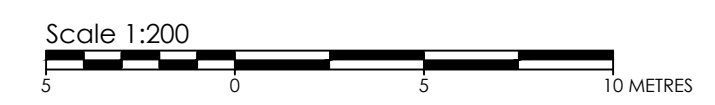


Committee of Adjustment
Received Re ule
2023-11-02
City of Ottawa Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY
LOT 41
REGISTERED PLAN 263
CITY OF OTTAWA
Stantec Geomatics Ltd.



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METRIC CONVERSION

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID SCALE CONVERSION

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999965.

BEARING NOTE

BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76° 30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006060.42 E:324888.04
19680191 N:5033564.26 E:388064.94

NOTE

THIS PLAN OF SURVEY IS TO BE READ IN CONJUNCTION WITH THE REPORT SUMMARY NOTED AS PART 2 HEREON. THIS REPORT CAN ONLY BE UPDATED BY THIS OFFICE. NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF CERTIFICATION. ALL TIES TO CURVED BOUNDARY ARE RADIAL TO ARC. RISK OF UNDERGROUND SERVICES, MONUMENTATION PLANTED ACCORDINGLY.

PART 2

This Report was prepared for MATTHEW PAMENTER, AQA MAKIK and the undersigned accepts no responsibility for the use by other parties.

- REGISTERED RIGHTS-OF-WAY/EASEMENTS**
No rights-of-way or easements were found to be registered against the subject property.
- PROPERTY IMPROVEMENTS**
There is a 2 storey dwelling situated wholly within the subject lands.
- COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**
Compliance is not certified by this report.
- ADDITIONAL REMARKS**
Note the locations of fences along the northerly, westerly and southerly limits of the property.

LEGEND

Symbol	DENOTES	FOUND MONUMENTS
■	"	FOUND MONUMENTS
□	"	SET MONUMENTS
IB	"	IRON BAR
IBØ	"	ROUND IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
CP	"	CONCRETE PIN
WIT	"	WITNESS
PIN	"	PROPERTY IDENTIFICATION NUMBER
MEAS	"	MEASURED
INST	"	INSTRUMENT
PROP	"	PROPORTIONED
OU	"	ORIGIN UNKNOWN
SG	"	STANTEC GEOMATICS LTD.
P1	"	PLAN BY 1692 DATED SEPT 10, 2020
P2	"	PLAN 4R-15898
P3	"	PLAN 4R-29565
647	"	H. R. FARLEY, O.L.S.
857	"	FAIRHALL & MOFFATT LTD.
1692	"	FARLEY, SMITH & DENIS SURVEYING LTD.
ACU	"	AIR CONDITIONING UNIT
CB	"	CATCH BASIN
GSR	"	GAS SERVICE REGULATOR
MHSA	"	MAINTENANCE HOLE SANITARY
MHST	"	MAINTENANCE HOLE STORM
UP	"	UTILITY POLE
WV	"	WATER VALVE

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 10TH DAY OF SEPTEMBER, 2021.

Oct. 12, 2021
DATE

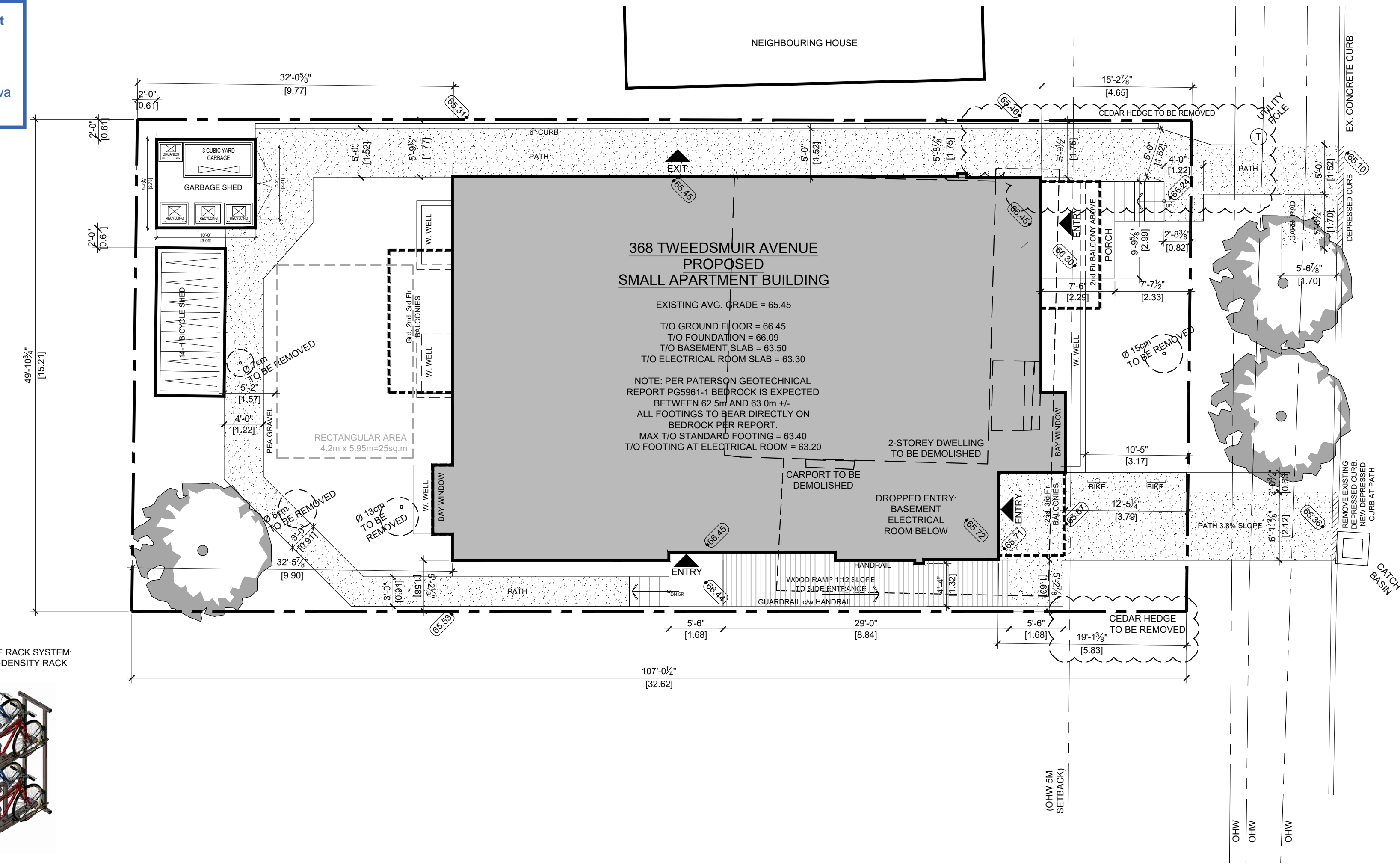
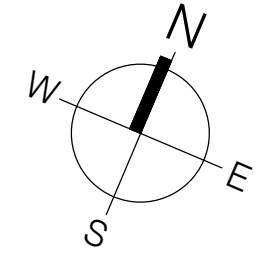
Francis Lau
FRANCIS LAU
ONTARIO LAND SURVEYOR

SRO MAP COORD.=X=363479.23 Y=5028532.48

Stantec Geomatics Ltd.
CANADA LANDS SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLYDE AVENUE, SUITE 400
OTTAWA, ONTARIO, K2C 3G4
TEL. 613.722.4420
stantec.com

DRAWN: TMT CHECKED: FL PM: FL FIELD: CA PROJECT No.: 161614445-110

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**368 TWEEDSMUIR AVENUE
PROPOSED
SMALL APARTMENT BUILDING**

EXISTING AVG. GRADE = 65.45
T/O GROUND FLOOR = 66.45
T/O FOUNDATION = 66.09
T/O BASEMENT SLAB = 63.50
T/O ELECTRICAL ROOM SLAB = 63.30

NOTE: PER PATERSON GEOTECHNICAL REPORT PG5961-1 BEDROCK IS EXPECTED BETWEEN 62.5m AND 63.0m +/-
ALL FOOTINGS TO BEAR DIRECTLY ON BEDROCK PER REPORT.
MAX T/O STANDARD FOOTING = 63.40
T/O FOOTING AT ELECTRICAL ROOM = 63.20

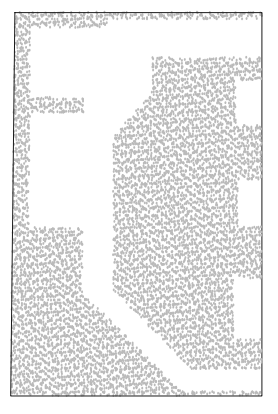
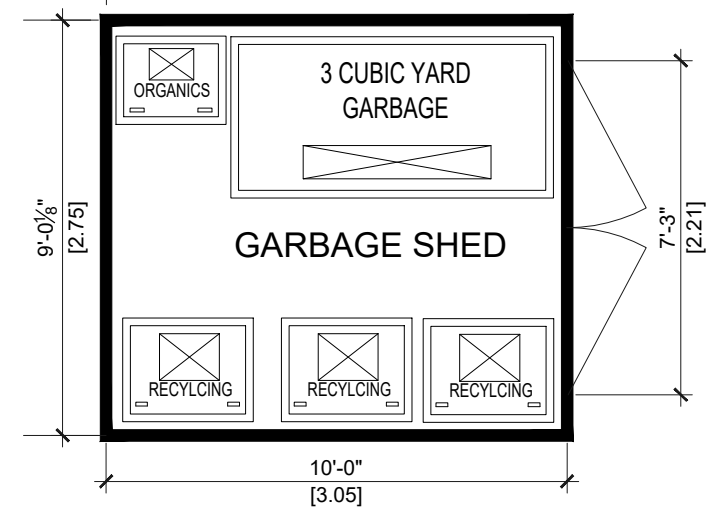
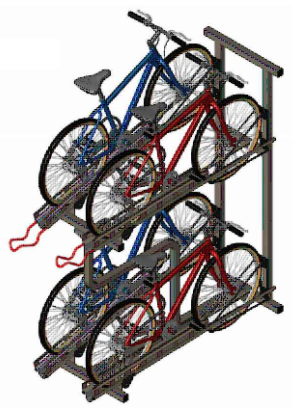
PROPERT BOUNDARIES AND TOPOGRAPHIC INFORMATION TAKEN FROM:

STANTEC GEOMATICS LTD.
SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY
LOT 41
REGISTERED PLAN 263
CITY OF OTTAWA

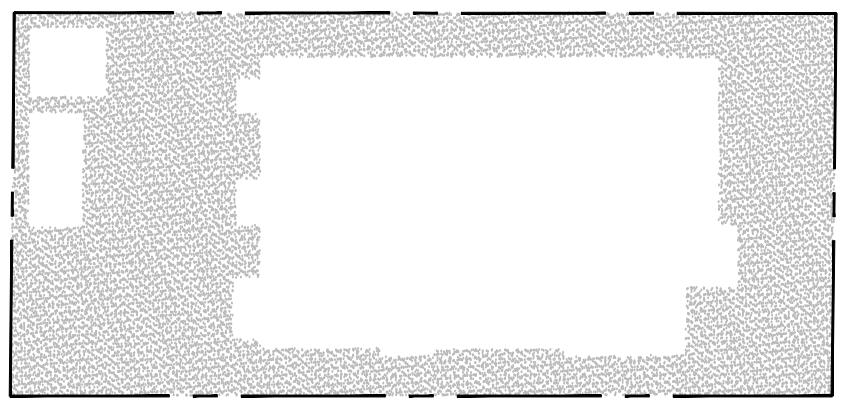
ZONING (APARTMENT UP TO 12 UNITS):

- R4UB ZONING DESIGNATION
- AREA X ON SCHEDULE 1A
- 12 DWELLING UNIT MAX, 16 UNITS PROPOSED, **VARIANCE REQ'D**
- 15m REQUIRED LOT WIDTH, PROVIDED
- 450m² REQUIRED LOT AREA, PROVIDED
- 11m HEIGHT LIMIT, PROVIDED
- REAR YARD SETBACK MUST BE AT LEAST 30% OF THE DEPTH OF THE LOT, PROVIDED
- 1.5m MIN. SIDE YARD SETBACK, PROVIDED
- 4.5m MIN. FRONT YARD SETBACK, PROVIDED
- 20% OF THE AREA OF THE FRONT FACADE MUST BE RECESSED AN ADDITIONAL 0.6m, PROVIDED
- FRONT FACADE TO HAVE 25% GLAZING (FRONT WINDOW SILLS MAX 1m AFF, WHERE INCLUDED IN GLAZING CALC.), PROVIDED
- 25% OF DWELLINGS MUST HAVE AT LEAST 2 BEDROOMS, PROVIDED
- 30% OF THE LOT AREA MUST BE PROVIDED AS LANDSCAPED AREA, PROVIDED, PROVIDED
- 50% OF THE REAR YARD MUST BE SOFT LANDSCAPED, AS WELL AS ANY AREA THAT IS NOT A DRIVE ISLE, PARKING SPACE, PATH, PATIO OR STORAGE SHED, PROVIDED
- REAR YARD LANDSCAPING MUST INCLUDE A RECTANGULAR AREA OF AT LEAST 25sq.m., NO LONGER THAN TWICE ITS WIDTH, PROVIDED
- 40% OF THE FRONT YARD MUST BE SOFT LANDSCAPED, PROVIDED
- FRONT YARD MUST HAVE PARKING PROHIBITORS, PROVIDED
- NO PARKING REQUIRED OR PROVIDED
- 0.5 BIKE PARKING SPACES REQUIRED FOR EACH DWELLING UNIT, 1 PROVIDED FOR EACH D.U.
- AMENITY AREAS MUST BE PROVIDED TO A TOTAL AREA OF 6sq.m./DU AND LOCATED INDOORS, ON BALCONIES OR IN THE REAR YARD, PROVIDED
- REAR YARD SHEDS ARE REQUIRED TO BE SETBACK 0.6m FROM LOT LINES, 0 SETBACK PROPOSED, **VARIANCE REQ'D**

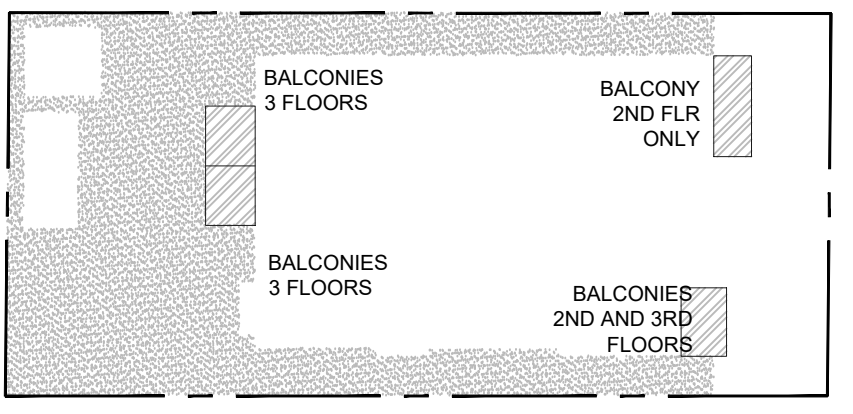
PROPOSED BIKE RACK SYSTEM:
'QUAD-RACK' HI-DENSITY RACK
BY CYCLESAFE



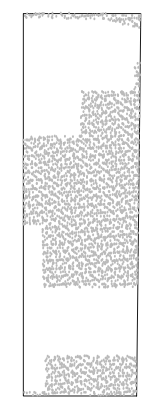
50% OF REAR YARD IS REQUIRED TO BE SOFT LANDSCAPED
53% PROVIDED



30% OF LOT IS REQUIRED TO BE LANDSCAPED
42% LANDSCAPING PROVIDED



96 sq.m. OF AMENITY SPACE IS REQUIRED
173 sq.m. OF AMENITY IS PROVIDED IN THE REAR AND SIDE YARDS
43 sq.m. OF AMENITY IS PROVIDED ON BALCONIES
216sq.m. TOTAL AMENITY SPACE PROVIDED



40% OF THE FRONT YARD IS REQUIRED TO BE SOFT LANDSCAPED
45% LANDSCAPING PROVIDED

EXISTING BUILDINGS:

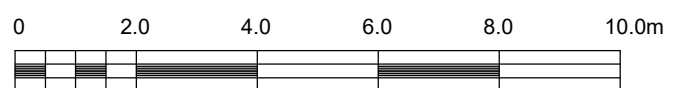
- 2 STOREY DWELLING WITH ATTACHED CARPORT
- TO BE DEMOLISHED

PROPOSED BUILDING:

- 3.5 STOREY APARTMENT BUILDING WITH ? UNITS
 - 4 LIVING LEVELS
 - NO ON-SITE PARKING
- 2325sq.ft. x 85% EFFICIENCY = 1975sq.ft.
TOTAL LEASABLE AREA = 7900sq.ft.
16 UNITS @ 495sq.ft. AVG

AVERAGE GRADE CALCULATION

65.46
65.50
65.53
65.31
261.80 / 4 = 65.45



Drawing name: C:\Users\rosahill\OneDrive\Work\From Home\March 162023\Tweedsmuir\Apd0311.dwg (2023-11-02) (SPP) Site Plan.dwg

Consultants:

Consultants:

9		
8		
7	2022/12/01	SITE PLAN RE-SUBMISSION
6	2022/10/25	SITE PLAN RE-SUBMISSION
5	2022/10/04	ISSUED FOR COMMITTEE OF ADJUSTMENT
4	2022/05/16	ISSUED FOR SITE PLAN APPLICATION
3	2022/04/28	ISSUED FOR COORDINATION
2	2022/03/25	ISSUED FOR COORDINATION
1	2022/03/01	FOR CONSULTANT
No.	Y / M / D	REVISION

It is the responsibility of the appropriate contractor to check & verify all dimensions on site and report all errors and/or omissions to the architect. All contractors must comply with all pertinent codes & by-laws, & use proprietary products as directed by the manufacturer. Do not scale drawings. Copyright reserved.

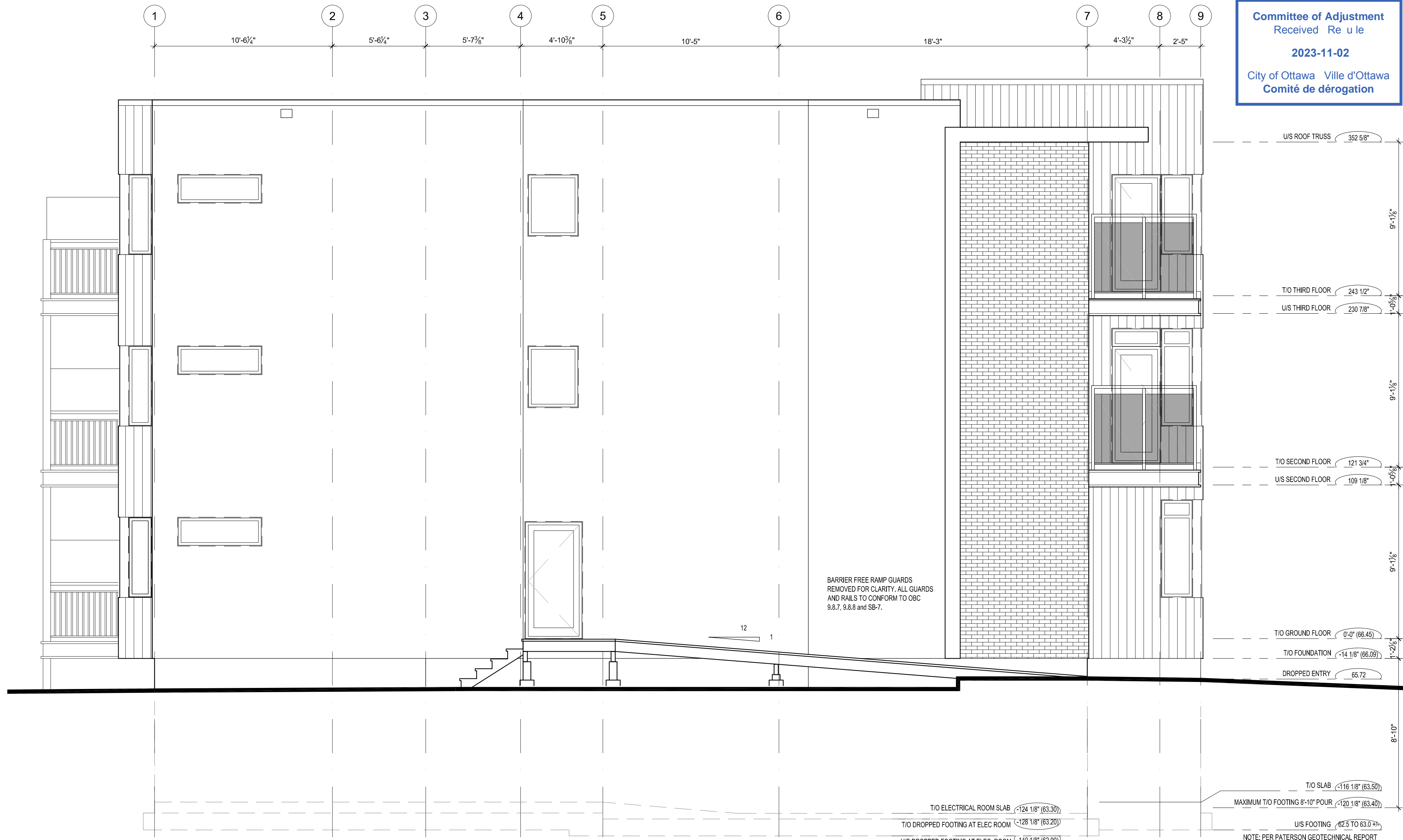


RJH
Rosaline J. Hill Architect Inc.
414 Churchill Ave. N., Ottawa,
ON, K1Z 5C6 • 613-853-2822
www.rjhill.ca • rosahill@rjhill.ca

SMALL APARTMENT BUILDING
368 Tweedsmuir Avenue, Ottawa, Ontario

SITE PLAN		
Drawn By:	Date:	Sheet:
MP/RV	MAY 2022	A1.0
Project No:	Scale:	
2131	1:100	

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2023-11-02
City of Ottawa / Ville d'Ottawa
Comité de dérogation



2 RIGHT ELEVATION
A2.2 SCALE: 1/4"=1'-0"

Drawing name: C:\Users\Archie\Desktop\Work From Home March 18 21 11 Tweedsmuir A12 21 31.dwg(2023) 12/15/23 ELEV ELEC FOOT.rvt

Consultants:

Consultants:

9		
8		
7	2022/12/01	SITE PLAN RE-SUBMISSION
6	2022/10/25	SITE PLAN RE-SUBMISSION
5	2022/10/04	ISSUED FOR COMMITTEE OF ADJUSTMENT
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www.rjhil.ca • rosaline@rjhil.ca

SMALL APARTMENT BUILDING
368 Tweedsmuir Avenue, Ottawa, Ontario
LEFT (SOUTH) SIDE ELEVATION
Drawn By: **MP/RV** Date: **MAY 2022** Sheet: **A2.3**
Project No: **2131** Scale: **1/4" = 1'-0"**

Committee of Adjustment
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 2023-11-02
 City of Ottawa Ville d'Ottawa
 Comité de dérogation



1 FRONT ELEVATION
 A2.1 SCALE: 1/4"=1'-0"

Drawing name: C:\Users\Austan\Desktop\Work From Home March 18 21 21\Tweedsmuir A42131.dwg; 2131 AutoCAD2013 ELOT ELEV.ELECT.DET.dwg

Consultants:

Consultants:

9		
8		
7	2022/12/01	SITE PLAN RE-SUBMISSION
6	2022/10/25	SITE PLAN RE-SUBMISSION
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No.	Y / M / D	REVISION

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ONTARIO ASSOCIATION OF ARCHITECTS
 ROSALINE J. HILL ARCHITECT INC
 5997

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 www.rjh.ca • rosaline@rjh.ca

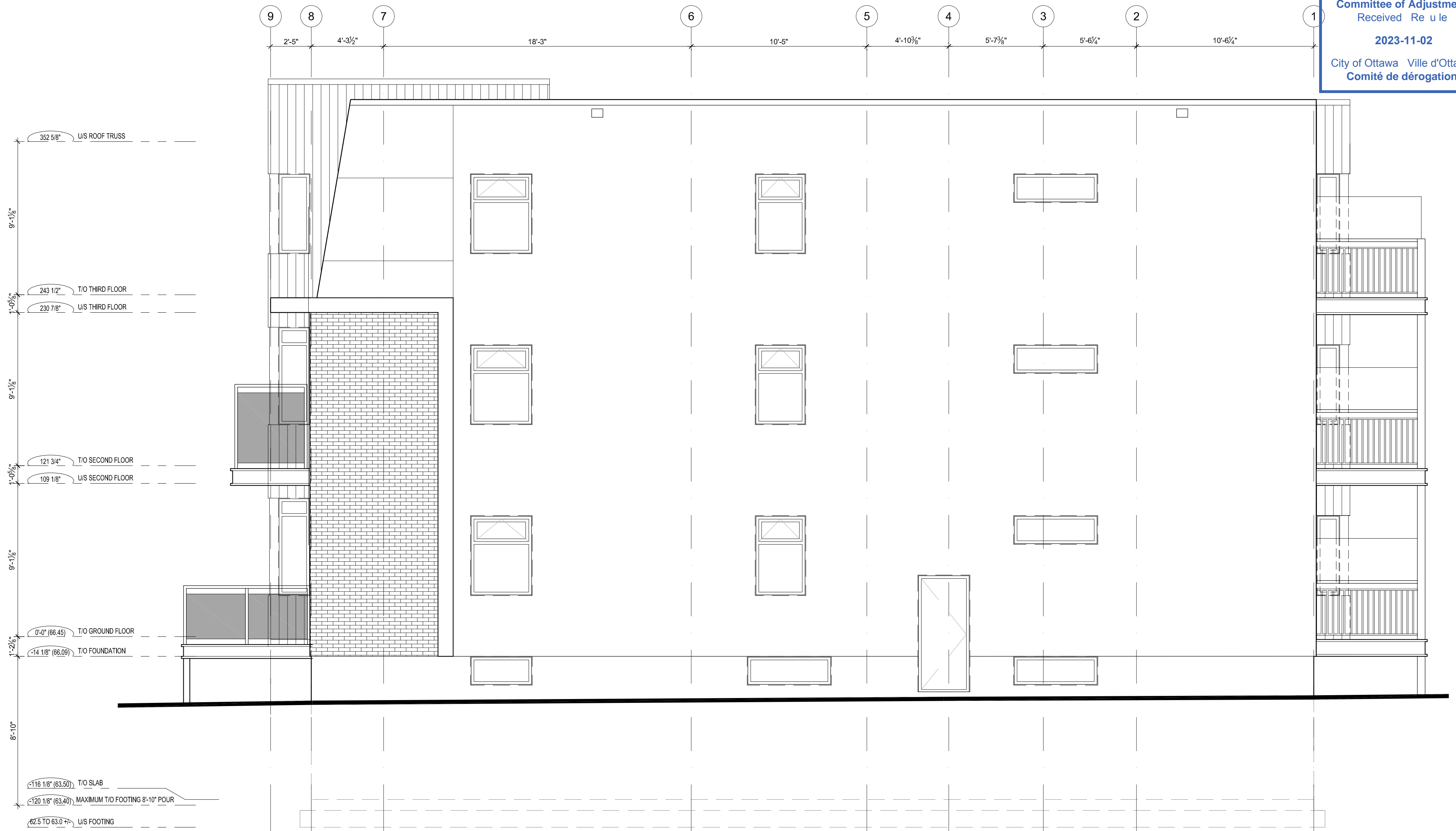
SMALL APARTMENT BUILDING
 368 Tweedsmuir Avenue, Ottawa, Ontario

FRONT ELEVATION

Drawn By:	Date:	Sheet:
MP/RV	MAY 2022	A2.1
Project No:	Scale:	
2131	1/4" = 1'-0"	

PLOTTEE Thu, 01 Dec 2022

Committee of Adjustment
Received Re u le
2023-11-02
City of Ottawa Ville d'Ottawa
Comité de dérogation



NOTE: PER PATERSON GEOTECHNICAL REPORT
PG5961-1 BEDROCK IS EXPECTED BETWEEN 62.5m
AND 63.0m +/-, ALL FOOTINGS TO BEAR DIRECTLY ON
BEDROCK PER REPORT.

1 BUILDING SECTION
A3.1 SCALE: 1/4"=1'-0"

Consultants:

Consultants:

9		
8		
7	2022/12/01	SITE PLAN RE-SUBMISSION
6	2022/10/25	SITE PLAN RE-SUBMISSION
5	2022/10/04	ISSUED FOR COMMITTEE OF ADJUSTMENT
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1	2022/03/01	FOR CONSULTANT
No.	Y / M / D	REVISION

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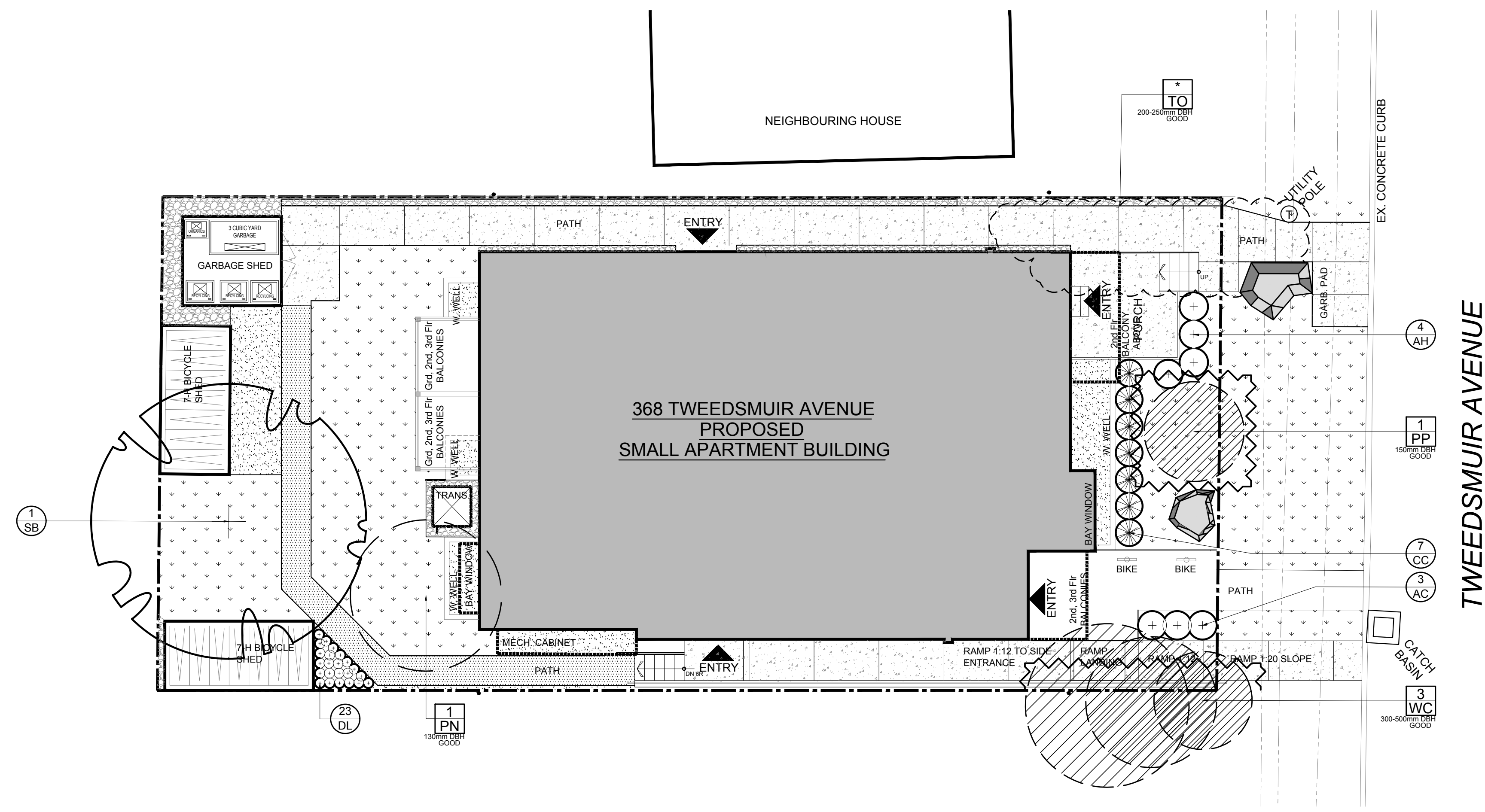
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SMALL APARTMENT BUILDING
368 Tweedsmuir Avenue, Ottawa, Ontario

RIGHT (NORTH) SIDE ELEVATION

Drawn By: MP/RV	Date: MAY 2022	Sheet: A2.4
Project No: 2131	Scale: 1/4" = 1'-0"	

Committee of Adjustment
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 2023-11-02
 City of Ottawa Ville d'Ottawa
 Comité de dérogation



LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS / PERENNIALS
- PROPOSED SOD
- PROPOSED PEASTONE
- PROPOSED RIVERSTONE
- PROPOSED ASPHALT
- PROPOSED TREE PROTECTION FENCE
- PROPOSED BOULDERS

1 TREE CONSERVATION REPORT & LANDSCAPE PLAN
 L.1 SCALE: 1:100

GENERAL NOTES:

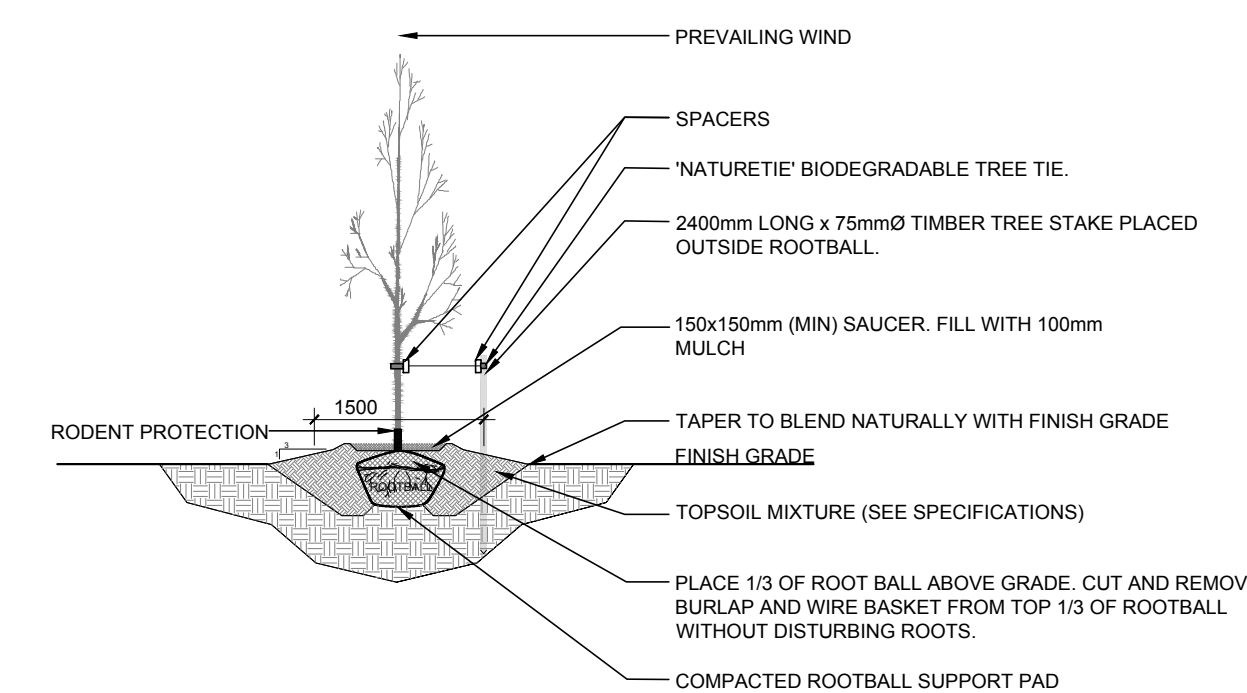
1. It is the responsibility of the appropriate contractor or official to report any errors, omissions or discrepancies on this plan with actual site conditions to the Landscape Architect before proceeding with construction.
2. The contractor is to notify all utility companies and authorities prior to any excavation and ascertain locations of underground services.
3. The contractor is to reinstate all areas and items damaged as a result of construction activity.
4. The contractor is to comply with all pertinent codes and by-laws.
5. The contractor is to maintain a positive surface run-off throughout the entire construction period.
6. The Landscape Architect is not responsible for subsurface conditions.
7. The contractor is to identify all existing trees to remain on site with the Landscape Architect prior to construction.
8. The contractor is to stake the proposed location of all plant material in conjunction with the Landscape Architect prior to excavation.
9. Minimum distances for selected deciduous trees are as follows:
 - Building Foundations 7.5m
 - Sidewalks 1.5m
 - Public Streets 2.5m
 - Underground Infrastructure 2.0m
10. All trees within 1m of underground utility trenches are to be excavated by hand.
11. Remove all protective wrapping from tree trunks after installation.
12. Staking of trees shall only be performed if necessary.
13. Ensure that mulch is pulled back a min. distance of 75mm from base of tree trunk.

EXISTING TREE LIST

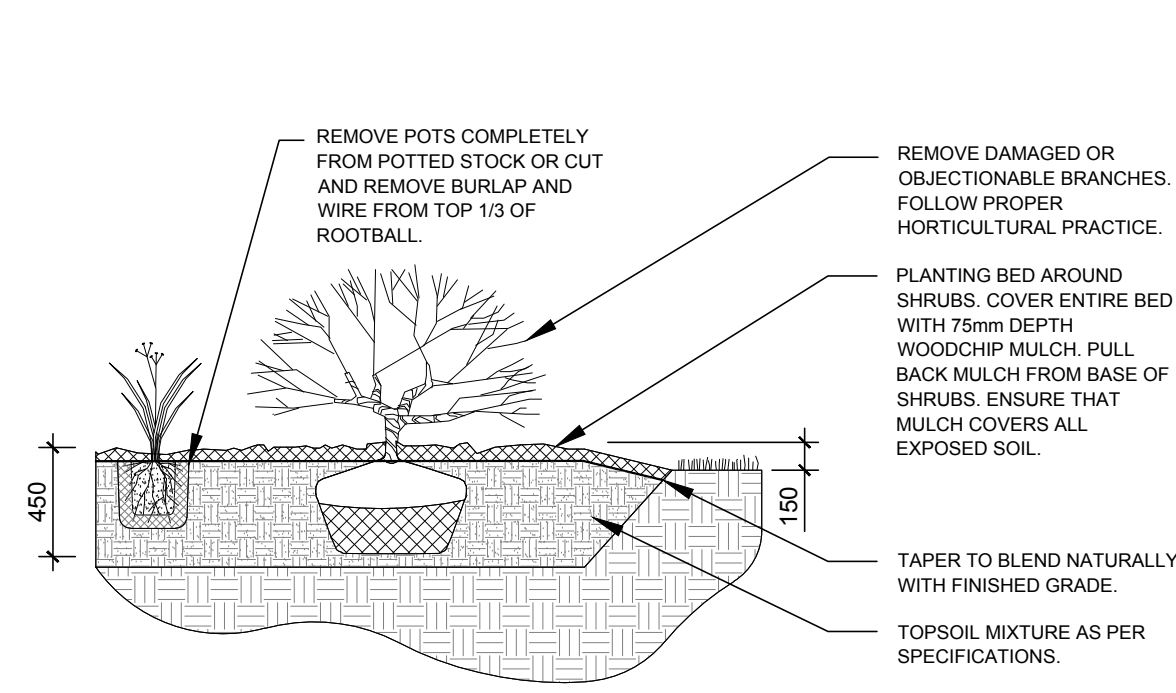
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS	OWNERSHIP
PN	1	<i>Pinus nigra</i>	Austrian Pine	130mm DBH	GOOD	To be removed	368 Tweedsmuir
PP	1	<i>Picea pungens</i>	Colorado Spruce	150mm DBH	GOOD	To remain	368 Tweedsmuir
TO	1	<i>Thuja occidentalis</i>	White Cedar	200-250mm DBH	GOOD	To remain	368 Tweedsmuir
WC	3	<i>Thuja occidentalis</i>	White Cedar	300-500mm DBH	GOOD	To be removed	372 Tweedsmuir

PROPOSED PLANT LIST

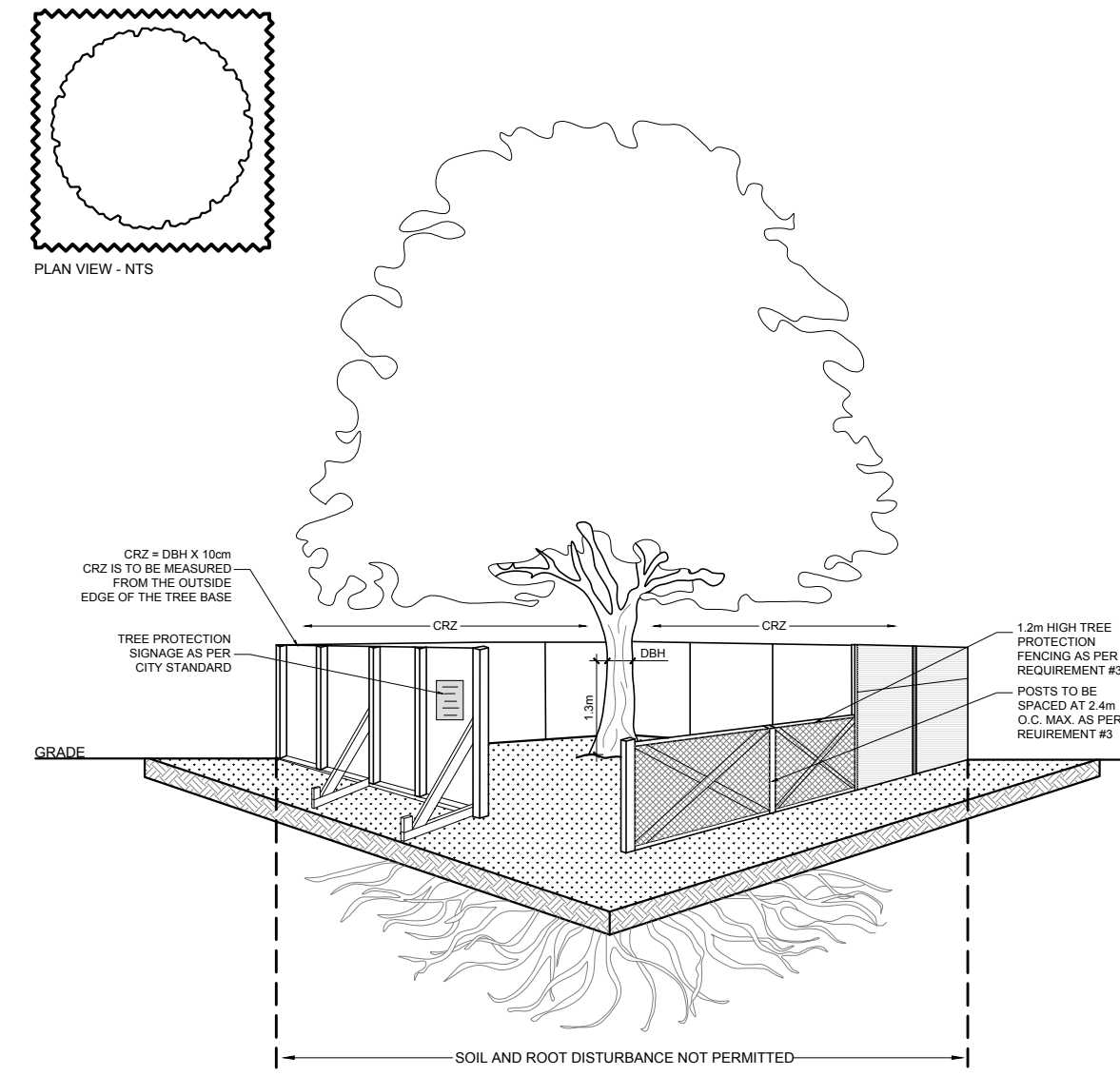
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	Remarks
DECIDUOUS TREES						
SB	1	<i>Amelanchier canadensis</i>	Serviceberry	60mm cal.	B&B	Single Leader
SHRUBS						
AC	3	<i>Ribes alpinum</i>	Alpine Currant	600mm ht.	Potted	Space 1000mm o.c.
AH	4	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	1 gallon pot	Potted	Space 1000mm o.c.
CC	7	<i>Juniperus sabina 'Calgary Carpet'</i>	Calgary Carpet Juniper	600mm spr.	Potted	Space 800mm o.c.
PERENNIALS						
DL	23	<i>Hemerocallis 'Purple D'Oro'</i>	Purple D'Oro Daylily	150mm pot.	Potted	Space 400mm o.c.



2 DECIDUOUS TREE PLANTING
 L.1 SCALE: NTS



4 SHRUB / PERENNIAL PLANTING
 L.1 SCALE: NTS



3 TREE PROTECTION FENCE
 L.1 SCALE: NTS

TREE PROTECTION REQUIREMENTS:

1. PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10x DIAMETER OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT INCLUDING OUTHOUSES,
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE,
 - DO NOT RAISE OR LOWER THE EXISTING GRADE, TUNNEL OR BORE WHEN DIGGING,
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE,
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY,
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING.
2. UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT RAISE OR LOWER THE EXISTING GRADE, TUNNEL OR BORE WHEN DIGGING,
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE,
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY,
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING.
3. TREE PROTECTION FENCING MUST BE AT LEAST 1.2m IN HEIGHT, AND BE CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MEDIUM-DENSITY FIBRE BOARD, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4m APART. SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACKETS MUST BE PLACED OUTSIDE OF THE CRZ AND INSTALLATION MUST MINIMIZE DAMAGE TO EXISTING ROOTS. (SEE DETAILS)
4. THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE DISCLOSURE REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
5. IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.

BY-LAWS:
 ALL CITY-OWNED TREES ARE PROTECTED UNDER THE MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW (2008-279). WITHIN THE URBAN AREA, PRIVATELY-OWNED TREES GREATER THAN 50cm IN DIAMETER ON LOTS 1 HECTARE IN SIZE OR LESS, AND TREES GREATER THAN 100m IN DIAMETER ON LOTS GREATER THAN 1 HECTARE, ARE PROTECTED UNDER THE URBAN TREE CONSERVATION BY-LAW (2009-290).

No.	Issue	Date	DR	CK
5	REVISED PER ARCHITECT'S COMMENTS	05/13/2022	ML	JL
4	SURFACING REVISED	05/06/2022	ML	JL
3	REVISED PER ARCHITECT'S COMMENTS	05/05/2022	ML	JL
2	ISSUED FOR DISCUSSION AND REVIEW	05/03/2022	ML	JL
1	ISSUED FOR DISCUSSION AND REVIEW	04/29/2022	ML	JL

JAMES B. LENNOX & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS
 3332 CARLING AVE. OTTAWA, ONTARIO K2H 5A8
 Tel: (613) 722-5168 Fax: (866) 343-3942

PROJECT
 PROPOSED 3.5 STOREY APARTMENT BUILDING
 368 TWEEDSMUIR AVENUE, OTTAWA ON

DRAWING
 TREE CONSERVATION REPORT &
 LANDSCAPE PLAN

STAMP	SCALE
	AS SHOWN
	START DATE
	APRIL 2022
	PROJECT NO.

PROJECT NORTH	DRAWING NO.
	L.1
	PLOT SIZE ARCH-D