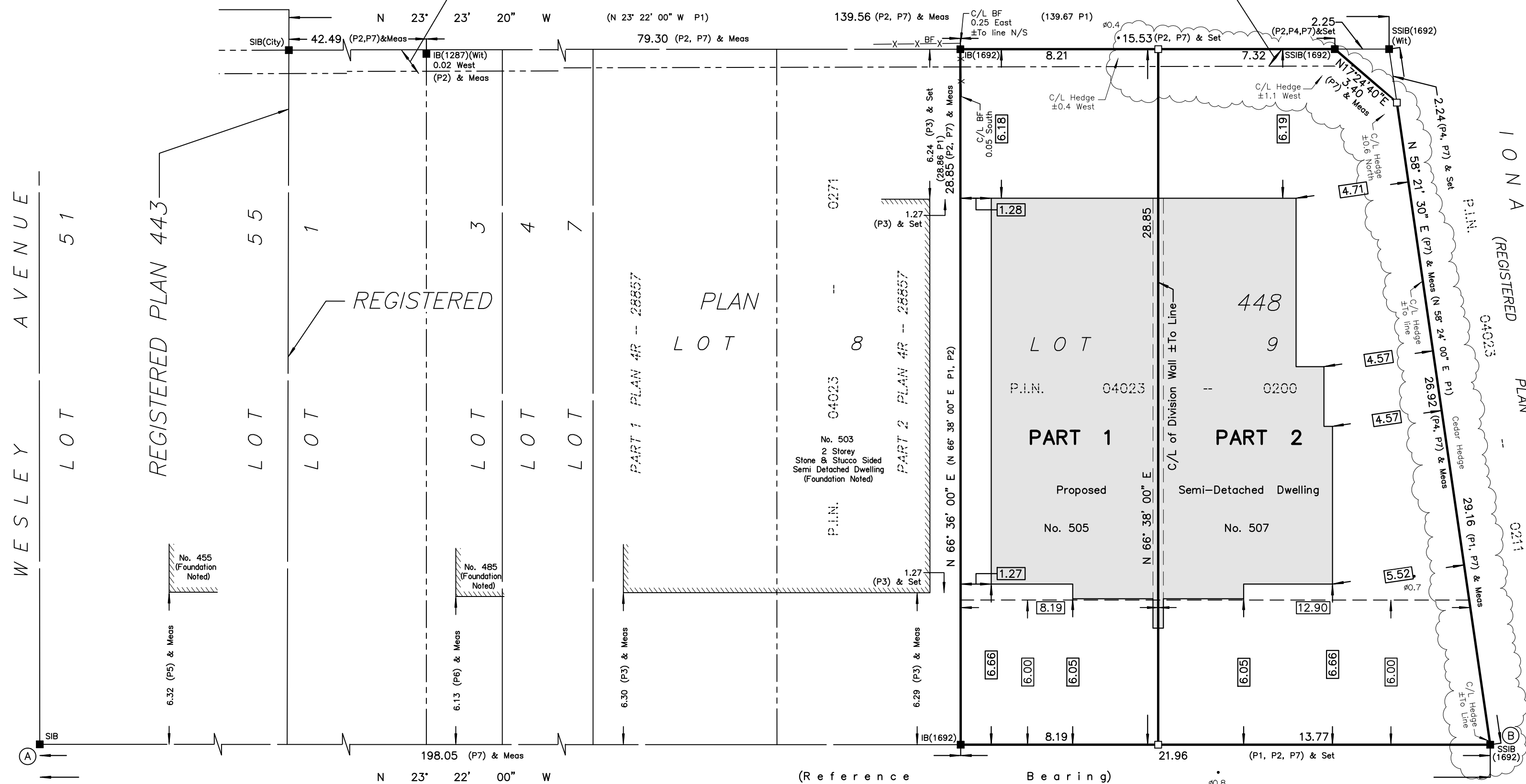


Committee of Adjustment  
Received | Reçu le  
2023-10-26  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

KIRKWOOD AVENUE  
(Formerly Heney Avenue)  
(REGISTERED PLAN 186)

P.I.N. 04022 -- 0001

PART 19 EXPROPRIATION PLAN INST. No. CR538700  
(ROAD WIDENING BY--LAW No. 40--68 INST No. CR538701, ABANDONED PER INST. No. CR542755)



Notes & Legend

- Denotes Survey Monument Planted
- " Survey Monument Found
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- (Wit) " Witness
- Meas " Measured
- (P1) " Registered Plan 448
- (P2) " Plan by (1692) dated July 16, 2013 (File No. 190-13)
- (P3) " Plan by (1692) dated June 30, 2016 (File No. 04-15)
- (P4) " Plan by (AOG) dated May 19, 1978
- (P5) " Plan by (1697) dated March 19, 2020 (File No. 20-12129)
- (P6) " Plan by (647) dated January 27, 1981
- (P7) " Plan by (1692) dated May 17, 2023 (File No. 119-23)
- ∅ " Diameter
- BF " Board Fence
- C/L " Centreline
- " Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

DAWSON AVENUE  
(REGISTERED PLAN 443)

P.I.N. 04023 -- 0216

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_

DANIEL ROBINSON  
ONTARIO LAND SURVEYOR

PLAN 4R-

RECEIVED AND DEPOSITED

DATE: \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF  
OTTAWA-CARLETON NO. 4.

SCHEDULE

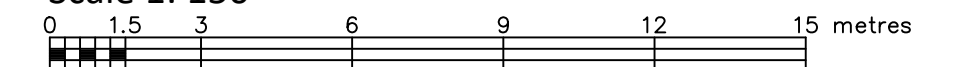
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 9	448	ALL OF 04023 - 0200	236.6
2				334.3

PLAN OF SURVEY OF

PART OF LOT 9  
REGISTERED PLAN 448  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 150



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings are MTM grid, derived from Can-Net Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N 32° 22' 00" W and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°36'00" counter-clockwise was applied to bearings on P1, P2.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5028328.36	363870.81
(B)	5028126.39	363958.05
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
- The survey was completed on the \_\_\_ day of \_\_\_\_\_, 2023.

Date

Daniel Robinson  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXX

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL. (613) 727-8226 E-mail: fsdsurveys@bellnet.ca

FILE No.: 377-23



Tree Planting Map – 505 Dawson Avenue  
Tree layer prepared by  
Dendron Forestry Services  
Version 1.0, September 19, 2023  
For more information, please contact:  
info@dendronforestry.ca

**Note:** the tree layer has been added to the original site plan supplied by the client in pdf format. This layer refers to the trees only, and the original site plan has not been altered in the process. Refer to the original plan for details as quality is lost when importing the plan into the mapping software used to create the tree layer.

### Replacement Tree Specifications

**Note:** Proposed tree locations are suggestions only and should be finalized only once construction is complete and should adhere to City of Ottawa Tree Planting Guidelines

Trees 1-3 should be large trees at maturity. Site conditions are expected to be full sun exposure and moderate moisture availability. Species suggestions include:

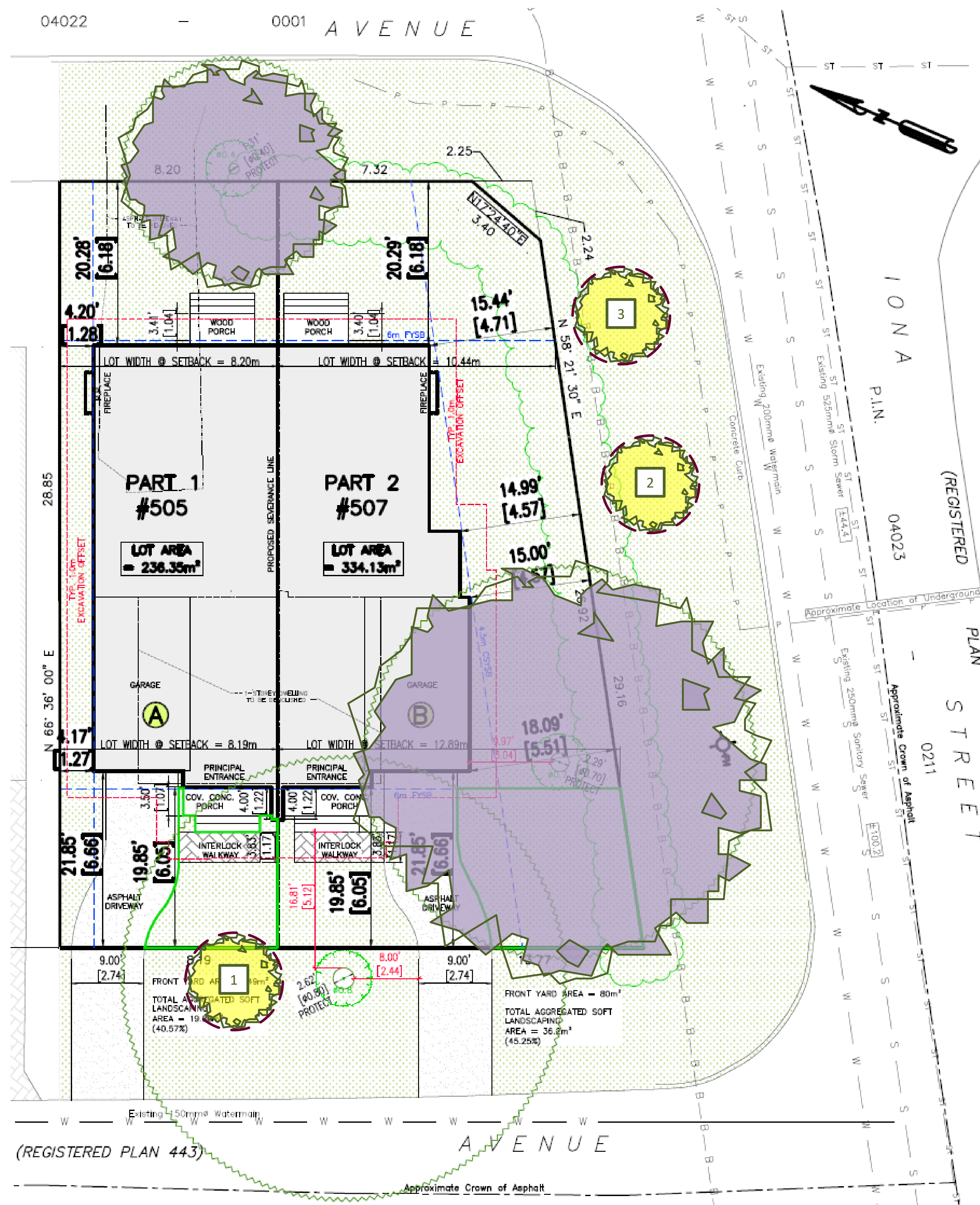
- White oak - *Quercus alba*\*
  - Chinkapin oak - *Quercus muehlenbergii*
  - Freeman maple - *Acer x freemanii*
  - Black walnut - *Juglans nigra*\*
  - Tulip tree - *Liriodendron tulipifera*
  - Ginkgo - *Ginkgo biloba*
  - Liberty elm - *Ulmus americana 'Libertas'*\*
  - Red oak - *Quercus rubra*\*
  - Northern catalpa - *Catalpa speciosa*
  - London plane tree - *Platanus x acerifolia*
- \*Native to Ottawa region: Planting species native to a region can help maintain and enhance biodiversity.

**Note:** Norway maple (*Acer platanoides*) is not recommended as it is highly invasive and not a suitable tree for urban planting.

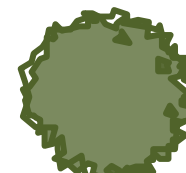
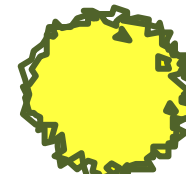
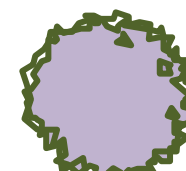
The species recommended herein are the most suitable species based on the existing plans. For best success, tree species should be matched to site conditions.

All deciduous trees must be a minimum of 50 mm in diameter measured no less than 15 cm above ground level. Coniferous trees must be no less than 200 cm in height.

See attached City of Ottawa Tree Planting Specifications for Infill Properties for more details on planting requirements.



### Legend

-  New Private Tree
-  New Tree either fully or partly on city property
-  Existing Tree to be retained



## City of Ottawa Tree Planting Specifications for Infill Properties

Compensation planting locations and species must be approved by Forestry Services prior to planting, usually through submission of a Landscape Plan or showing new tree locations on the Tree Information Report. Large-growing, native species are preferred where space and conditions allow.

Any trees planted within the ROW are immediately protected under the Tree Protection by-law ( ) and cannot be moved after planting.

### Planning for planting in the ROW:

- o Determine how much open (soft) space is available in the planting location. A minimum of 9m<sup>2</sup> (1m depth) of good soil is recommended to support one tree. If there is insufficient space to plant in the ROW, planting on private property will be considered.
- o Note the locations and types of existing obstacles, above and below ground, using existing surveys plans, observations, and have utility locations marked by contacting [www.on1call.com](http://www.on1call.com) or 1.800.400.2255 (call before you dig). Use this information along with the setbacks listed below to determine a suitable planting location on the site, and the appropriate size of tree to plant.
- o If there are Hydro wires present over the property, consult Hydro Ottawa's tree planting guidelines: [https://static.hydroottawa.com/documents/publications/safety/tree\\_planting\\_advice-EN.pdf](https://static.hydroottawa.com/documents/publications/safety/tree_planting_advice-EN.pdf).
- o If sensitive marine clay exists on the site, only small-growing, low-water demand species may be planted a minimum of 7.5m from the house.
- o Ensure no future conflicts with building projections, overhead or underground utilities that would pose future maintenance problems or impede full development of the canopy.
- o Tree species must be appropriate for the site (size, salt tolerance, etc). There are many resources available online to help select the right tree for your lot. Keep in mind that often native trees are best adapted to the local climate but less so for high salt conditions.
- o Planting must be done according to the specifications in Forestry Services' tree planting detail.
- o Trees must be watered regularly following planting to ensure proper establishment.
- o The City will assume maintenance responsibilities for trees planted in the ROW.

### Key spacing (minimum distance) guidelines:

- 1m from utility boxes

### For deciduous trees:

- Minimum 50mm caliper stock



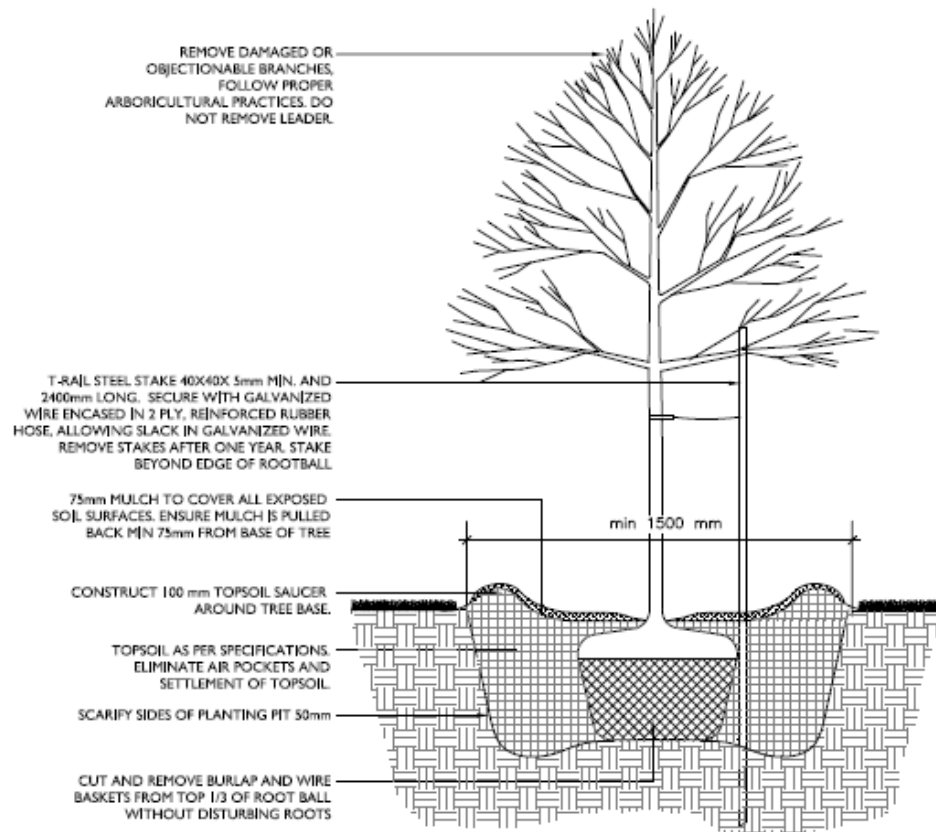
## City of Ottawa Tree Planting Specifications for Infill Properties

- 1.5m from sidewalks, driveways, walkways, fences, sound walls, and old stumps.
- 2.5m from curbs, hydro transformers, or behind fire hydrants
- 4-7m from any part of an existing tree, depending on canopy width
- 10m from bus shelters and community mailboxes

### For conifer (evergreen) trees:

Follow same setbacks as deciduous, but due to the widest branching being at the base of the tree, conifers need greater setbacks for ground-level obstacles.

- Minimum 200cm height stock
- 4.5m setbacks from sidewalks, walkways, driveways, and curbs.
- Do not plant on corners where sight lines will be compromised.



#### NOTES:

1. PROTECT TRUNK DURING TRANSPORT AND INSTALLATION. ALL WRAPPING TO BE REMOVED BEFORE FINAL INSPECTION;
2. ALL PROTECTIVE WRAPPING SHALL BE REMOVED AFTER INSTALLATION;
3. STAKING OF TREES SHALL BE PERFORMED ONLY IF DEEMED NECESSARY;
4. ALL DIMENSION IN MILLIMETERS UNLESS OTHERWISE NOTED.



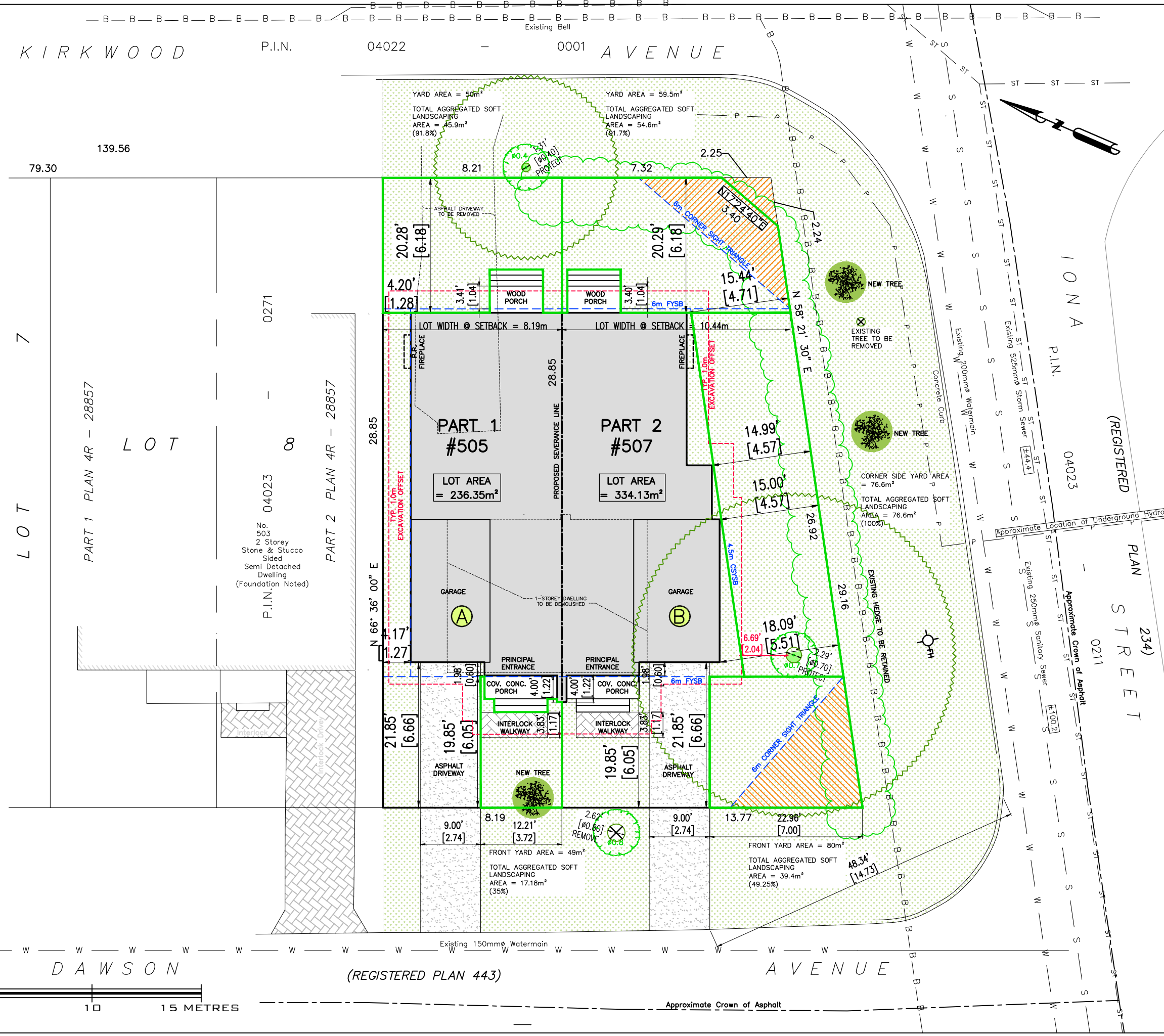
NOT TO SCALE

PROJECT INFORMATION	
ADDRESS	505 DAWSON AVENUE OTTAWA, ON. K1Z 5V6
LEGAL DESCRIPTION	PART OF LOT 9 REGISTERED PLAN 448 PIN: 04023-0200
ZONING	ZONING BYLAW 2008-250   R2G SECTION 139 - LOW-RISE RESIDENTIAL IN ALL NEIGHBOURHOODS WITHIN THE GREENBELT SECTION 140 - LOW-RISE RESIDENTIAL DEVELOPMENT WITHIN THE MATURE NEIGHBOURHOODS OVERLAY

DEVELOPMENT STANDARDS			
SITE PROVISIONS	BY-LAW REQUIREMENTS	PROVIDED PART 1	PROVIDED PART 2
MIN. LOT WIDTH	7.5m	8.19m	10.44m
LOT DEPTH	N/A	28.85m	29.03m
MIN. LOT AREA	225m <sup>2</sup>	236.6m <sup>2</sup>	334.3m <sup>2</sup>
MAX. BUILDING HEIGHT	8m	7.75m	7.75m
MIN. FRONT YARD SETBACK (DAWSON)	6m	6.05m	6.05m
MIN. CORNER YARD SETBACK	4.5m	N/A	4.57m
MIN. YARD SETBACK (KIRKWOOD)	6m	6.18m	6.18m
MIN. INTERIOR YARD SETBACK	TOTAL IS 3m WITH ONE YARD, NO LESS THAN 1.2m	1.27	N/A
MIN. SOFT LANDSCAPING OF THE FRONT YARD AREA (LOT WIDTH LESS THAN 8.25m)	30%	35%	N/A
MIN. SOFT LANDSCAPING OF THE FRONT YARD AREA (LOT WIDTH 8.25m-12m)	35%	N/A	49.25%
MIN. SOFT LANDSCAPING OF THE CORNER YARD AREA	40%	N/A	100%
MIN. SOFT LANDSCAPING OF KIRKWOOD YARD AREA (LOT WIDTH LESS THAN 8.25m)	30%	91.8%	N/A
MIN. SOFT LANDSCAPING OF KIRKWOOD YARD AREA (LOT WIDTH 8.25m-12m)	35%	N/A	91.7%

NOTES	
MINOR VARIANCES REQUESTED	
PART 1	A) To permit a front-facing attached garage, whereas the By-law states that a front-facing garage is not permitted as per the outcome of the Streetscape Character Analysis. [Sec. 139(3)(b) & Sec. 140(8)(b)]
PART 2	B) To permit a front-facing attached garage, whereas the By-law states that a front-facing garage is not permitted as per the outcome of the Streetscape Character Analysis. [Sec. 139(3)(b) & Sec. 140(8)(b)]

LEGEND			
PROPOSED BUILDING	[Grey Box]	SOFT LANDSCAPING AREA	[Green Box]
DRIVEWAY	[Hatched Box]	LINE OF REQUIRED SETBACK	[Blue Dashed Line]
WALKWAY	[Cross-hatched Box]	OVERHEAD WIRES	[Grey Line]
SOD	[Dotted Box]	EXISTING TO BE DEMOLISHED	[Red Dashed Line]
		EXCAVATION OFFSET	[Red Dashed Line]



**MD**  
**MIROCA DESIGN**  
 INCORPORATED SINCE 1986  
 CUSTOM HOME DESIGN  
 PROJECT MANAGEMENT

30 CONCORSE GATE  
 UNIT 47  
 OTTAWA, ONTARIO  
 K2E 7V7

TEL: 613-274-2653  
 FAX: 613-274-7085

CONTACT@MIROCADESIGN.COM  
 WWW.MIROCADESIGN.COM

NO.	DESCRIPTION & DATE

**GENERAL NOTES:**

- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND DIMENSIONS TO THE CONSULTANT.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BYLAWS.
- FOOTINGS DESIGNED FOR 2000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
- DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE

JOB TITLE:  
 PROPOSED TWO STOREY DWELLING  
 505 DAWSON  
 CITY OF OTTAWA

SHEET TITLE:  
 SITE PLAN

SCALE: AS SHOWN	DWG NO.
DRAWN: A.G.	S1.1
CHECKED:	
DATE: OCTOBER 2023	
PRINT DATE:	



**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"

**GENERAL NOTES:**

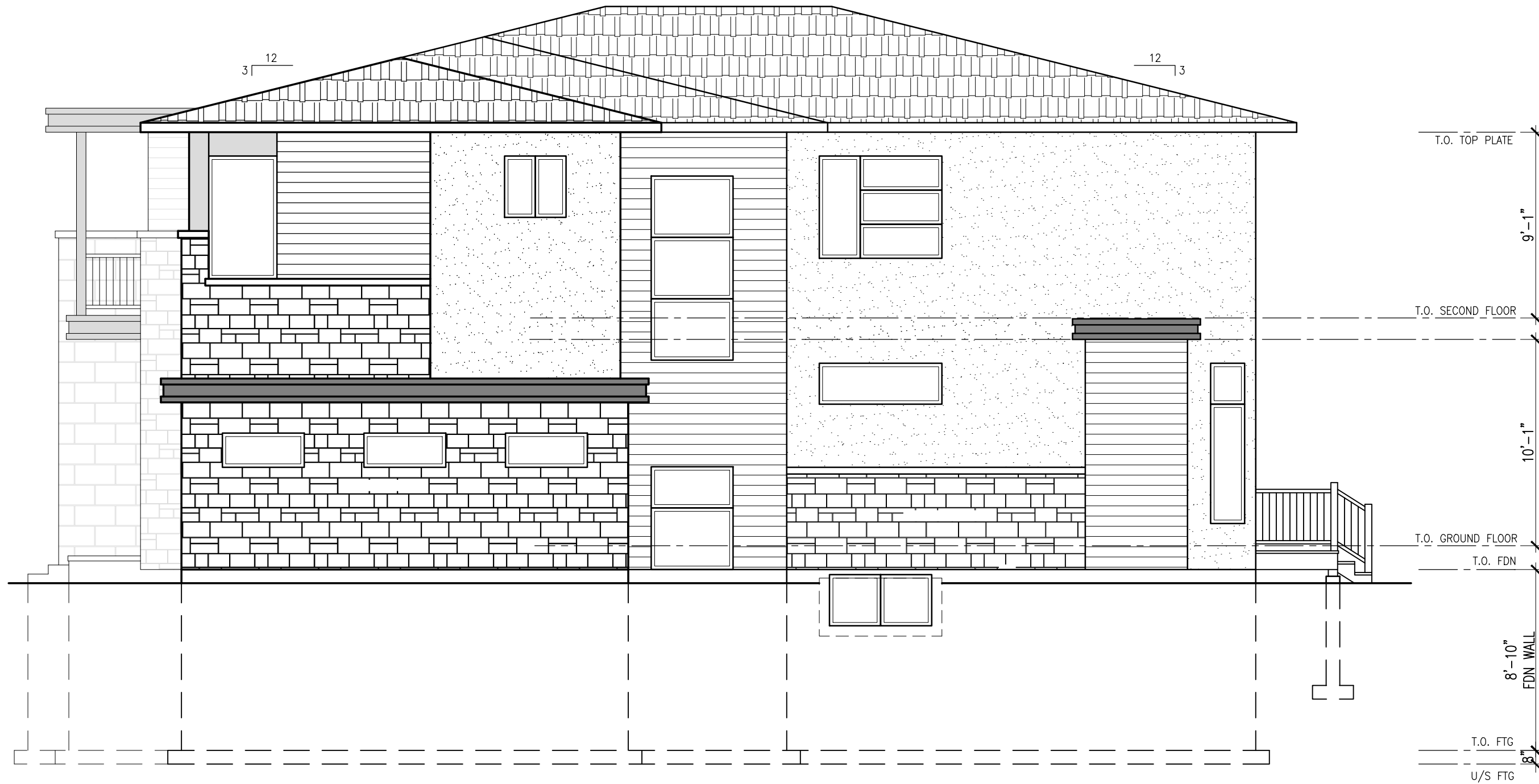
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. FOOTINGS DESIGNED FOR 3000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
4. DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE

JOB TITLE:  
PROPOSED TWO STOREY  
SEMI-DETACHED DWELLING  
505 DAWSON  
PARTS 1 & 2  
CITY OF OTTAWA

SHEET TITLE:  
FRONT ELEVATION

SCALE: AS SHOWN	Dwg No.
DRAWN: A.G.	<b>A1.4</b>
CHECKED:	
DATE: OCTOBER 2023	
PRINT DATE:	



**RIGHT SIDE ELEVATION**

SCALE: 3/16" = 1'-0"

**GENERAL NOTES:**

1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. FOOTINGS DESIGNED FOR 3000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
4. DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE
1	
	REVISIONS

JOB TITLE:  
PROPOSED TWO STOREY  
SEMI-DETACHED DWELLING  
505 DAWSON  
PARTS 1 & 2  
CITY OF OTTAWA

SHEET TITLE:  
RIGHT SIDE ELEVATION

SCALE: AS SHOWN	DWG NO.
DRAWN: A.G.	
CHECKED:	
DATE: OCTOBER 2023	<b>A2.4</b>
PRINT DATE:	



**REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"

**GENERAL NOTES:**

1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. FOOTINGS DESIGNED FOR 3000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
4. DO NOT SCALE THE DRAWINGS.

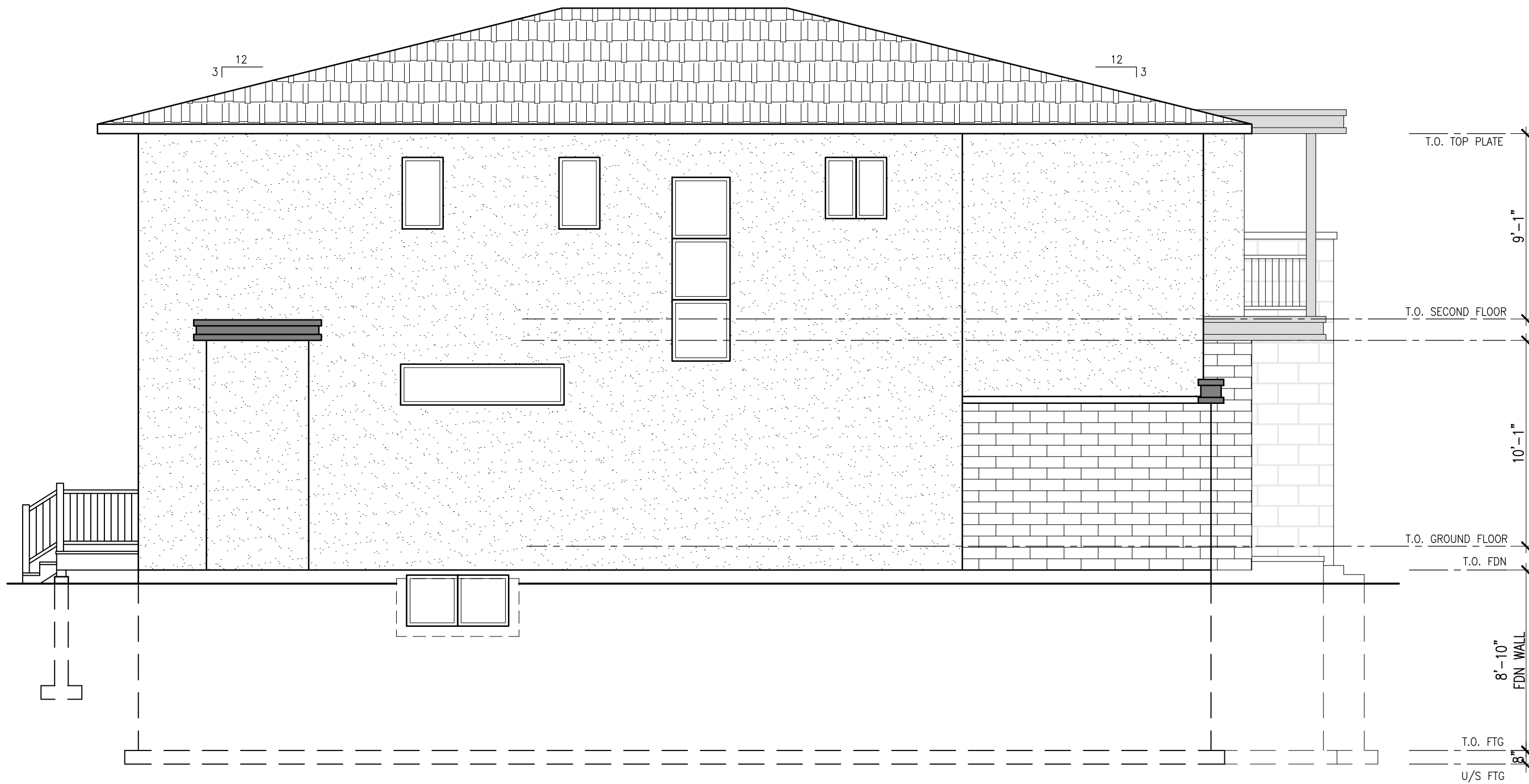
NO.	DESCRIPTION & DATE

JOB TITLE:  
 PROPOSED TWO STOREY SEMI-DETACHED DWELLING  
 505 DAWSON PARTS 1 & 2  
 CITY OF OTTAWA

SHEET TITLE:  
 REAR ELEVATION

SCALE: AS SHOWN	Dwg No.
DRAWN: A.G.	<b>A3.4</b>
CHECKED:	
DATE: OCTOBER 2023	
PRINT DATE:	





**LEFT SIDE ELEVATION**

SCALE: 3/16" = 1'-0"

**GENERAL NOTES:**

1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. FOOTINGS DESIGNED FOR 3000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
4. DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE

JOB TITLE:  
PROPOSED TWO STOREY  
SEMI-DETACHED DWELLING  
505 DAWSON  
PARTS 1 & 2  
CITY OF OTTAWA

SHEET TITLE:  
LEFT SIDE ELEVATION

SCALE: AS SHOWN	DWG NO.
DRAWN: A.G.	<b>A4.4</b>
CHECKED:	
DATE: OCTOBER 2023	
PRINT DATE:	