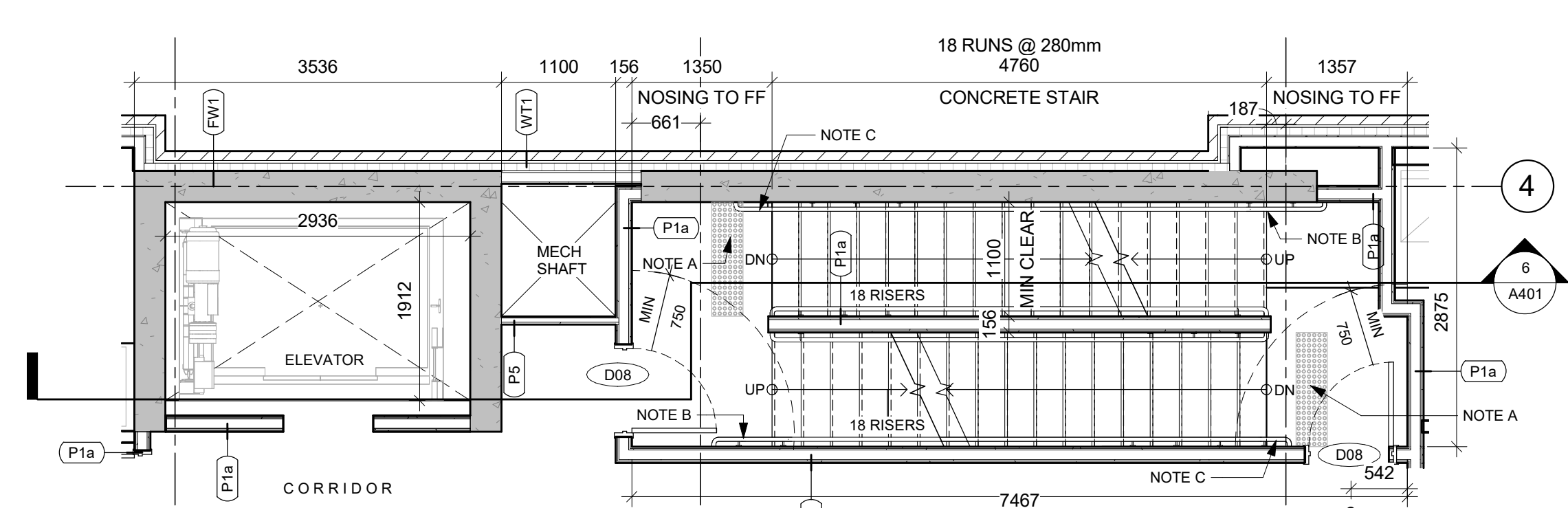
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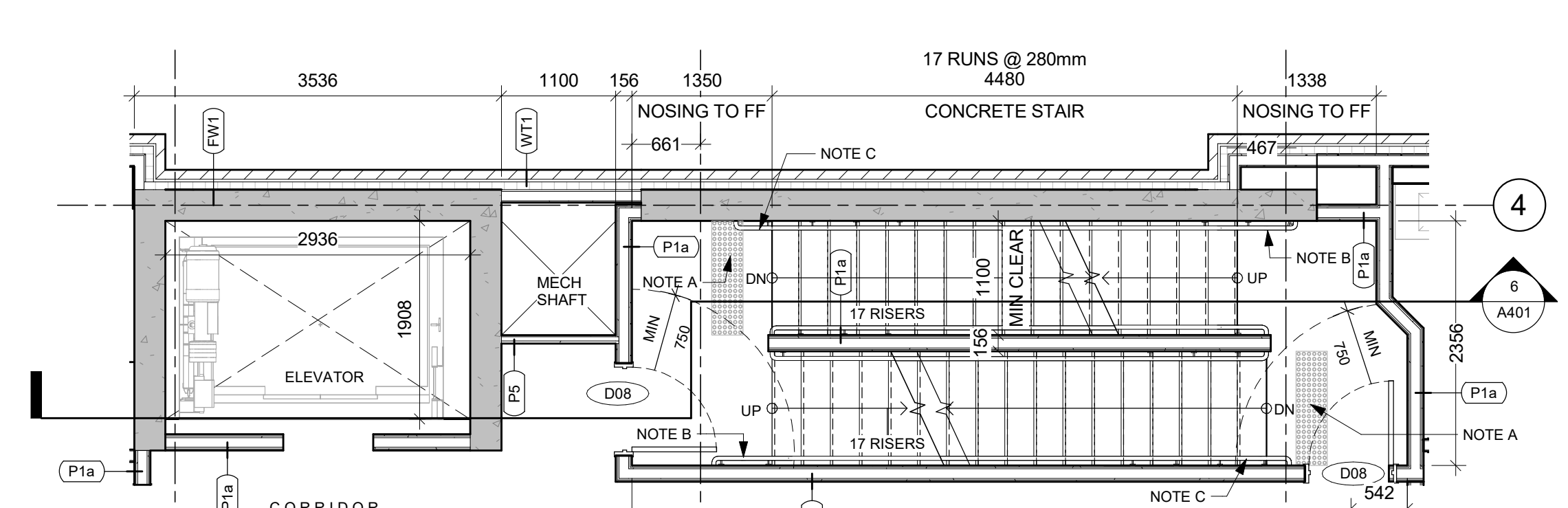
1 T/O B2 AND B1 SLAB STAIRCASE 1  
1 : 50



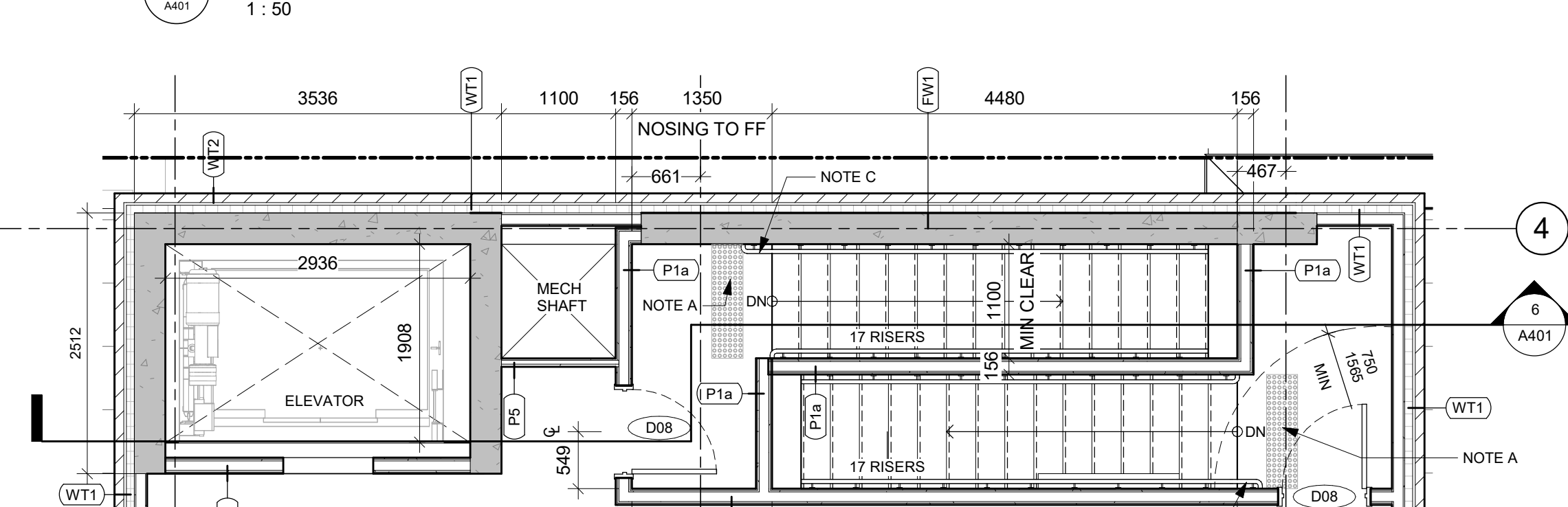
2 T/O GROUND FLOOR STAIRCASE 1  
1 : 50



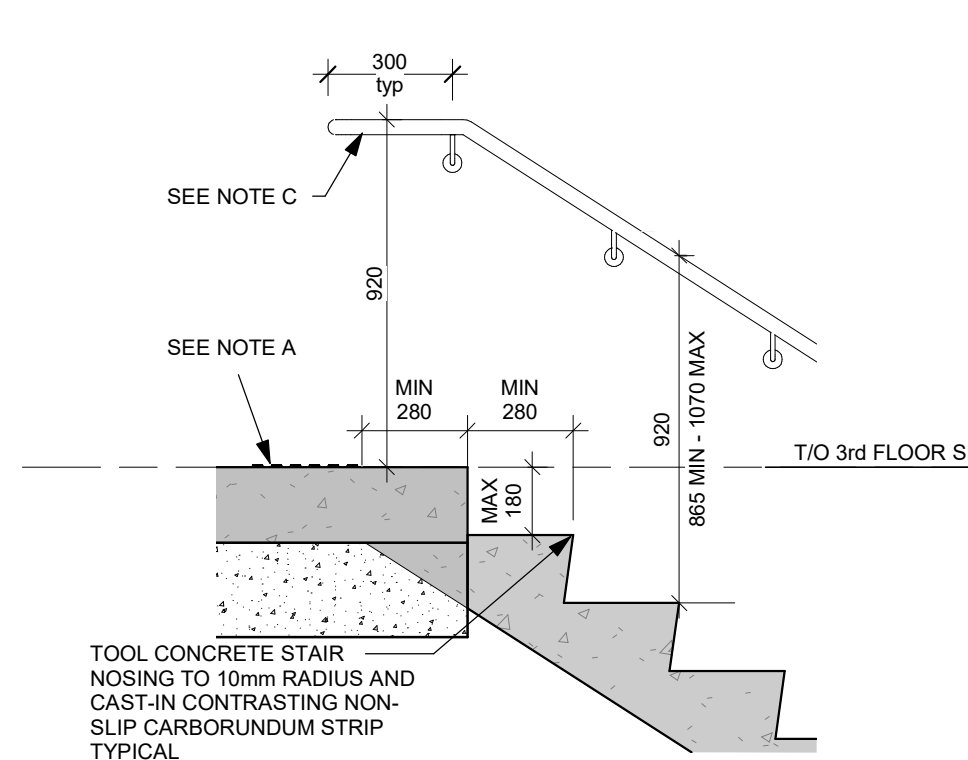
3 T/O 2nd FLOOR STAIRCASE 1  
1 : 50



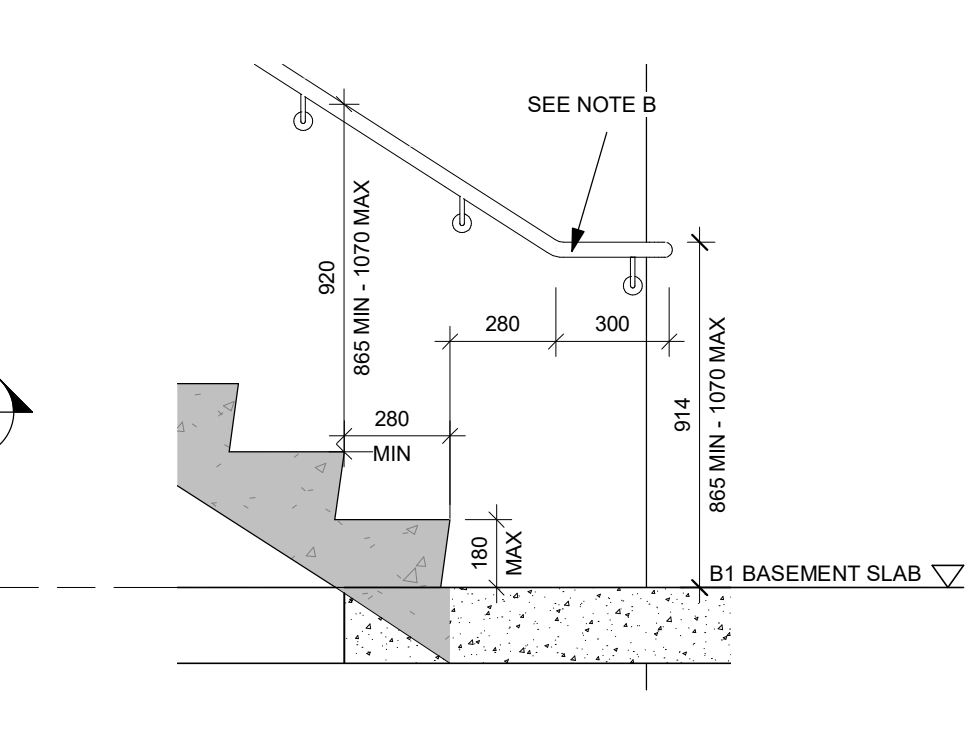
4 T/O 3rd FLOOR STAIRCASE 1 (TYPICAL FLOORS 3 THROUGH 6)  
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5 T/O MECH. PENTHOUSE SLAB STAIRCASE 1  
1 : 50



7 TYPICAL STAIR DETAIL  
1 : 20

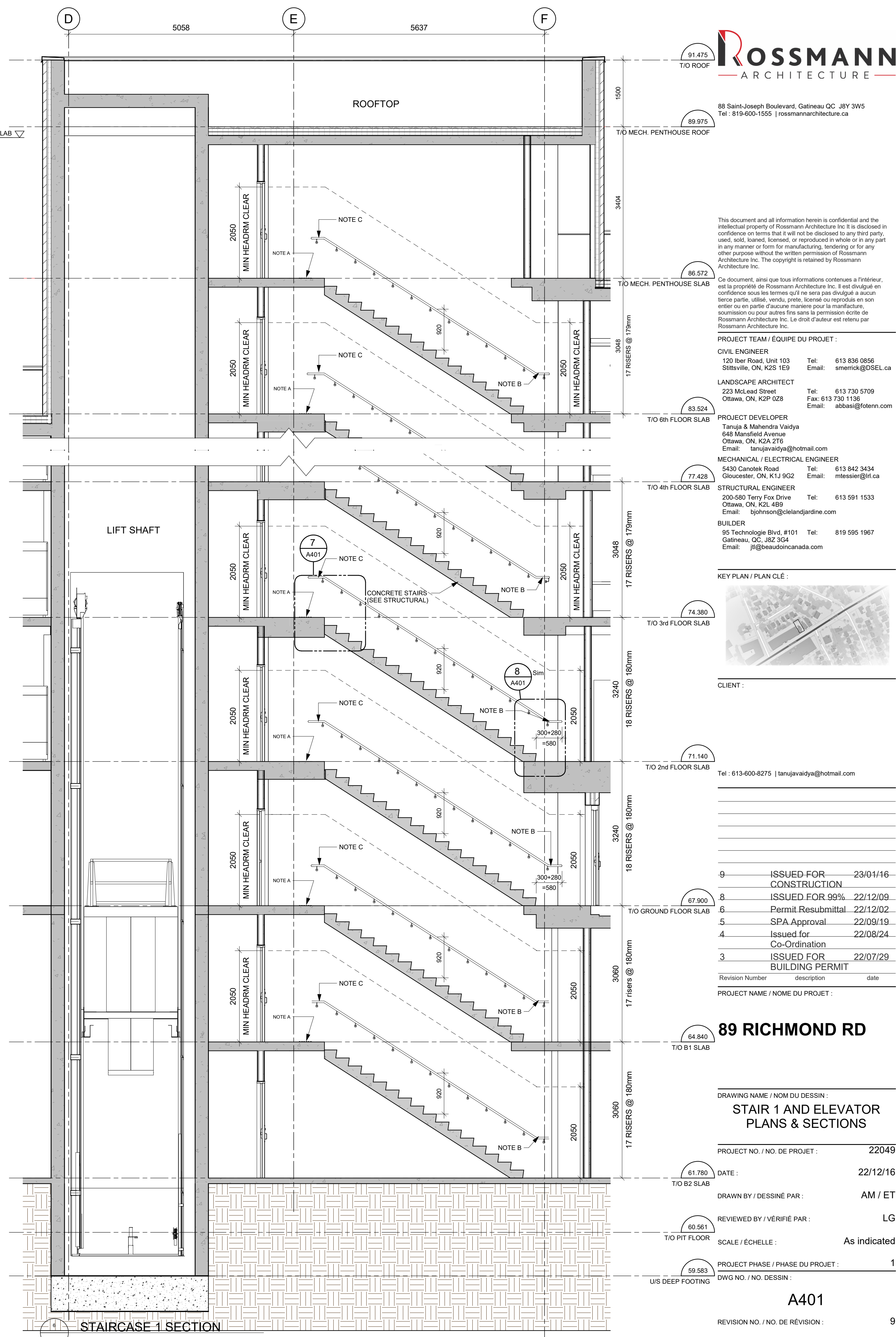


8 TYPICAL STAIR DETAIL  
1 : 20

NOTE A:  
PROVIDE A TACTILE ATTENTION INDICATOR (CONFORMING TO ISO 23599 CLAUSES 4.1.1. AND 4.1.2.) AT TOP OF STAIRS AS WELL AS LANDINGS WHERE A DOORWAY OPENS ONTO STAIRS (OBC 3.4.6.1.(2))

NOTE B:  
3.4.6.5. (12(a)(ii)) CONTINUE HANDRAIL TO SLOPE FOR A DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER FOLLOWED BY A 300 MM HORIZONTAL EXTENSION

NOTE C:  
3.4.6.5. (12(a)(i)) EXTEND HORIZONTALLY AT THE REQUIRED HEIGHT, NOT LESS THAN 300mm BEYOND THE TOP RISER



STAIRCASE 1 SECTION  
1 : 50

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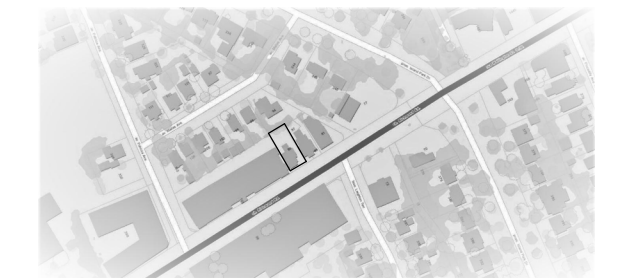
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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99% PERMIT SUBMITTAL	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**STAIR 2 PLANS & SECTIONS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / ET

REVIEWED BY / VÉRIFIÉ PAR : LG

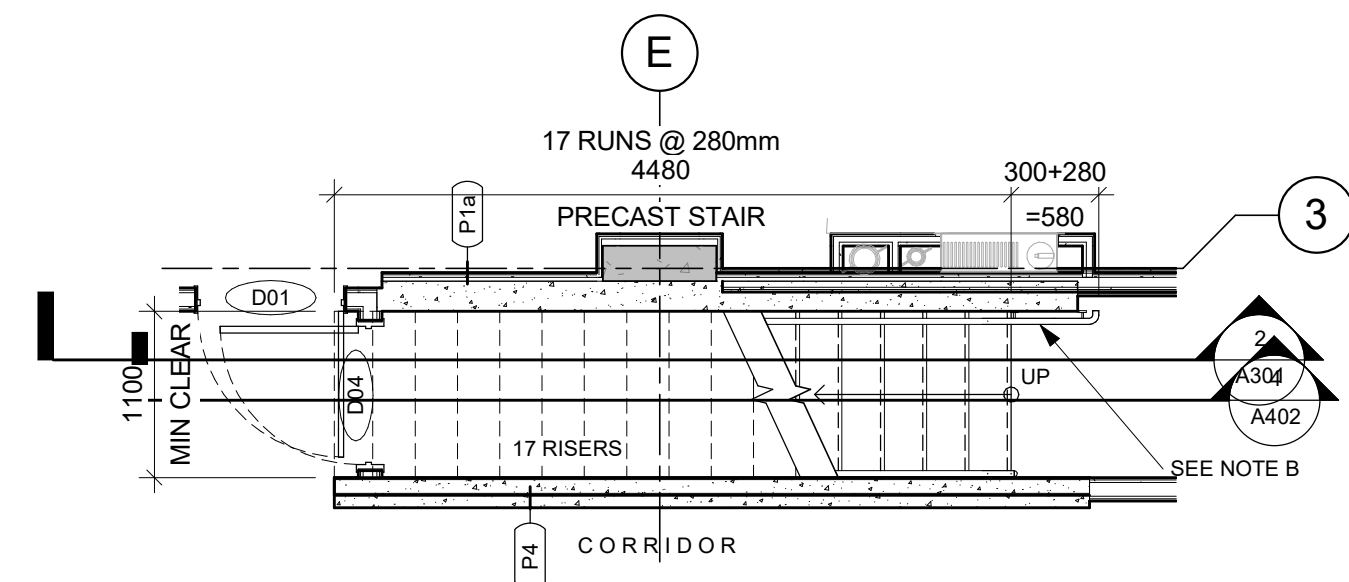
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PROJECT PHASE / PHASE DU PROJET : 1

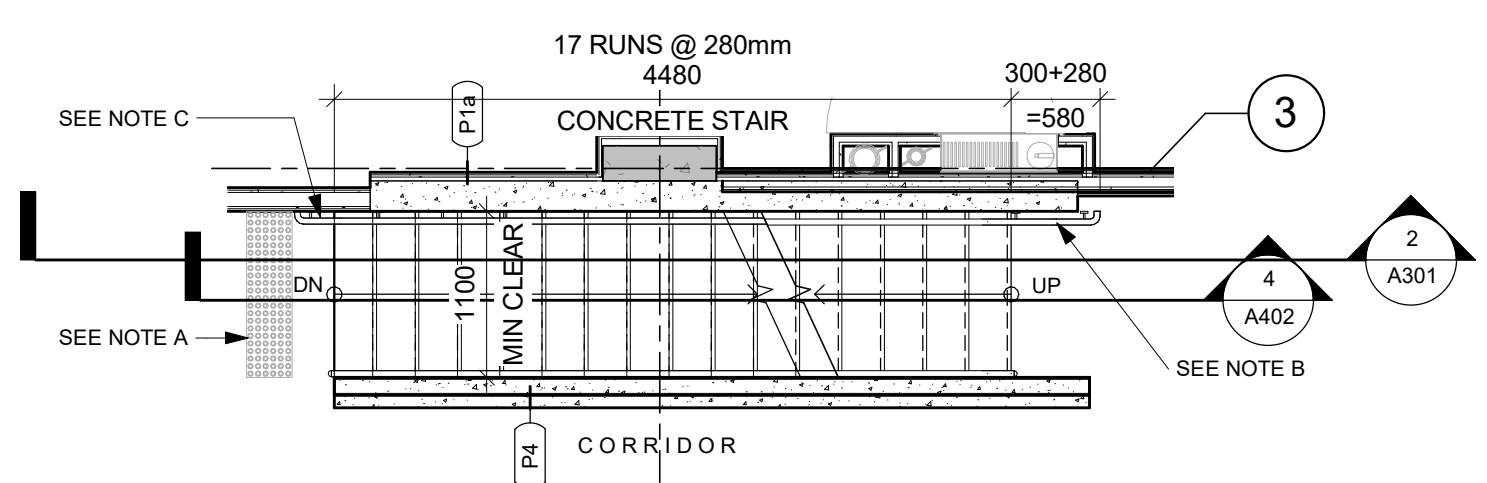
DWG NO. / NO. DESSIN :

**A402**

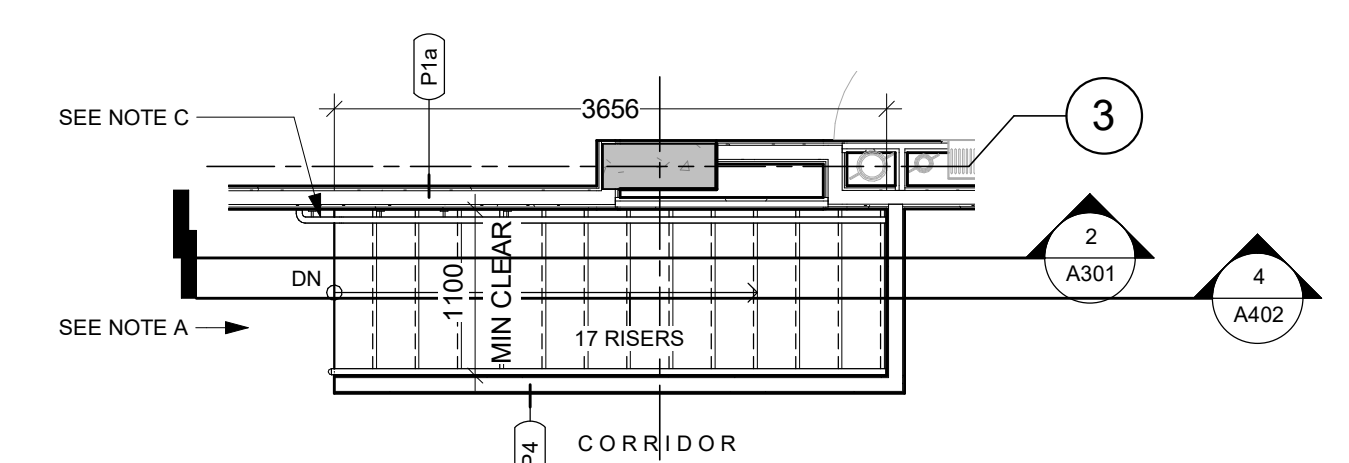
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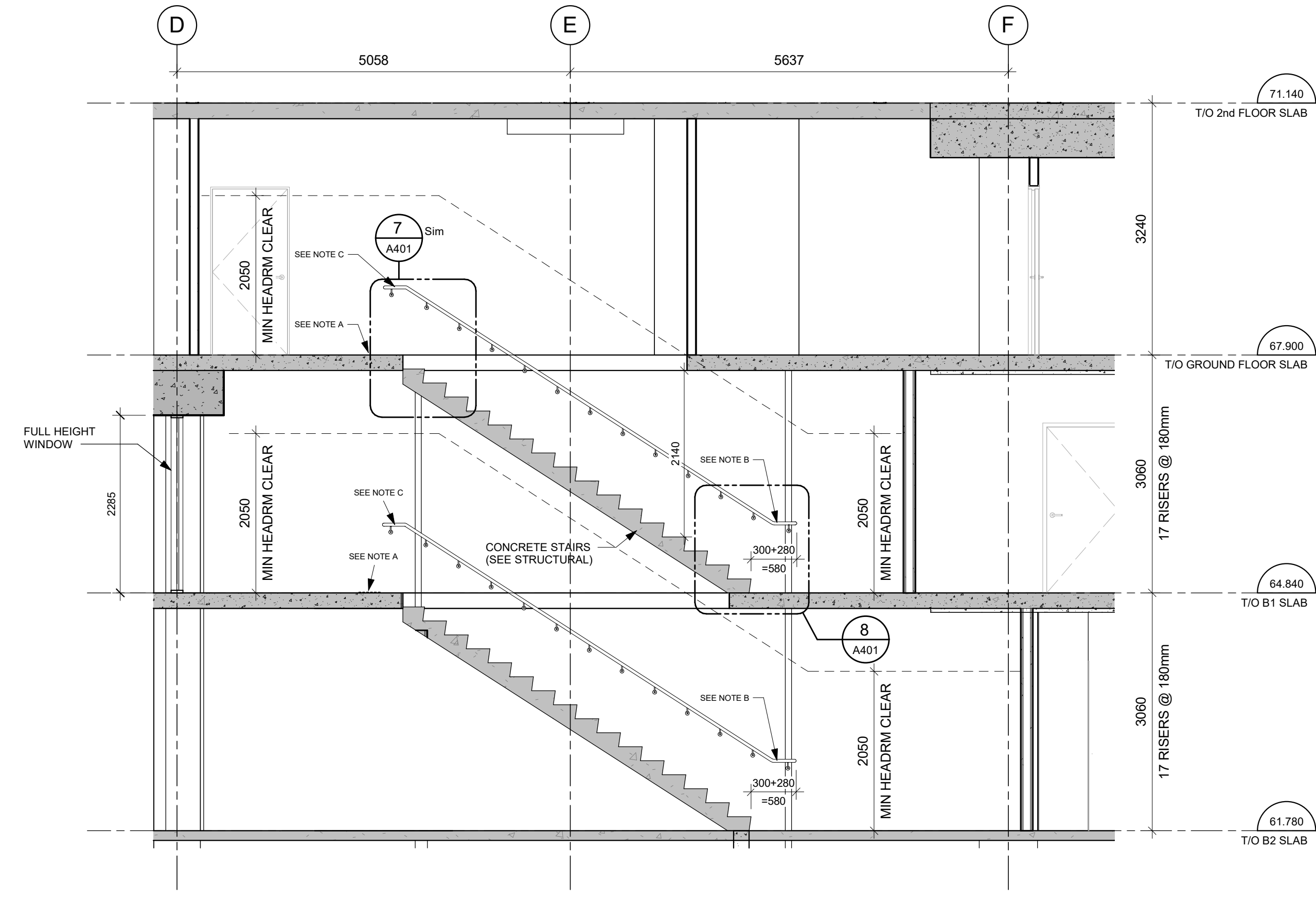
1 T/O B2 SLAB STAIRCASE 2  
1 : 50



2 T/O B1 SLAB STAIRCASE 2  
1 : 50



3 T/O GROUND FLOOR STAIRCASE 2  
1 : 50



4 STAIRCASE 2 SECTION  
1 : 50

NOTE A:  
PROVIDE A TACTILE ATTENTION INDICATOR (CONFORMING TO ISO 23599 CLAUSES 4.1.1. AND 4.1.2.) AT TOP OF STAIRS AS WELL AS LANDINGS WHERE A DOORWAY OPENS ONTO STAIRS (OBC 3.4.6.1.(2))

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NOTE C:  
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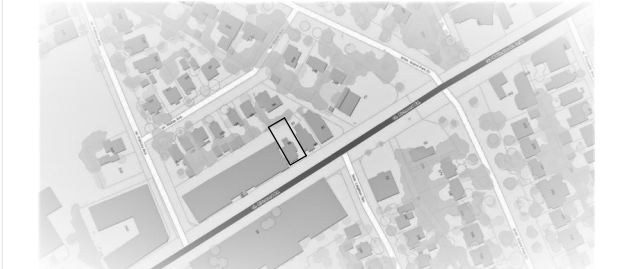
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9 ISSUED FOR CONSTRUCTION 23/01/16

6 Permit Resubmittal 22/12/02

Revision Number description date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**BUILDING ENVELOPE SECTION DETAILS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

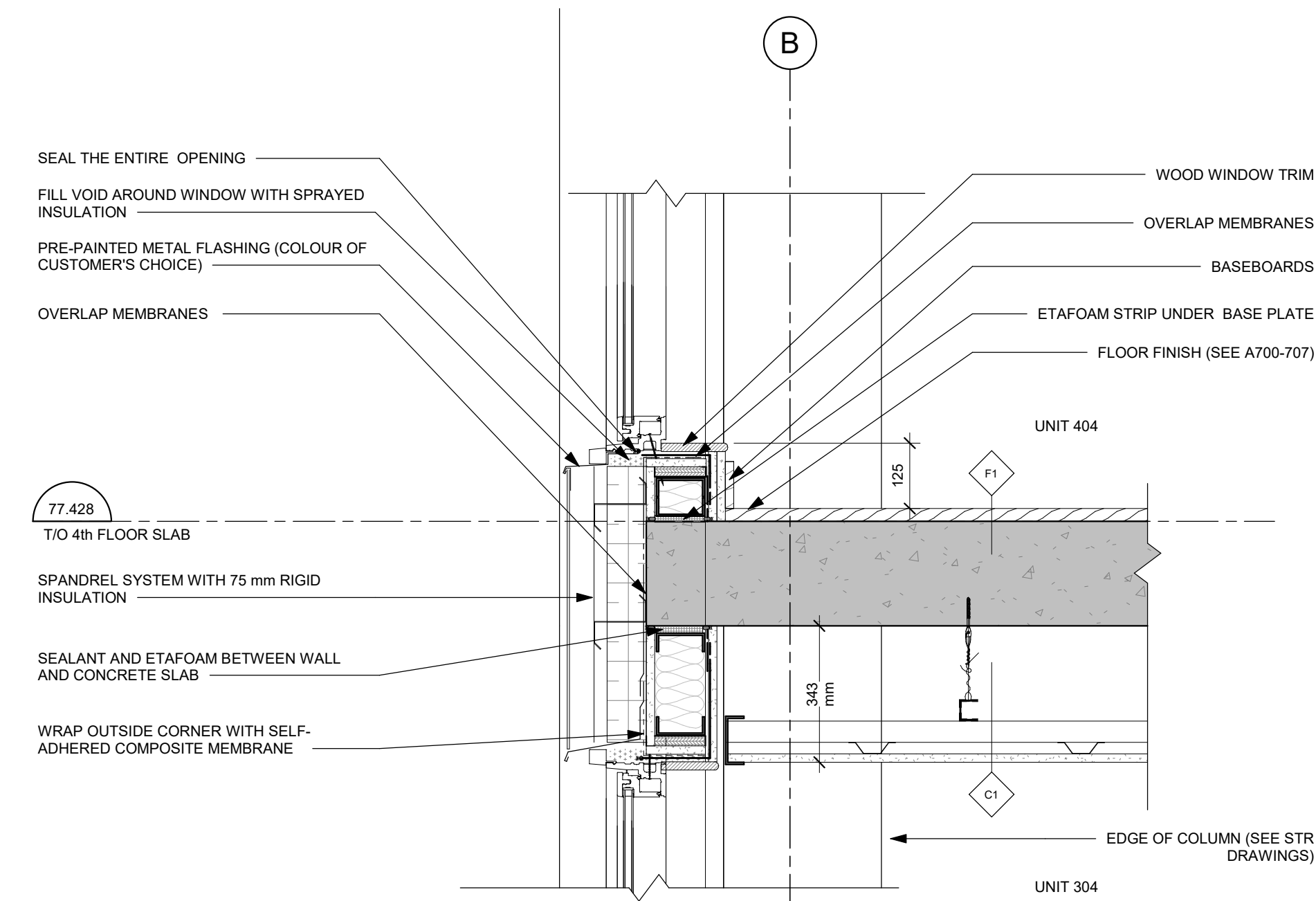
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PROJECT PHASE / PHASE DU PROJET : 1

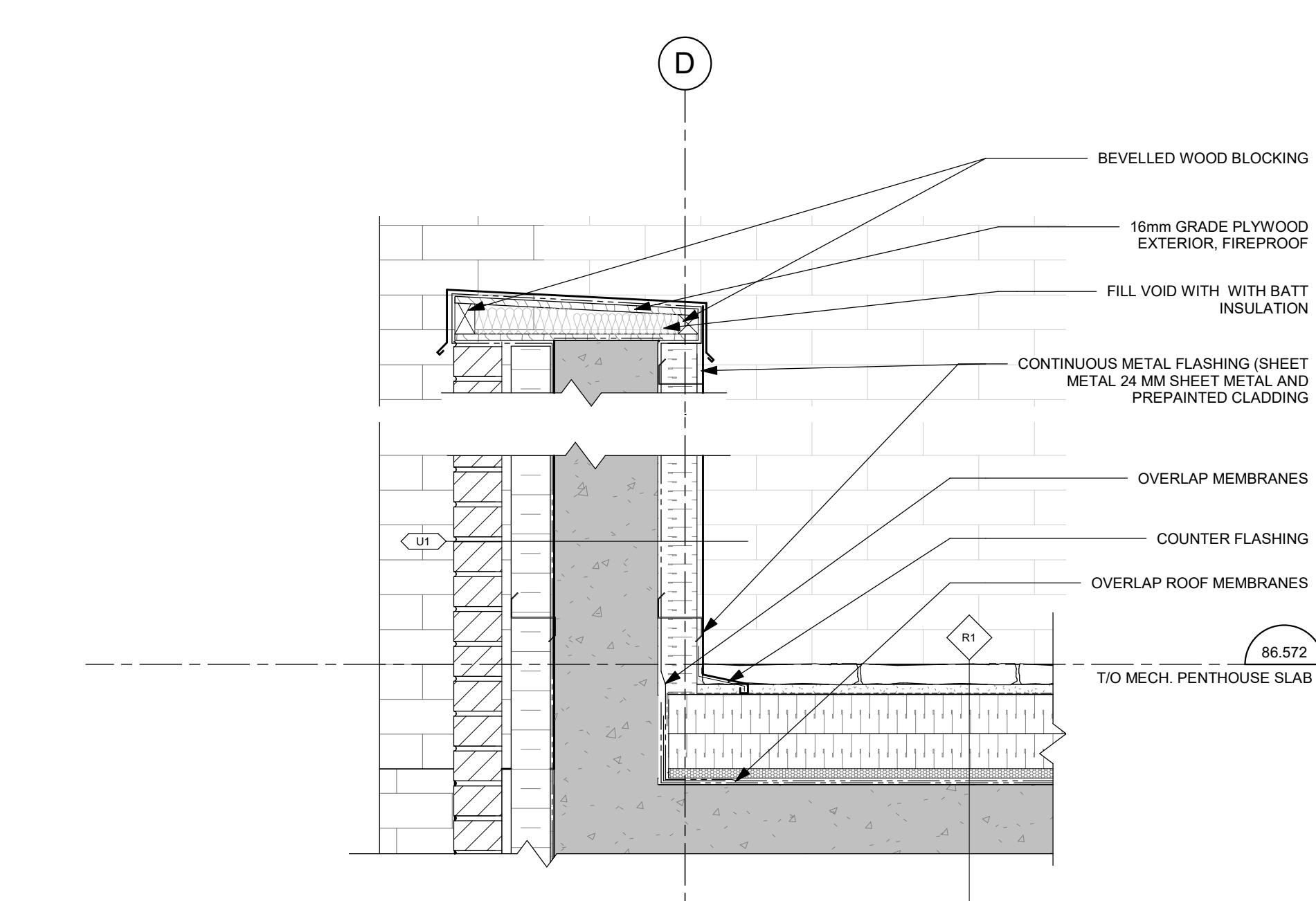
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REVISION NO. / NO. DE RÉVISION :

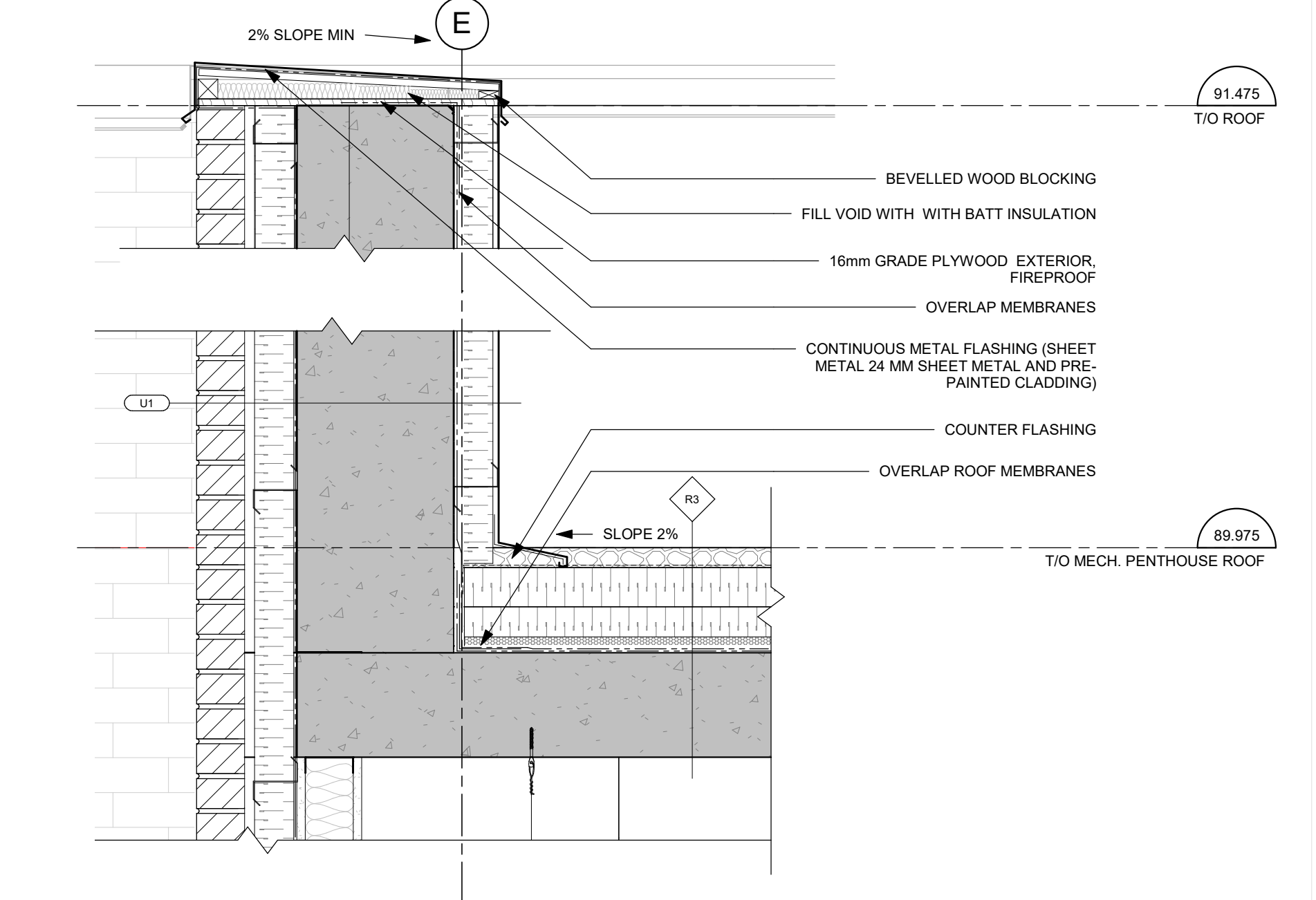
D07-12-16-0087



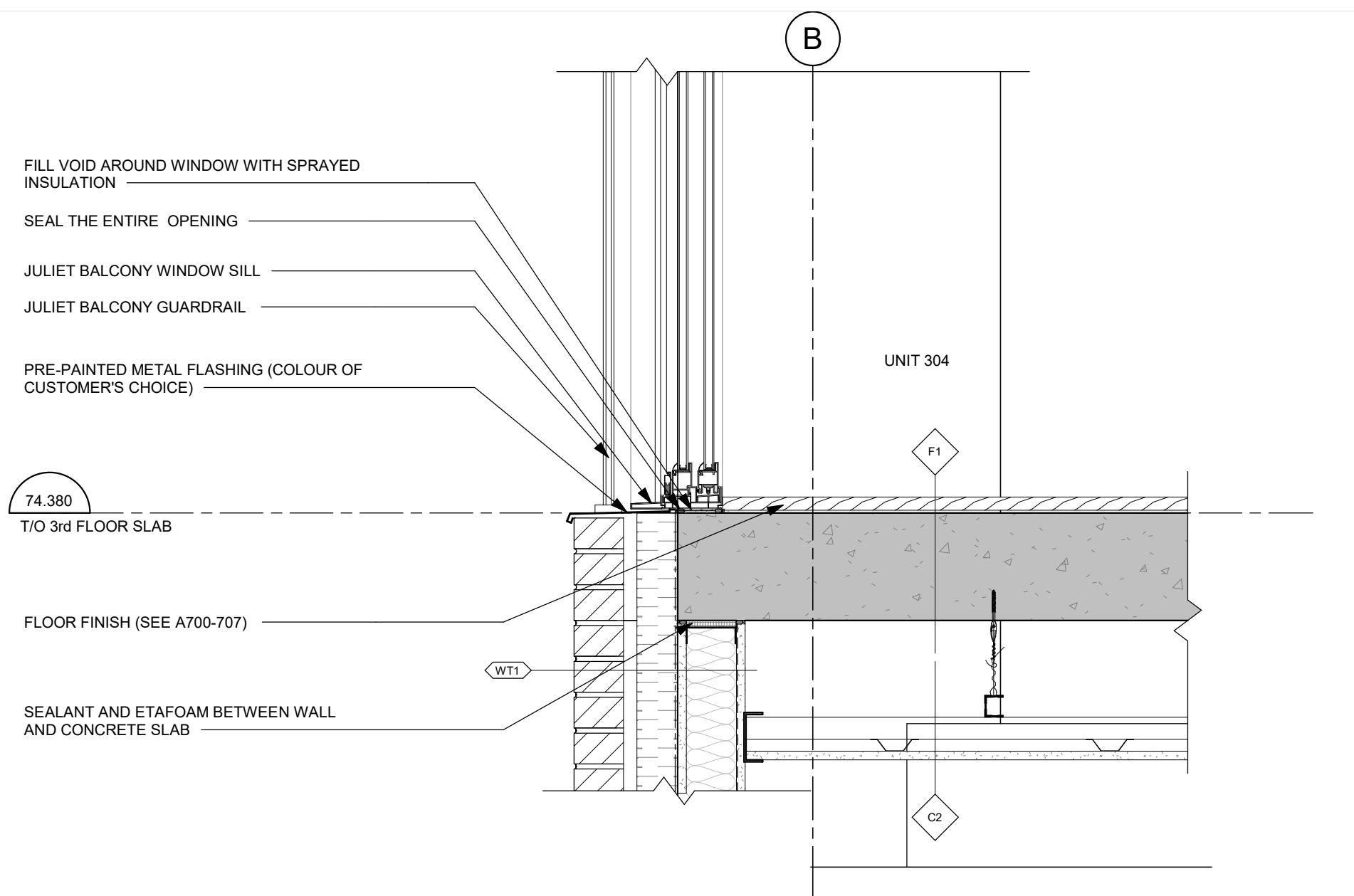
1 SECTION DETAIL - WINDOW WALL JUNCTION WITH SLAB  
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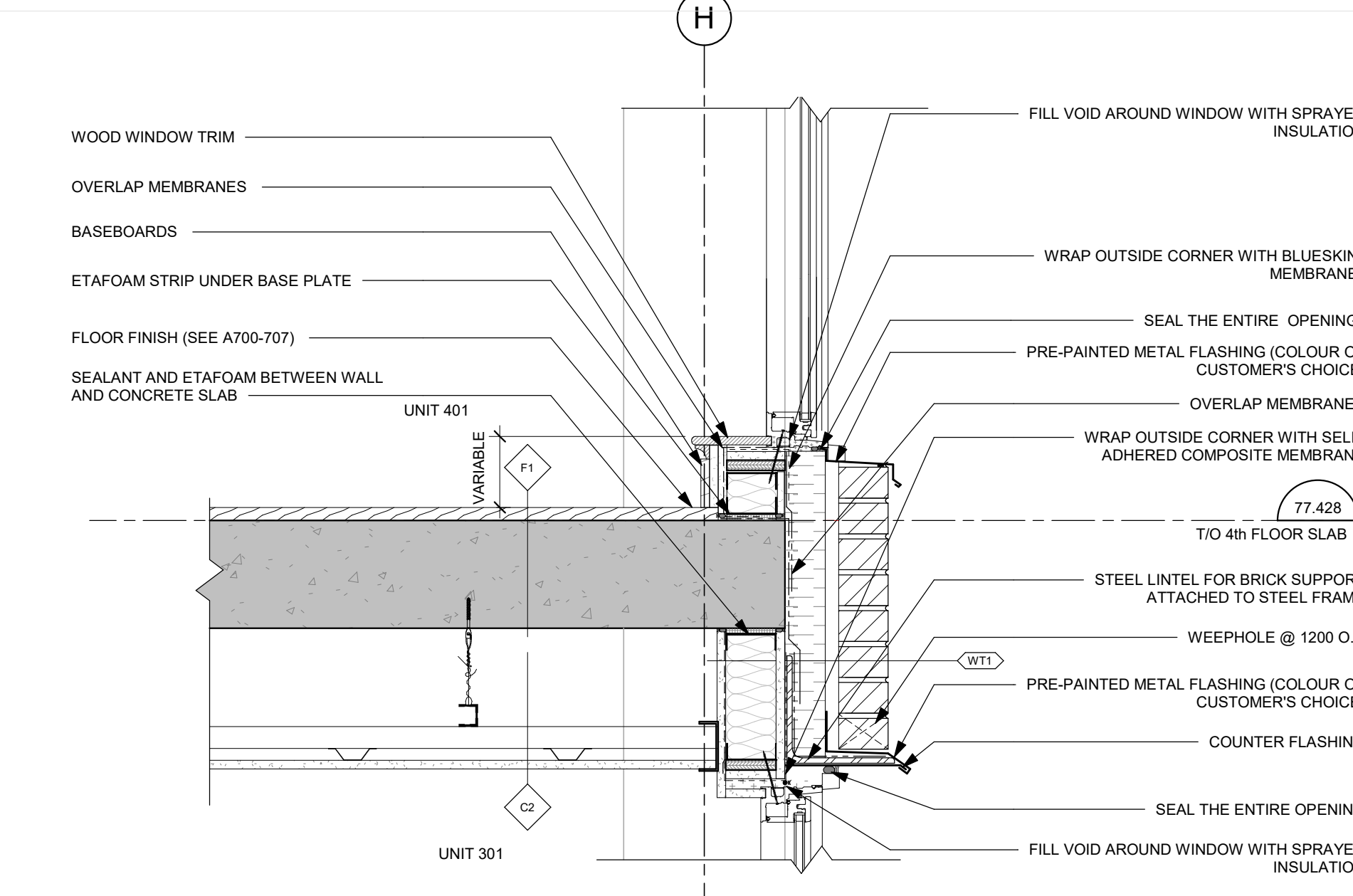
4 SECTION DETAIL - COMMON TERRACE PARAPET  
1 : 10



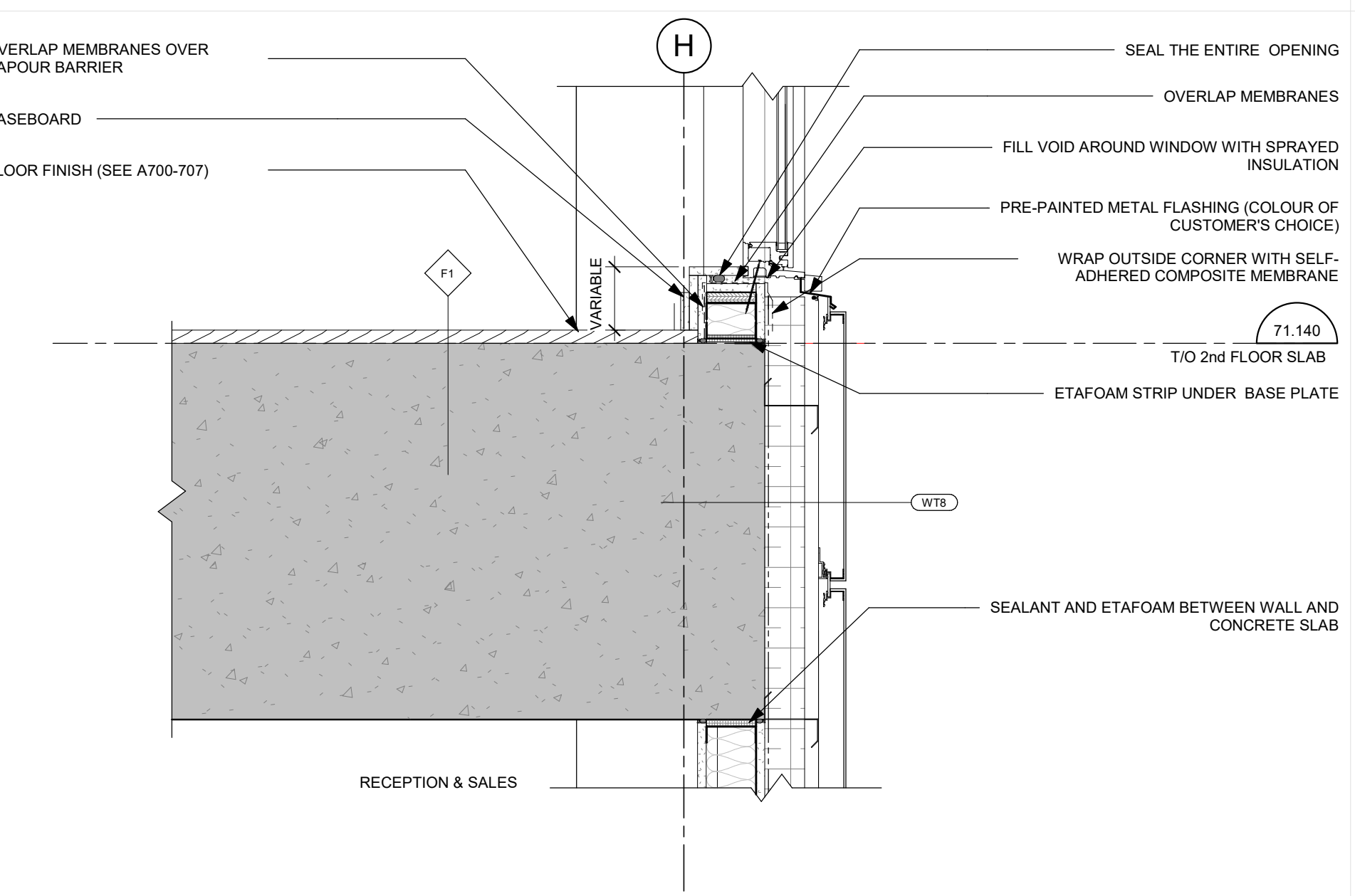
7 SECTION DETAIL - PENTHOUSE ROOF PARAPET  
1 : 10



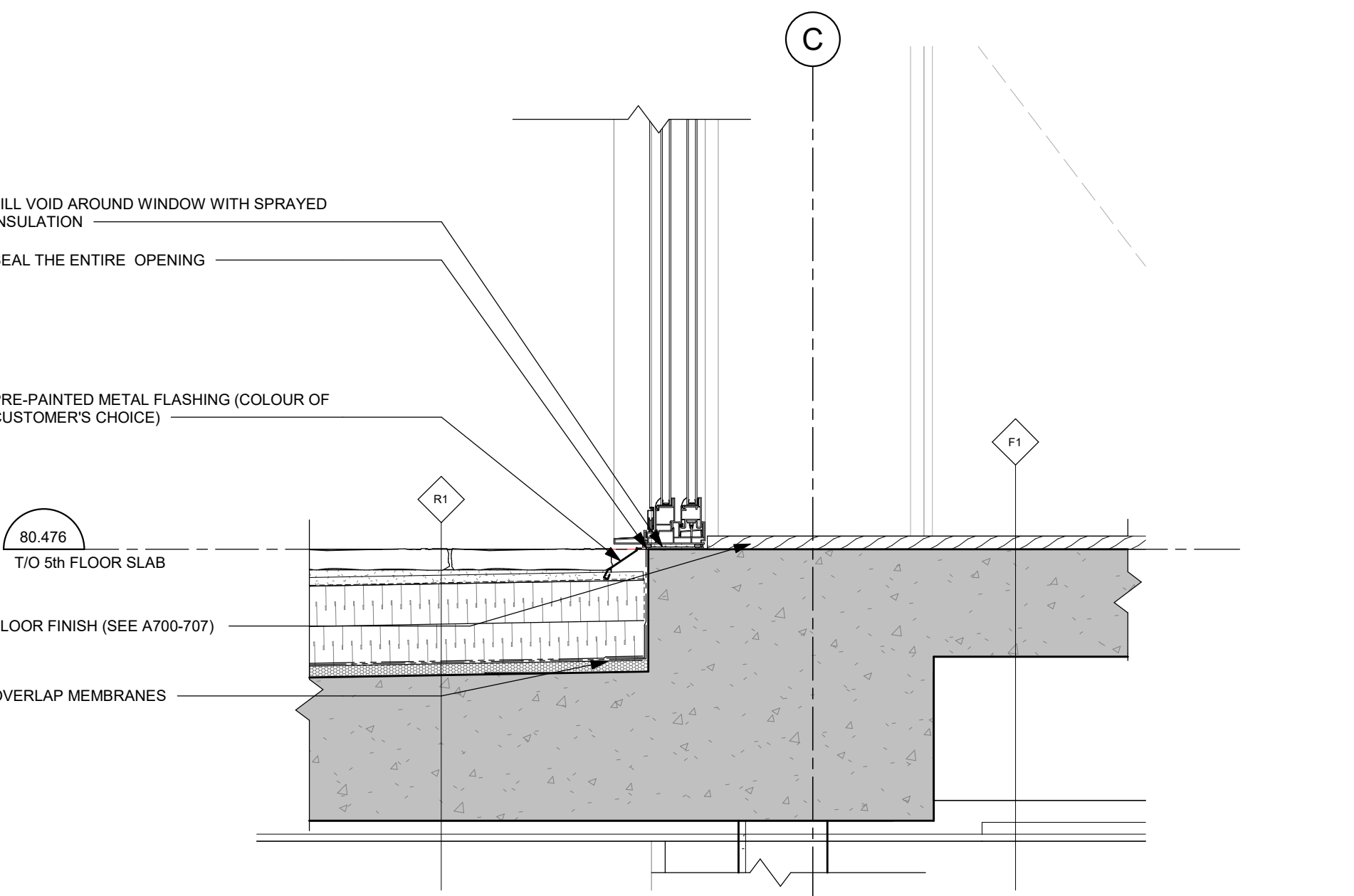
2 SECTION DETAIL - JUNCTION SLAB AND JULIET BALCONY  
1 : 10



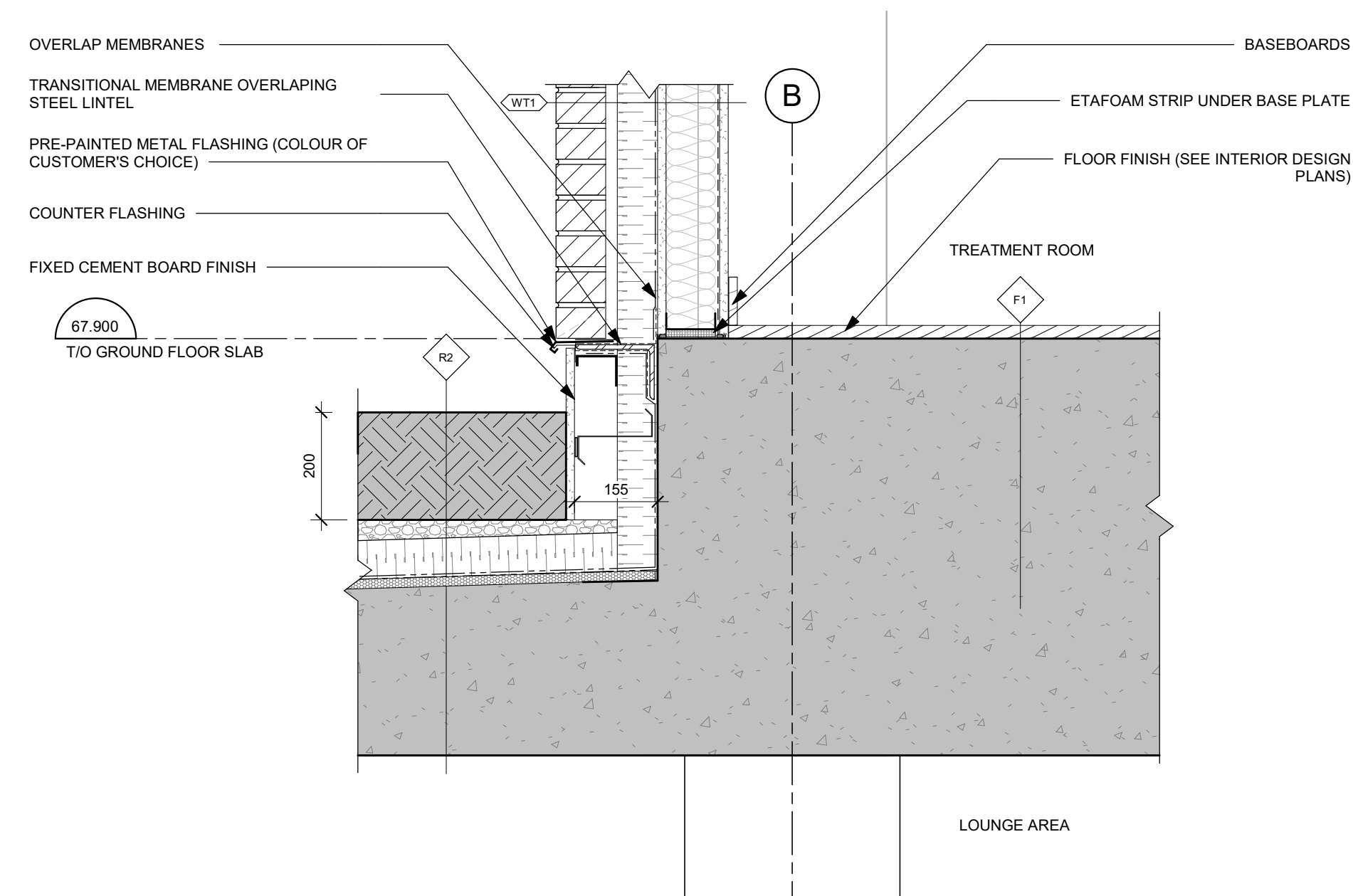
5 SECTION DETAIL - JUNCTION SLAB AND WINDOW - RAISED  
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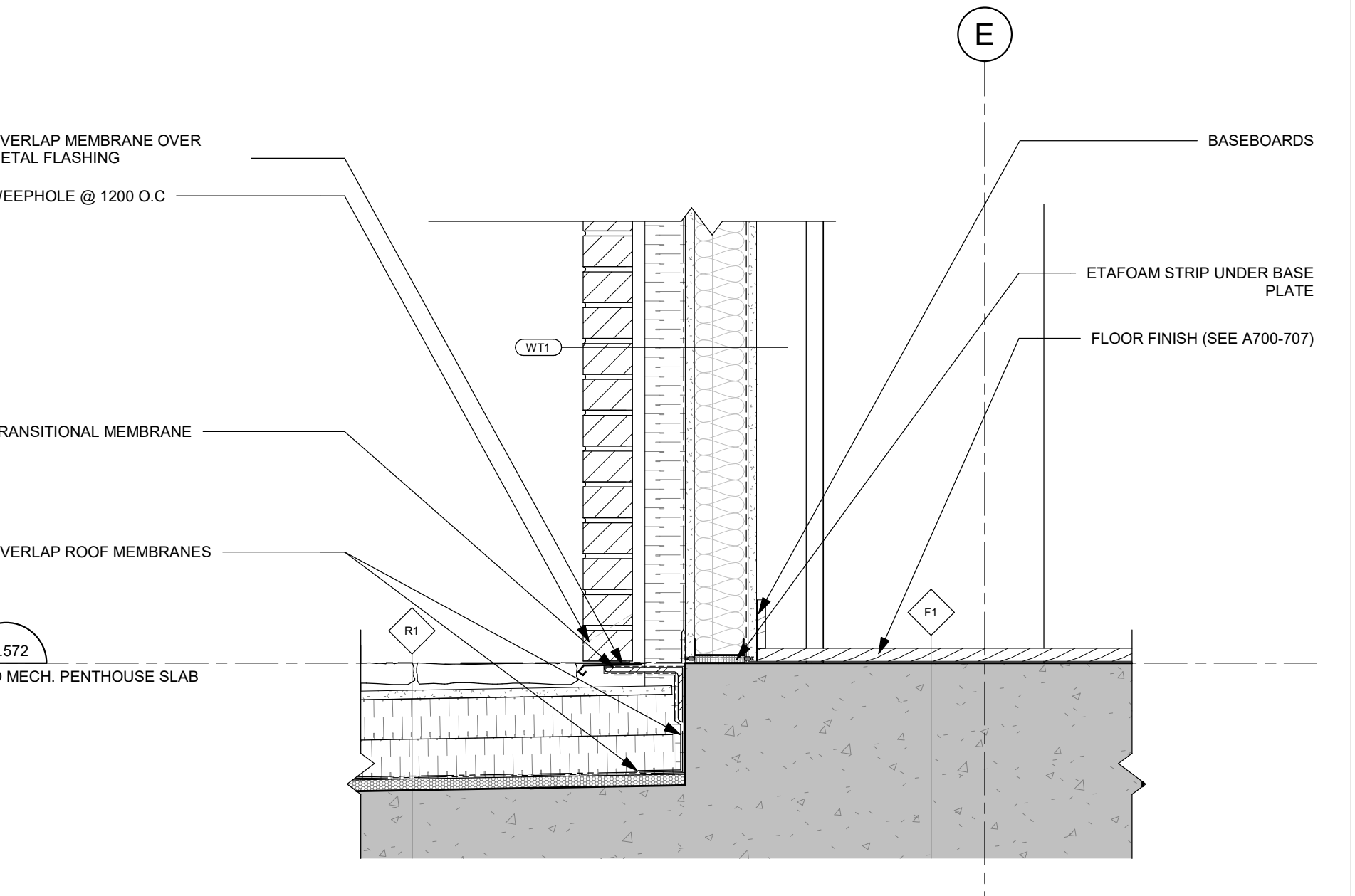
8 SECTION DETAIL - JUNCTION SLAB AND METAL CLADDING  
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3 SECTION DETAIL - ROOF PATIO 5TH FLOOR  
1 : 10



6 SECTION DETAIL - ZEN GARDEN AND GROUND FLOOR SLAB  
1 : 10



9 SECTION DETAIL - COMMON TERRACE JUNCTION  
1 : 10



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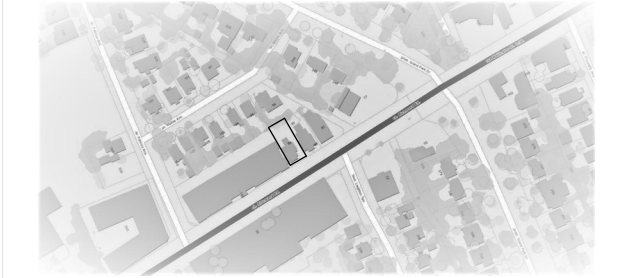
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**KEY PLAN / PLAN CLÉ :**



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9 ISSUED FOR CONSTRUCTION 23/01/16

6 Permit Resubmittal 22/12/02

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

**BUILDING ENVELOPE SECTION DETAILS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

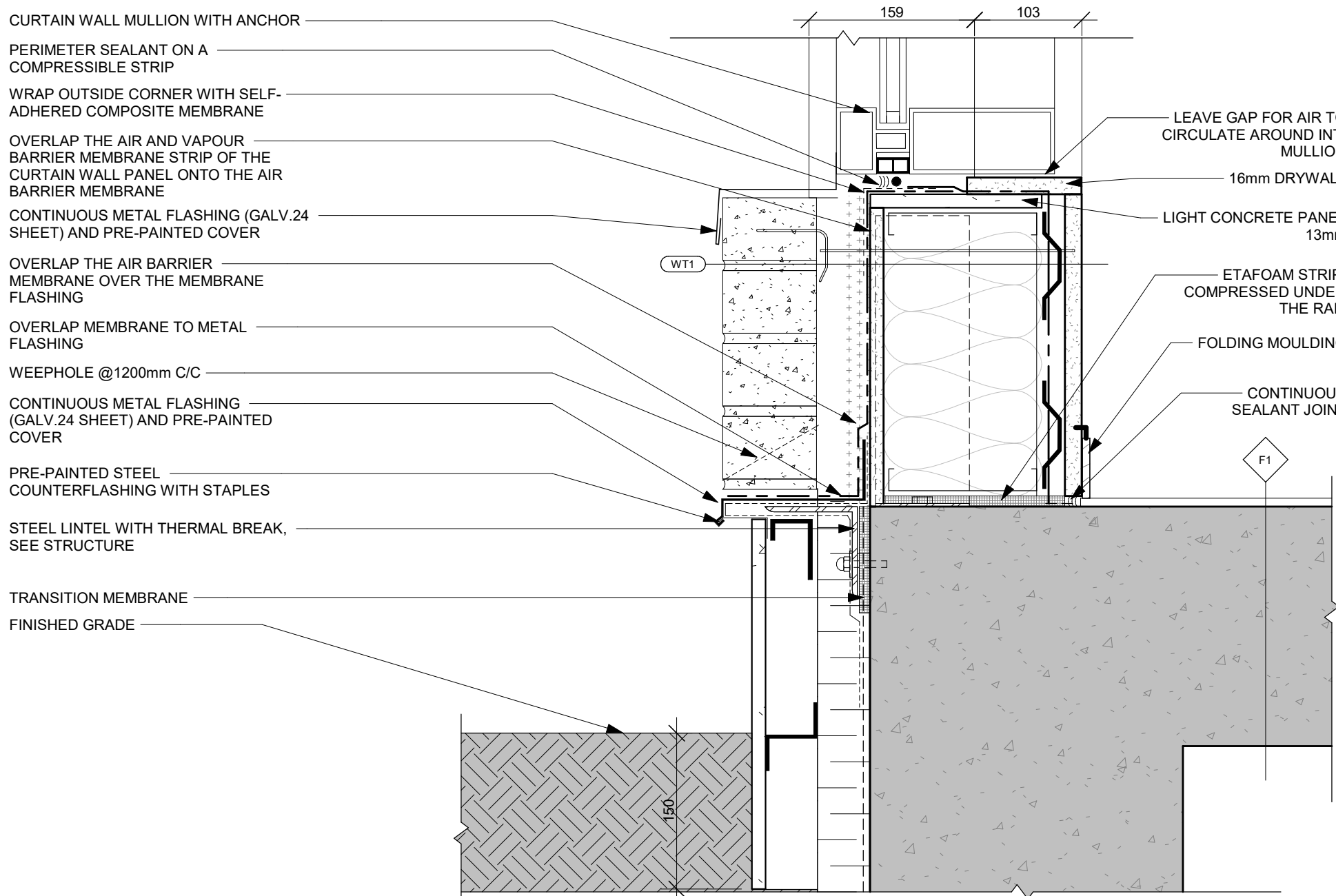
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PROJECT PHASE / PHASE DU PROJET : 1

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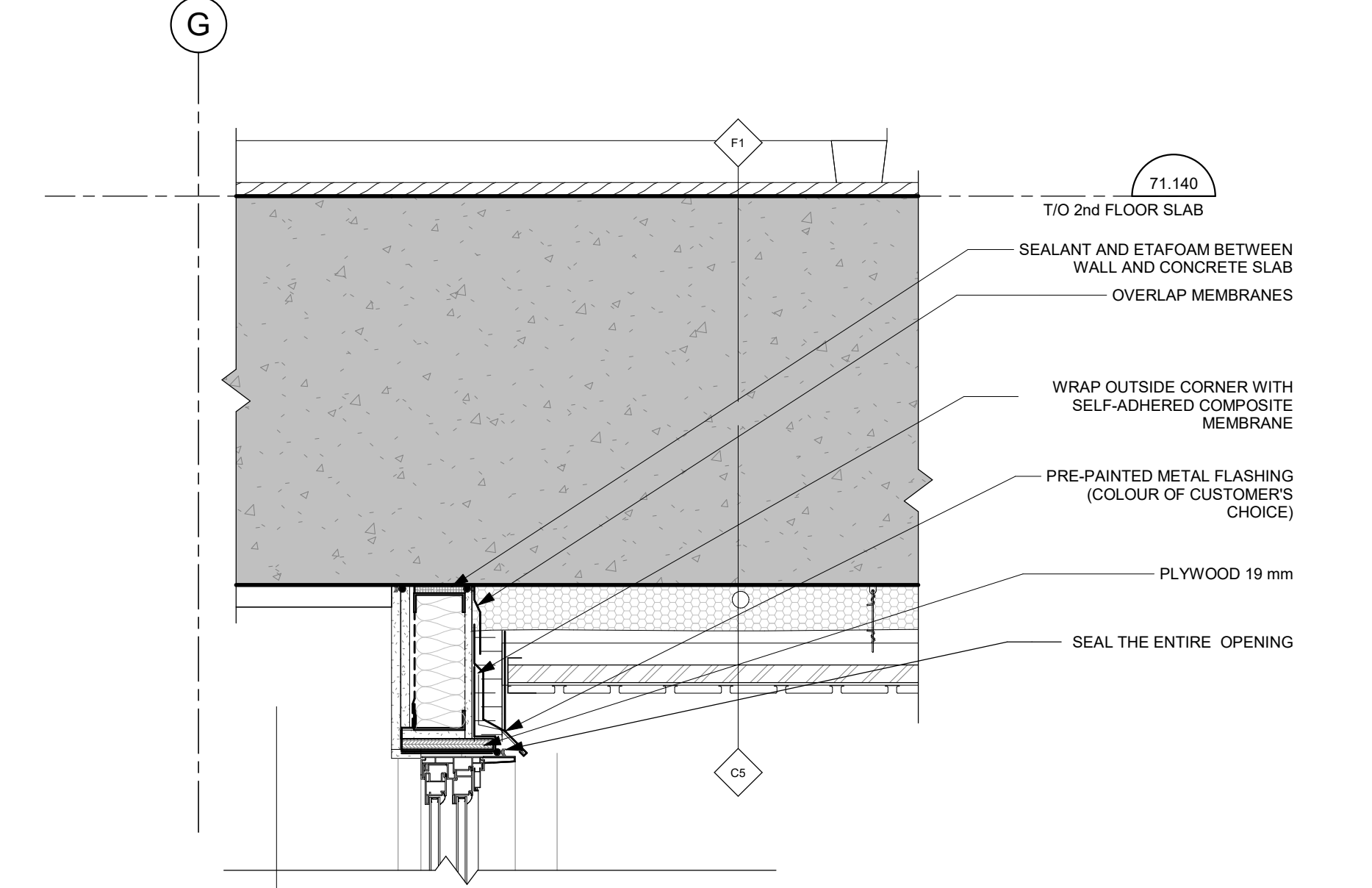
REVISION NO. / NO. DE RÉVISION :

D07-12-16-0087



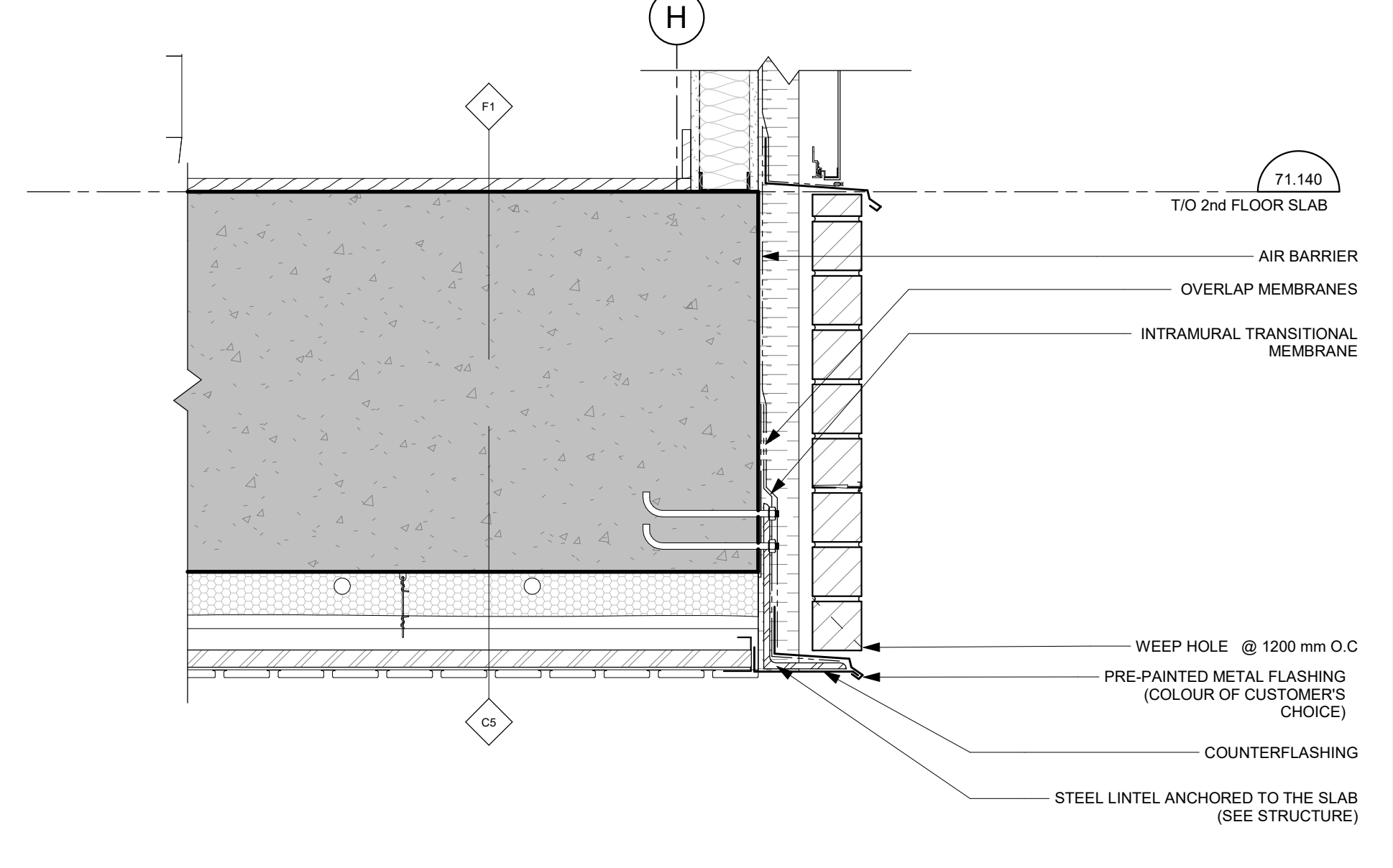
01 TYPICAL DETAIL - FOUNDATION/BRICK/CURTAIN WALL JUNCTION

A501 1 : 5



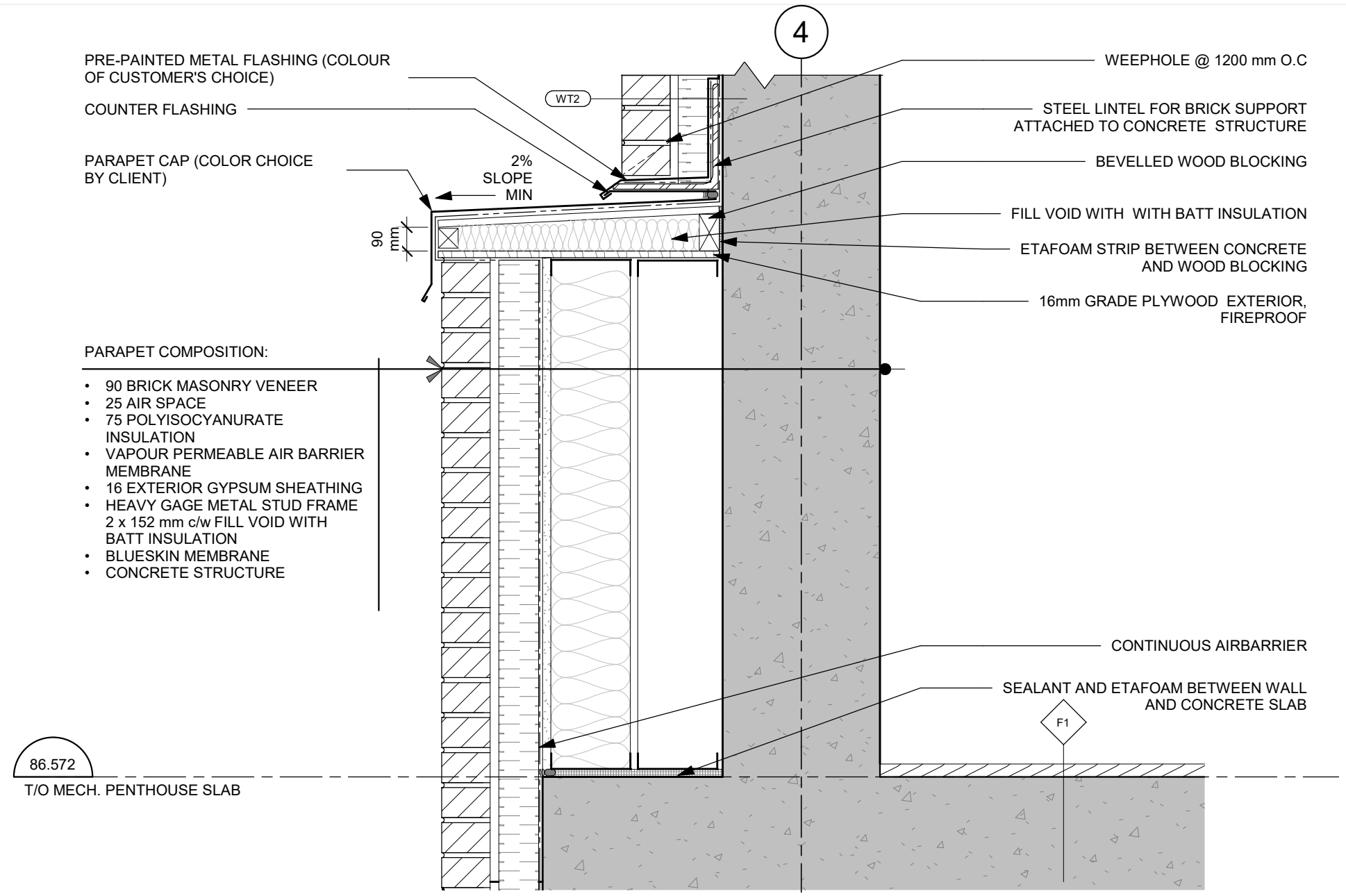
04 SECTION DETAIL - ENTRANCE SOFFIT

A501 1 : 10



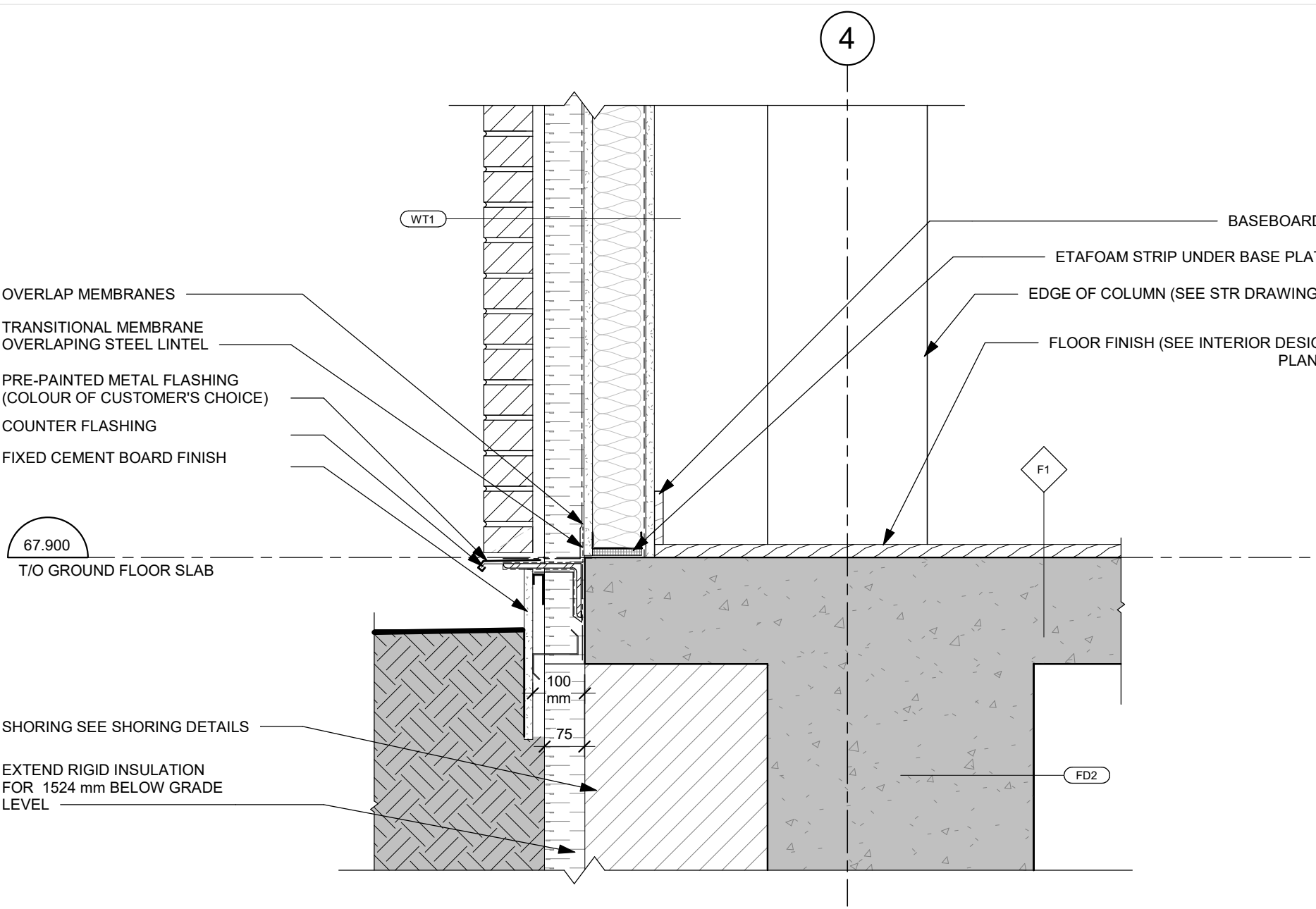
07 SECTION DETAIL - ENTRANCE SOFFIT -2

A501 1 : 10



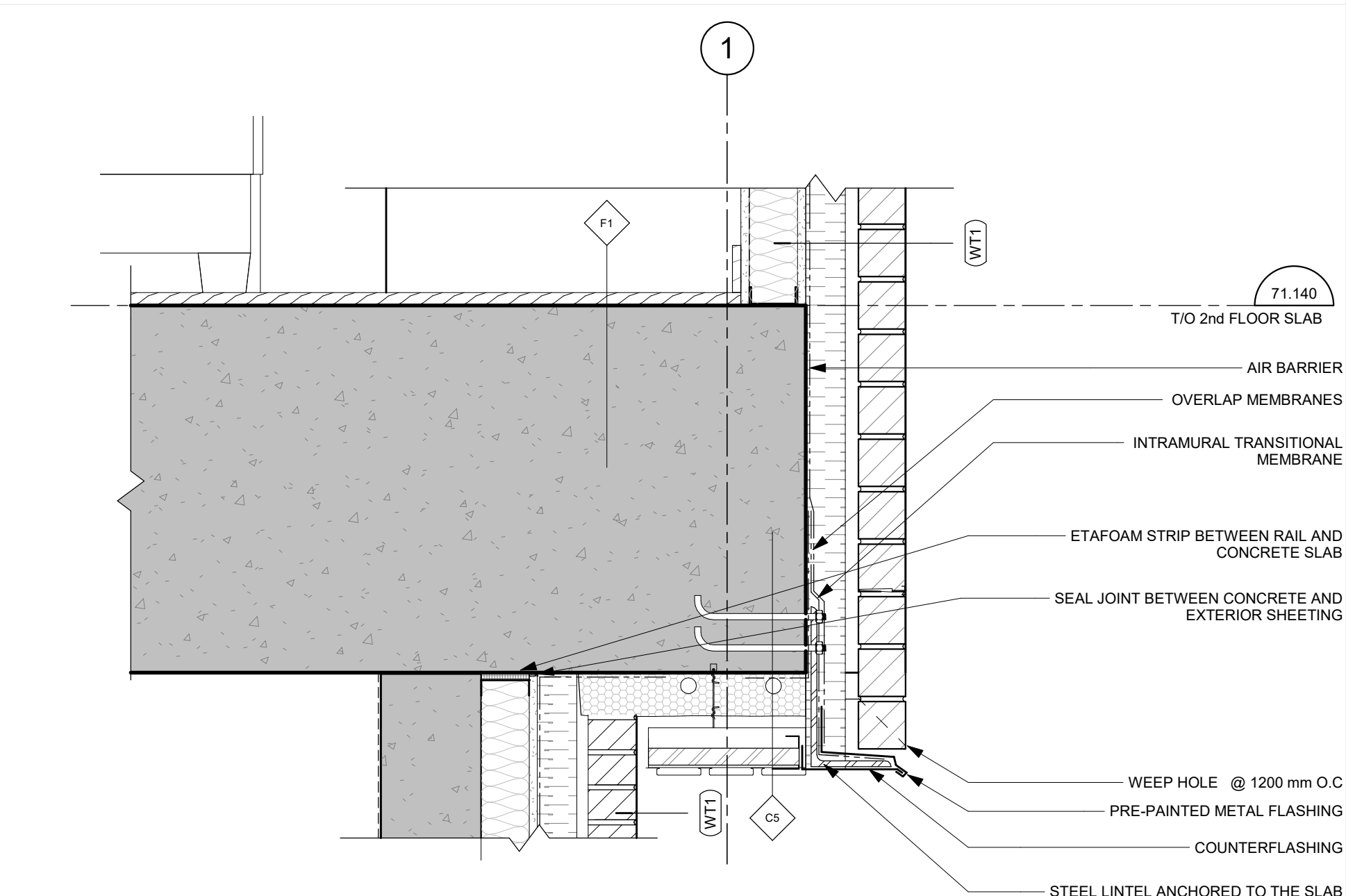
02 SECTION DETAIL - JOINING WALLS

A501 1 : 10



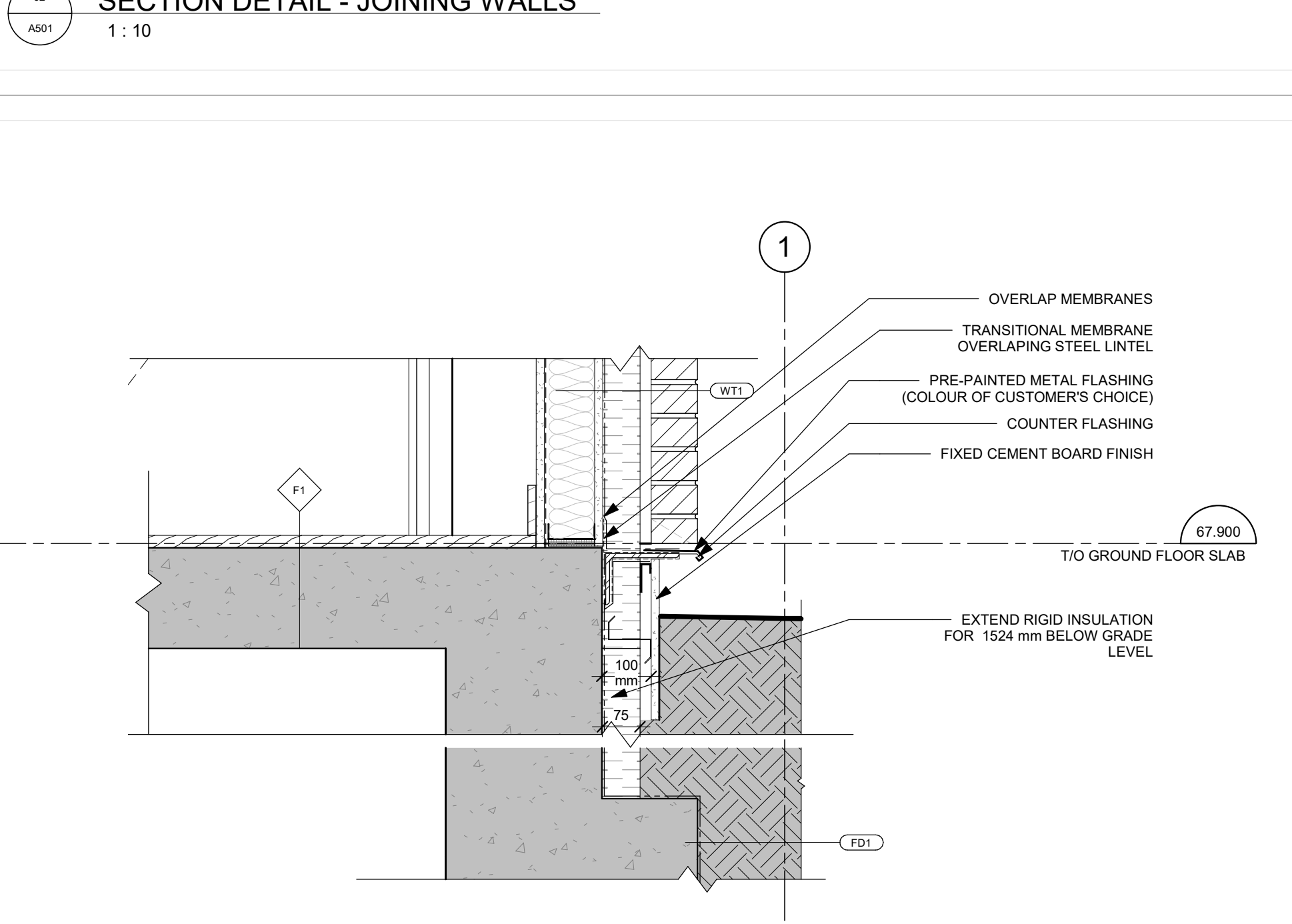
05 SECTION DETAIL - EXTENDED SLAB

A501 1 : 10



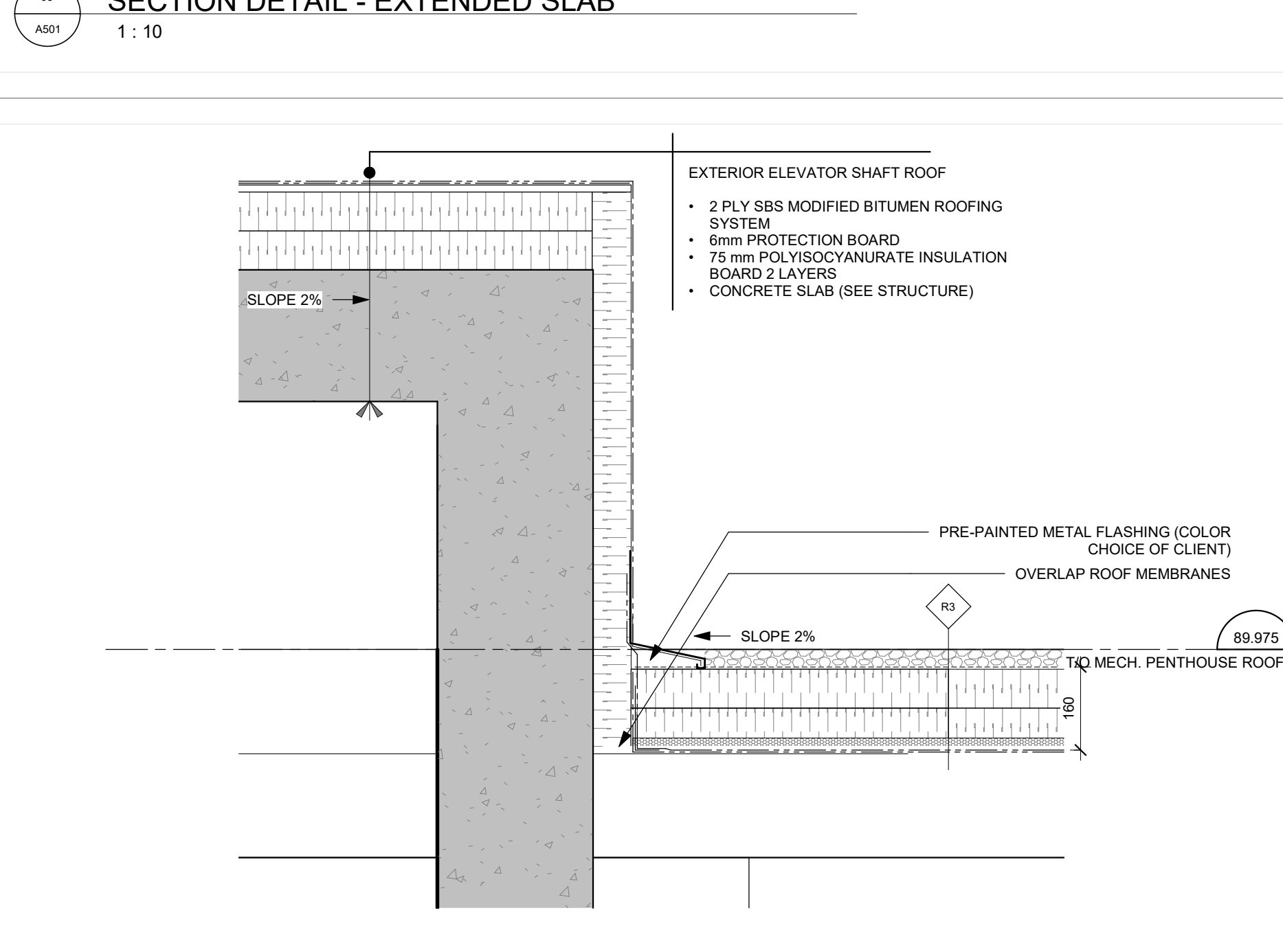
08 SECTION DETAIL - SOFFIT AND BRICK JUNCTION

A501 1 : 10



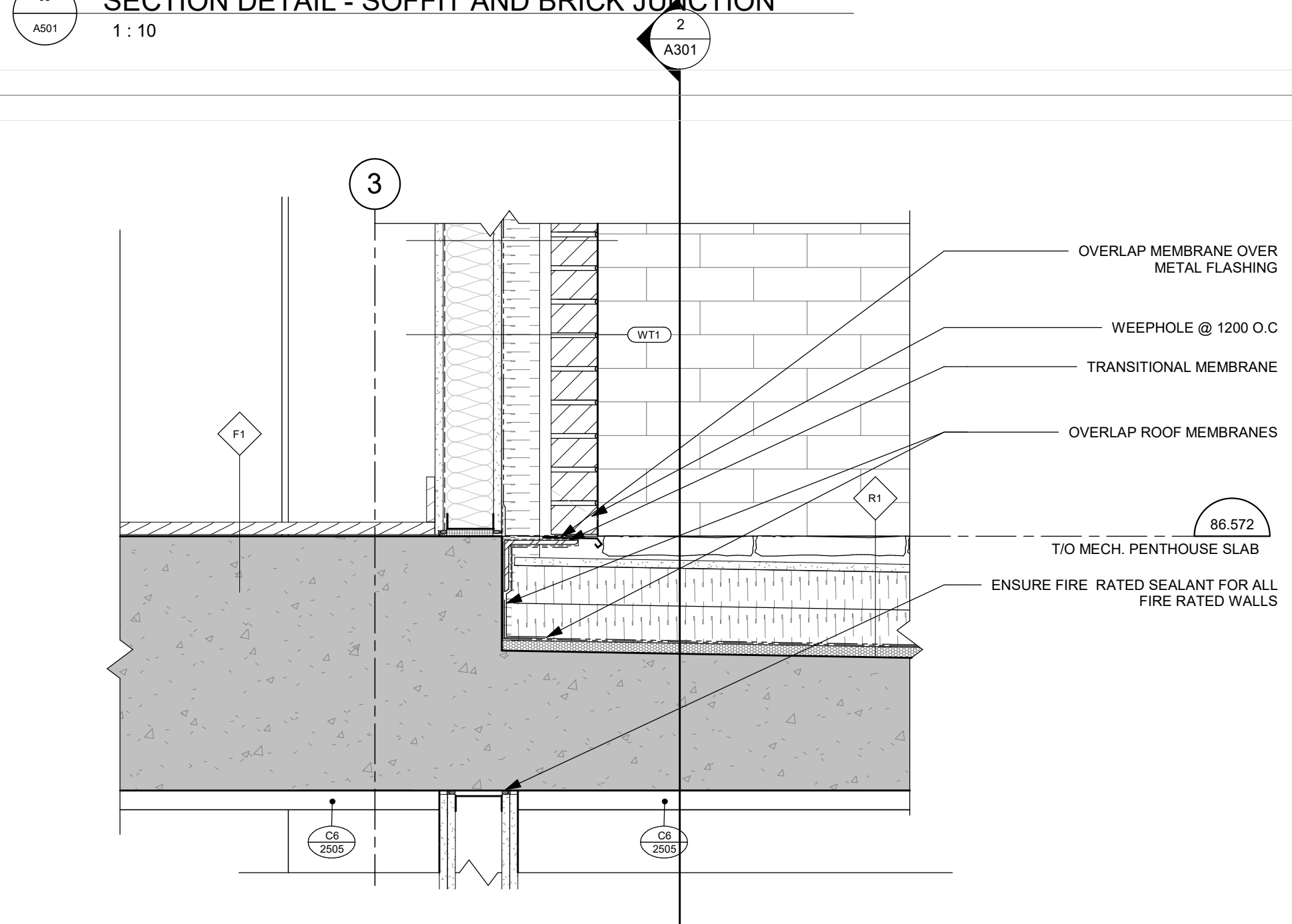
03 SECTION DETAIL - SHEARWALL AND RIGID INSULATION WRAP

A501 1 : 10



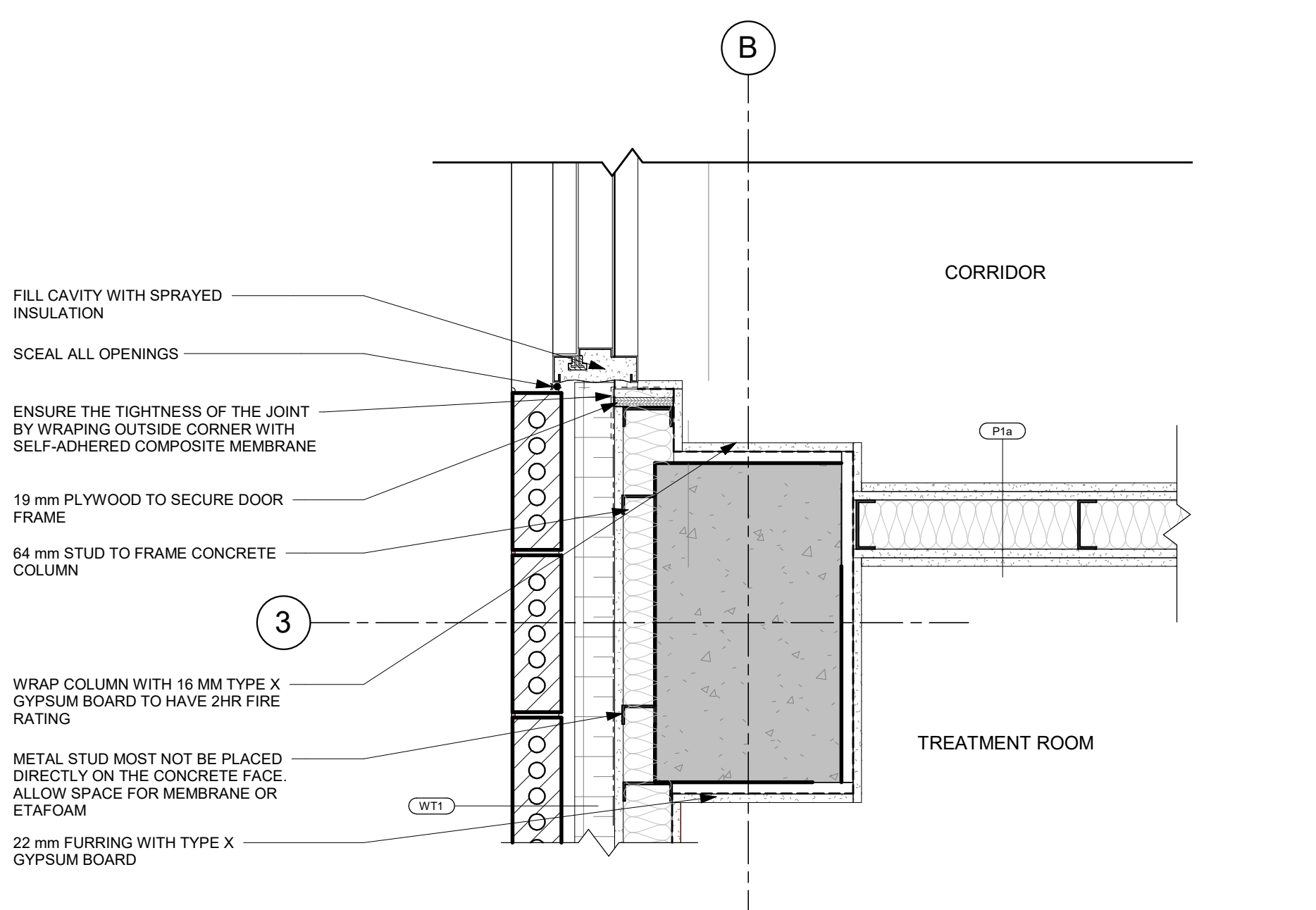
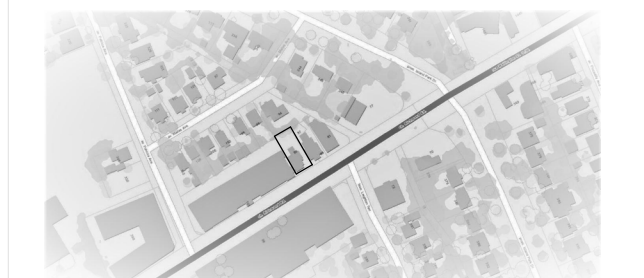
06 SECTION DETAIL - EXTERIOR ELEVATOR SHAFT ROOF

A501 1 : 10

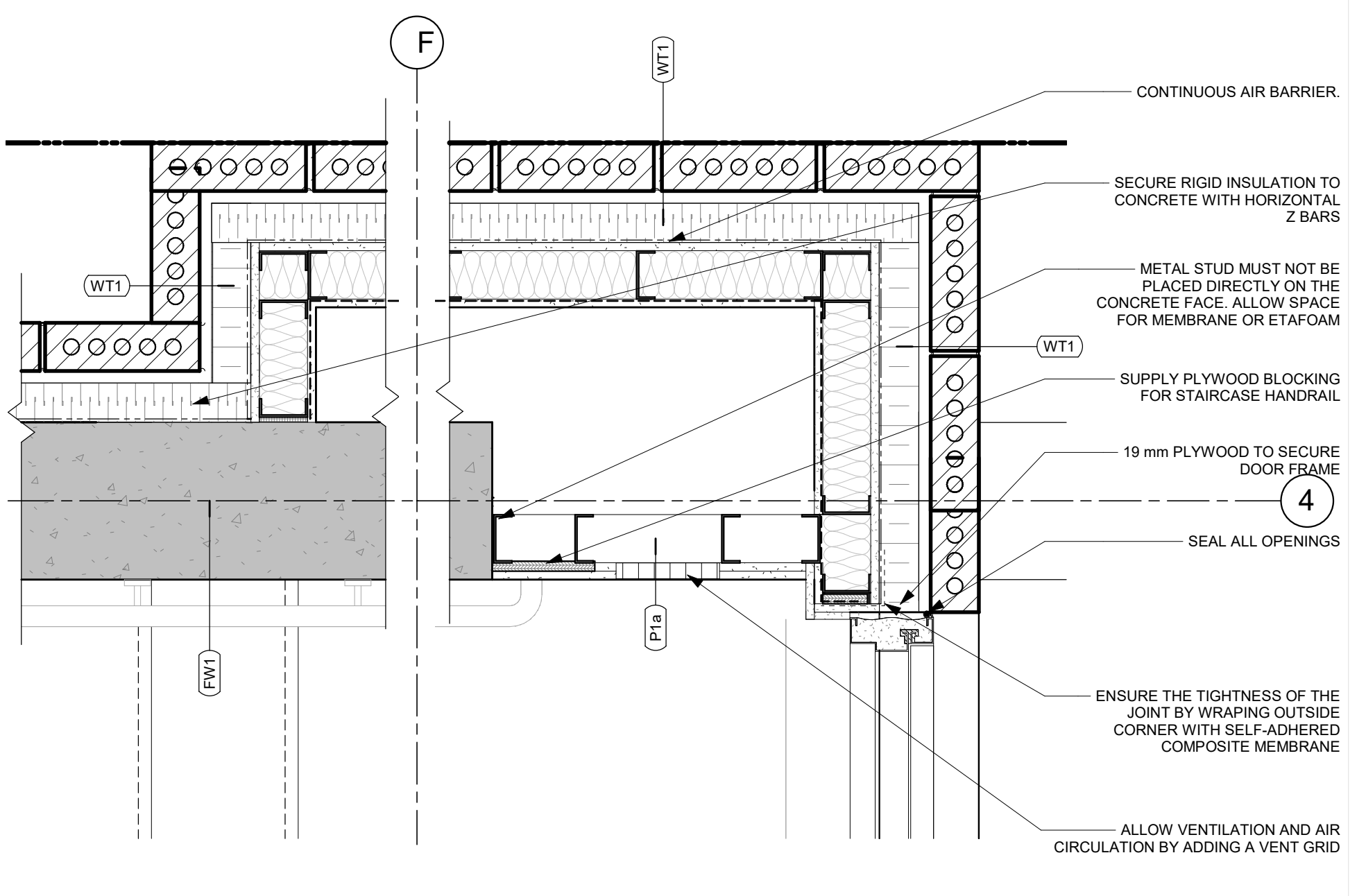


09 SECTION DETAIL - TERRACE ROOF

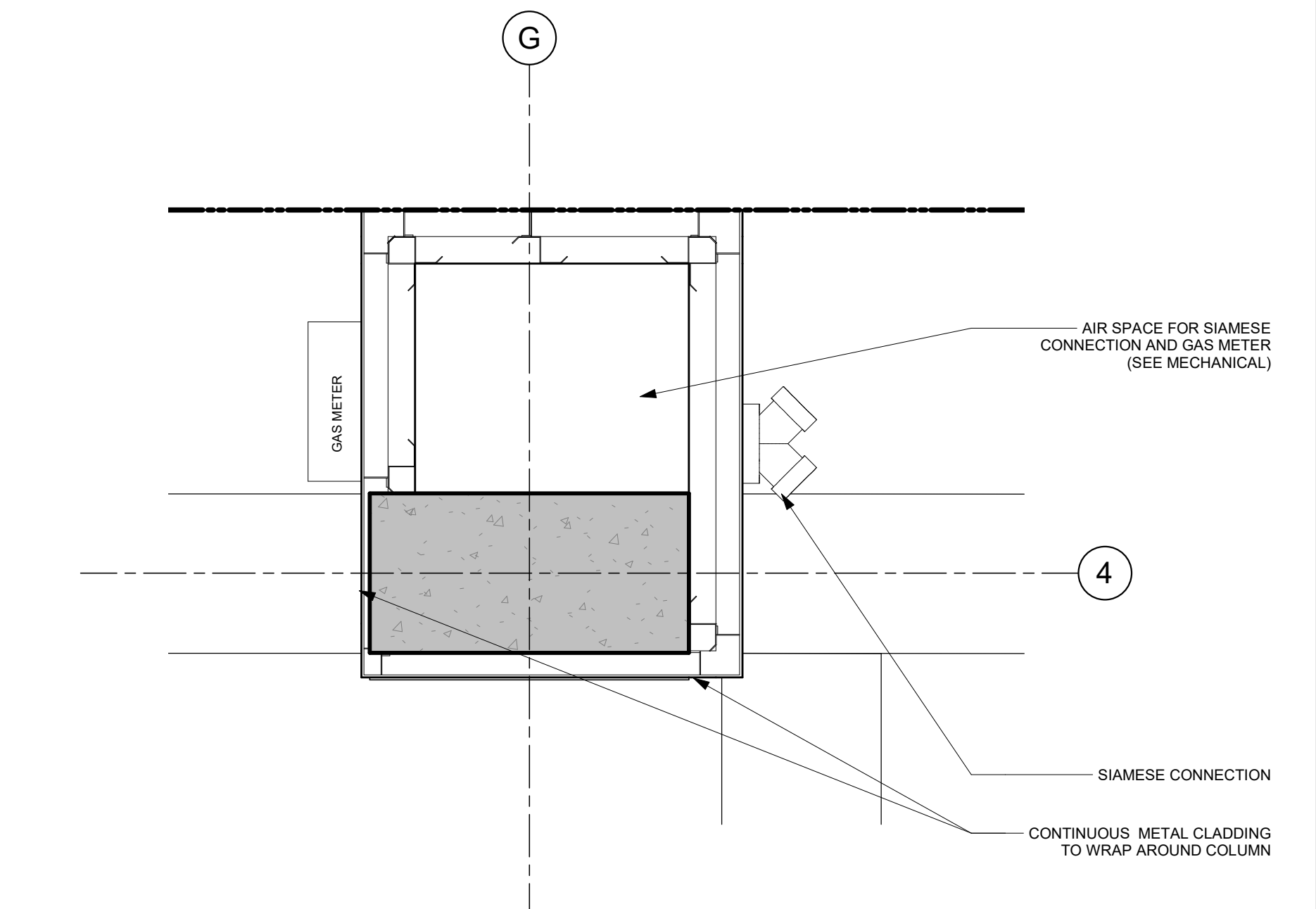
A501 1 : 10



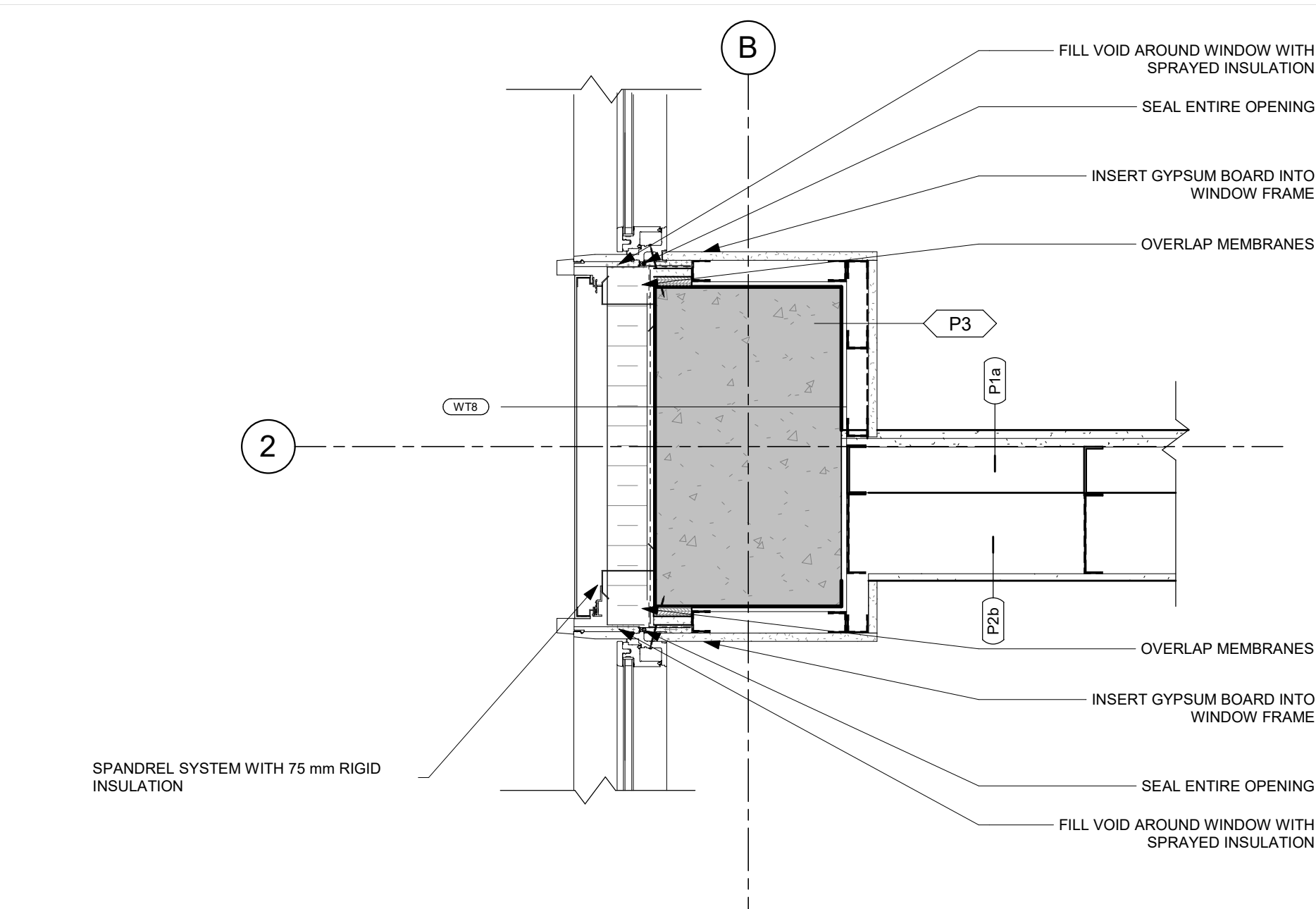
01 PLAN DETAIL - JUNCTION EXTERIOR WALL AND CONCRETE COLUMN  
1 : 10



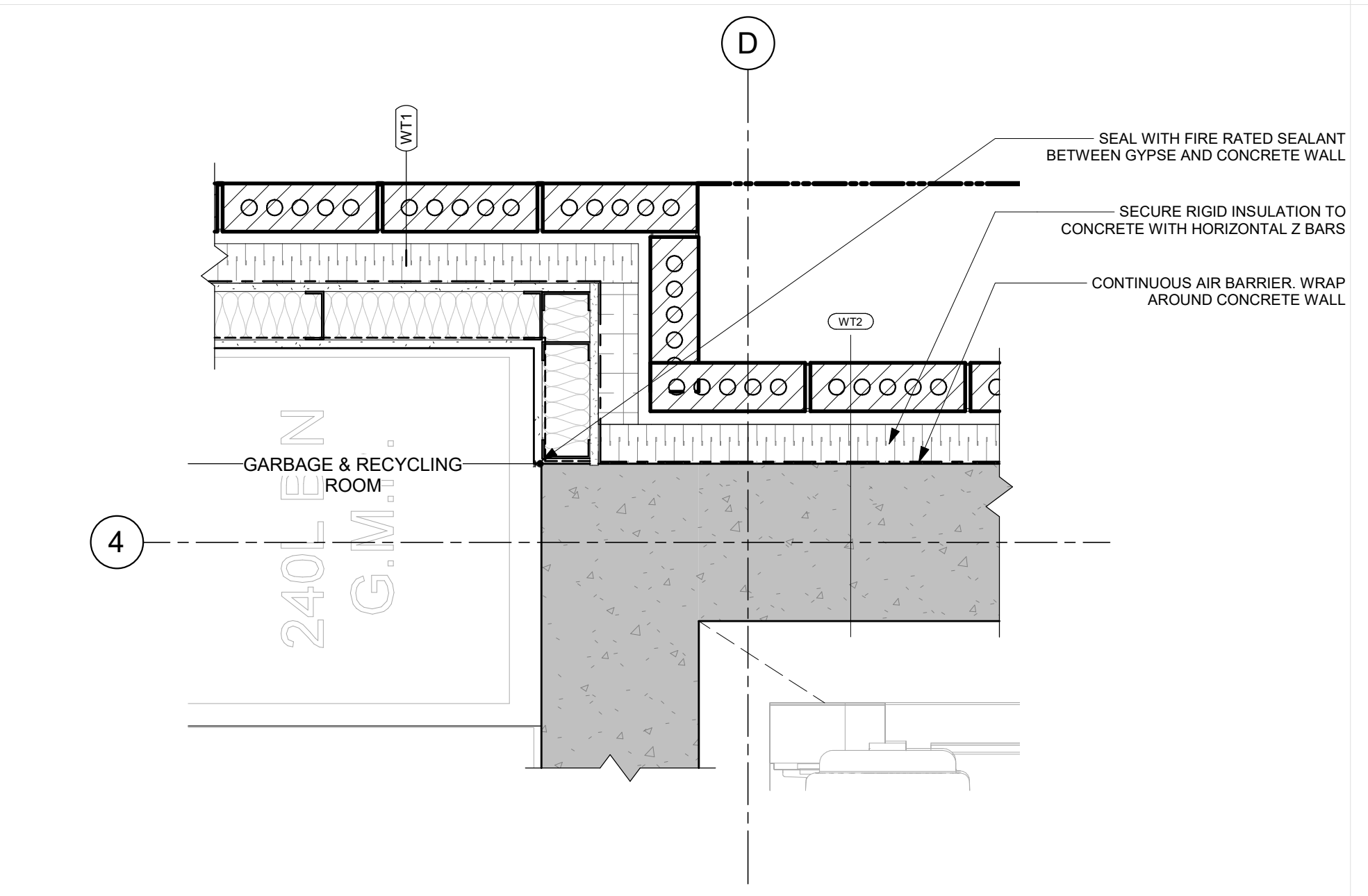
04 PLAN DETAIL - CAVITY AND EXTERIOR WALL  
1 : 10



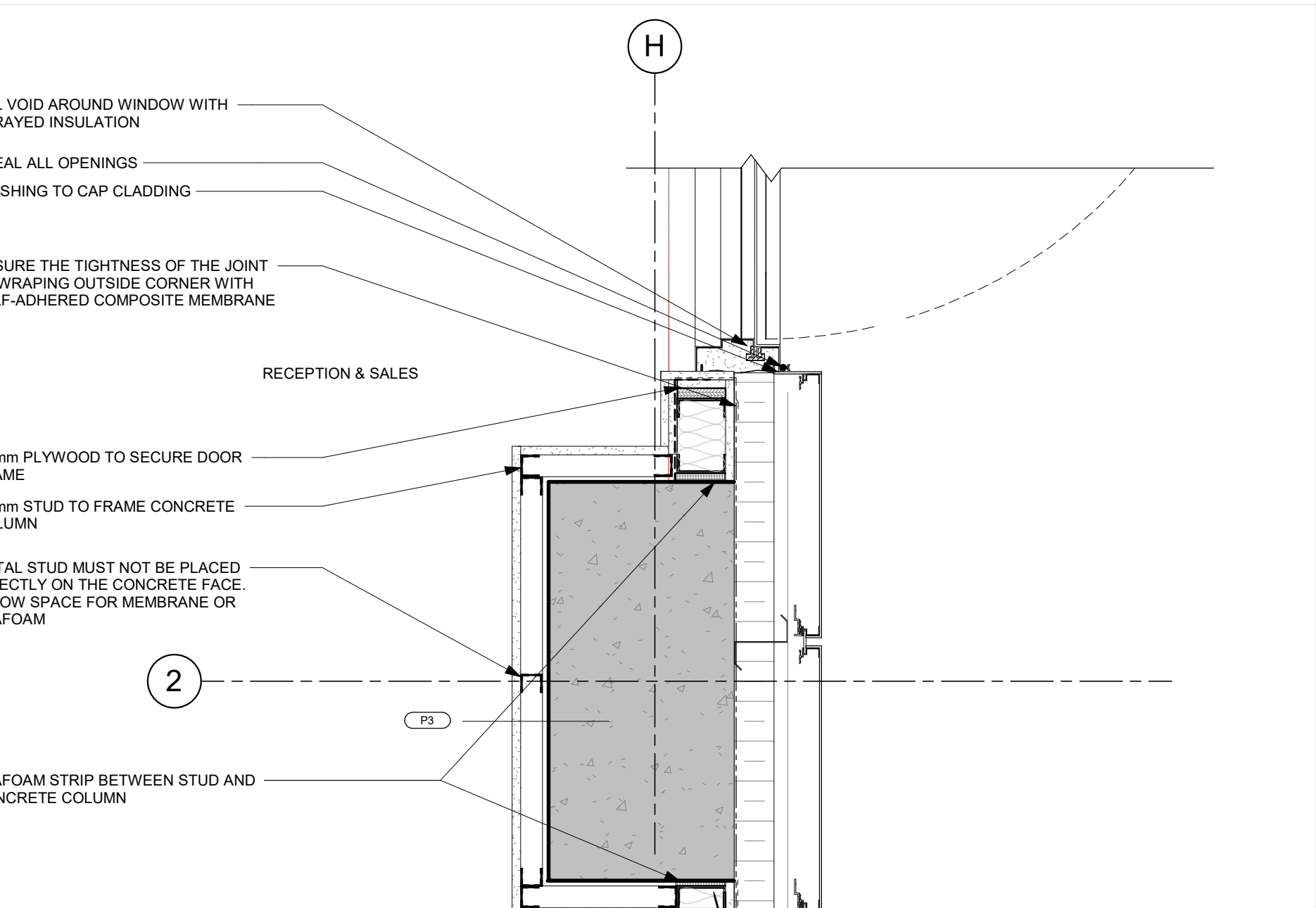
07 PLAN DETAIL - COLUMN AND SIAMESE CONNECTION  
1 : 10



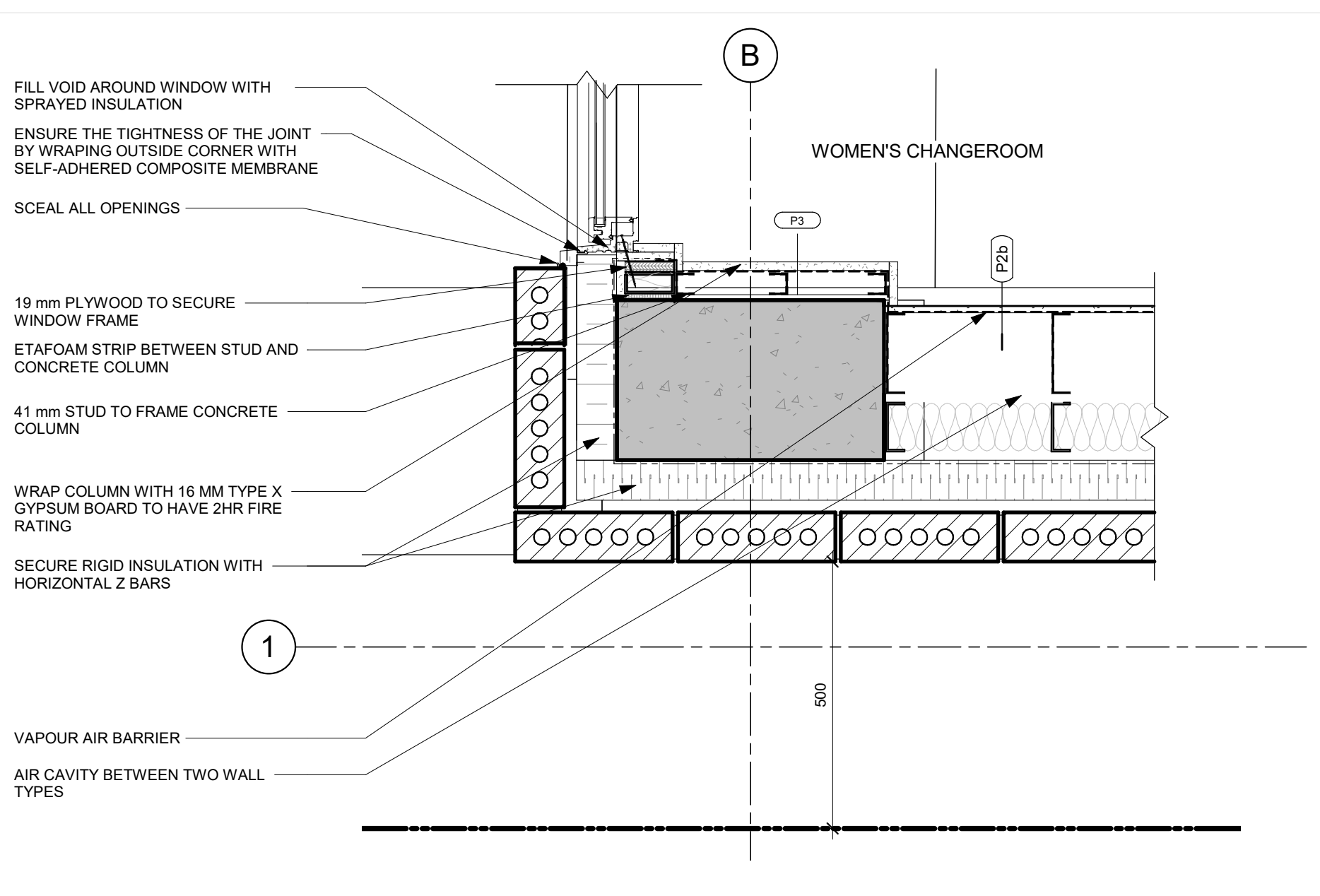
02 PLAN DETAIL - JUNCTION WINDOWS AND COLUMN  
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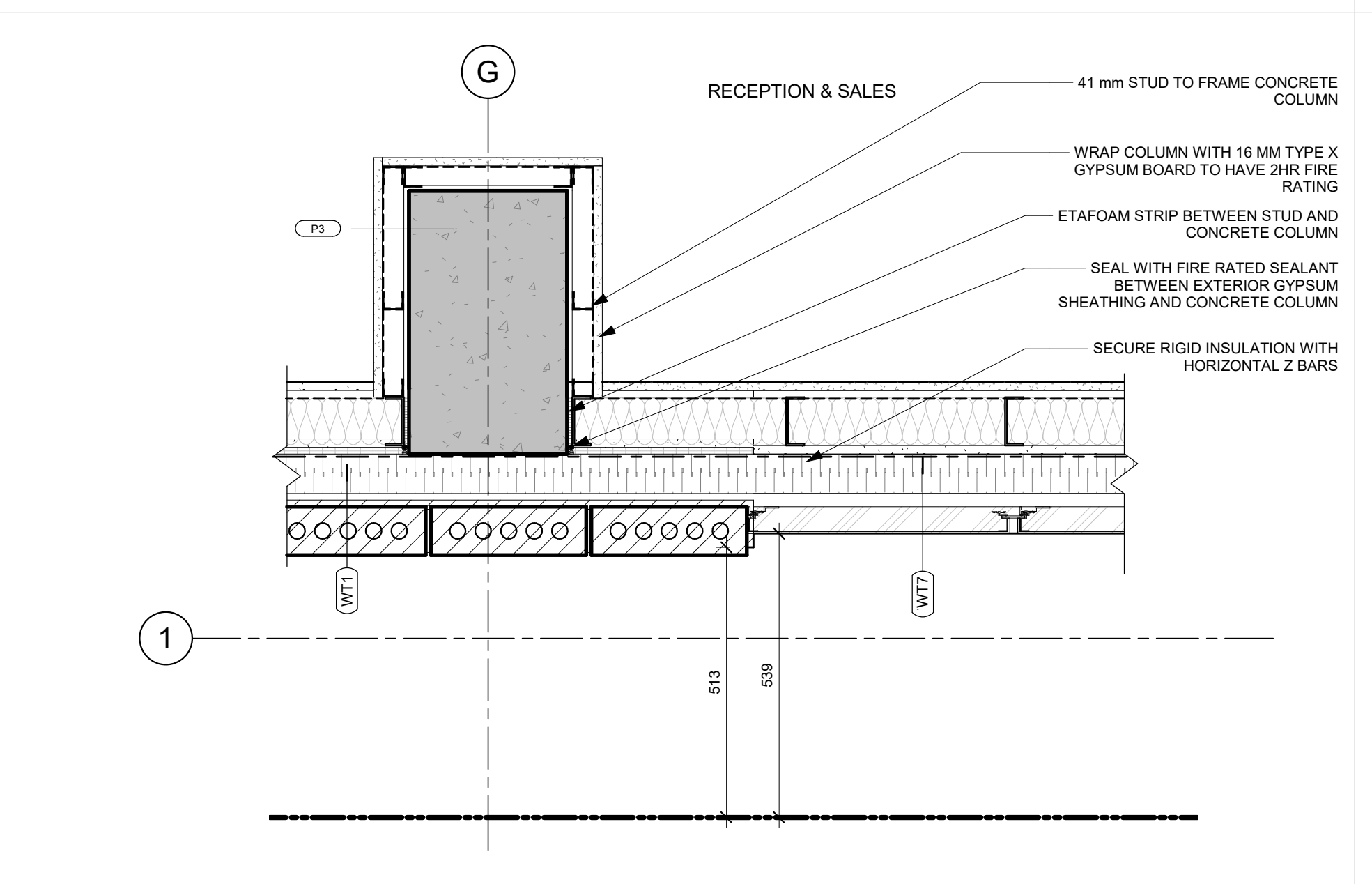
05 PLAN DETAIL - JUNCTION ELEVATOR SHAFT AND EXTERIOR WALL  
1 : 10



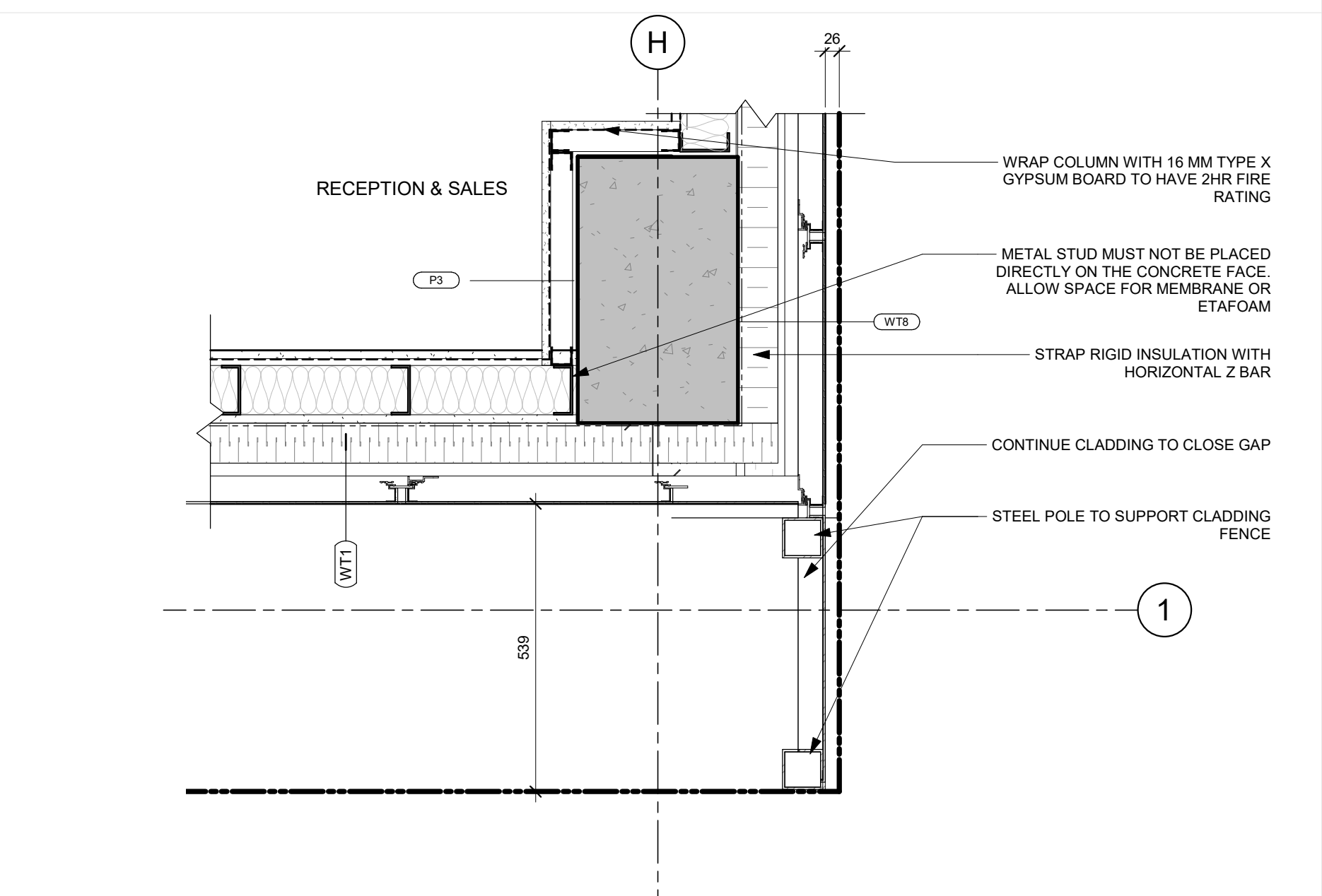
08 PLAN DETAIL - COLUMN WRAP  
1 : 10



03 PLAN DETAIL - COLUMN CORNER WRAP  
1 : 10



06 PLAN DETAIL - TRANSITION BRICK AND METAL CLADDING  
1 : 10



09 PLAN DETAIL - EXTENDED WALL (FRONT FACADE)  
1 : 10

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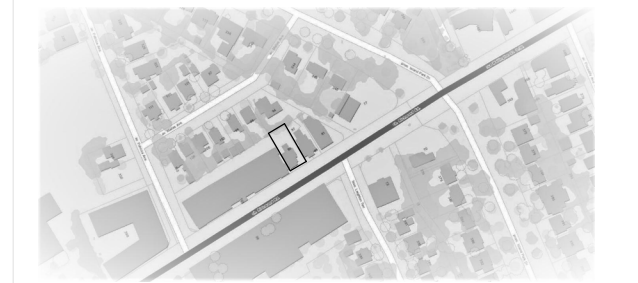
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9 ISSUED FOR CONSTRUCTION 23/01/16

Revision Number description date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**BUILDING ENVELOPE PLAN DETAILS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

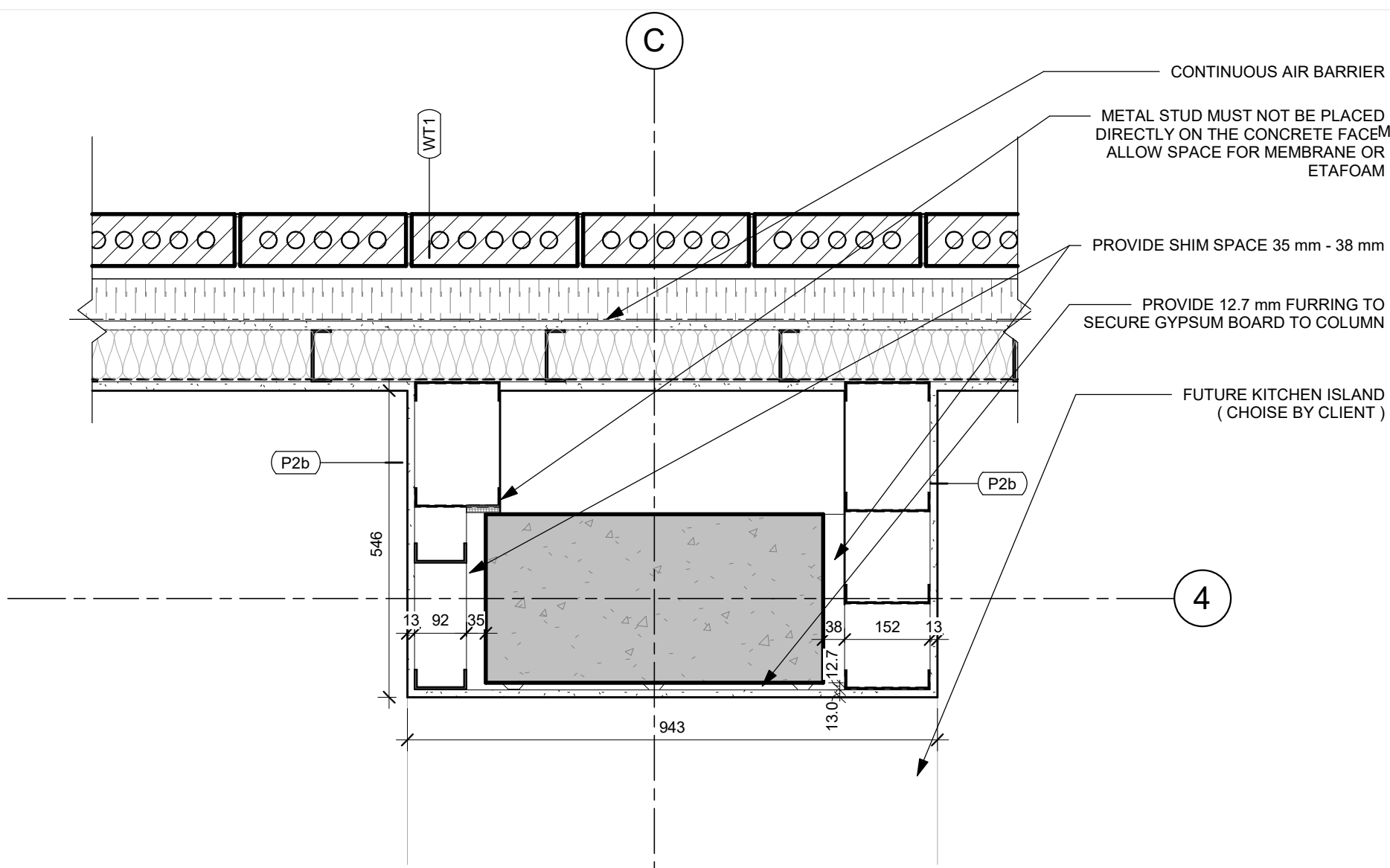
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SCALE / ÉCHELLE : 1 : 10

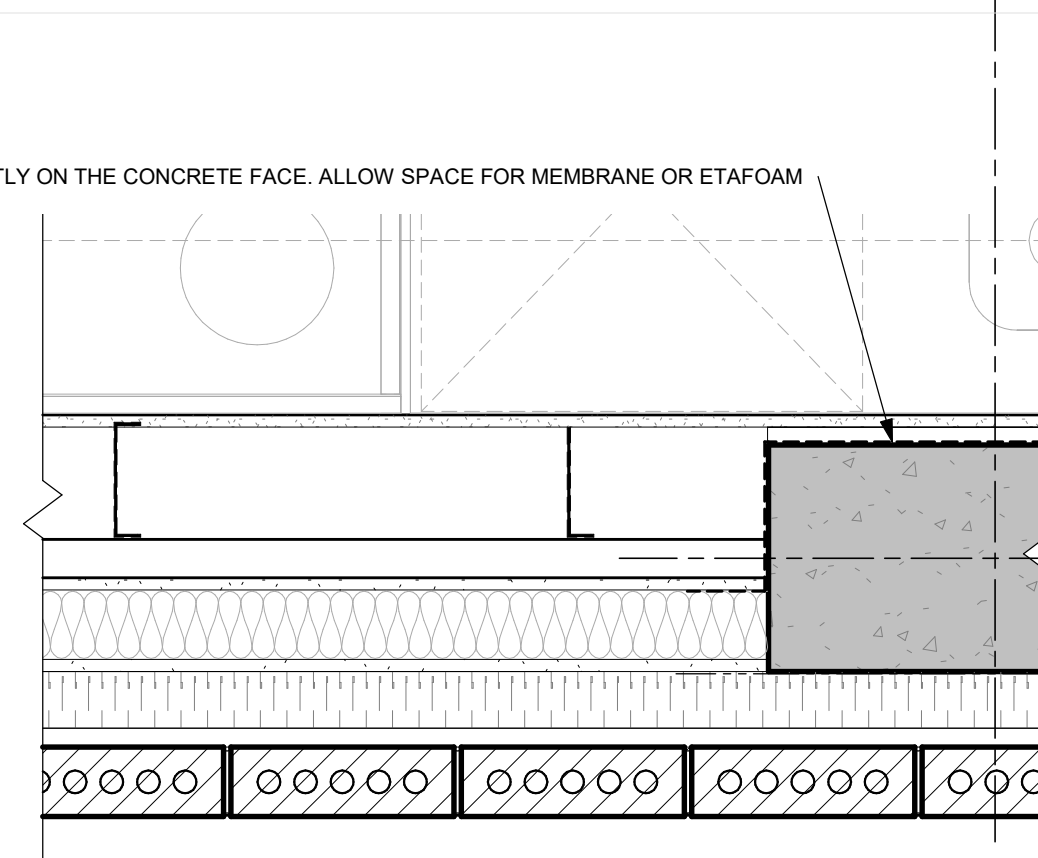
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A516

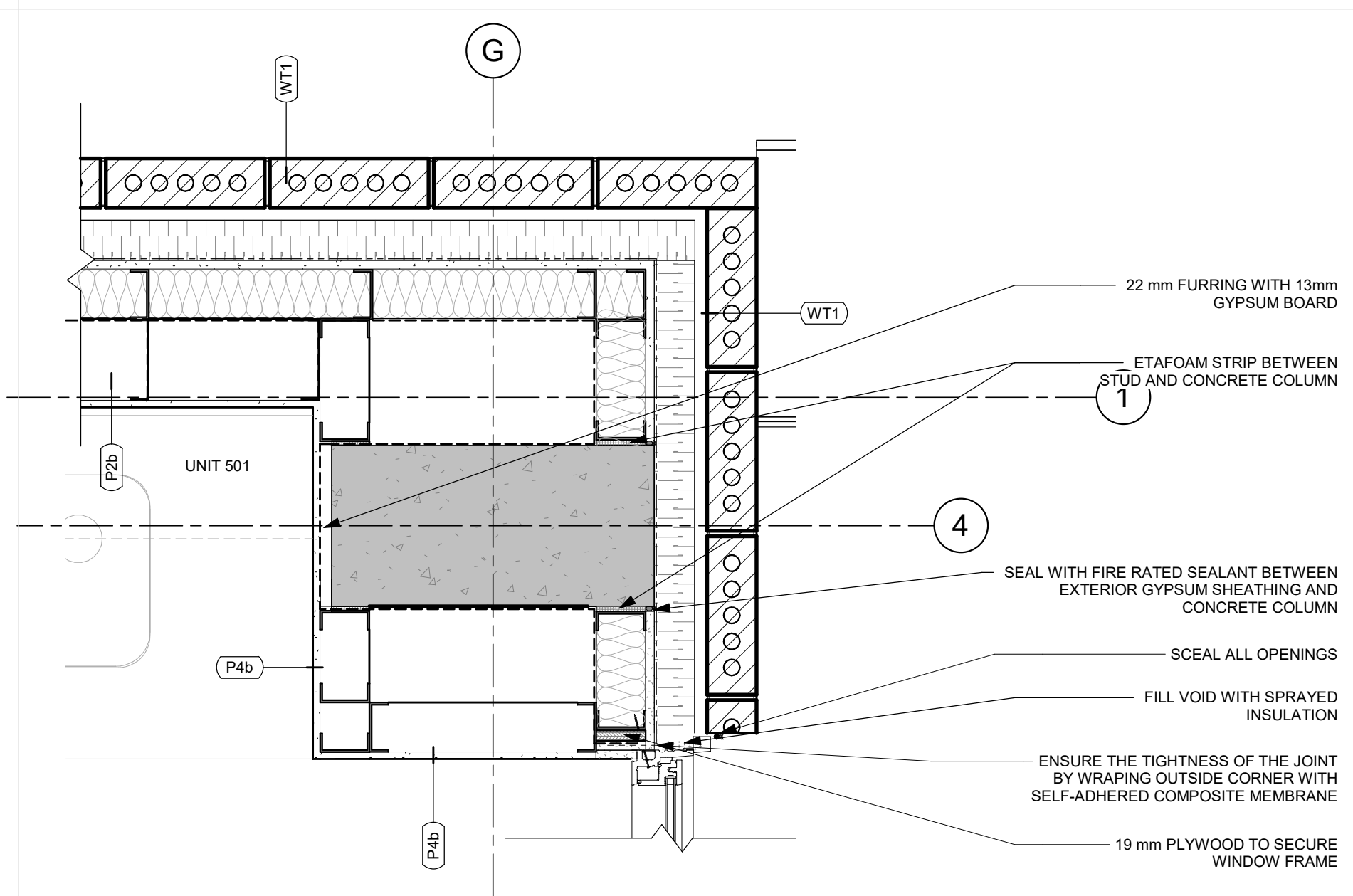
REVISION NO. / NO. DE RÉVISION :



01 PLAN DETAIL - COLUMN COVERUP RESIDENTIAL UNIT  
A516 1 : 10



02 PLAN DETAIL - JUNCTION COLUMN AND PLUMBING WALL  
A516 1 : 10



03 PLAN DETAIL - COLUMN COVERUP RESIDENTIAL UNIT 501  
A516 1 : 10

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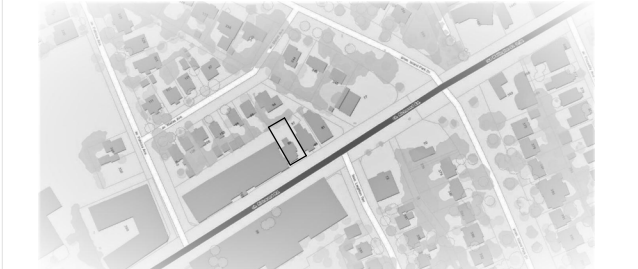
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6 Permit Resubmittal 22/12/02

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**TYPICAL ENVELOPE OPENING DETAILS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

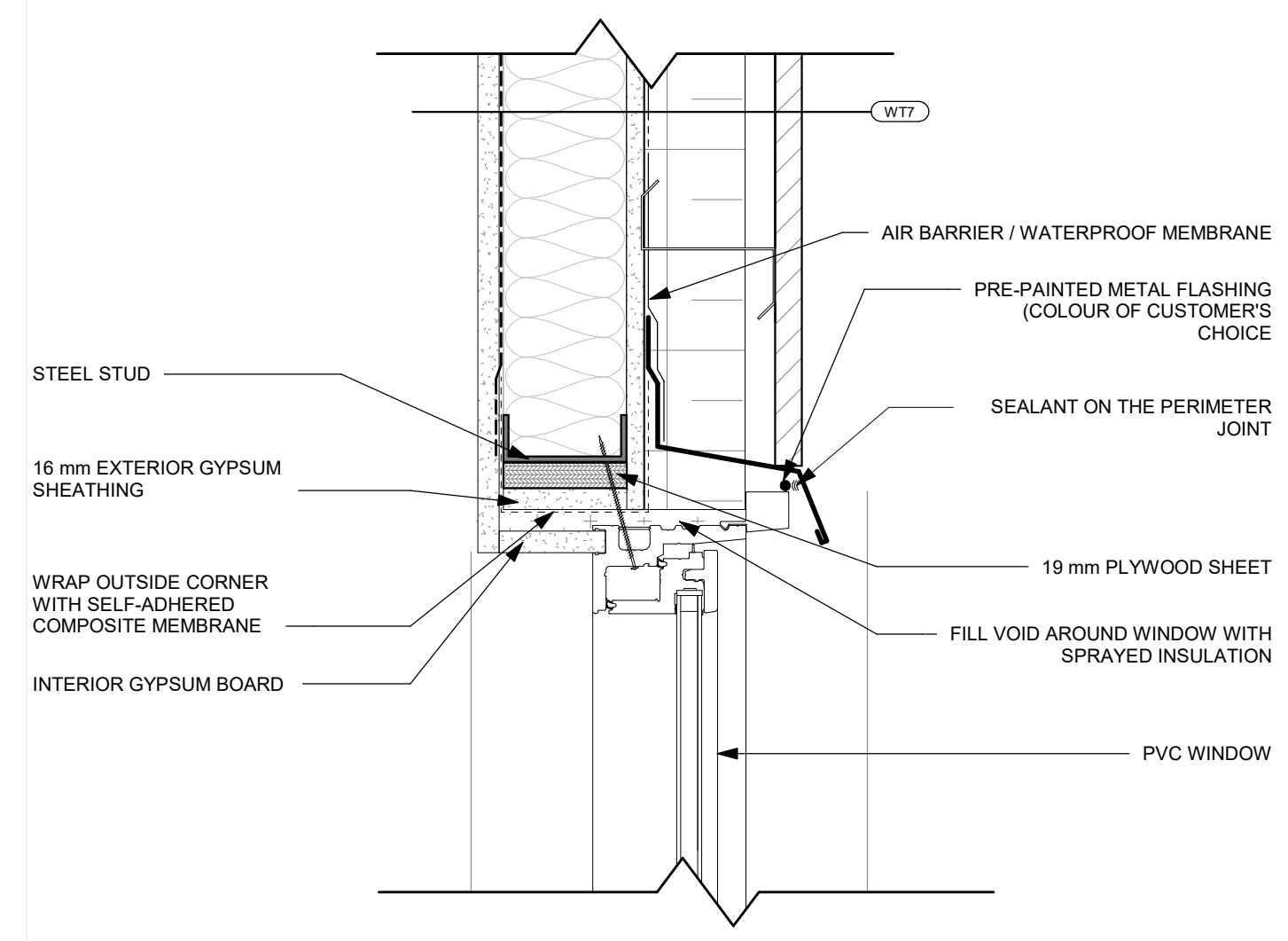
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PROJECT PHASE / PHASE DU PROJET : 1

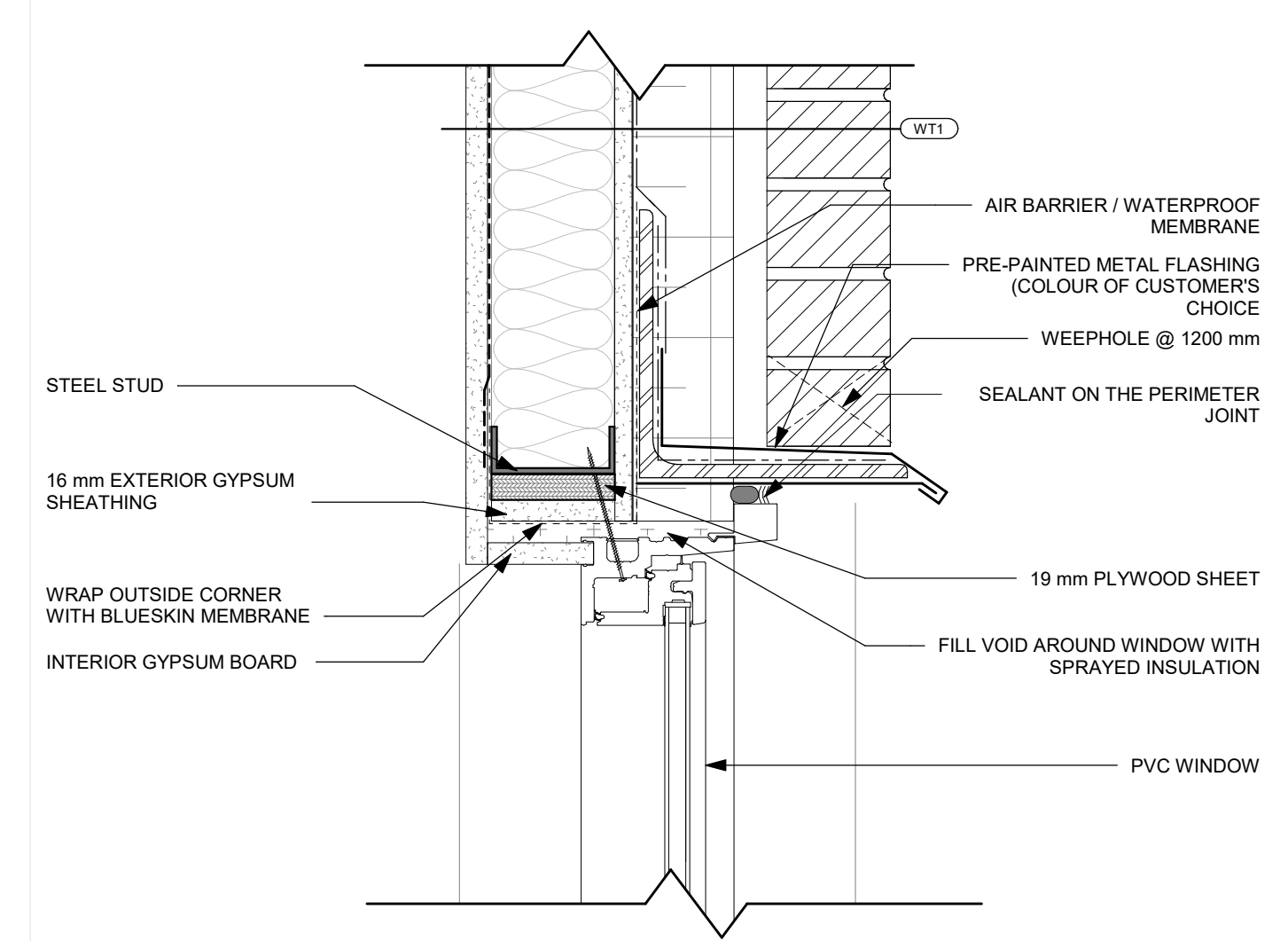
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REVISION NO. / NO. DE RÉVISION :

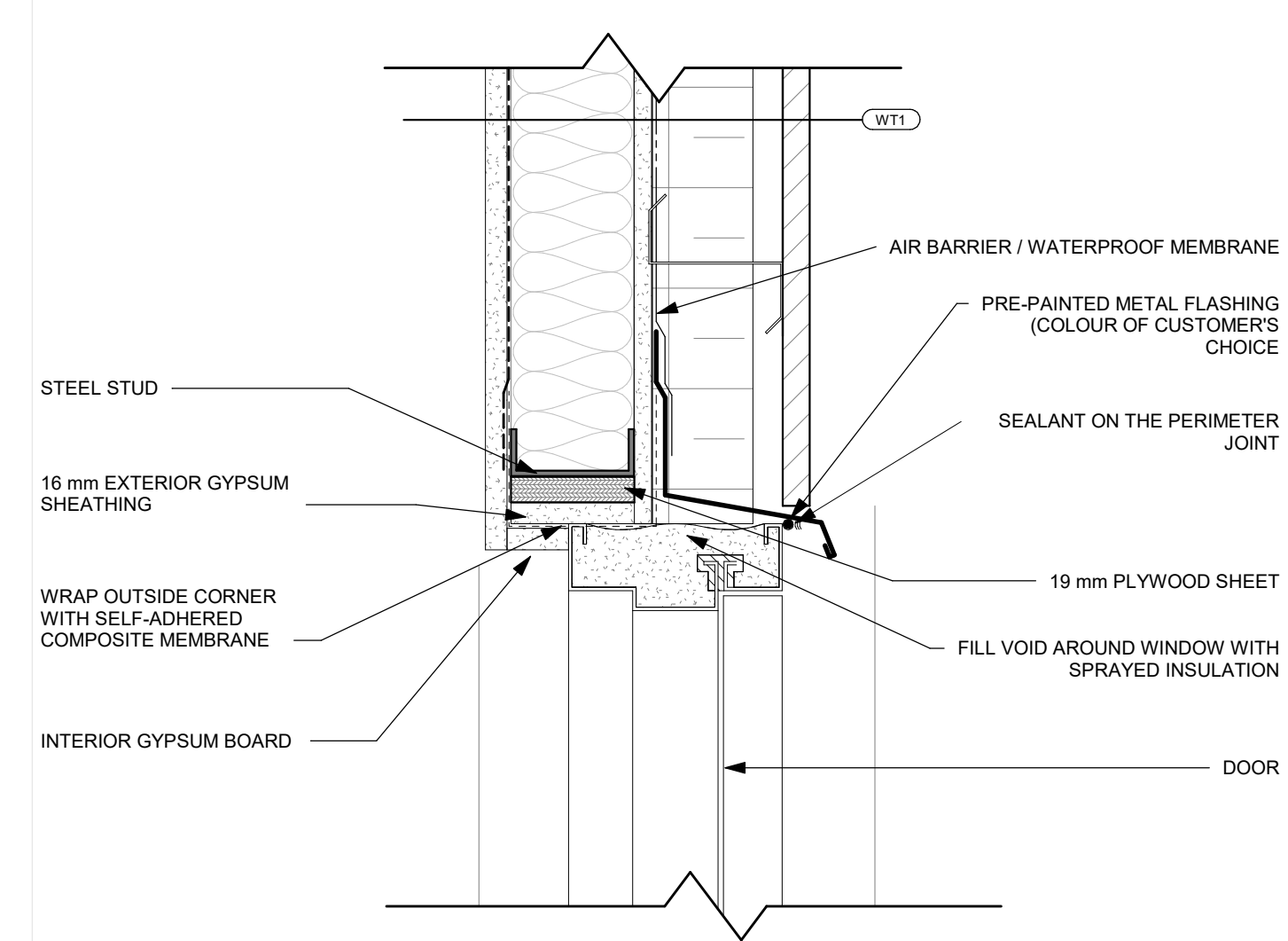
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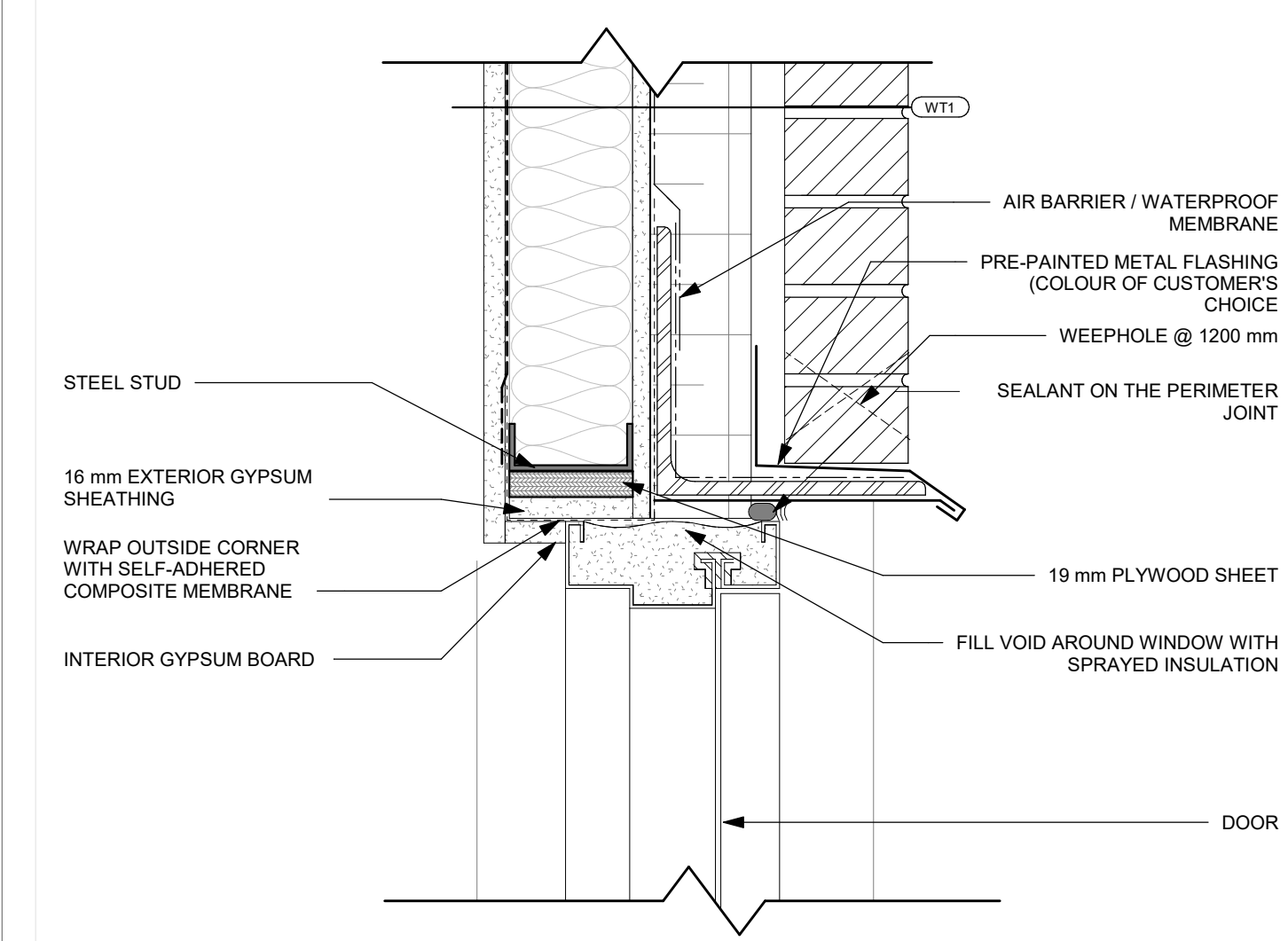
01 SECTION - TOP SILL WINDOW AND ALUMINIUM CLADDING  
1 : 5



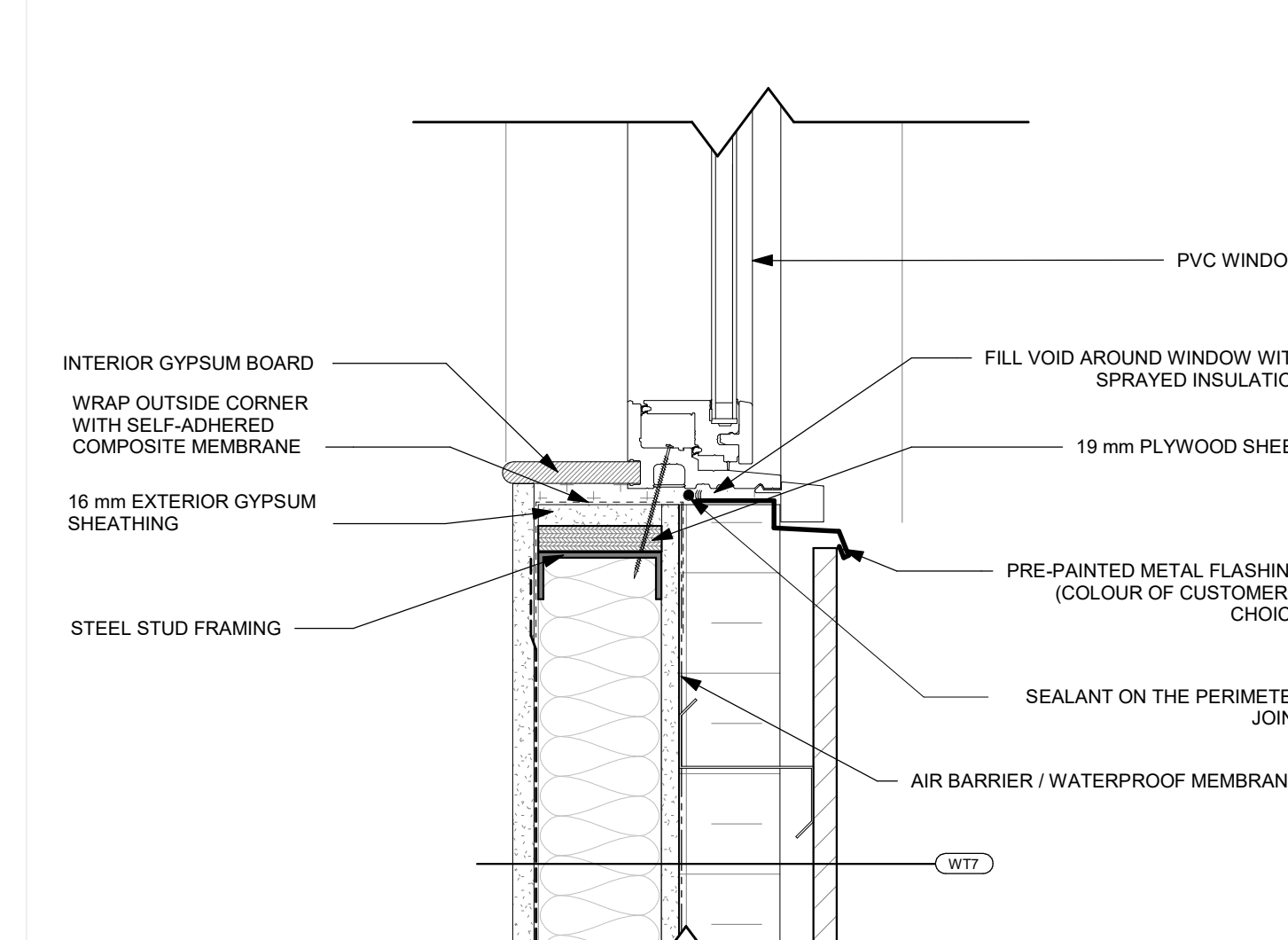
04 SECTION - WINDOW TOP SILL AND MASONRY JUNCTION  
1 : 5



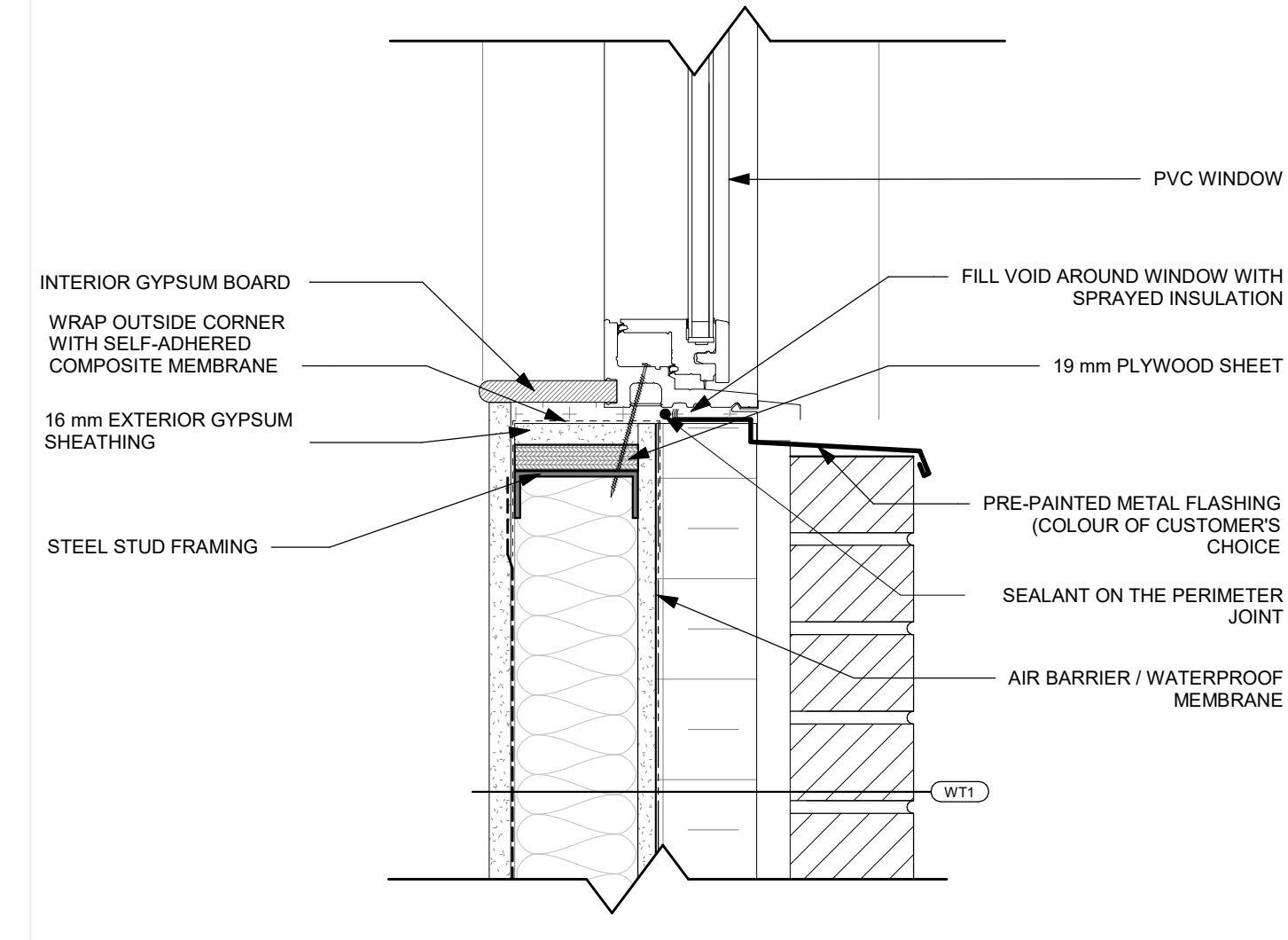
07 SECTION - DOOR HEAD ALUMINIUM CLADDING  
1 : 5



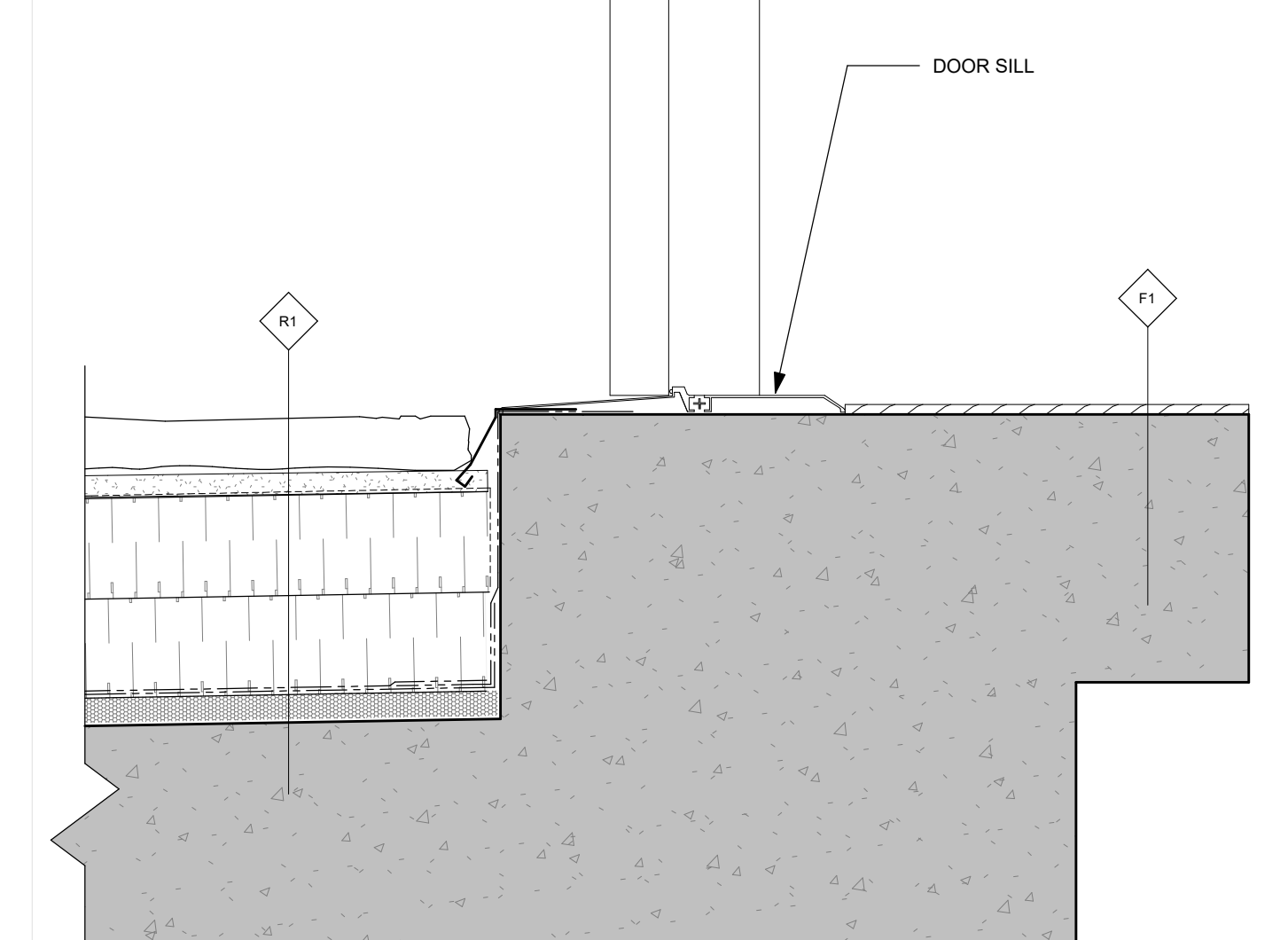
10 SECTION - DOOR HEAD MASONRY CLADDING  
1 : 5



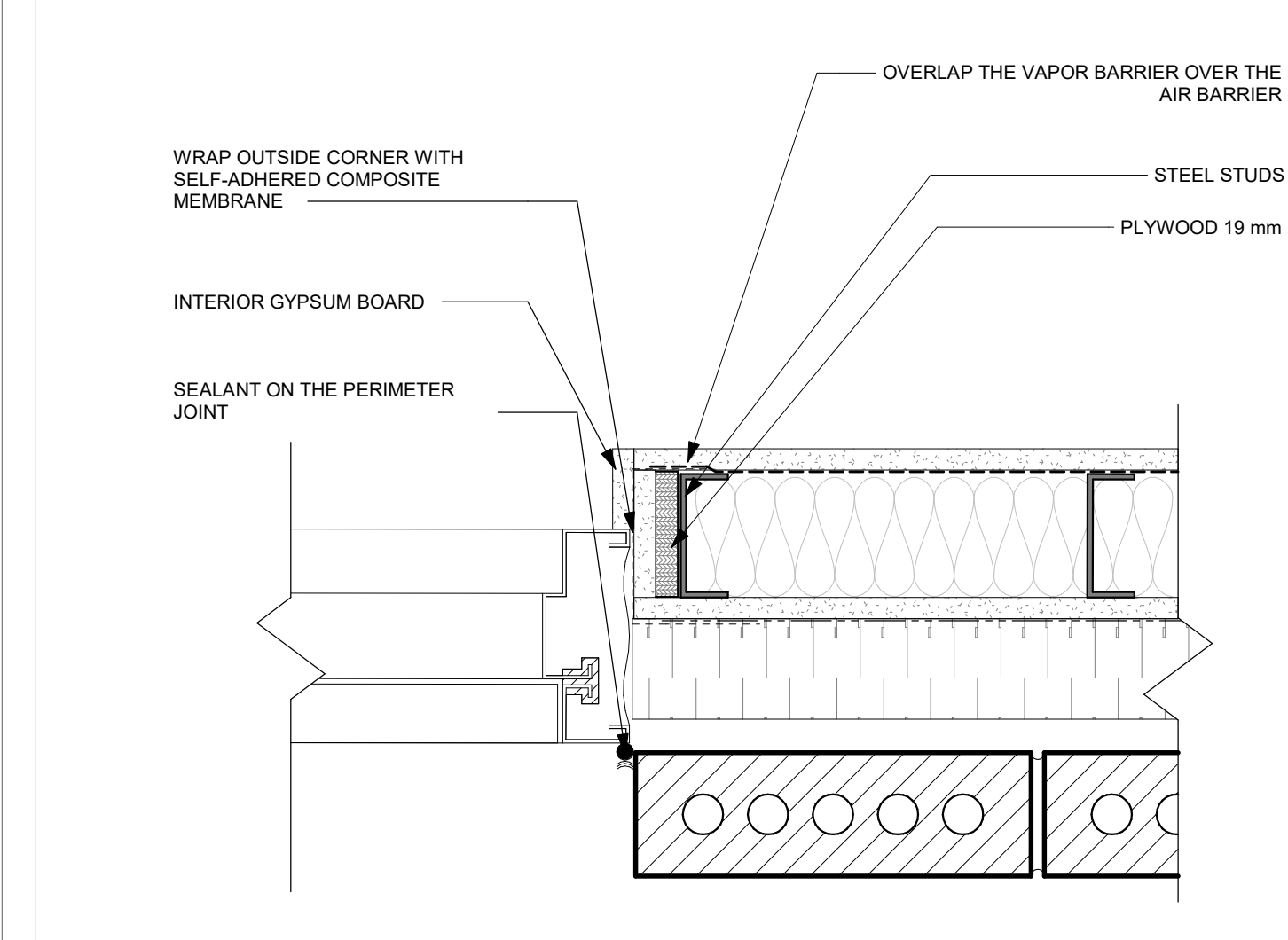
02 SECTION - BOTTOM WINDOW SILL AND ALUMINIUM CLADDING  
1 : 5



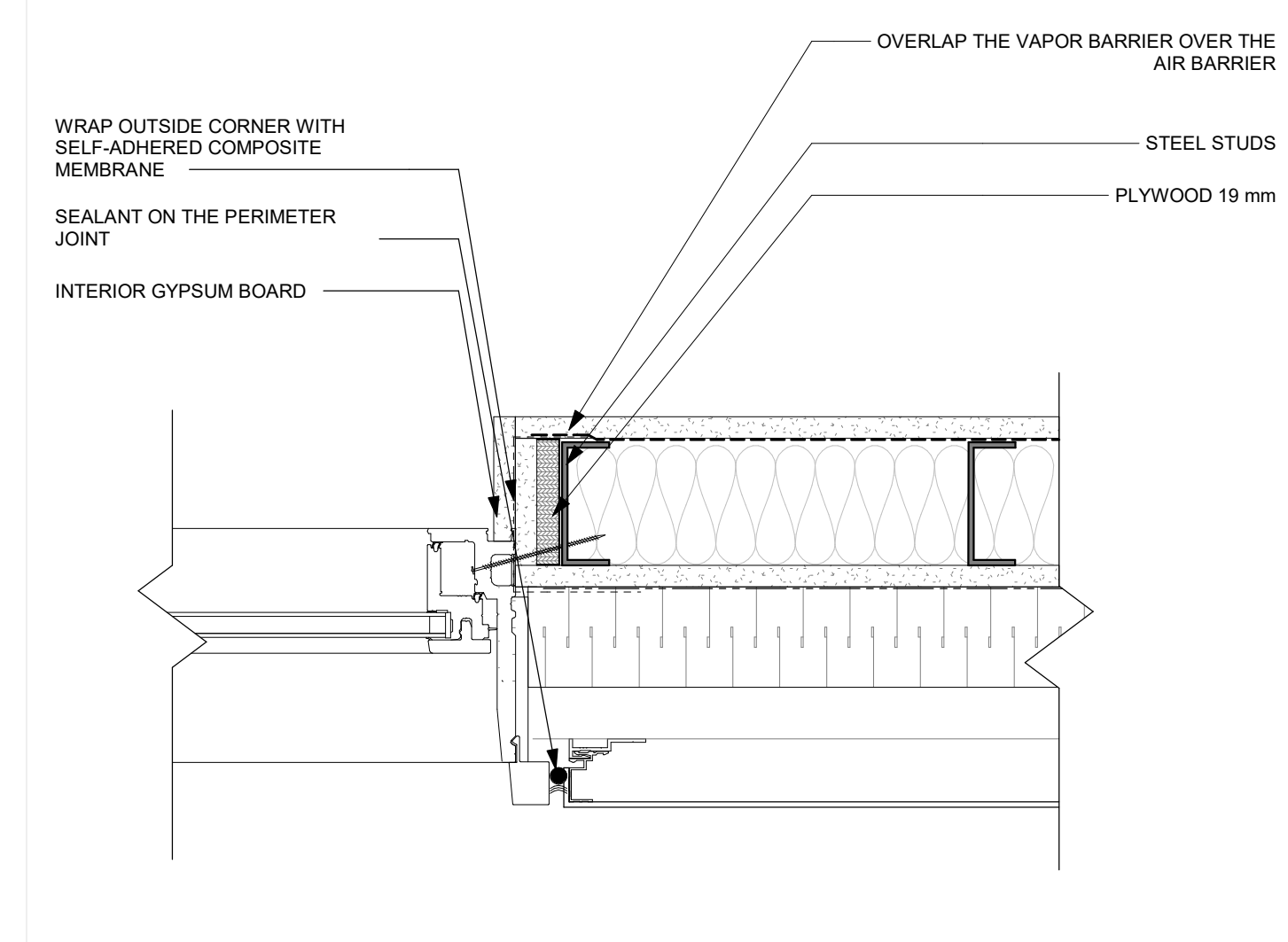
06 SECTION - BOTTOM WINDOW SILL AND MASONRY JUNCTION  
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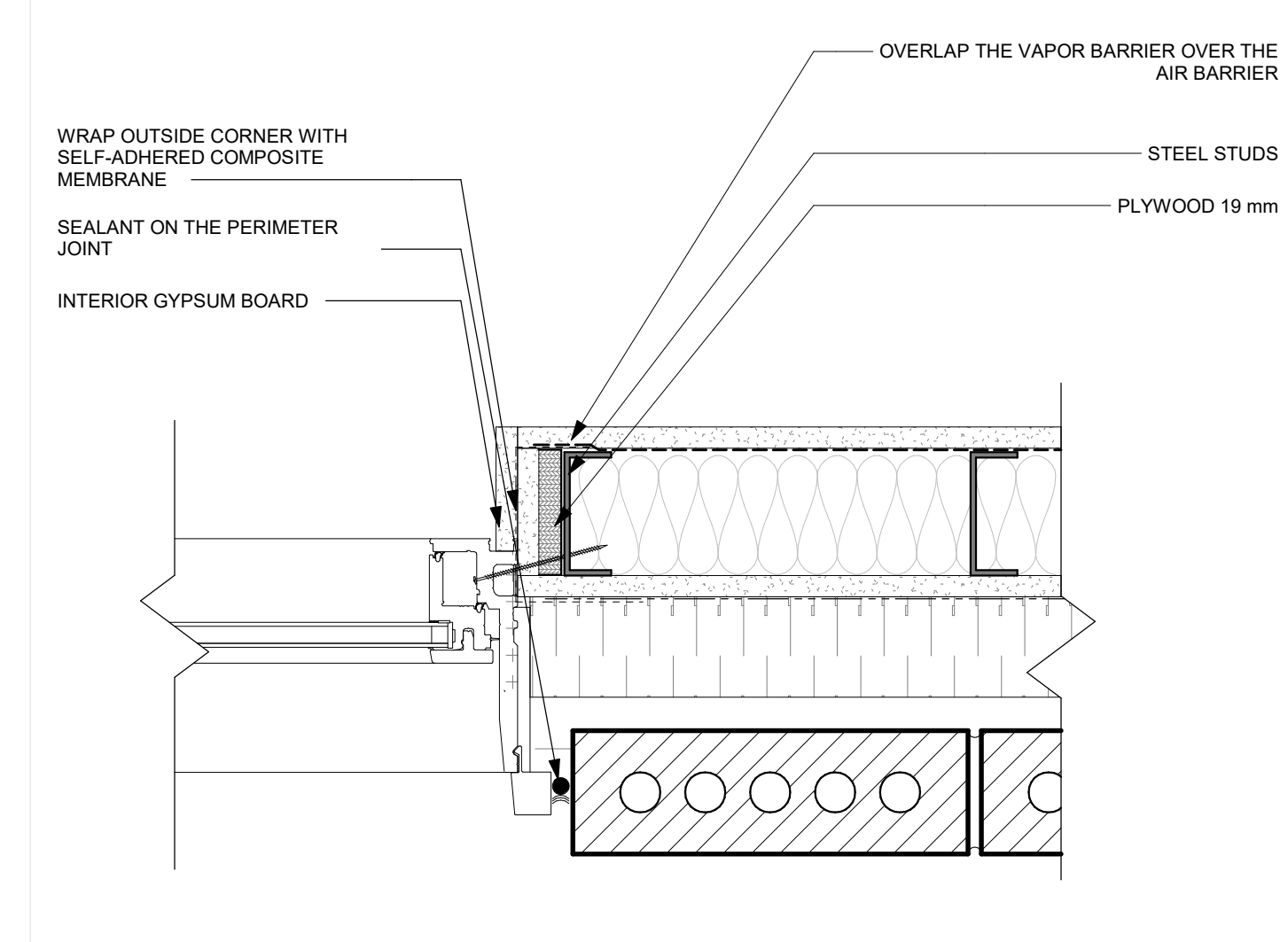
08 SECTION - DOOR SILL ALUMINIUM AND MASONRY CLADDING  
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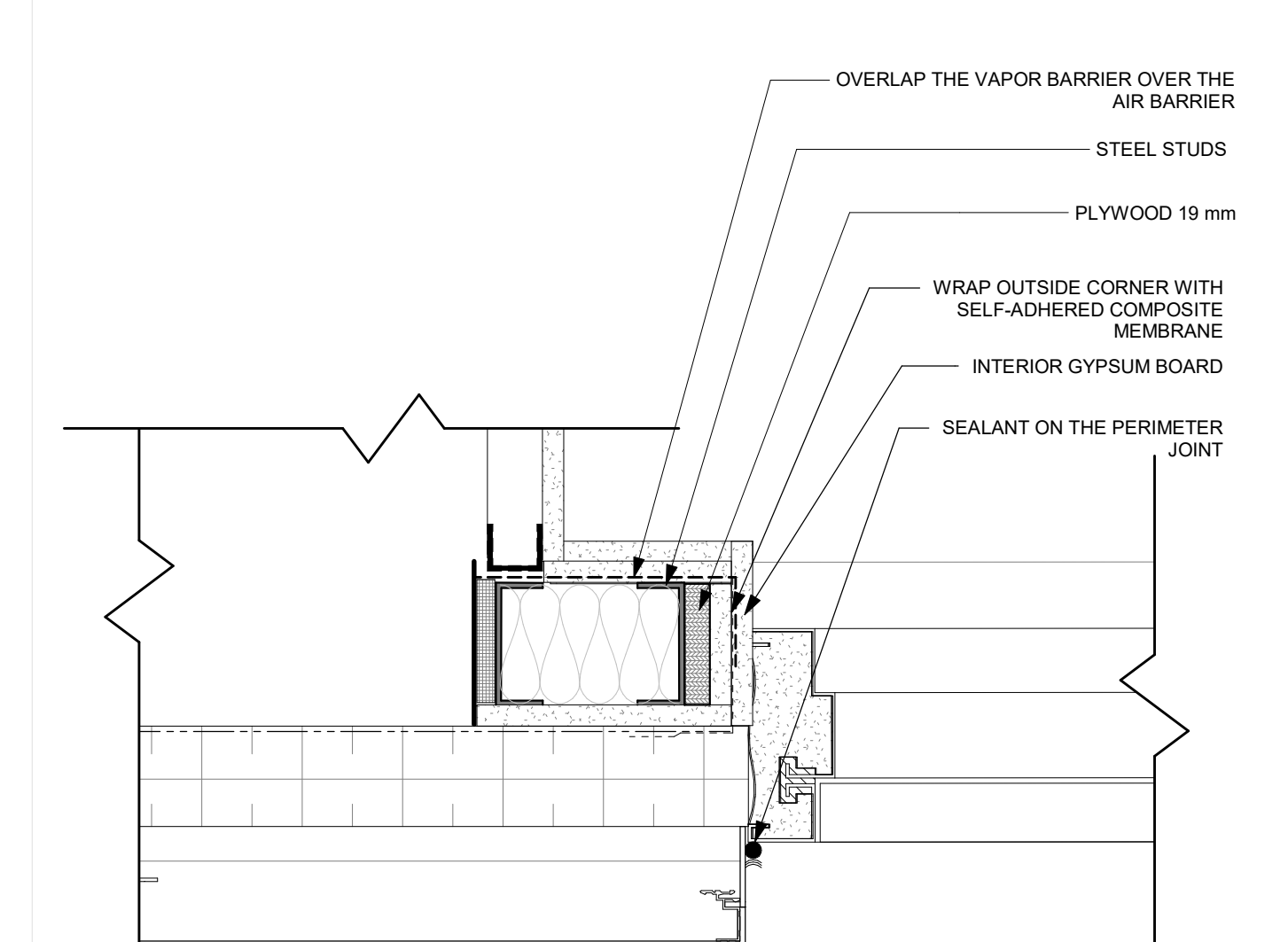
11 PLAN DETAIL - DOOR AND MASONRY CLADDING  
1 : 5



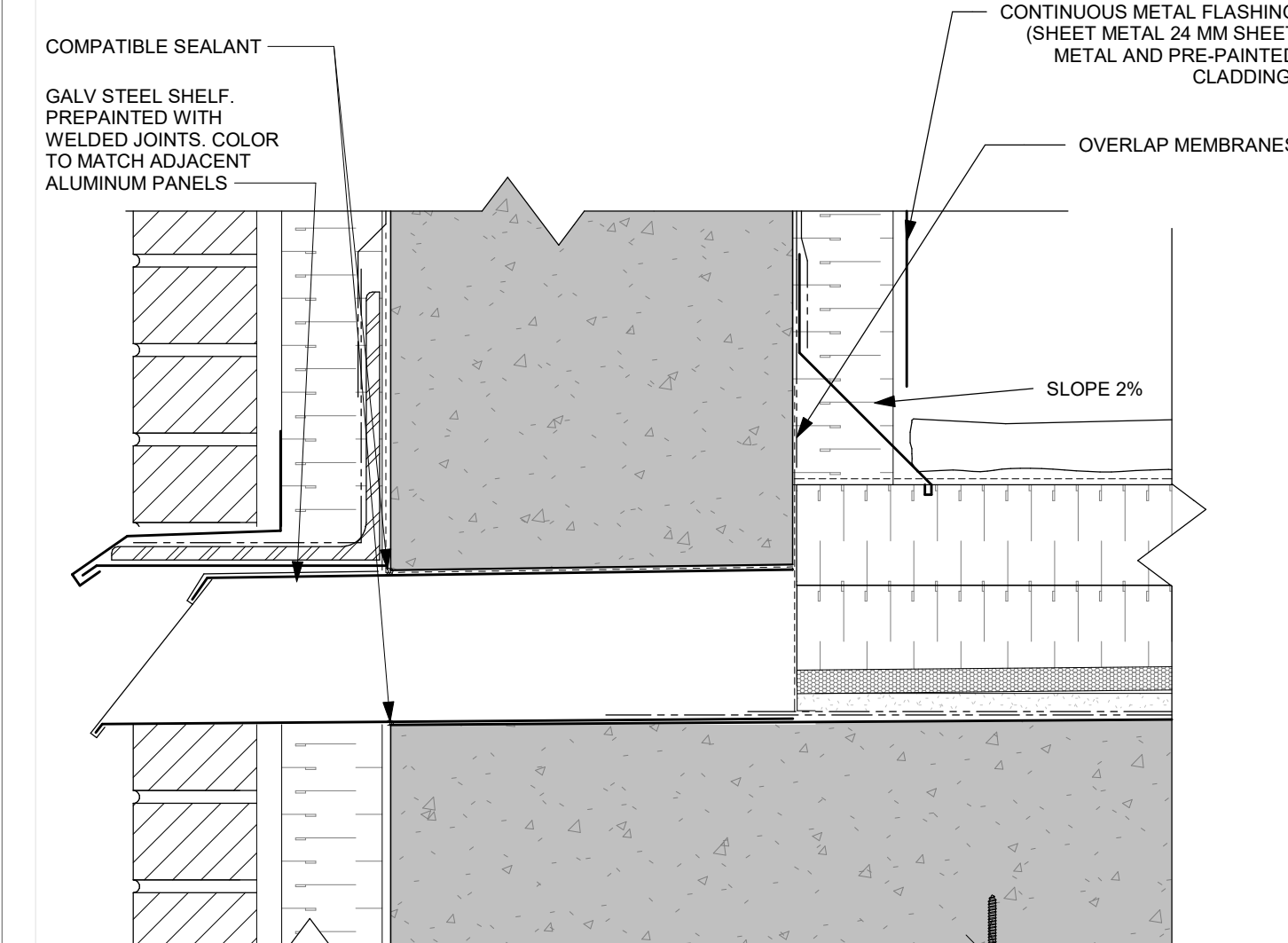
03 PLAN DETAIL - PVC WINDOW AND ALUMINIUM CLADDING  
1 : 5



06 PLAN DETAIL - PVC WINDOW AND MASONRY  
1 : 5



09 PLAN DETAIL - WINDOW AND ALUMINIUM WALL  
1 : 5



12 SECTION DETAIL - SCUPPER  
1 : 5

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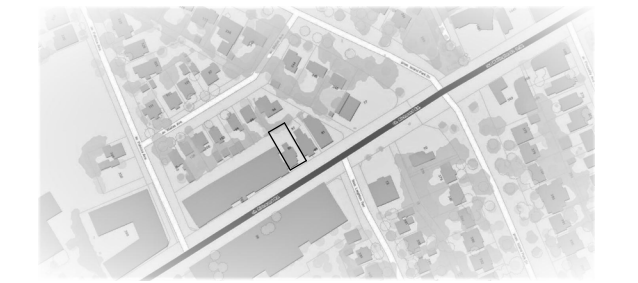
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9 ISSUED FOR CONSTRUCTION 23/01/16  
Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**SECTION ROOF DETAILS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : 1 : 10

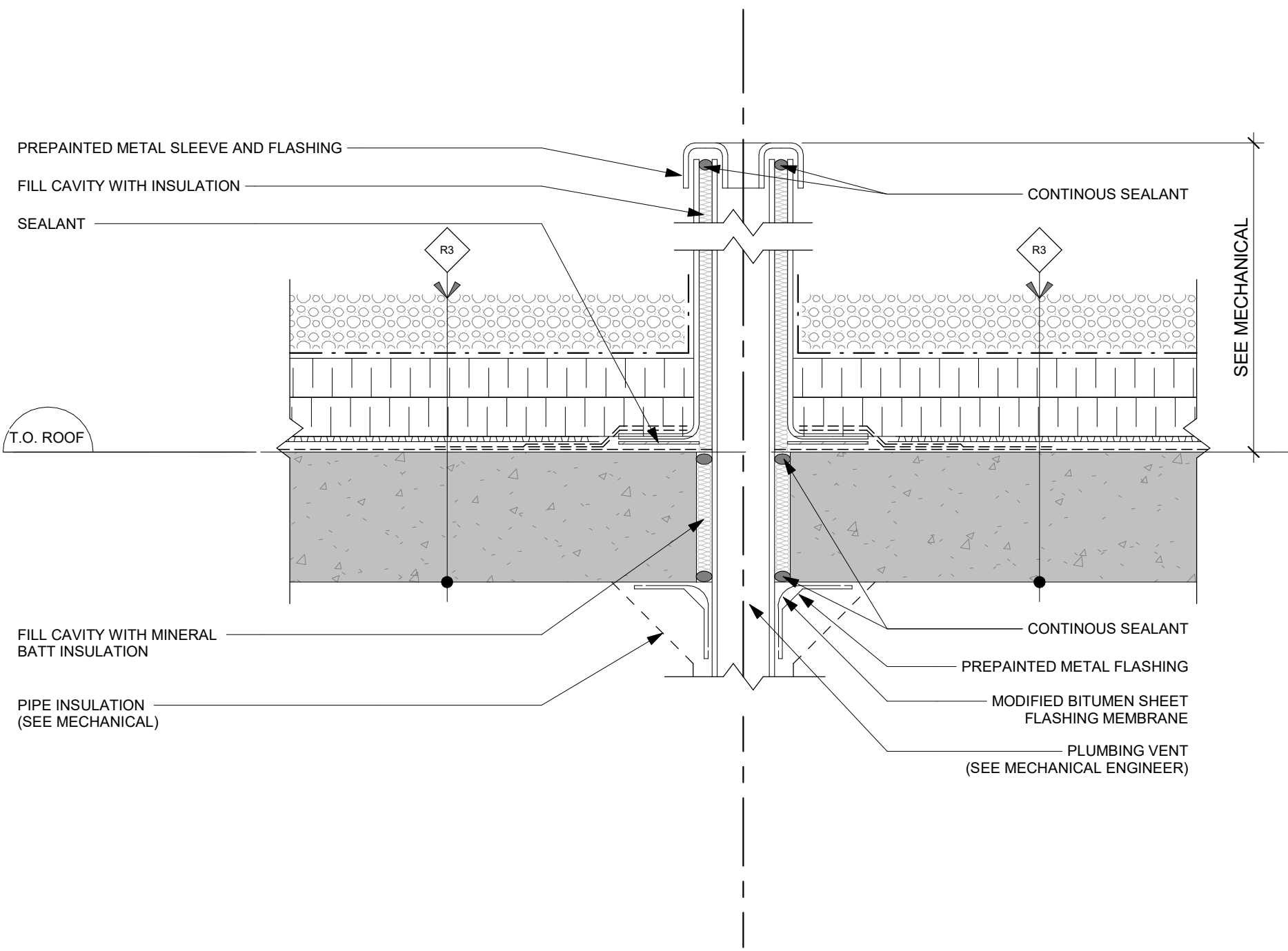
PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

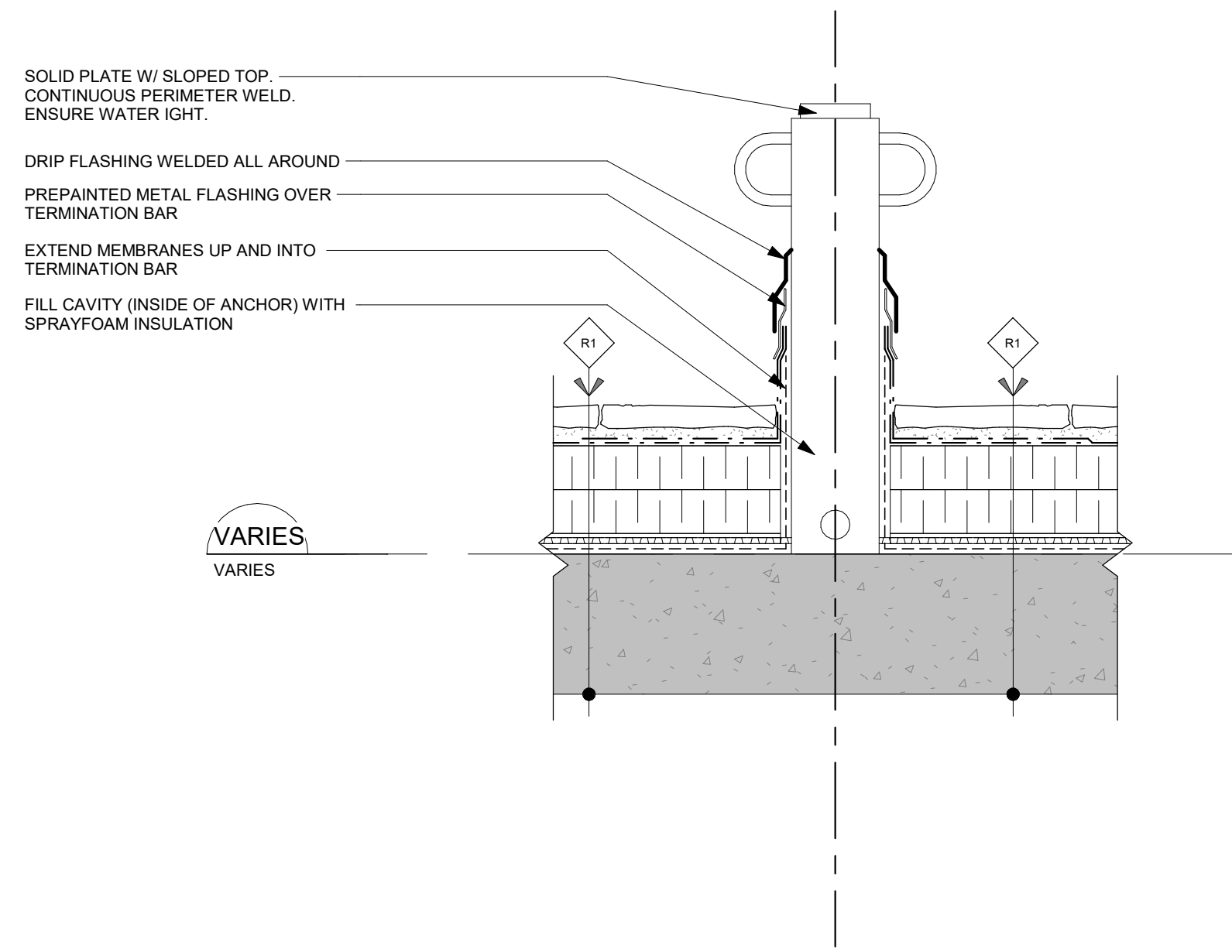
**A525**

REVISION NO. / NO. DE RÉVISION :

D07-12-16-0087



01 TYPICAL SECTION DETAIL - PLUMBING VENT  
AS25 1 : 10



02 TYPICAL SECTION DETAIL - ROOF ANCHOR  
AS25 1 : 10

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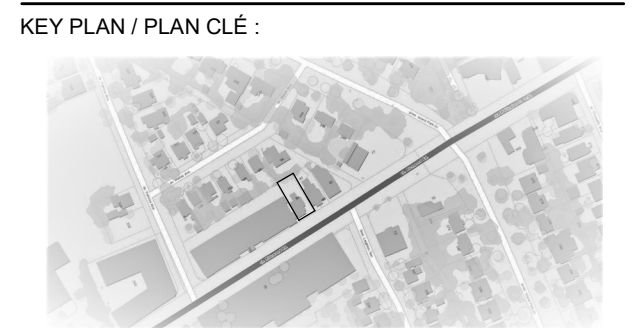
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Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**TYPICAL SECTION AND PLAN DETAILS**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

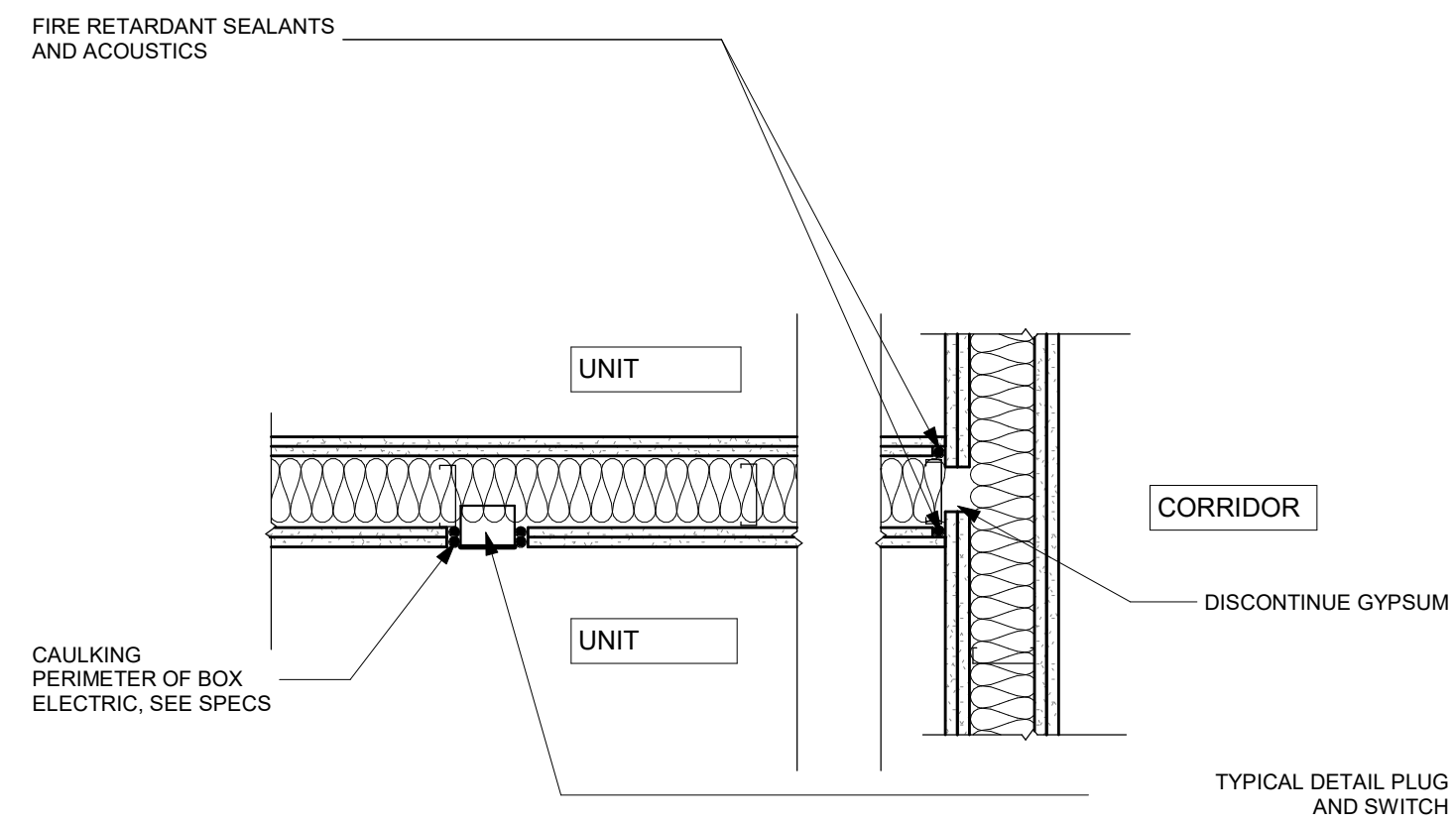
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PROJECT PHASE / PHASE DU PROJET : 1

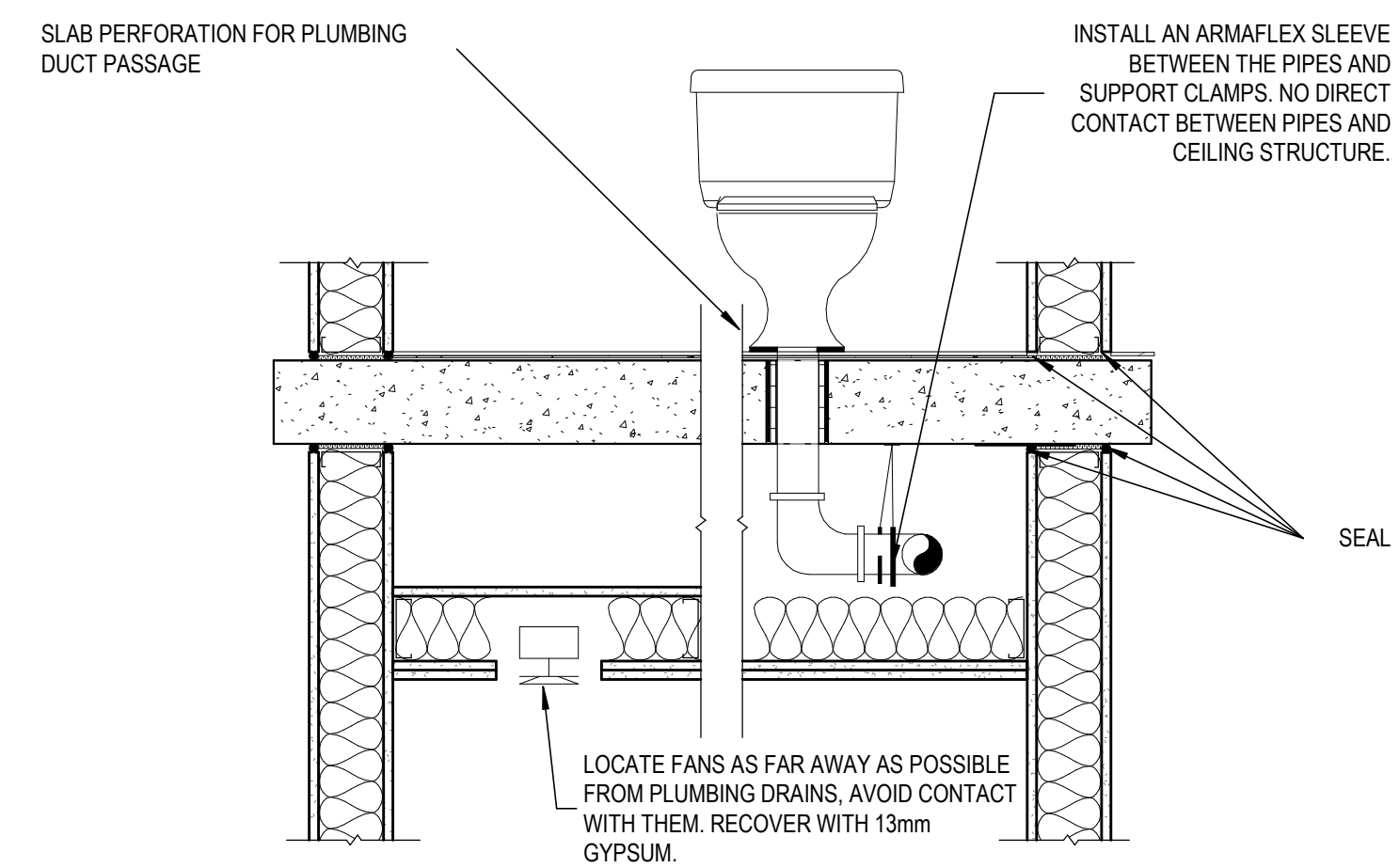
DWG NO. / NO. DESSIN : A526

REVISION NO. / NO. DE RÉVISION :

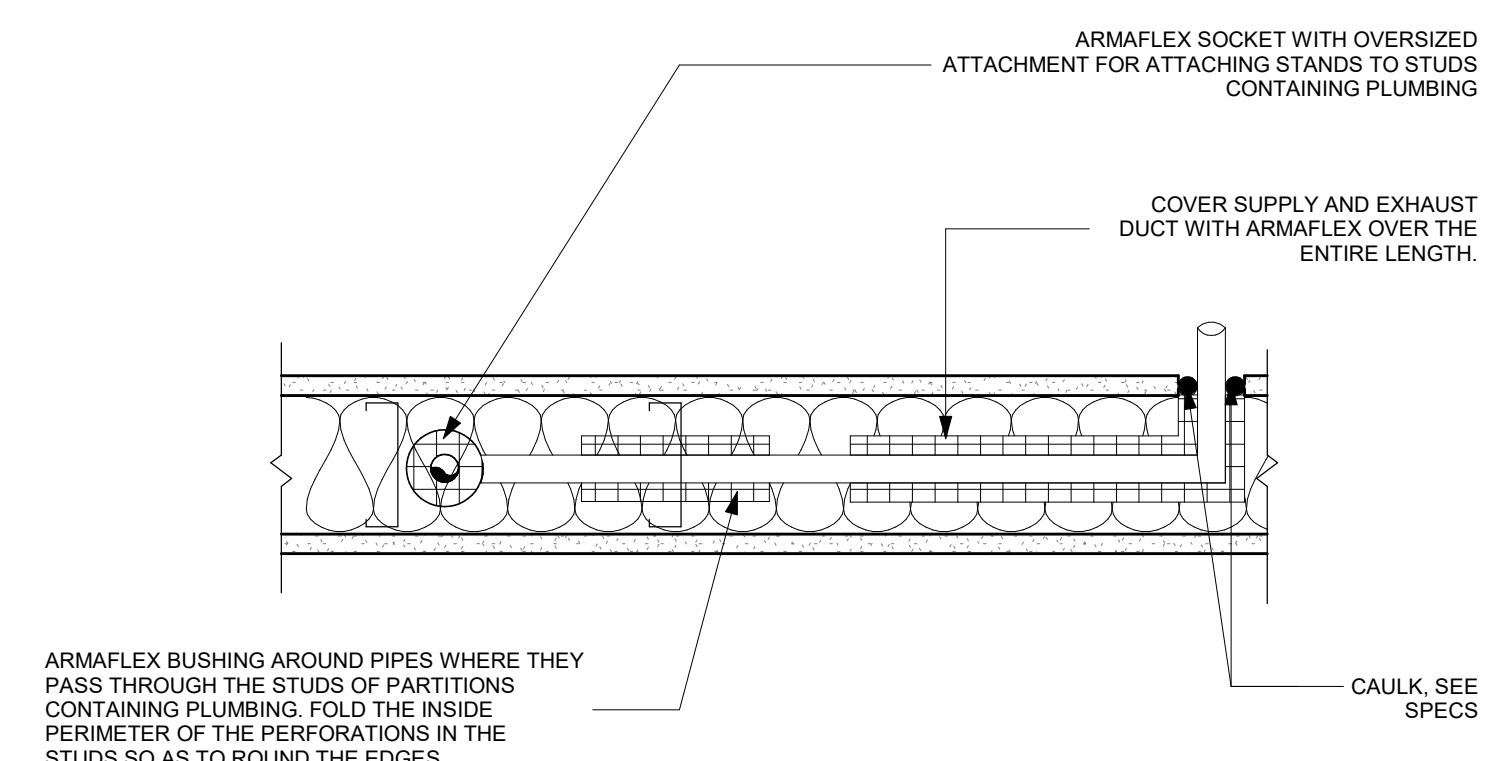
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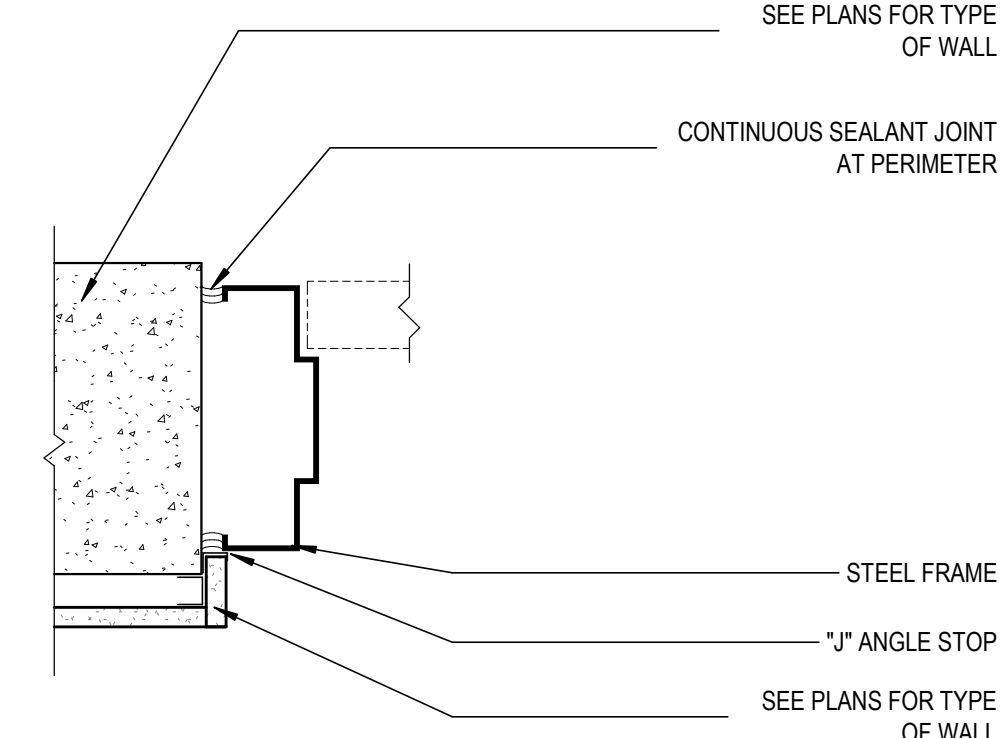
02 PLAN DETAIL - PARTY WALL/TYPICAL CORRIDOR JUNCTION  
1 : 10



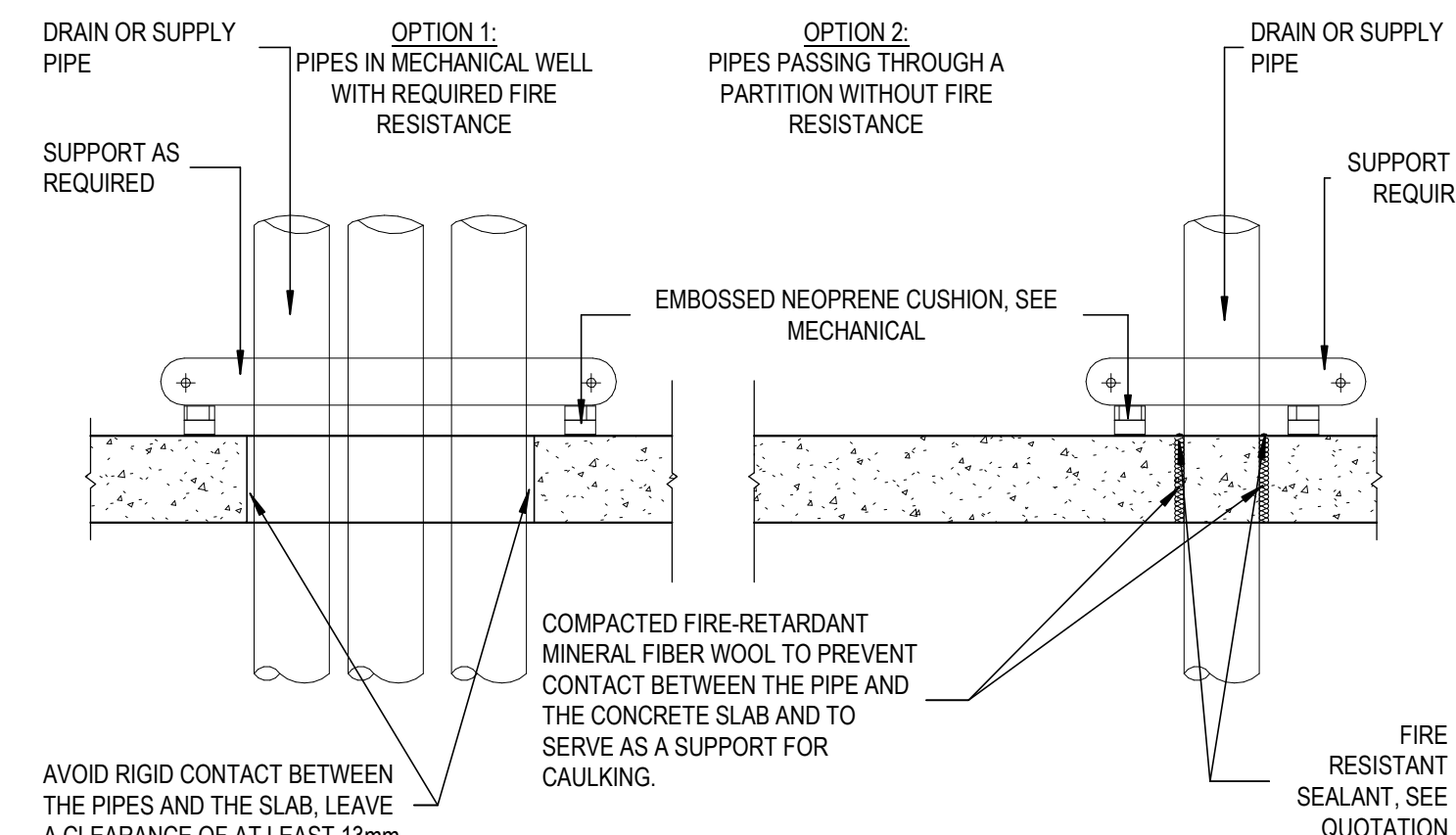
03 TYPICAL SECTION DETAIL TECHNICAL VID UNDER THE BATHROOMS  
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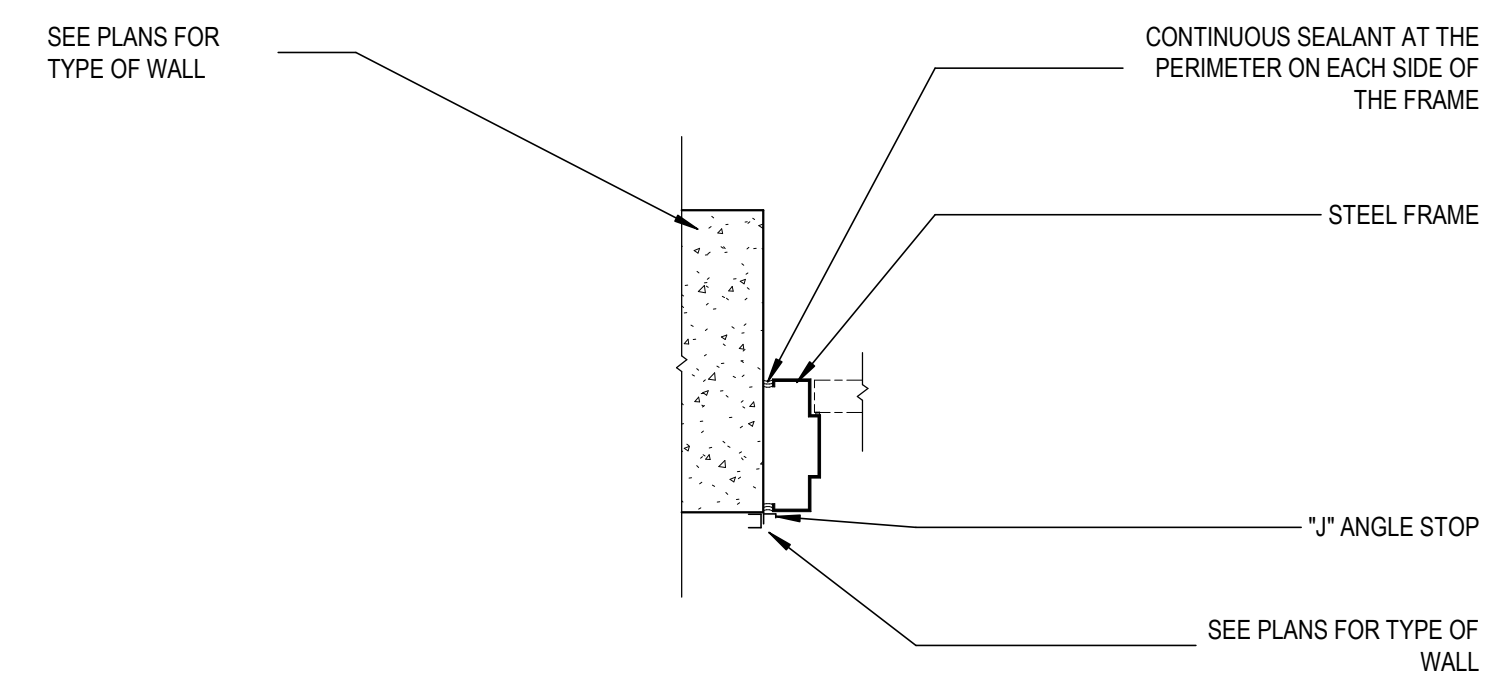
04 TYPICAL PLAN DETAIL INTERIOR PARTITION CONTAINING PLUMBING  
1 : 5



05 TYPICAL PLAN DETAIL STEEL FRAME ON CAST CONCRETE  
1 : 5



06 TYPICAL SECTION DETAIL - SLAB PERFORATION - PLUMBING PIPE  
1 : 10



07 TYPICAL PLAN DETAIL - EXIT DOOR DETAIL  
1 : 10

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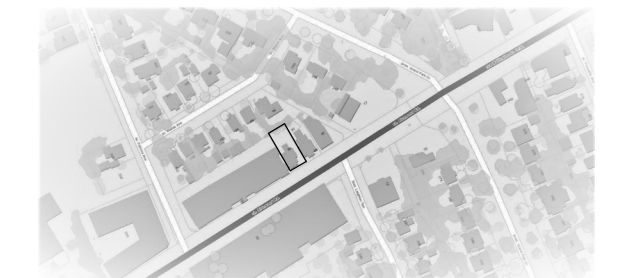
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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**REFLECTED CEILING PLAN - B1**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : E.T

REVIEWED BY / VÉRIFIÉ PAR : L.G

SCALE / ÉCHELLE : As indicated




PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A600.1

REVISION NO. / NO. DE RÉVISION :

**REFLECTED CEILING LEGEND**

-  EXPOSED STRUCTURE
-  DRYWALL FINISH
-  REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

**GENERAL NOTES**

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NOTE 2. SUPPLY AND INSTALL NEW RECEPTACLES, SWITCHES, DIMMERS, LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT AS REQUIRED BY CODE.

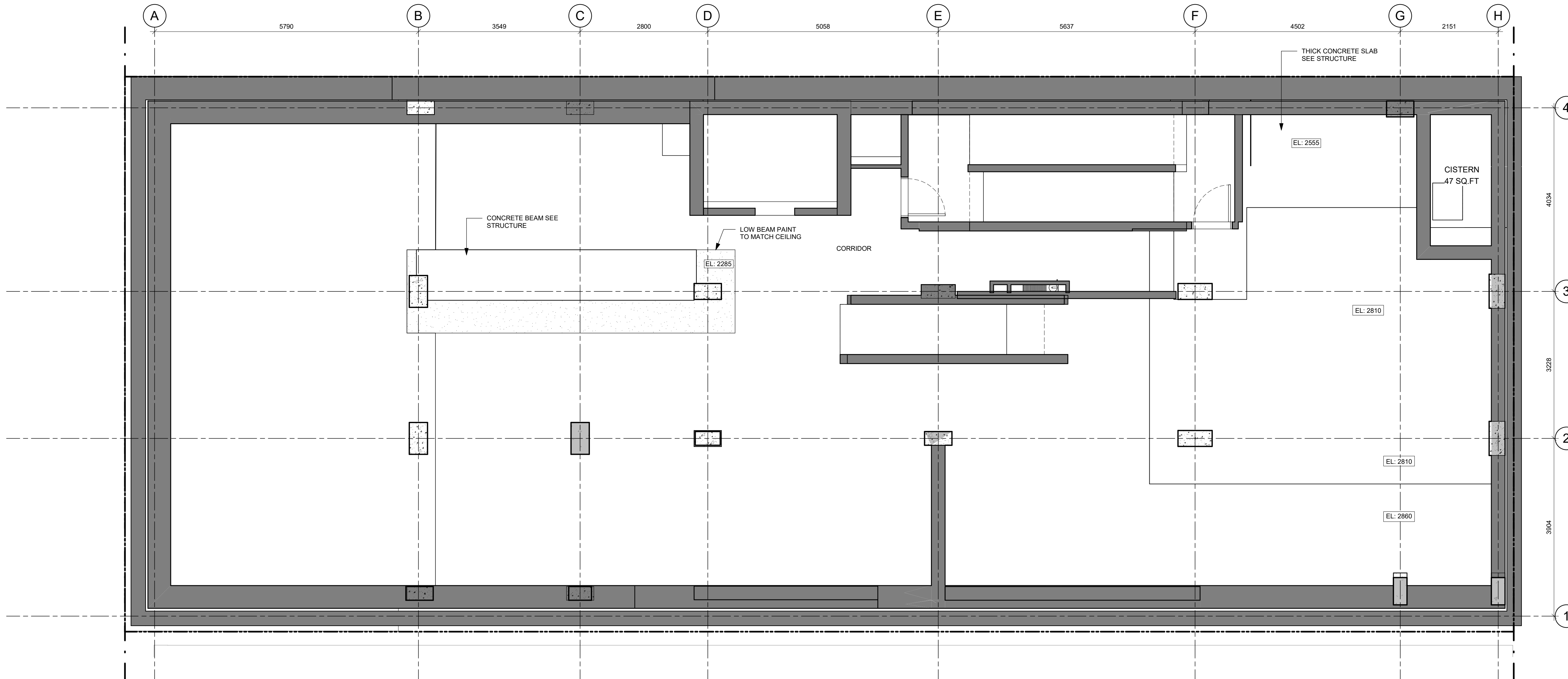
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NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.

NOTE 5. ALL VANITY WALL SCONCES IN CENTER OF SINK.

NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



REFLECTED CEILING PLAN T/O B1 SLAB  
1 : 50

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Email: abbas@fotem.com

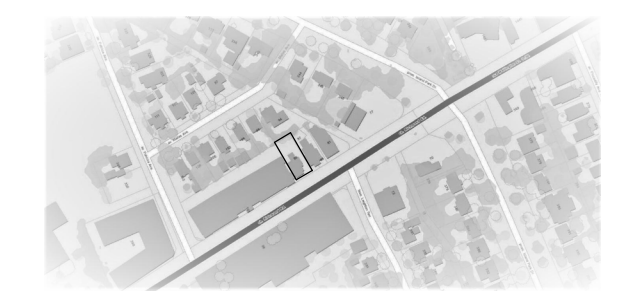
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Email: jtl@beauoincanada.com

KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**REFLECTED CEILING PLAN - B2**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated




PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A600.2

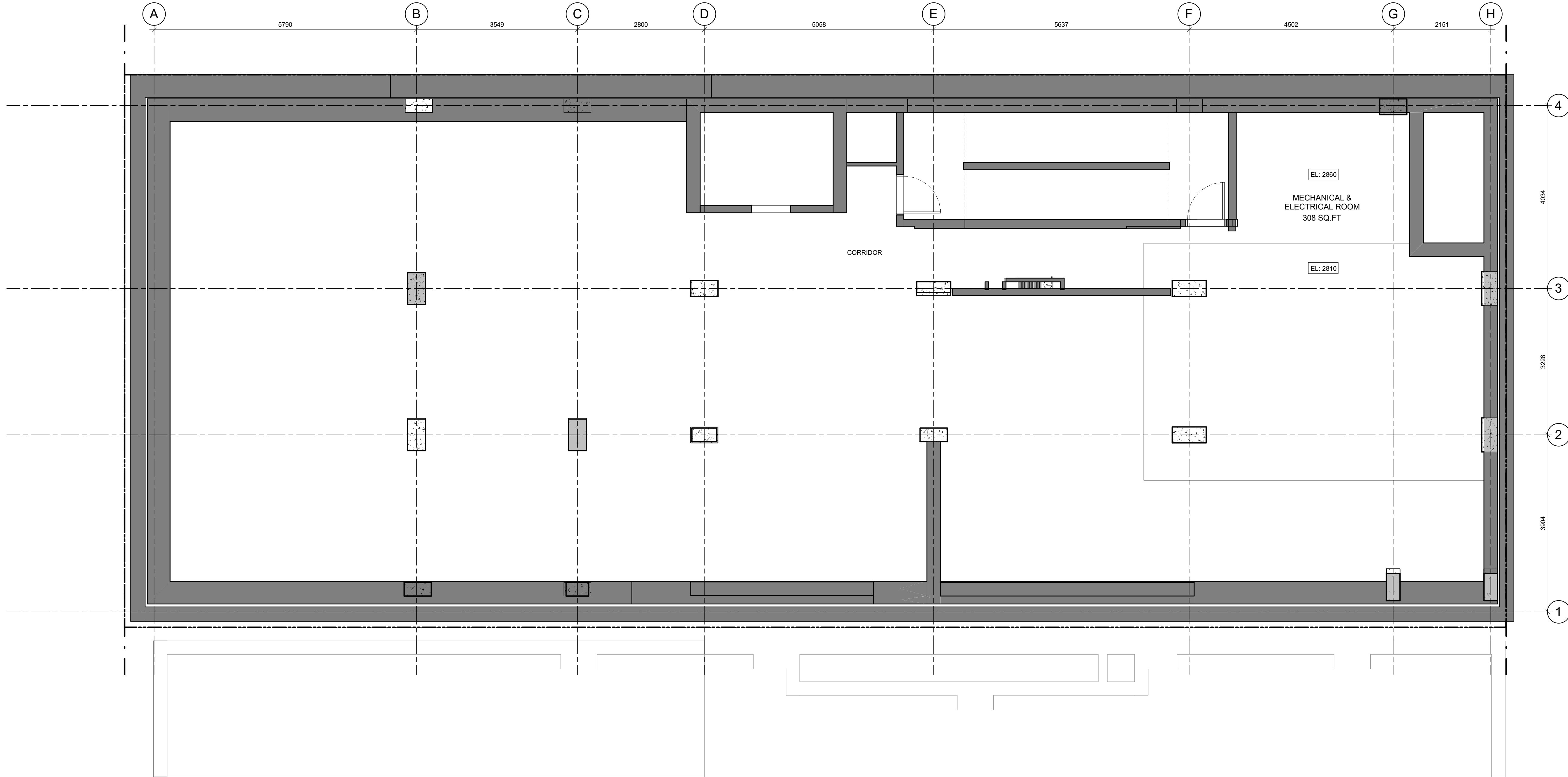
REVISION NO. / NO. DE RÉVISION :

**REFLECTED CEILING LEGEND**

-  EXPOSED STRUCTURE
-  DRYWALL FINISH
-  REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

**GENERAL NOTES**

- NOTE 1. ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.
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- NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.
- NOTE 5. ALL VANITY WALL SCONES IN CENTER OF SINK.
- NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.
- NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



REFLECTED CEILING PLAN T/O B2 SLAB  
1 : 50



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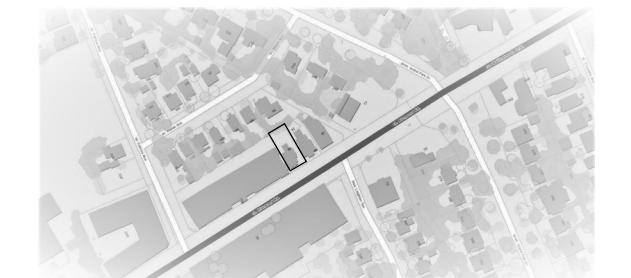
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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**REFLECTED CEILING PLAN - GROUND FLOOR**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated




PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A601

REVISION NO. / NO. DE RÉVISION :

REFLECTED CEILING LEGEND

-  EXPOSED STRUCTURE
-  DRYWALL FINISH
-  REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

GENERAL NOTES

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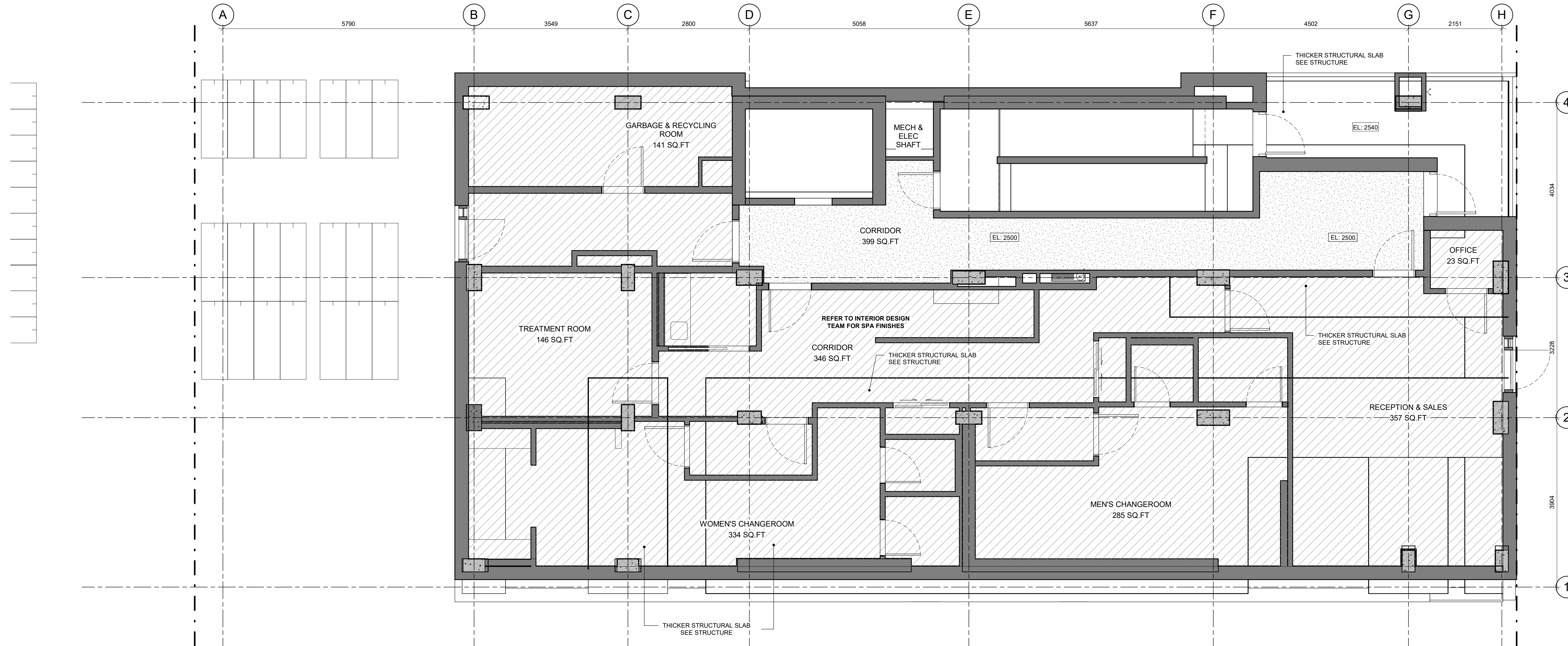
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NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.

NOTE 5. ALL VANITY WALL SCONES IN CENTER OF SINK.

NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



REFLECTED CEILING PLAN T/O GROUND FLOOR SLAB  
1 : 50

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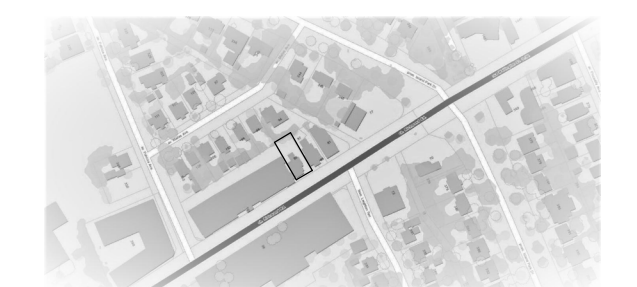
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**KEY PLAN / PLAN CLÉ :**



**CLIENT :**

Tel : 613-600-8275 | tanujavaidya@hotmail.com

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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

**REFLECTED CEILING PLAN - SECOND FLOOR**

PROJECT NO. / NO. DE PROJET :	22049
DATE :	22/12/16
DRAWN BY / DESSINÉ PAR :	ET
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A602
REVISION NO. / NO. DE RÉVISION :	

**REFLECTED CEILING LEGEND**

- EXPOSED STRUCTURE
- DRYWALL FINISH
- REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

**GENERAL NOTES**

NOTE 1. ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

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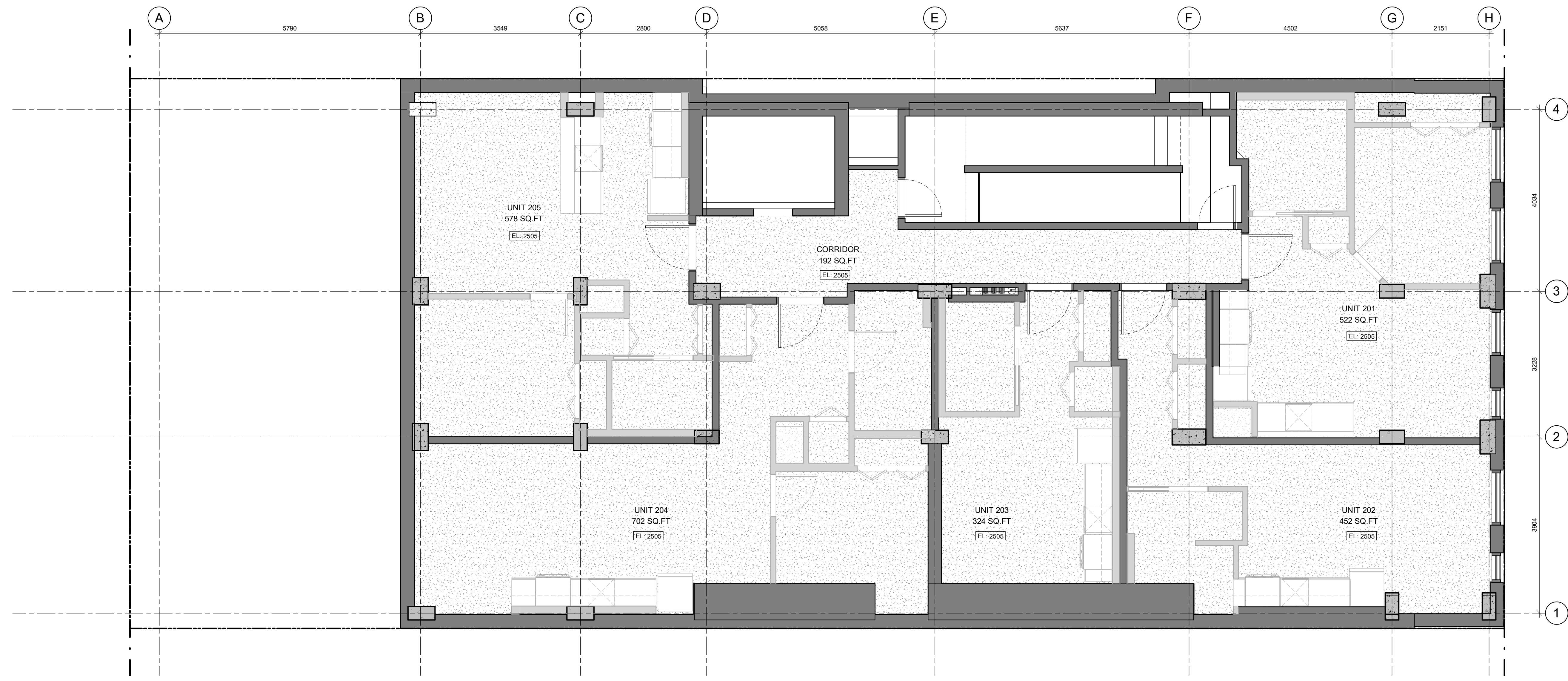
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NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



REFLECTED CEILING PLAN T/O 2nd FLOOR SLAB  
1: 50

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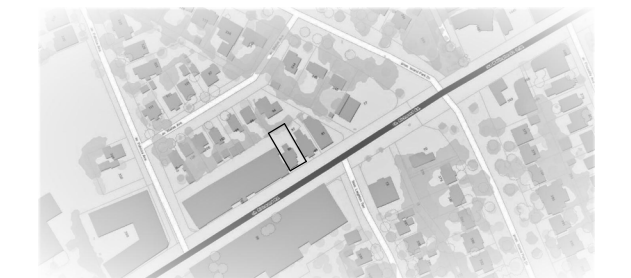
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**KEY PLAN / PLAN CLÉ :**



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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**REFLECTED CEILING PLAN - THIRD FLOOR**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated




PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A603

REVISION NO. / NO. DE RÉVISION :

**REFLECTED CEILING LEGEND**

-  EXPOSED STRUCTURE
-  DRYWALL FINISH
-  REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

**GENERAL NOTES**

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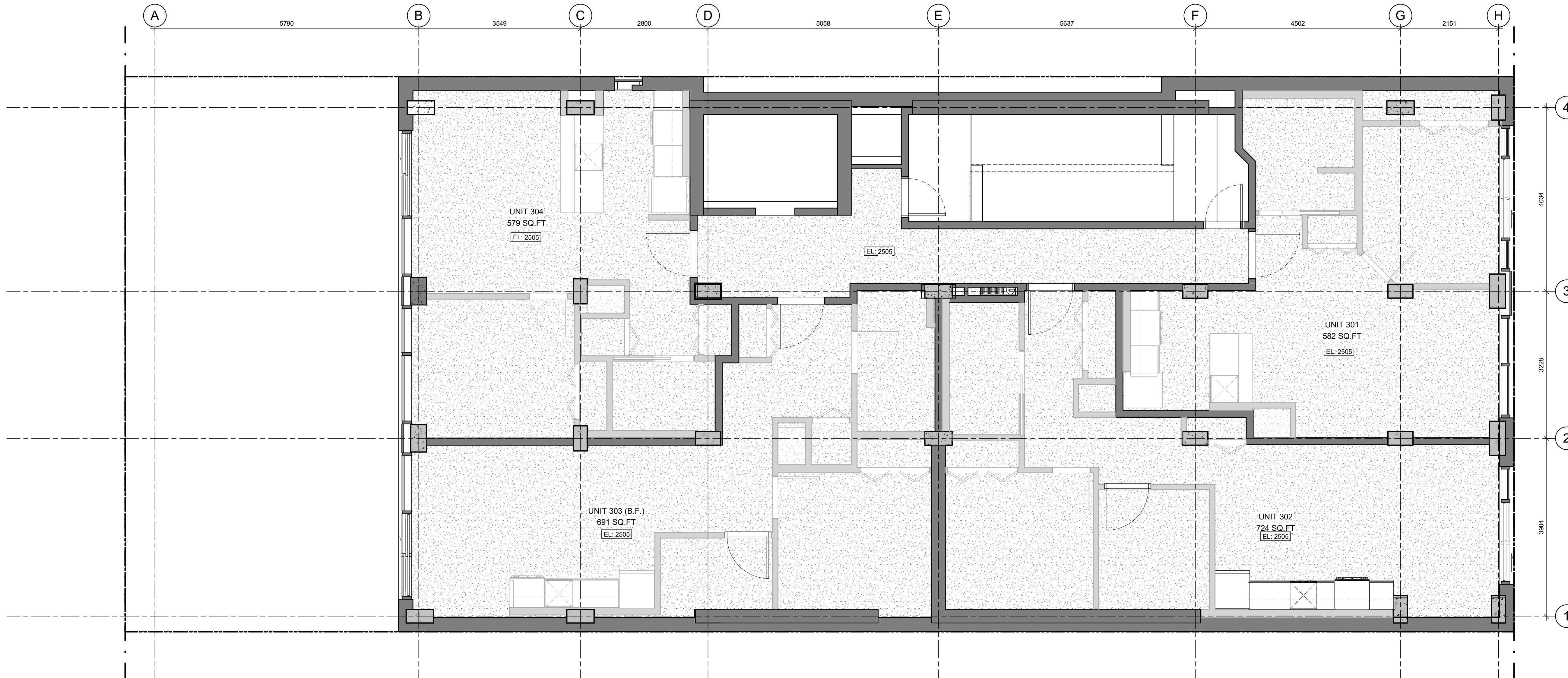
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NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.

NOTE 5. ALL VANITY WALL SCONES IN CENTER OF SINK.

NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



1 REFLECTED CEILING PLAN T/O 3rd FLOOR SLAB  
1 : 50

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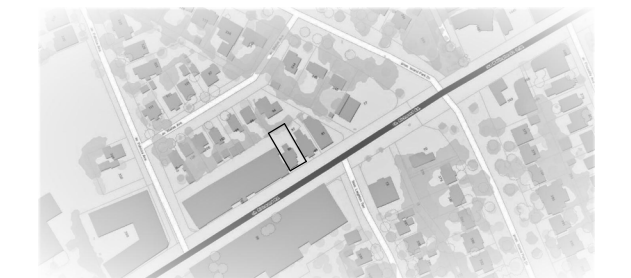
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KEY PLAN / PLAN CLÉ :



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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**REFLECTED CEILING PLAN - FOURTH FLOOR**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG




SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A604

REVISION NO. / NO. DE RÉVISION : 9

REFLECTED CEILING LEGEND

-  EXPOSED STRUCTURE
-  DRYWALL FINISH
-  REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

GENERAL NOTES

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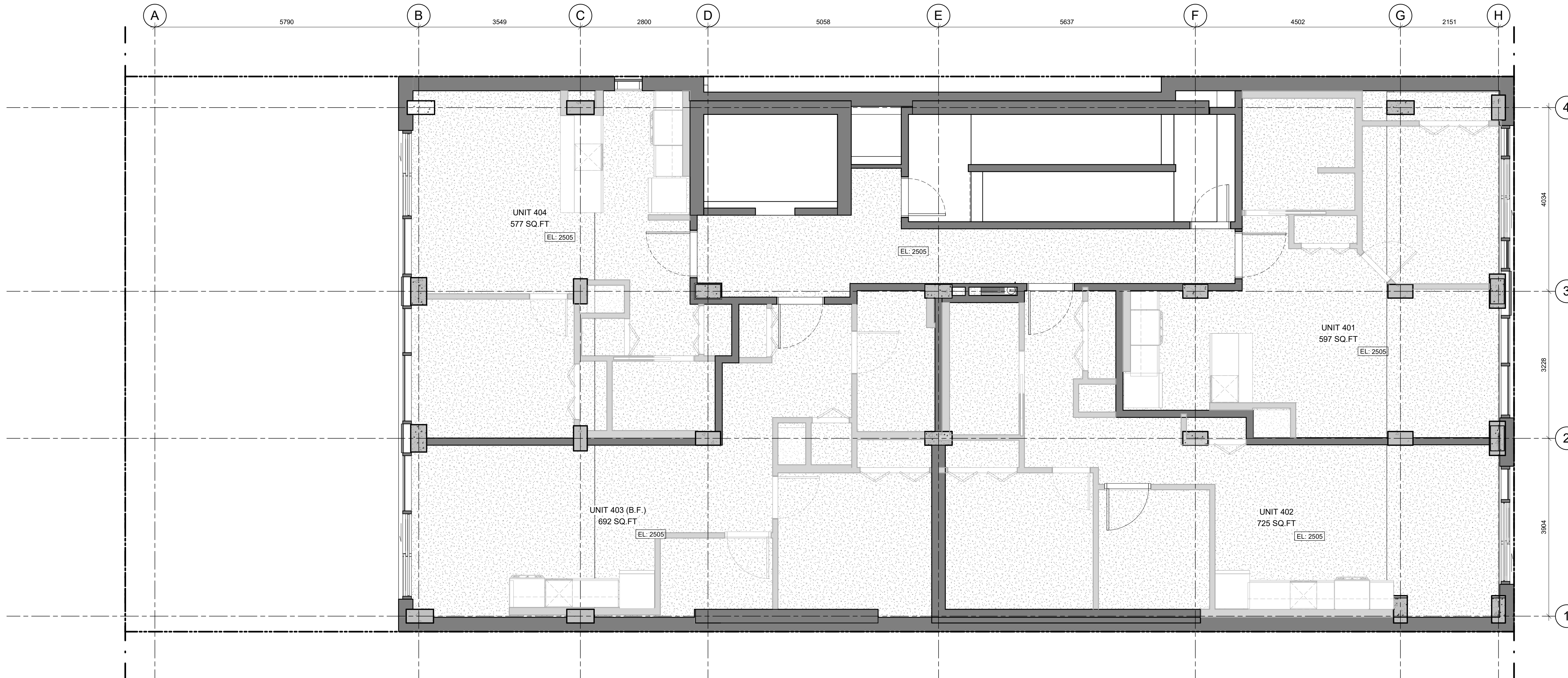
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NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.

NOTE 5. ALL VANITY WALL SCONES IN CENTER OF SINK.

NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



1 REFLECTED CEILING PLAN T/O 4th FLOOR SLAB  
A604 1 : 50

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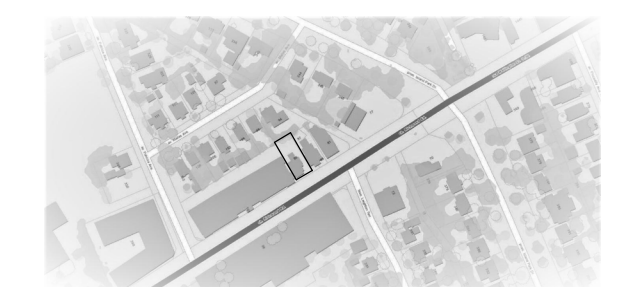
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Email: bjohnson@clelandjardine.com

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Email: jtl@beauoincanada.com

KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOME DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**REFLECTED CEILING PLAN - FIFTH FLOOR**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A605

REVISION NO. / NO. DE RÉVISION :

9

**REFLECTED CEILING LEGEND**

- EXPOSED STRUCTURE
- DRYWALL FINISH
- REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

**GENERAL NOTES**

NOTE 1. ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

NOTE 2. SUPPLY AND INSTALL NEW RECEPTACLES, SWITCHES, DIMMERS, LIGHTING FIXTURES AND ELECTRICAL EQUIPMENT AS REQUIRED BY CODE.

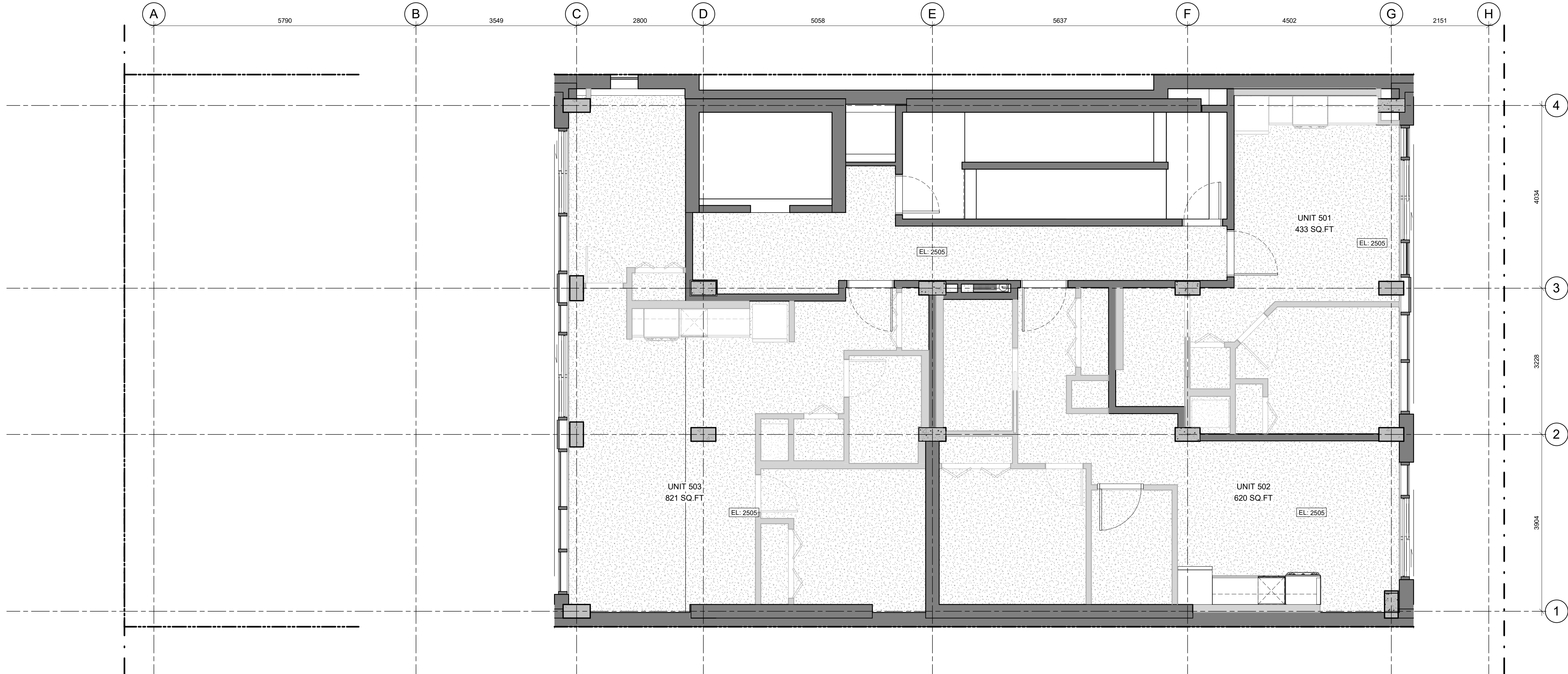
NOTE 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF APPLICABLE CODES AND AUTHORITIES. THE ELECTRICIAN SHALL INDICATE IF ANY LAYOUT CHANGES ARE REQUIRED BASED ON SITE CONDITIONS, CODES AND PROPOSED ITEMS. PROPOSED ITEMS.

NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.

NOTE 5. ALL VANITY WALL SCONCES IN CENTER OF SINK.

NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



1 REFLECTED CEILING PLAN T/O 5th FLOOR SLAB  
A605 1 : 50

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
Email: abbasi@fotem.com

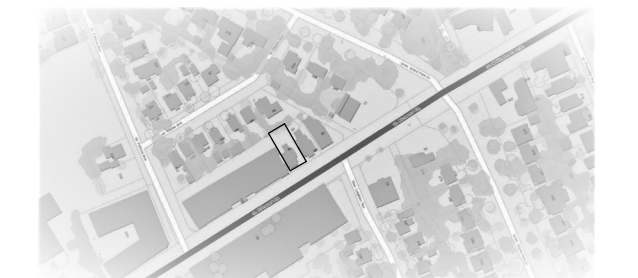
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Email: jtl@beauoincanada.com

KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**REFLECTED CEILING PLAN  
- SIXTH FLOOR**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated




PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A606

REVISION NO. / NO. DE RÉVISION :

1

**REFLECTED CEILING LEGEND**

-  EXPOSED STRUCTURE
-  DRYWALL FINISH
-  REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES

**GENERAL NOTES**

NOTE 1. ALL ELECTRICAL AND LIGHTING FIXTURES PROPOSED ON THE DRAWING ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR AND ELECTRICIAN ARE RESPONSIBLE FOR COMPLIANCE WITH LOCAL CODES.

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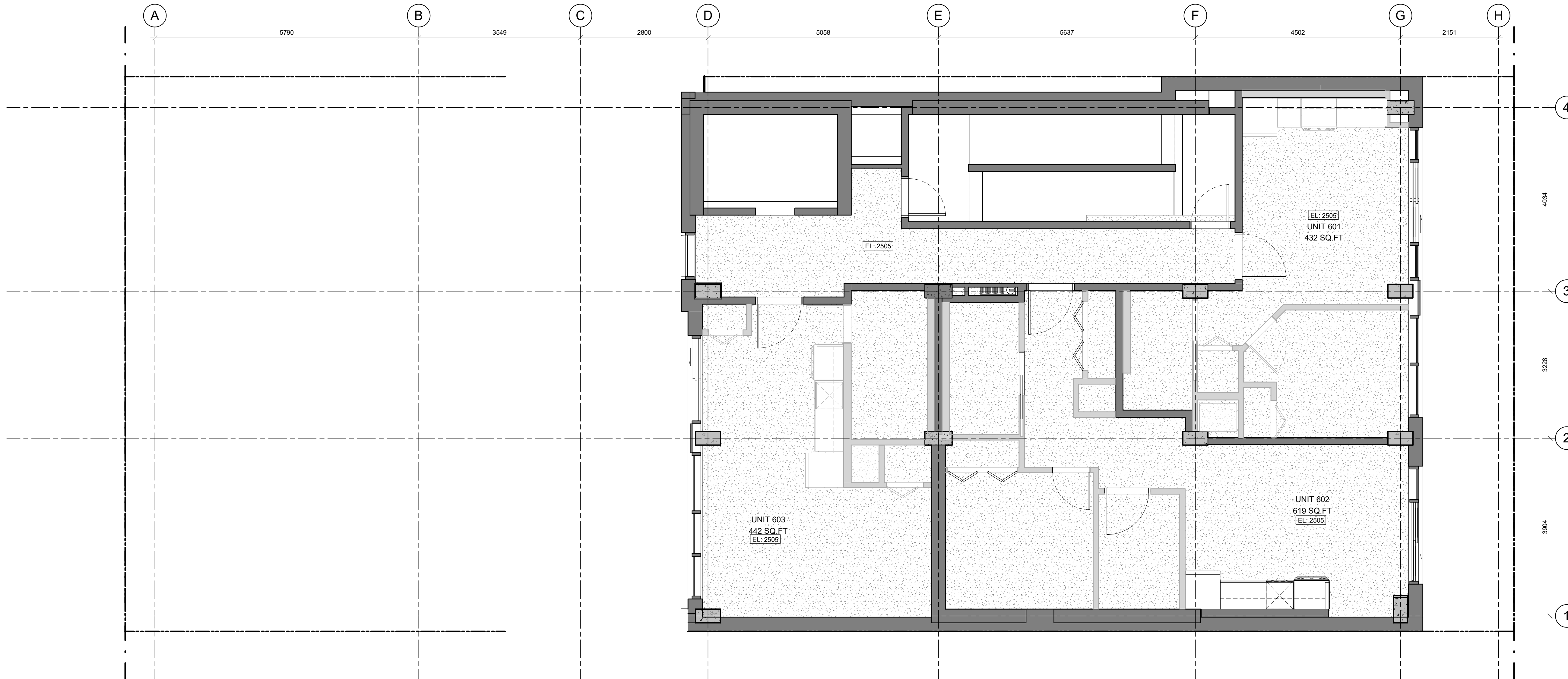
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NOTE 4. COORDINATE WITH MECHANICAL, ELECTRICAL AND ARCHITECTURAL DEPARTMENTS AS REQUIRED.

NOTE 5. ALL VANITY WALL SCONES IN CENTER OF SINK.

NOTE 6. ALL DRAWINGS MUST BE READ IN CONJUNCTION.

NOTE 7. REFER TO INTERIOR DESIGN TEAM FOR SPA FINISHES.



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Email: abbasi@fotern.com

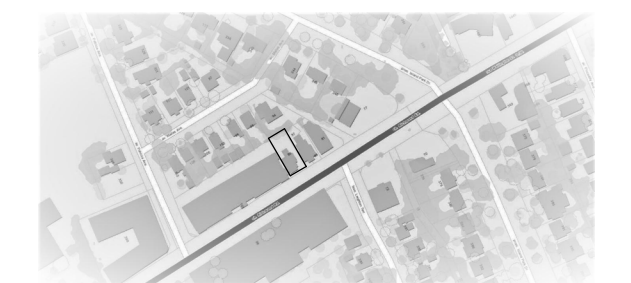
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**KEY PLAN / PLAN CLÉ :**



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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**FINISHES PLAN - B1**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A700.1**

REVISION NO. / NO. DE RÉVISION :

**FLOOR FINISH LEGEND**

- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
- CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
- VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
- REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

**WALL FINISH LEGEND**

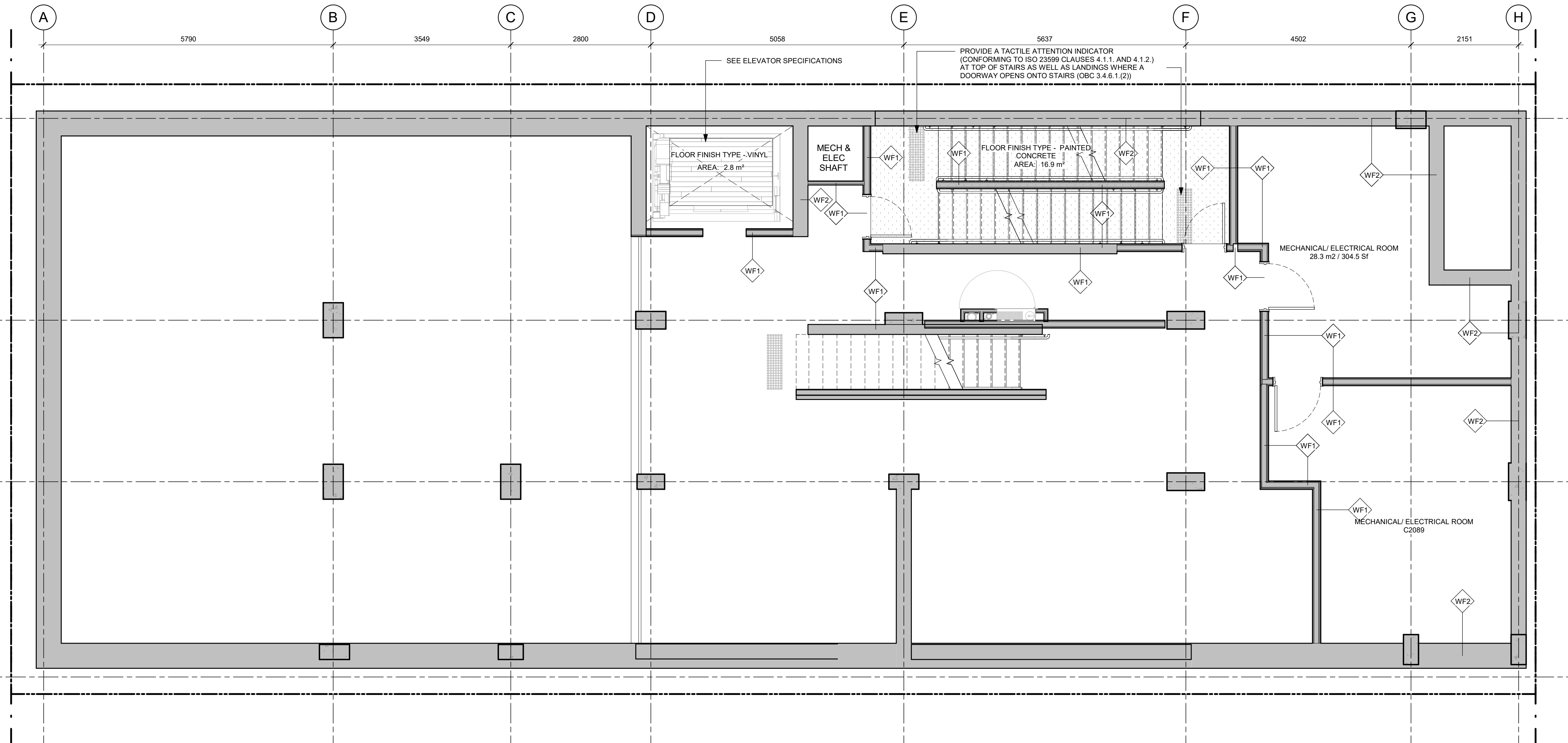
- WF1: GYPSUM FINISH PAINTED COLOR CHOICE OF CLIENT
- WF2: CONCRETE WALL/COLUMN PAINTED COLOR CHOICE BY CLIENT OR EXPOSED CONCRETE.
- WF3: MOISTURE RESISTANT GYPSUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOISE BY CLIENT.
- WF4: WALL TILE COLOR AND STYLE CHOICE BY CLIENT
- WF5: GYPSUM BOARD FINISH FOR COLUMN. PAINTED COLOR CHOISE BY CLIENT

**SPECIFIC NOTES**

① NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

**GENERAL NOTES**

- NOTE-01: FLOOR FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-02: CONTRACTOR TO VISIT SITE DURING TENDER PERIOD TO DETERMINE EXTENT OF REPAIRS, TOPPING AND LEVELING REQUIRED FOR NEW FLOORING. THE FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL FLOOR SLAB IRREGULARITIES & MAKE EASY TO RECEIVE FLOOR FINISHES. INCLUDE IN QUOTATION ALL PREPARATION REQUIRED FOR A COMPLETE AND SATISFACTORY FLOORING INSTALLATION.
- NOTE-03: THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL FLOOR FINISHES FROM MANUFACTURERS INSTRUCTIONS IN AREAS AS INDICATED ON FLOOR FINISHES PLAN.
- NOTE-04: CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITH 6 MIL POLYETHYLENE POLYETHYLENE IS NOT TO BE REMOVED UNTIL COMPLETION OF WORK.
- NOTE-05: ALL FLOORING MATERIALS TO BE INSTALLED PRIOR TO INSTALLATION OF BASE.
- NOTE-06: CONTRACTOR TO PROVIDE AN ADDITIONAL 5% OF ALL SPECIFIED FINISHES TO OWNER ONCE JOB IS COMPLETED.
- NOTE-07: FLOOR TRANSITION BETWEEN TWO DIFFERENT FINISHES TO BE BEHIND TO ROOM DOORS.
- NOTE-08: ALL FLOORING FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-09: WALL FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-10: ALL WALL FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



2 FINISHES PLAN - B1  
A700.1 1 : 50

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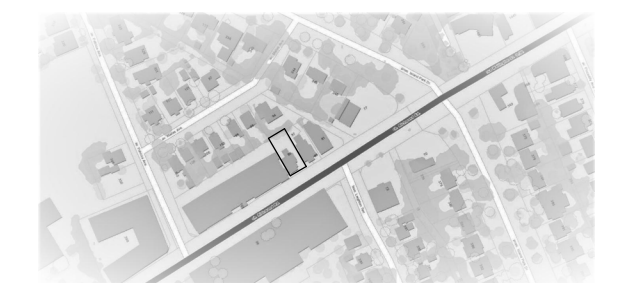
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KEY PLAN / PLAN CLÉ :



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Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

Revision Number description date

PROJECT NAME / NOME DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### FINISHES PLAN - B2

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

A700.2

REVISION NO. / NO. DE RÉVISION :

#### FLOOR FINISH LEGEND

- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
- CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
- VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
- REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

#### WALL FINISH LEGEND

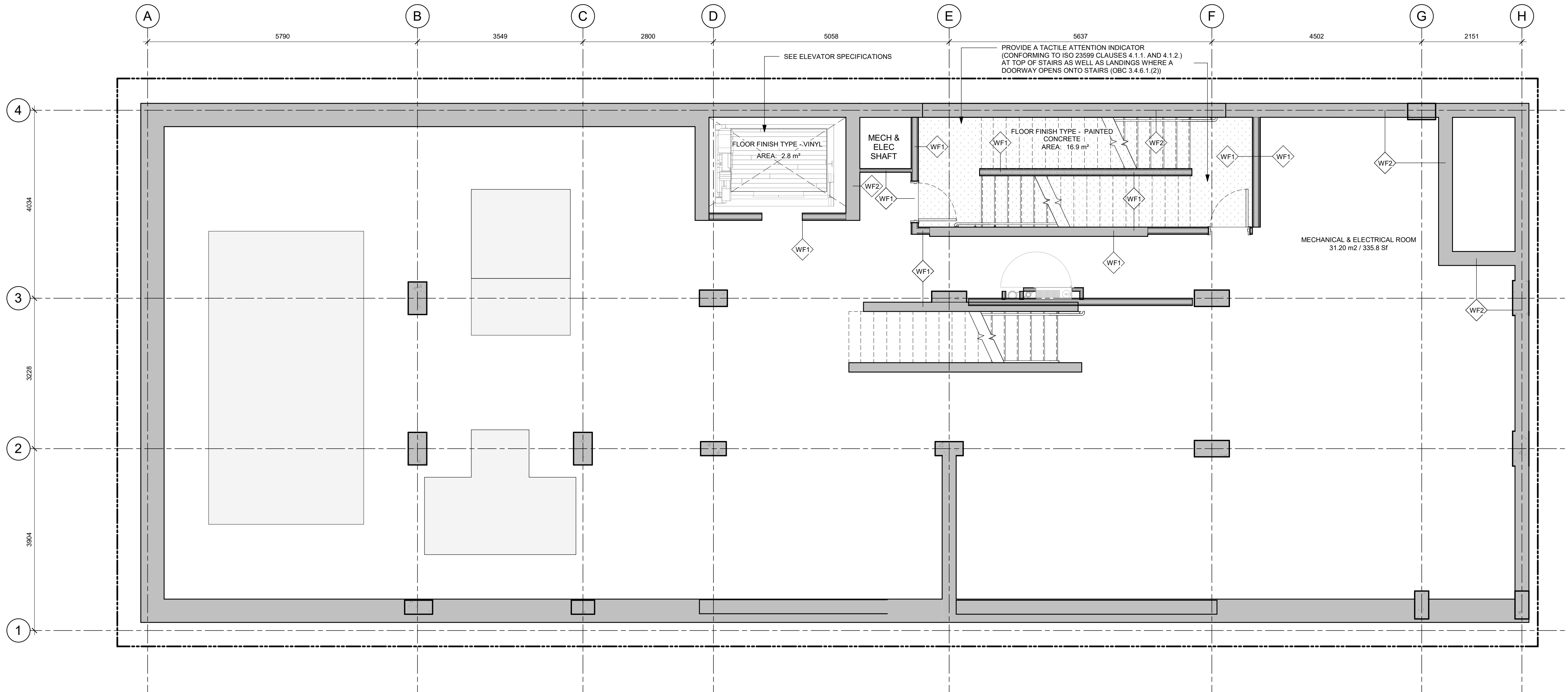
- GYPSUM FINISH PAINTED COLOR CHOICE OF CLIENT
- CONCRETE WALL/COLUMN PAINTED COLOR CHOICE BY CLIENT OR EXPOSED CONCRETE.
- MOISTURE RESISTANT GYPSUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOICE BY CLIENT
- WALL TILE COLOR AND STYLE CHOICE BY CLIENT
- GYPSUM BOARD FINISH FOR COLUMN. PAINTED COLOR CHOICE BY CLIENT

#### SPECIFIC NOTES

① NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

#### GENERAL NOTES

- NOTE-01: FLOOR FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-02: CONTRACTOR TO VISIT SITE DURING TENDER PERIOD TO DETERMINE EXTENT OF REPAIRS, TOPPING AND LEVELING REQUIRED FOR NEW FLOORING. THE FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL FLOOR SLAB IRREGULARITIES & MAKE EASY TO RECEIVE FLOOR FINISHES. INCLUDE IN QUOTATION ALL PREPARATION REQUIRED FOR A COMPLETE AND SATISFACTORY FLOORING INSTALLATION.
- NOTE-03: THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL FLOOR FINISHES FROM MANUFACTURERS' INSTRUCTIONS IN AREAS AS INDICATED ON FLOOR FINISHES PLAN.
- NOTE-04: CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITH 6 MIL POLYETHYLENE POLYETHYLENE IS NOT TO BE REMOVED UNTIL COMPLETION OF WORK.
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- NOTE-07: FLOOR TRANSITION BETWEEN TWO DIFFERENT FINISHES TO BE BEHIND TO ROOM DOORS.
- NOTE-08: ALL FLOORING FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-09: WALL FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-10: ALL WALL FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



2 FINISHES PLAN - B2\_ 1 : 50



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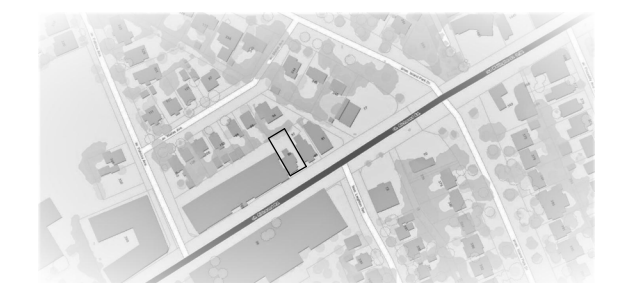
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**FINISHES PLAN - GROUND LEVEL**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1  
DWG NO. / NO. DESSIN :

**A701**

REVISION NO. / NO. DE RÉVISION :

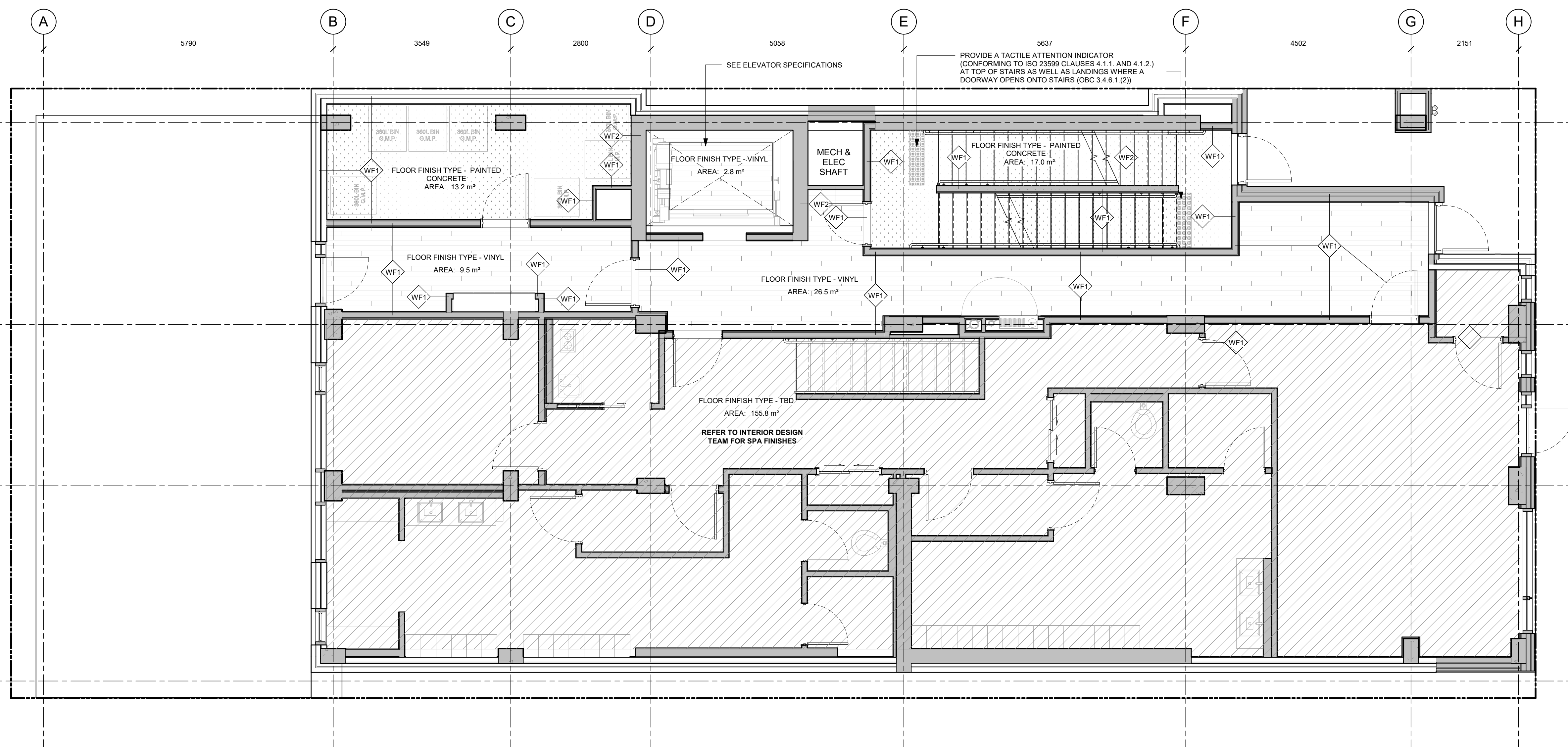
- FLOOR FINISH LEGEND**
- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
  - CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

- WALL FINISH LEGEND**
- GYPSUM FINISH PAINTED COLOR CHOICE BY CLIENT
  - CONCRETE WALL / COLUMN PAINTED COLOR CHOICE BY CLIENT OR EXPOSED CONCRETE.
  - MOISTURE RESISTANT GYPSUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOISE BY CLIENT
  - WALL TILE COLOR AND STYLE CHOICE BY CLIENT
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**SPECIFIC NOTES**

① NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

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- NOTE-10: ALL WALL FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



**1 FINISHES PLAN - GROUND LEVEL**  
A701 1 : 50

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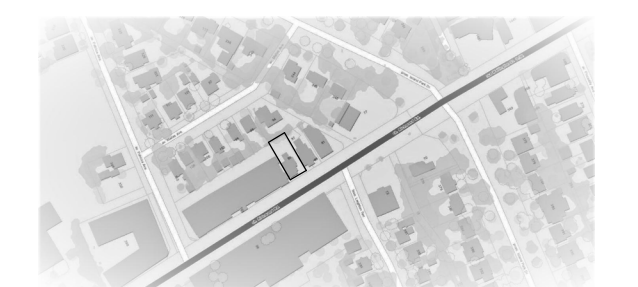
PROJECT DEVELOPER  
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**FINISHES PLAN - SECOND LEVEL**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A702

REVISION NO. / NO. DE RÉVISION : 9

- FLOOR FINISH LEGEND**
- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
  - CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

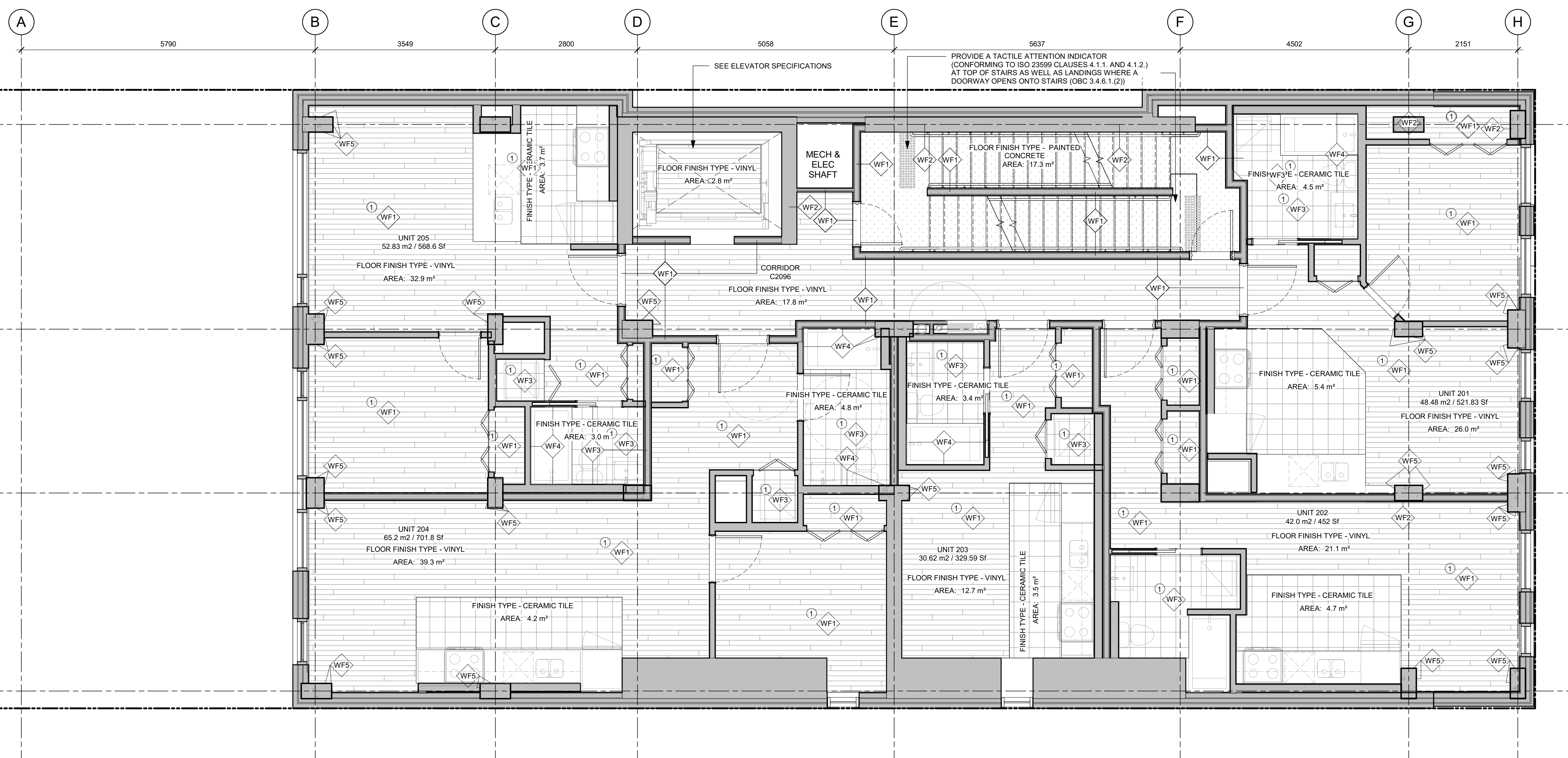
- WALL FINISH LEGEND**
- GYPSUM FINISH PAINTED COLOR CHOICE OF CLIENT
  - CONCRETE WALL/COLUMN PAINTED COLOR CHOICE BY CLIENT OR EXPOSED CONCRETE.
  - MOISTURE RESISTANT GYPSUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOISE BY CLIENT.
  - WALL TILE COLOR AND STYLE CHOICE BY CLIENT
  - GYPSUM BOARD FINISH FOR COLUMN. PAINTED COLOR CHOICE BY CLIENT

**SPECIFIC NOTES**

1 NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

**GENERAL NOTES**

- NOTE-01: FLOOR FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-02: CONTRACTOR TO VISIT SITE DURING TENDER PERIOD TO DETERMINE EXTENT OF REPAIRS, TOPPING AND LEVELING REQUIRED FOR NEW FLOORING. THE FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL FLOOR SLAB IRREGULARITIES & MAKE EASY TO RECEIVE FLOOR FINISHES. INCLUDE IN QUOTATION ALL PREPARATION REQUIRED FOR A COMPLETE AND SATISFACTORY FLOORING INSTALLATION.
- NOTE-03: THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL FLOOR FINISHES FROM MANUFACTURERS. INSTRUCTIONS IN AREAS AS INDICATED ON FLOOR FINISHES PLAN.
- NOTE-04: CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITH 6 MIL POLYETHYLENE POLYETHYLENE IS NOT TO BE REMOVED UNTIL COMPLETION OF WORK.
- NOTE-05: ALL FLOORING MATERIALS TO BE INSTALLED PRIOR TO INSTALLATION OF BASE.
- NOTE-06: CONTRACTOR TO PROVIDE AN ADDITIONAL 5% OF ALL SPECIFIED FINISHES TO OWNER ONCE JOB IS COMPLETED.
- NOTE-07: FLOOR TRANSITION BETWEEN TWO DIFFERENT FINISHES TO BE BROWAY TO ROOM DOORS.
- NOTE-08: ALL FLOORING FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-09: WALL FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-10: ALL WALL FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



**FINISHES PLAN - SECOND LEVEL**  
1 : 50

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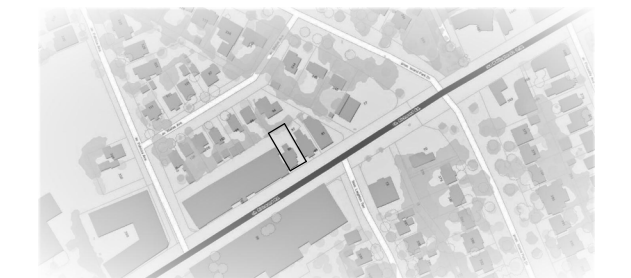
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Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :  
**FINISHES PLAN - THIRD LEVEL**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A703

REVISION NO. / NO. DE RÉVISION :

9

- FLOOR FINISH LEGEND**
- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
  - CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

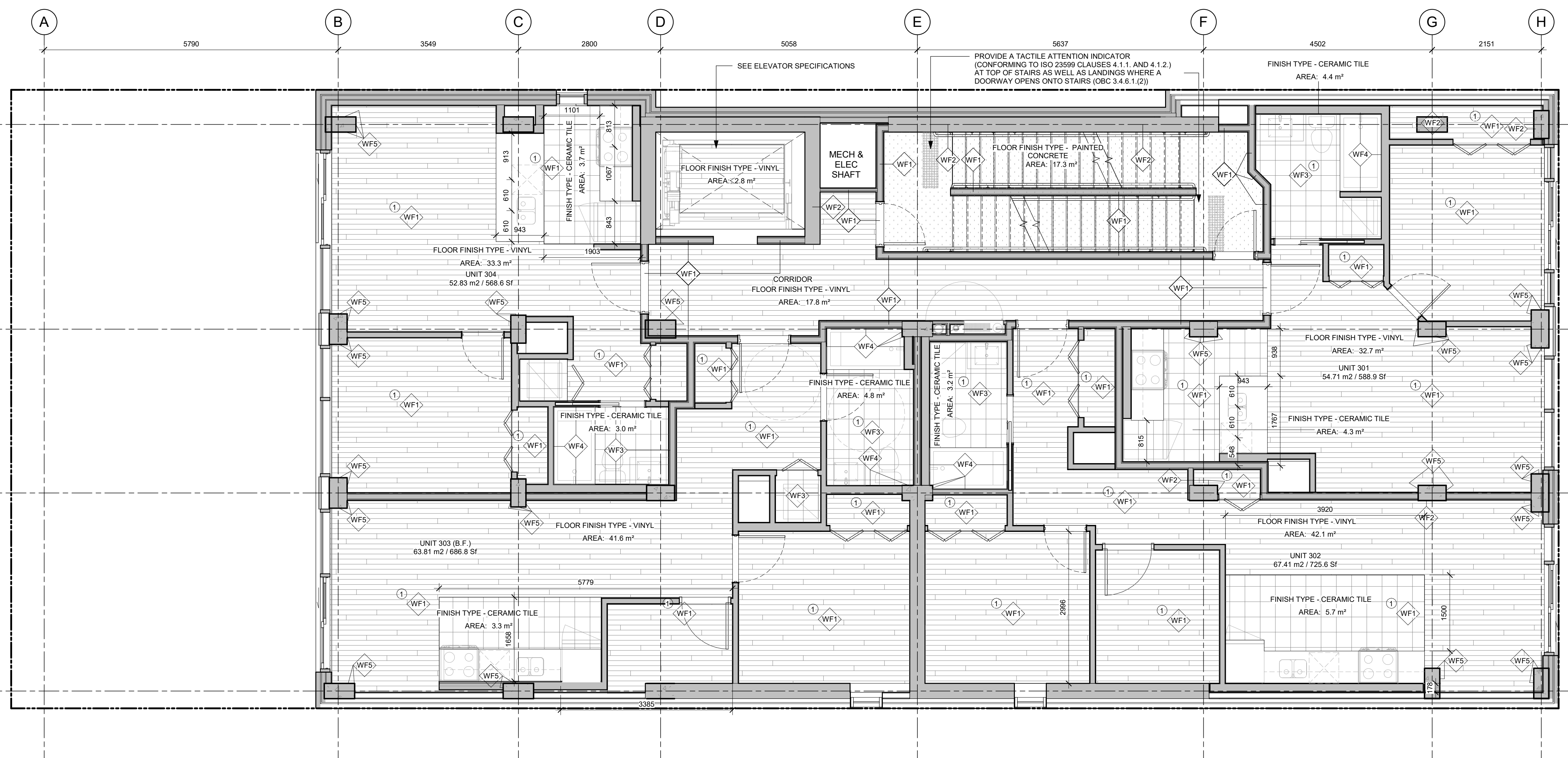
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**SPECIFIC NOTES**

1) NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

**GENERAL NOTES**

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- NOTE-10: ALL WALL FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



1 FINISHES PLAN - LEVEL 3  
A703 1 : 50

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Ottawa, ON, K2P 0Z8 Fax: 613 730 1136  
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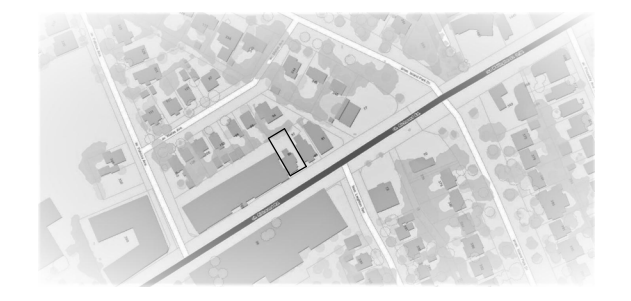
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

## 89 RICHMOND RD

DRAWING NAME / NOM DU DESSIN :

### FINISHES PLAN - LEVEL 4

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A704

REVISION NO. / NO. DE RÉVISION :

1

9

#### FLOOR FINISH LEGEND

- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
- CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
- VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
- REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

#### WALL FINISH LEGEND

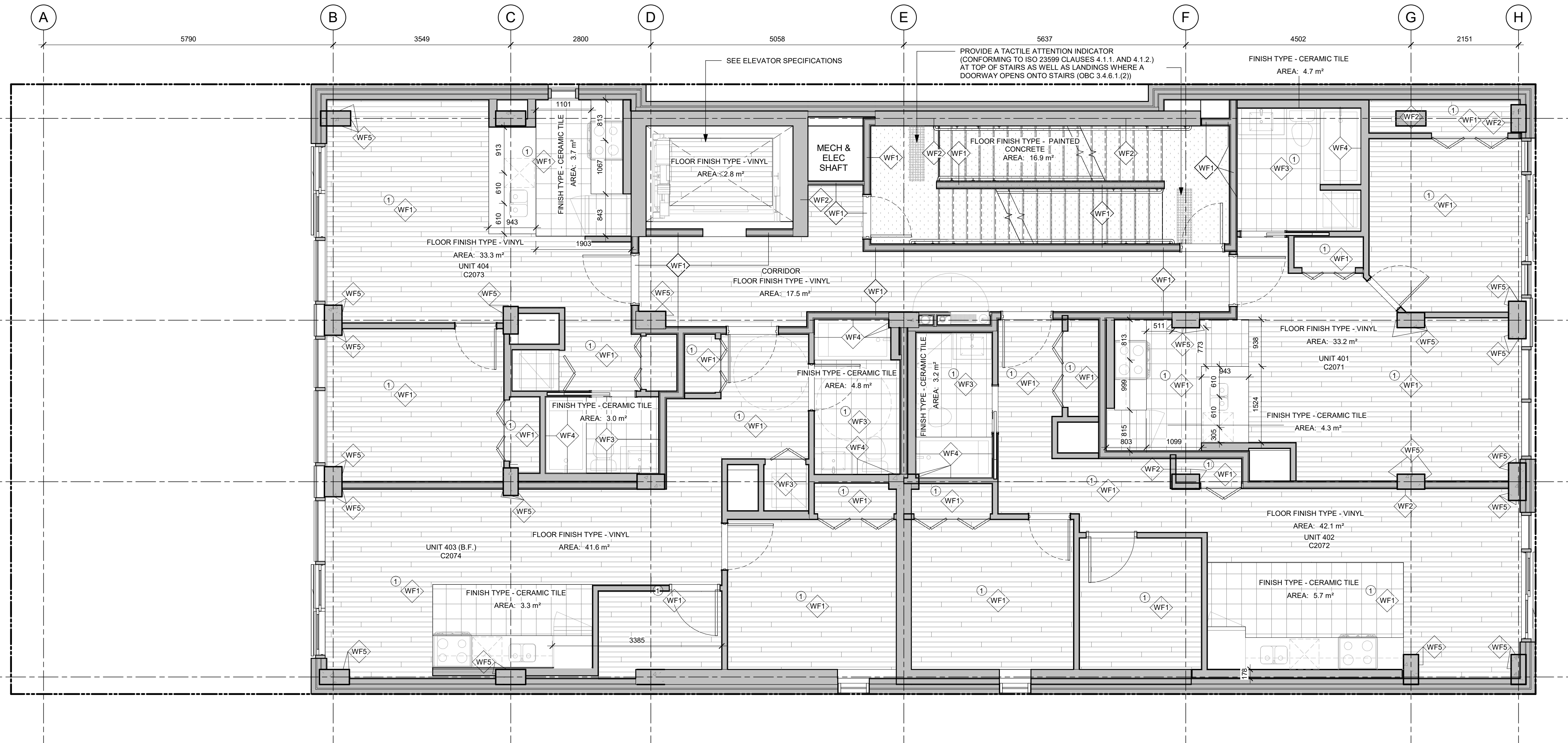
- GYPSUM FINISH PAINTED COLOR CHOICE OF CLIENT
- CONCRETE WALL/COLUMN PAINTED COLOR CHOICE BY CLIENT OR EXPOSED CONCRETE.
- MOISTURE RESISTANT GYPSUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOISE BY CLIENT
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- GYPSUM BOARD FINISH FOR COLUMN. PAINTED COLOR CHOICE BY CLIENT

#### SPECIFIC NOTES

① NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

#### GENERAL NOTES

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1 FINISHES PLAN - LEVEL 4  
A704 1:50

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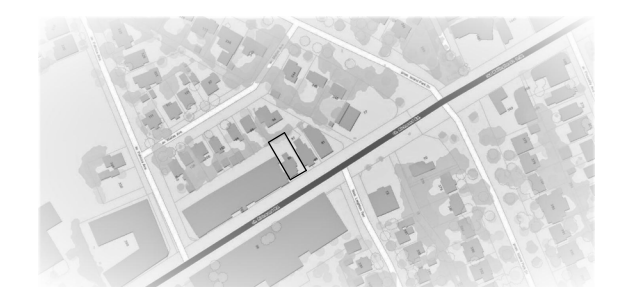
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**FINISHES PLAN - LEVEL 5**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN :

**A705**

REVISION NO. / NO. DE RÉVISION :

- FLOOR FINISH LEGEND**
- PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
  - CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
  - VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
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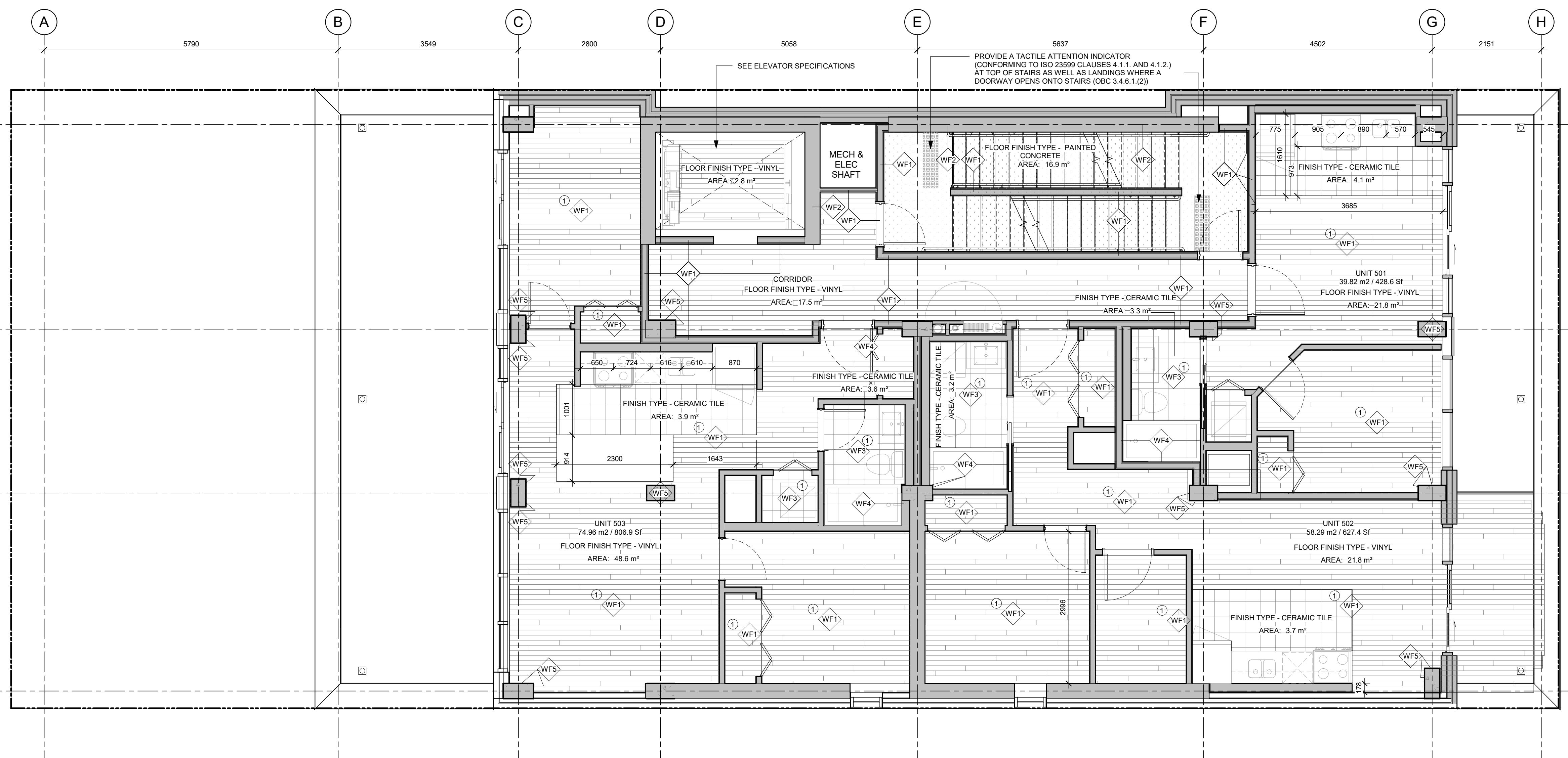
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**SPECIFIC NOTES**

① NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

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**FINISHES PLAN - LEVEL 5**  
1 : 50

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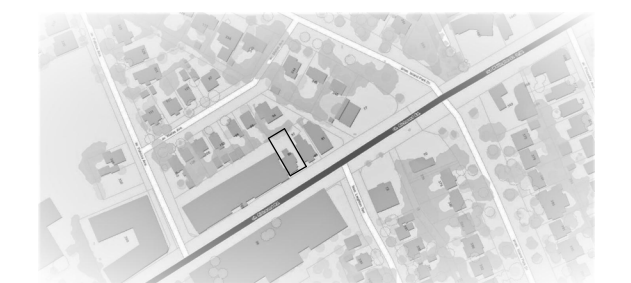
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KEY PLAN / PLAN CLÉ :



CLIENT :

Tel : 613-600-8275 | tanujavaidya@hotmail.com

9 ISSUED FOR CONSTRUCTION 23/01/16

8 ISSUED FOR 99% 22/12/09

Revision Number description date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**FINISHES PLAN - LEVEL 6**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : ET

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A706

REVISION NO. / NO. DE RÉVISION :

**A706**

9

- FLOOR FINISH LEGEND**
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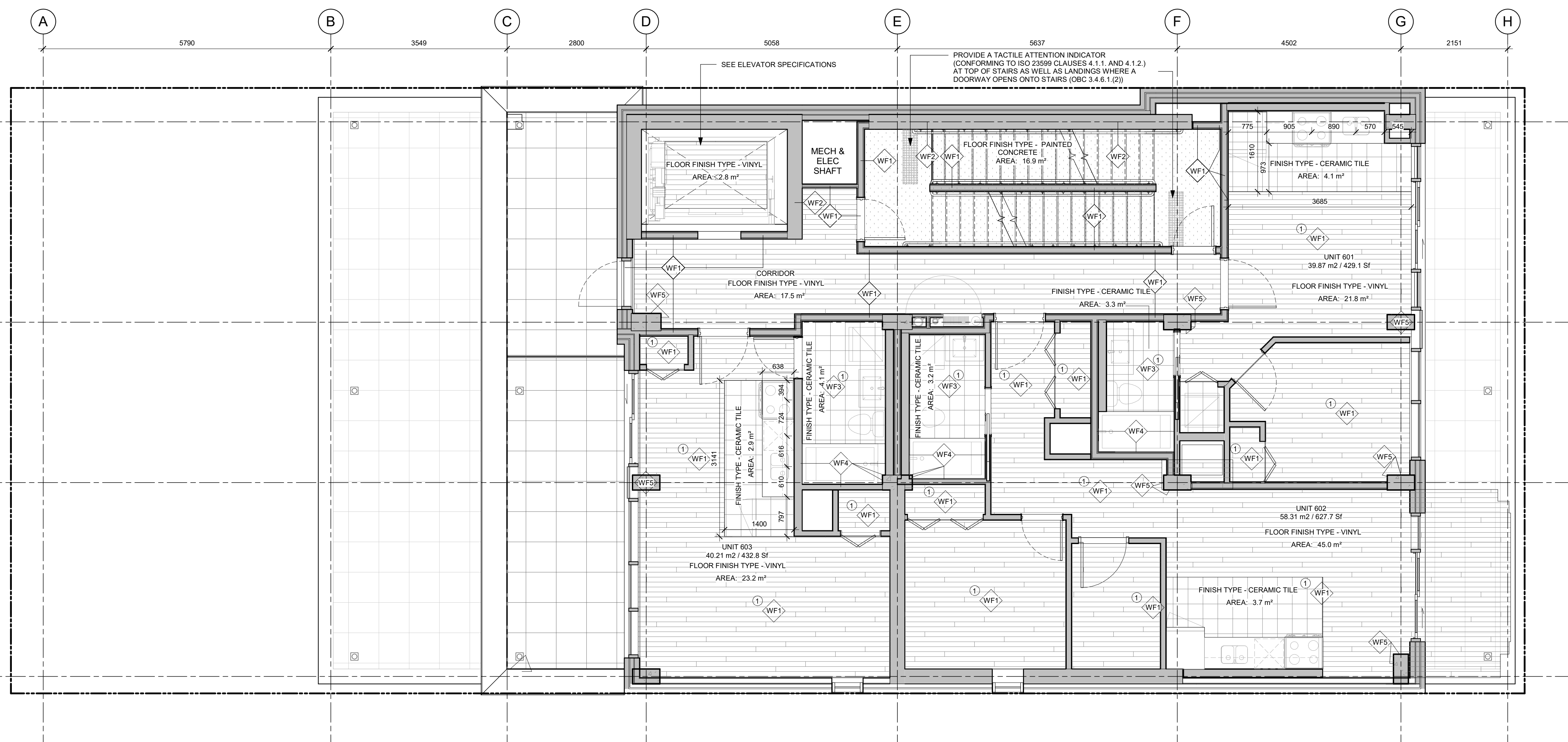
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  - MOISTURE RESISTANT GYPSUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOICE BY CLIENT
  - WALL TILE COLOR AND STYLE CHOICE BY CLIENT
  - GYPSUM BOARD FINISH FOR COLUMN. PAINTED COLOR CHOICE BY CLIENT

**SPECIFIC NOTES**

① NOTE 1: SAME FINISH ALL AROUND EXCEPT INDICATED

**GENERAL NOTES**

- NOTE-01: FLOOR FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-02: CONTRACTOR TO VISIT SITE DURING TENDER PERIOD TO DETERMINE EXTENT OF REPAIRS, TOPPING AND LEVELING REQUIRED FOR NEW FLOORING. THE FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL FLOOR SLAB IRREGULARITIES & MAKE EASY TO RECEIVE FLOOR FINISHES. INCLUDE IN QUOTATION ALL PREPARATION REQUIRED FOR A COMPLETE AND SATISFACTORY FLOORING INSTALLATION.
- NOTE-03: THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL FLOOR FINISHES PER MANUFACTURER'S INSTRUCTIONS IN AREAS AS INDICATED ON FLOOR FINISHES PLAN.
- NOTE-04: CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITH 6 MIL POLYETHYLENE POLYETHYLENE IS NOT TO BE REMOVED UNTIL COMPLETION OF WORK.
- NOTE-05: ALL FLOORING MATERIALS TO BE INSTALLED PRIOR TO INSTALLATION OF BASE.
- NOTE-06: CONTRACTOR TO PROVIDE AN ADDITIONAL 5% OF ALL SPECIFIED FINISHES TO OWNER ONCE JOB IS COMPLETED.
- NOTE-07: FLOOR TRANSITION BETWEEN TWO DIFFERENT FINISHES TO BE BROWAY TO ROOM DOORS.
- NOTE-08: ALL FLOORING FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-09: WALL FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- NOTE-10: ALL WALL FINISHES TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED.
- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



**FINISHES PLAN - LEVEL 6**  
1:50

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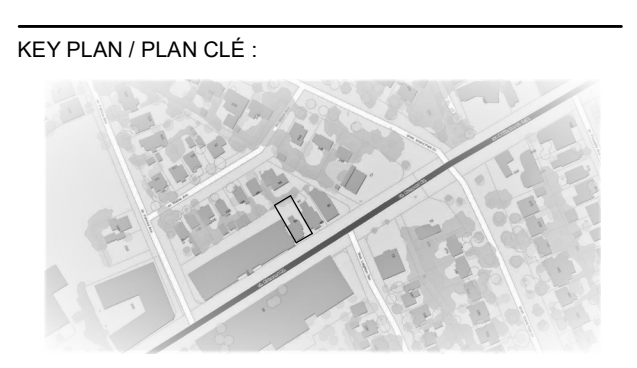
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9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99%	22/12/09
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

**FINISHES PLAN - LEVEL PENTHOUSE**

PROJECT NO. / NO. DE PROJET :	22049
DATE :	22/12/16
DRAWN BY / DESSINÉ PAR :	ET
REVIEWED BY / VÉRIFIÉ PAR :	LG
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	1
DWG NO. / NO. DESSIN :	A707
REVISION NO. / NO. DE RÉVISION :	

**FLOOR FINISH LEGEND**

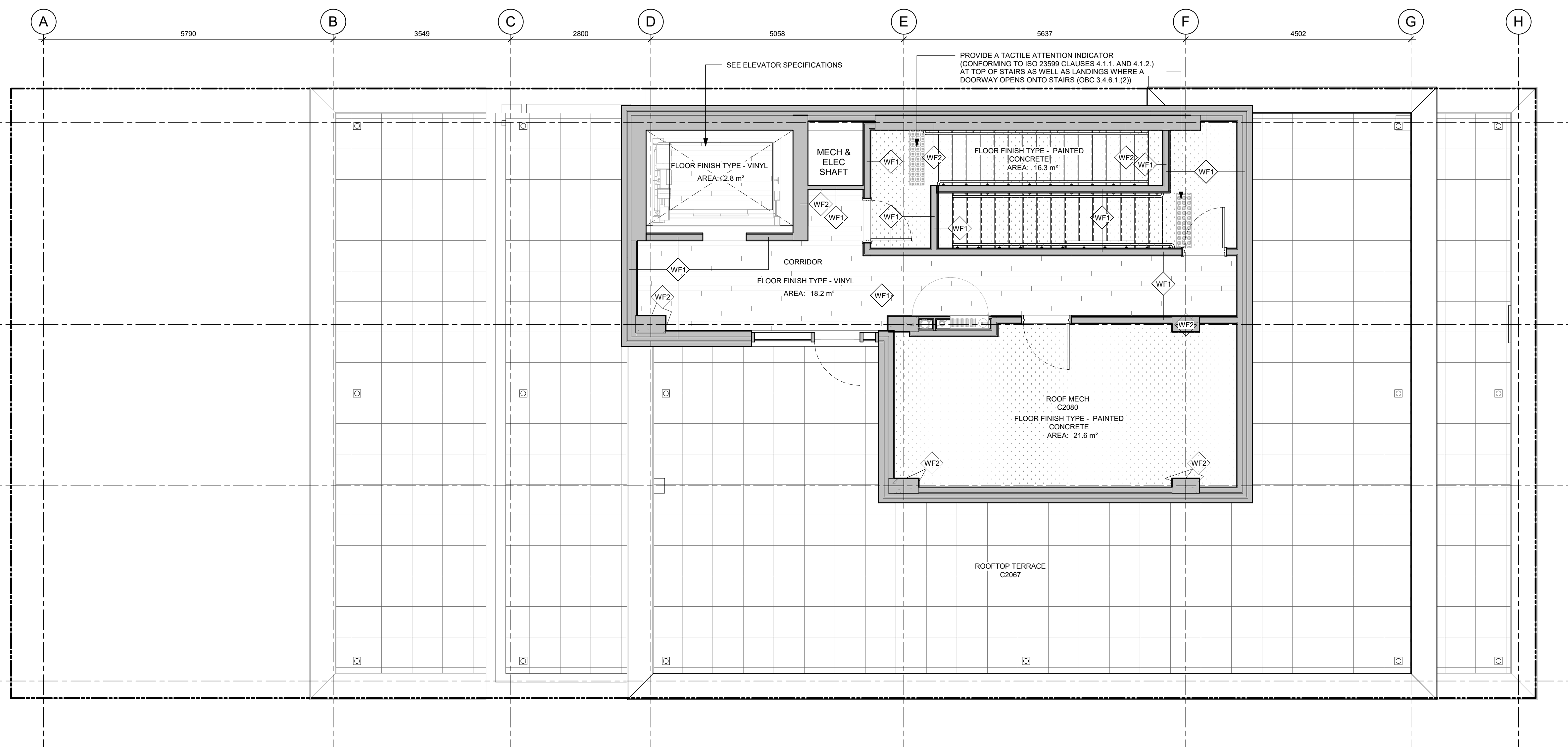
	PAINTED OR EXPOSED CONCRETE. COLOR CHOICE BY CLIENT
	CERAMIC TILE IN KITCHEN AND BATHROOMS OF RESIDENTIAL UNITS. COLOR AND STYLE CHOSEN BY CLIENT
	VINYL FLOORING FOR RESIDENTIAL CORRIDORS AND UNITS. COLOR AND STYLE CHOSEN BY CLIENT
	REFER TO INTERIOR DESIGN TEAM FOR SPA FLOOR FINISHES

**WALL FINISH LEGEND**

	GYPSPUM FINISH PAINTED COLOR CHOICE OF CLIENT
	CONCRETE WALL / COLUMN PAINTED COLOR CHOICE BY CLIENT OR EXPOSED CONCRETE.
	MOISTURE RESISTANT GYPSPUM BOARD PAINTED WITH MOISTURE RESISTANT PAINT COLOR CHOICE BY CLIENT
	WALL TILE COLOR AND STYLE CHOICE BY CLIENT
	GYPSPUM BOARD FINISH FOR COLUMN. PAINTED COLOR CHOICE BY CLIENT

**SPECIFIC NOTES**

- NOTE-01: SAME FINISH ALL AROUND EXCEPT INDICATED
- NOTE-02: CONTRACTOR TO VISIT SITE DURING TENDER PERIOD TO DETERMINE EXTENT OF REPAIRS, TOPPING AND LEVELING REQUIRED FOR NEW FLOORING. THE FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRINDING AND/OR FILLING OF ALL FLOOR SLAB IRREGULARITIES & MAKE EASY TO RECEIVE FLOOR FINISHES. INCLUDE IN QUOTATION ALL PREPARATION REQUIRED FOR A COMPLETE AND SATISFACTORY FLOORING INSTALLATION.
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- NOTE-12: NO PAINT IS TO EXTEND BEYOND 2743mm UNLESS OTHERWISE INDICATED.



**1 FINISHES - PENTHOUSE**  
A707 1 : 50





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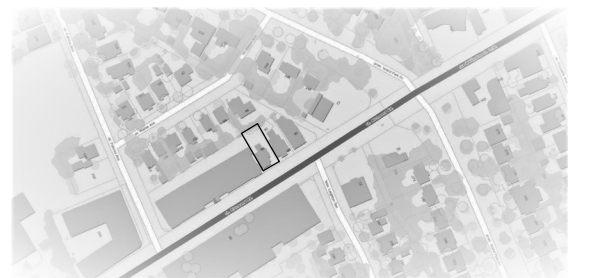
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Revision Number	description	date
9	ISSUED FOR CONSTRUCTION	23/01/16
8	ISSUED FOR 99% Permit Resubmittal	22/12/09
6	Permit Resubmittal	22/12/02
4	Issued for Co-Ordination	22/08/24
3	ISSUED FOR BUILDING PERMIT	22/07/29

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**WINDOW WALL SCHEDULE**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / E.T

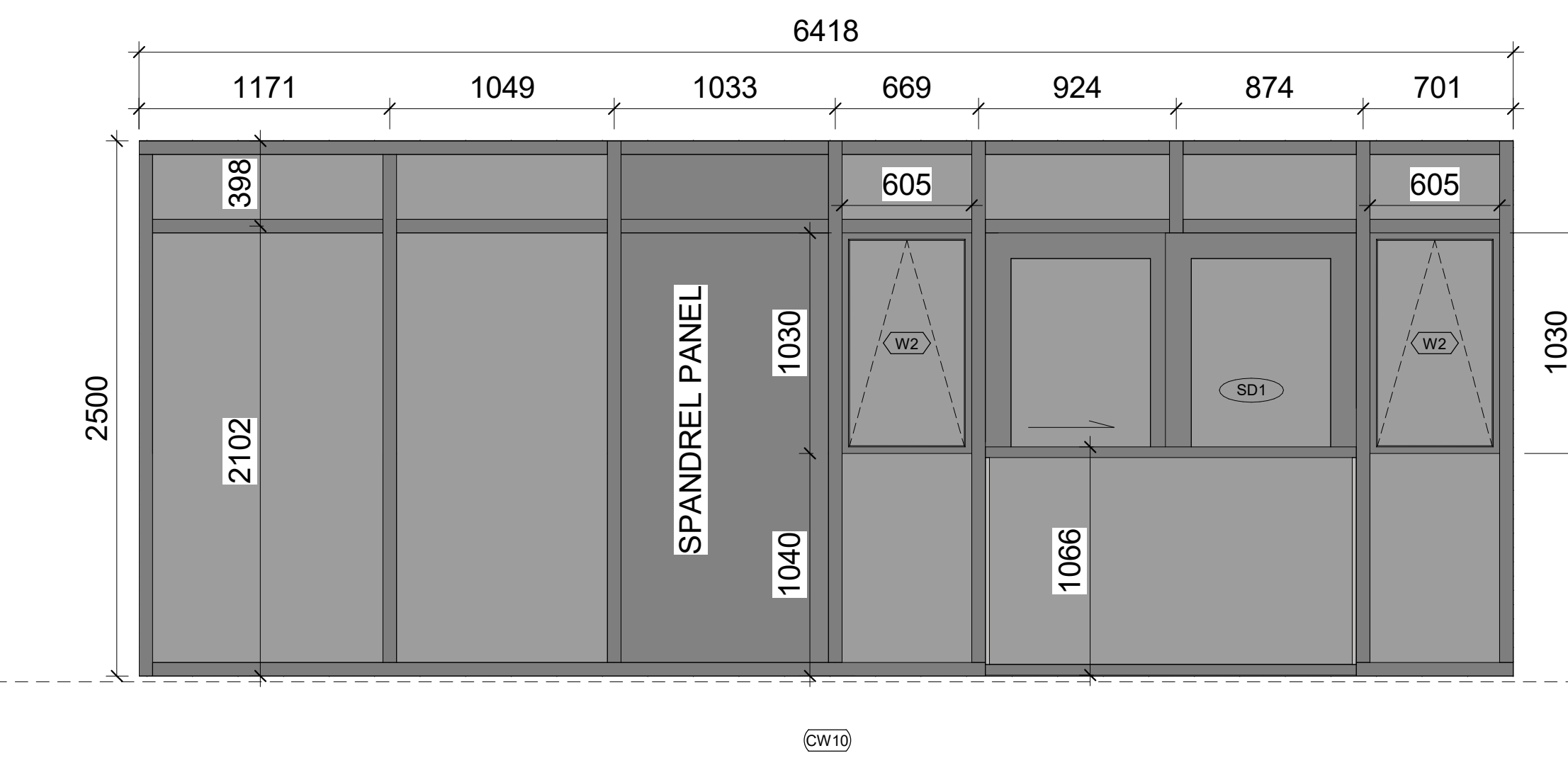
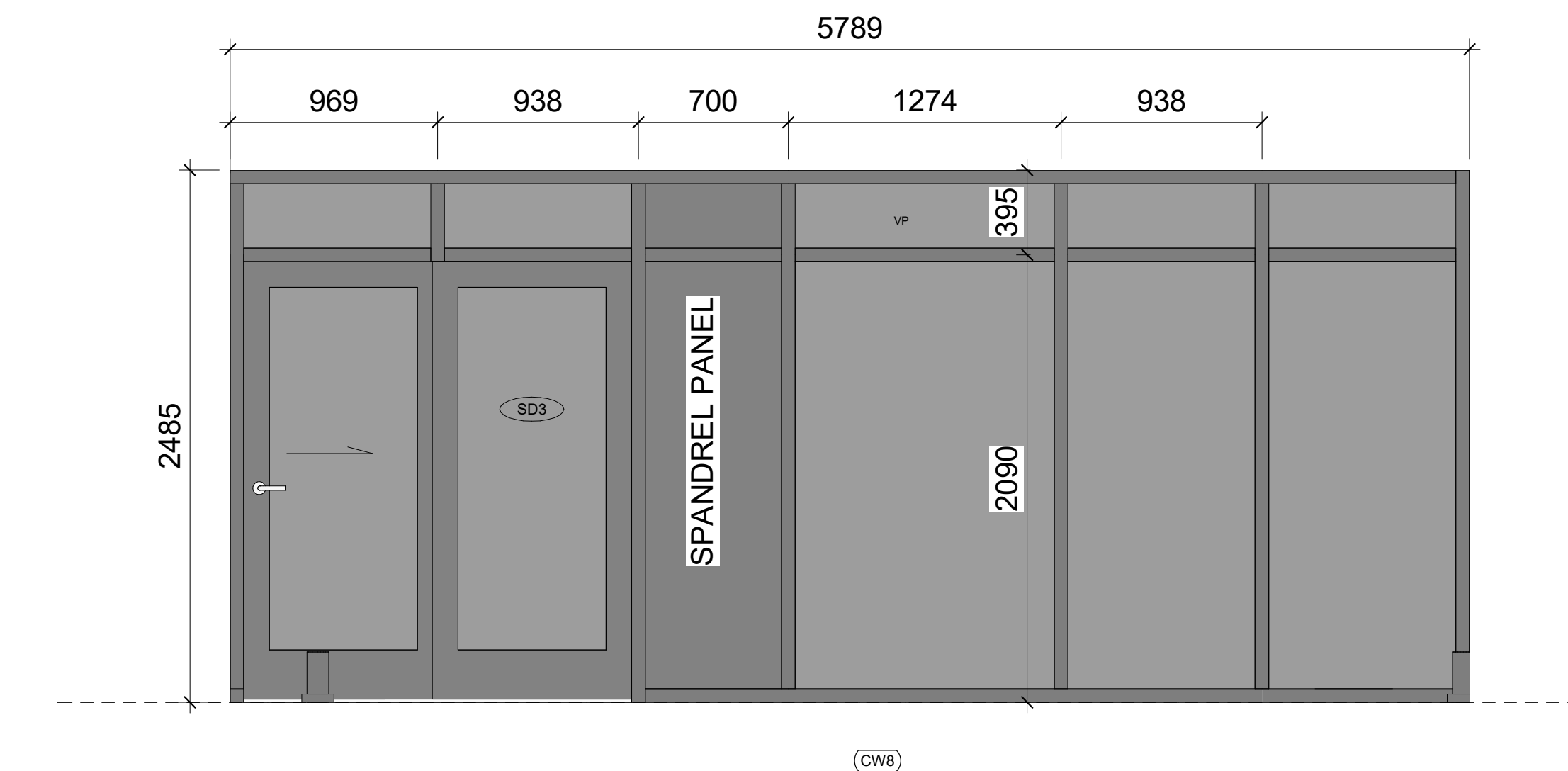
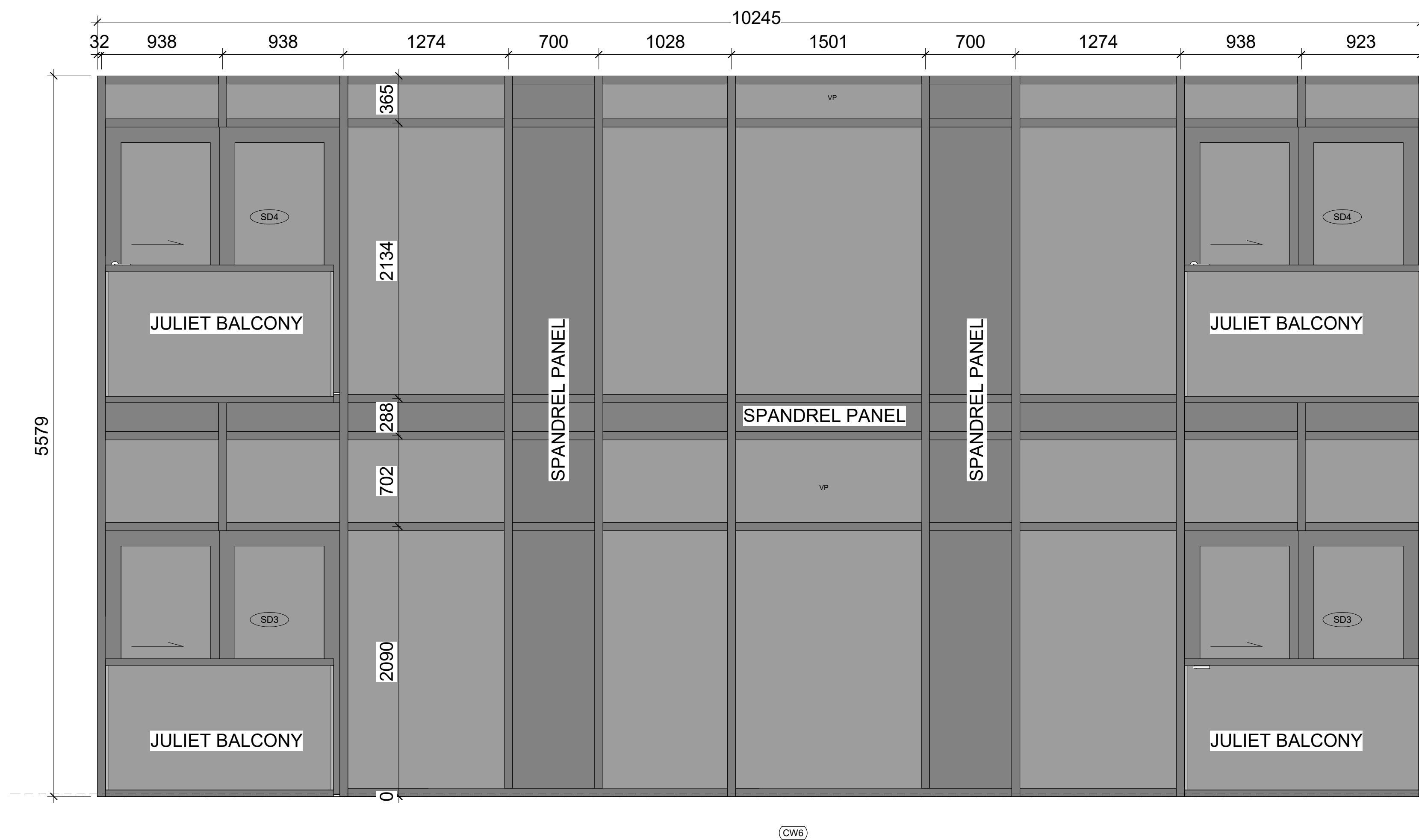
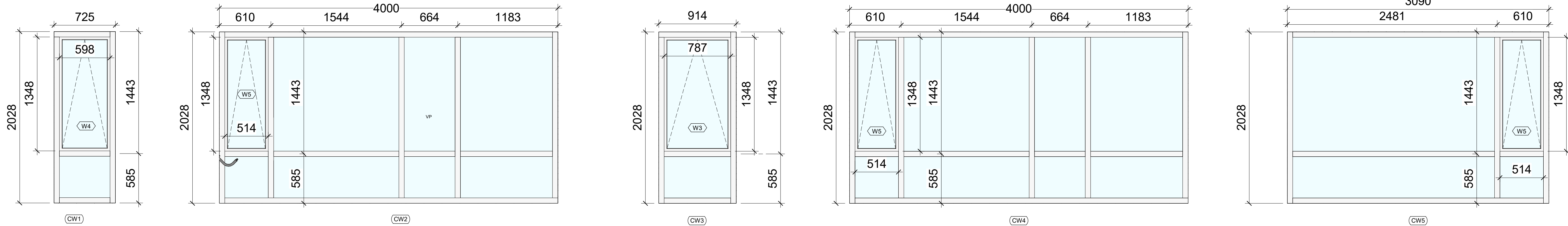
REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A801

REVISION NO. / NO. DE RÉVISION : 9



**LEGEND & NOTES:**

- VISION PANEL
- SPANDREL PANEL
- MECHANICAL LOUVRE
- OPERABLE WINDOW
- SPRINKLERED/FIRE PROTECTED WINDOW

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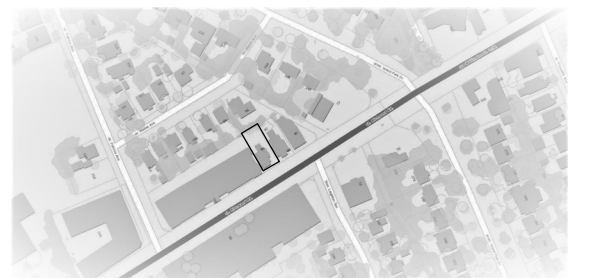
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3	ISSUED FOR BUILDING PERMIT	22/07/29
Revision Number	description	date

PROJECT NAME / NOM DU PROJET :

**89 RICHMOND RD**

DRAWING NAME / NOM DU DESSIN :

**WINDOW WALL SCHEDULE**

PROJECT NO. / NO. DE PROJET : 22049

DATE : 22/12/16

DRAWN BY / DESSINÉ PAR : AM / E.T

REVIEWED BY / VÉRIFIÉ PAR : LG

SCALE / ÉCHELLE : As indicated

PROJECT PHASE / PHASE DU PROJET : 1

DWG NO. / NO. DESSIN : A802

REVISION NO. / NO. DE RÉVISION : 9

D07-12-16-0087



