

PART 2 - SURVEY REPORT

DESCRIPTION

LOT 31, ON REGISTERED PLAN 4M-1520, BEING PIN 04742-5571(LT), IN THE CITY OF OTTAWA, REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY LOT 31 IS SUBJECT TO EASEMENT AS IN INSTRUMENT NUMBER 061662534.

ADDITIONAL REMARKS

NONE

SURVEYOR'S REAL PROPERTY REPORT

PART 1 - PLAN SHOWING

LOT 31

REGISTERED PLAN 4M-1520

CITY OF OTTAWA

SCALE 1 : 300

0 5 10 20 metres

J.D. BARNES LIMITED

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NOTES

BEARINGS ARE GRID AND ARE DERIVED FROM THE NORTHERLY LIMIT OF ASPER TRAIL CIRCLE, HAVING A BEARING OF N 59°08'25" E, AS SHOWN ON REGISTERED PLAN 4M-1520.

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION.

ALL FOUND SURVEY MONUMENTS SET BY J.D. BARNES, O.S. UNLESS NOTED OTHERWISE.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- ▣ DENOTES STANDARD IRON BAR
- ▤ DENOTES SHORT STANDARD IRON BAR
- ▥ DENOTES IRON BAR
- ▦ DENOTES PLASTIC BAR
- ▧ DENOTES REGISTERED PLAN 4M-1520 SET
- ▨ DENOTES J.D. BARNES LIMITED DWELLING UNDER CONSTRUCTION
- ▩ DENOTES CONCRETE PORCH
- DENOTES SUBJECT TO EASEMENT



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON OCTOBER 19th, 2015.

NOVEMBER 3, 2015

DATE

George Zerovs

GEORGE ZEROVS

LAND AND SURVEYOR

J.D. BARNES

LAND INFORMATION SPECIALISTS

1000 BAYVIEW AVE. SUITE 1000

SCARBOROUGH, ONTARIO M1B 2Y7

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WWW.JDBARNES.COM

CS 12-10-567-04

CS 10131

Committee of Adjustment

Received | Reçu le

2015-09-22

City of Ottawa | Ville d'Ottawa

Comité de dérogation

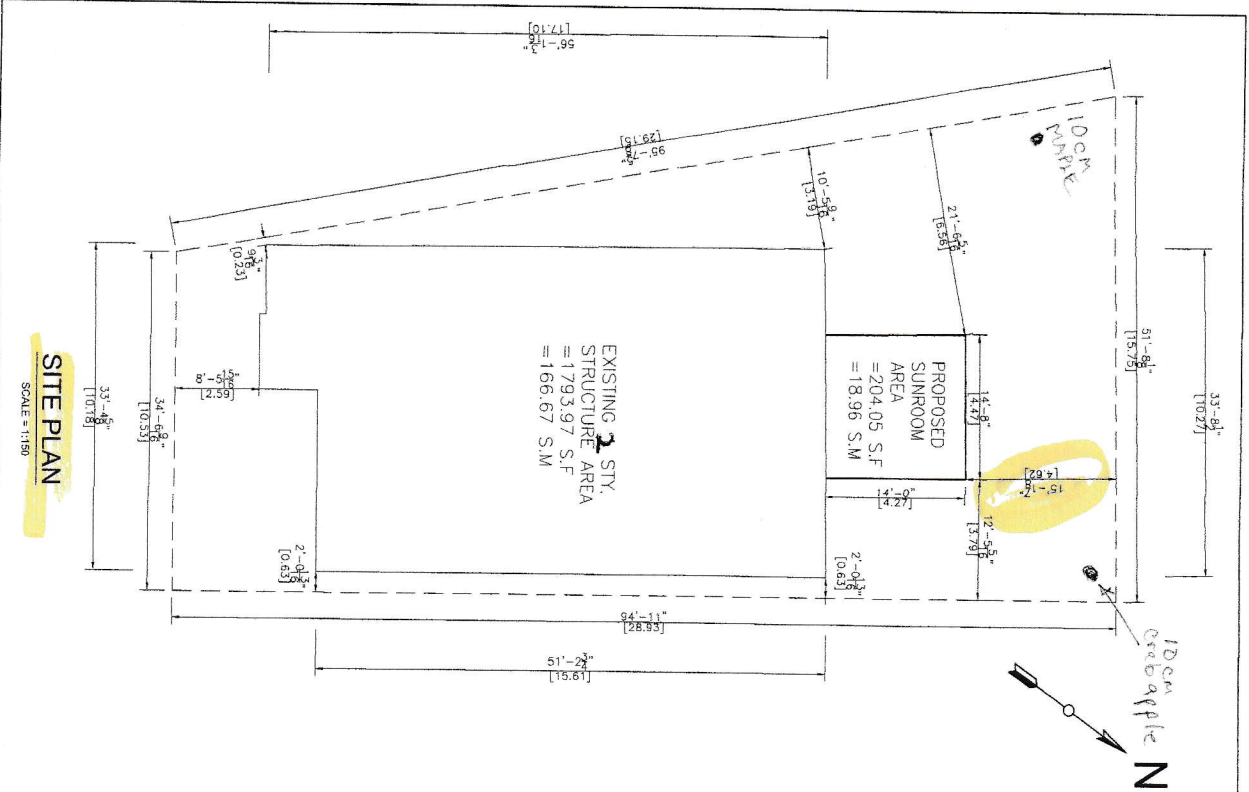
ALL SET SSB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.R.C. 525/91.

ASPER TRAIL CIRCLE

(DEDICATED BY REGISTERED PLAN 4M-1520)

(SUBJECT TO EASEMENT AS IN INST. NO. 061558379)

PIN 04742-6049(LT)



SITE PLAN
SCALE = 1:150

- NOTES:**
1. THE WALLS AND ROOF STRUCTURAL PANELS OF THE SUNROOM WILL BE PREFABRICATED BY LIFESTYLE SUNROOMS INC. AND WILL BE INSTALLED BY ITS TRAINED SKILLED INSTALLERS.
 2. A PROFESSIONAL ENGINEER UNDERTAKES THE GENERAL REVIEW OF THE INSTALLATION.
 3. A FINAL PROJECT REVIEW LETTER WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER THE COMPLETION.
 4. (1). STAIRS RISER DIMENSIONS SHALL CONFIRM TO ARTICLES 9.8.4.2 AND 9.8.4.3 OF THE 2012 OBC WHICH STIPULATES THAT RISERS DESIGNED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 200 mm OR A MINIMUM RISE OF NO LESS THAN 125 mm AND A MAXIMUM RUN OF NO MORE THAN 355 mm OR A MINIMUM RUN OF NO MORE THAN 255 mm AND A MAXIMUM TREAD DEPTH OF 355 mm OR A MINIMUM TREAD DEPTH OF NO LESS THAN 235 mm.
 4. (2). REQUIRED EXIT STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900 mm AS PER ARTICLE 9.8.2.1 OF THE 2012 OBC.
 5. THE WIDTH OF THE LANDING IF REQUIRED SHALL BE NOT LESS THAN THE GREATER REQUIRED STAIR WIDTH WHERE ONE OR MORE OF THE STAIR WIDTHS DO NOT EXCEED THEIR RESPECTIVE REQUIRED WIDTHS, OR NOT LESS THAN THE LESSER ACTUAL STAIR WIDTH WHERE ALL OF THE WIDTHS OF THE STAIRS EXCEED THEIR RESPECTIVE REQUIRED WIDTHS AS PER ARTICLES 9.8.6.2 AND 9.8.6.3 OF THE 2012 OBC.
 6. ALL HAND-RAILS AND GUARDS SHALL BE BUILT AS PER OBC 2012 AND SUPPLEMENTARY STANDARD SB-7. EXTERIOR HANDRAIL AND GUARDS TO BE AT LEAST 900 mm OR 36" MEASURED VERTICALLY ABOVE THE NOSING OF ANY TREAD AND/OR PLATFORM NOT MORE THAN 1800 mm OR 5'-11" ABOVE THE FINISHED GROUND AS PER SUBSECTIONS 9.8.7 AND 9.8.8 OF 2012 OBC. ALL PICKET AND/OR GUARD SPACING MUST BE NO MORE THAN 100 mm OR 4" APART AS PER ARTICLE 9.8.8.5 OF THE 2012 OBC; ALL BALUSTERS TO BE SPACED NO MORE THAN 1200 mm OR 48" APART.
 7. TO CARRY RAINWATER AWAY FROM THE SUNROOM, DOWNSPOUTS WILL BE INSTALLED AT THE OUTSIDE CORNERS OF ROOM IN ACCORDANCE TO ARTICLES 9.26.18.2, 7.3.3.7, AND 5.6.2.2 OF THE 2012 OBC.
 8. ALL ADDITIONAL ASPECTS OF THE PROJECT WILL BE INSTALLED ACCORDING TO TACBQC DETAILS AND COMPLY WITH THE REQUIREMENTS STIPULATED BY THE 2012 OBC, INCLUDING DOORS (TO SECTION 9.6.); WINDOWS (TO SECTION 9.7.); SKYLIGHTS (TO SUBSECTION 9.7.7.); GLASSES (TO SUBSECTION 9.7.3.); WOOD FRAME CONNECTIONS, DECK FARMING, STICK BUILT WALLS AND SUBFLOORING (TO SUBSECTION 9.23.14); BUILT-UP BEAMS (TO ARTICLE 9.23.8.3); BUILT-UP COLUMNS (TO ARTICLE 9.17.4.2); ROOFING (TO SECTION 9.26.); ROOF DRAINS AND DOWNSPOUTS (TO SUBSECTION 9.26.18.); FLASHING (TO SUBSECTIONS 9.20.13 & 9.26.3 & 9.26.4); CLADDING (TO SECTION 9.27.); CALKING (TO SUBSECTION 9.27.4); INTERIOR FINISHING (TO SUBSECTION 9.29.); FLOORING (TO SECTION 9.30.); STAIRS, RAMPS, HANDRAILS AND GUARDS (TO SECTION 9.8.); LIGHTING OUTLETS (TO SECTION 9.34.).

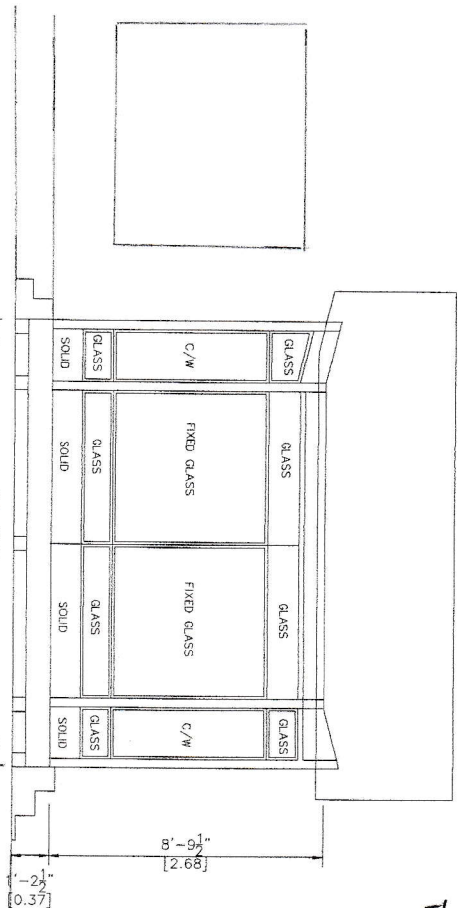
LOT AREA	378.81 m ²	4077.47 ft ²
TOTAL EXISTING FLOOR AREA	166.67 m ²	1793.97 ft ²
PROPOSED SUNROOM AREA	18.96 m ²	204.05 ft ²
TOTAL EXISTING AND PROPOSED FLOOR AREA	185.63 m ²	1998.02 ft ²
TOTAL LOT COVERAGE	~49.00 %	

THIS SITE PLAN IS DRAWN PER THE OWNER INFORMATION

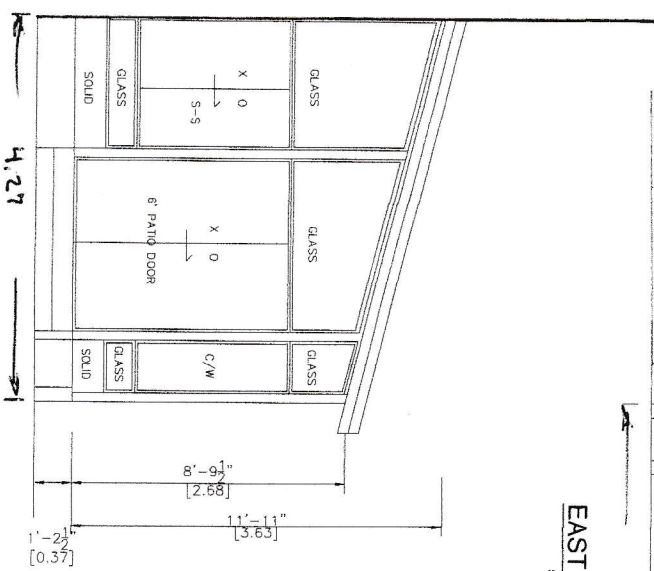


PROJECT ADDRESS	158 ASPER TRAIL CIRCLE KANATA, ON K2M 0K7
PROJECT TITLE	UNHEATED SUNROOM ADDITION
DRAWING NUMBER	01
REVISION	PROJECT # DESIGN # 11023
MODEL TYPE	3125-ARRANGE (RAFTER ROOF)
CLIENT	DATA FURNISHER
DATE	JULY 17 2023
DRAWN BY:	AA & DP
CHECKED BY:	J.P.
LIFESTYLE ENGINEERING	

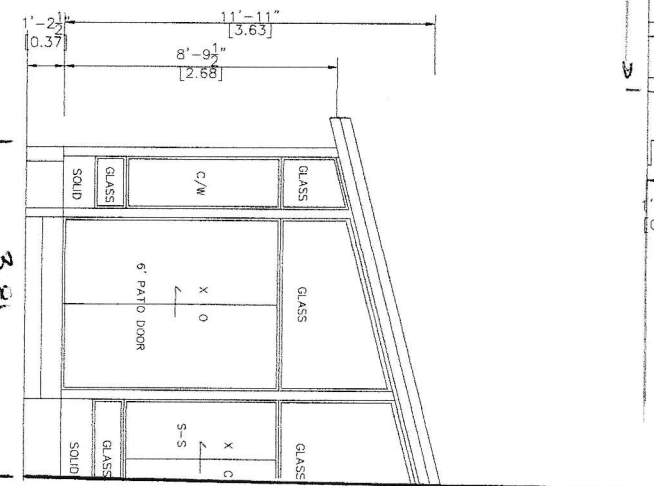
EXISTING
2 STOREY HOME
(REMAIN SAME)



EAST ELEVATION
SCALE 1/4"=1'-0"



NORTH ELEVATION
SCALE 1/4"=1'-0"



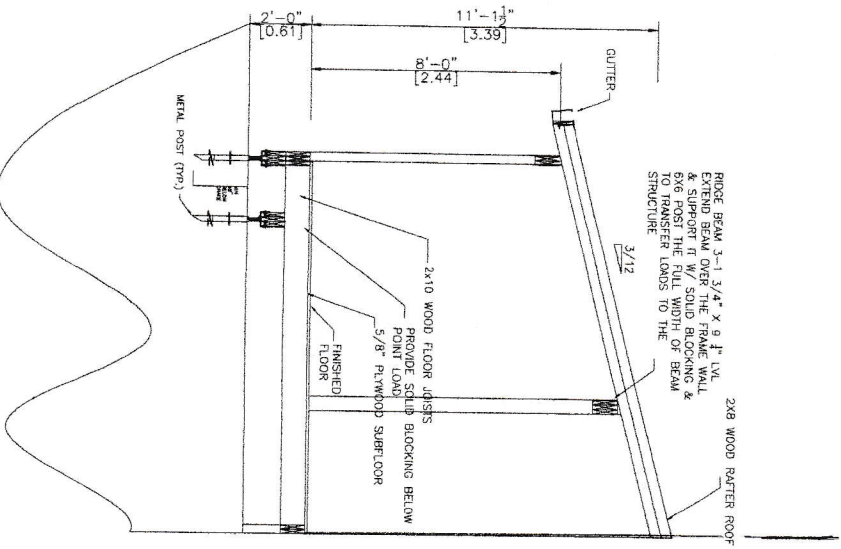
SOUTH ELEVATION
SCALE 1/4"=1'-0"

2
STOREY
HOME
(REMAIN
SAME)

PROJECT	UNHEATED SUNROOM ADDITION
PROJECT ADDRESS	158 ASPER TRAIL CIRCLE KANATA, ON K2M 0K7
DRAWING TITLE	ELEVATIONS
DRAWING NUMBER	03

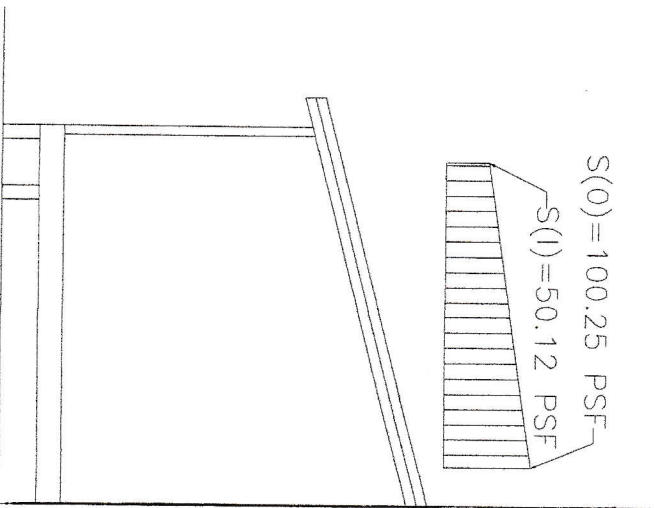
REVISION	PROJECT #	DESIGN #
	11023	
MODEL TYPE	3125 AFRAME (RAFTER ROOF)	
CLIENT	MIRA HANDBART	
DATE	SCALE	
JUNE 30 2023		
DRAWN BY:	CHECKED BY:	
AA & DP	J.P.	
LIFESTYLE ENGINEERING		





A-A SECTION

SCALE=1/8"=1'-0"



SNOW ACCUMULATION

REFER TO ATTACHED CALCULATION

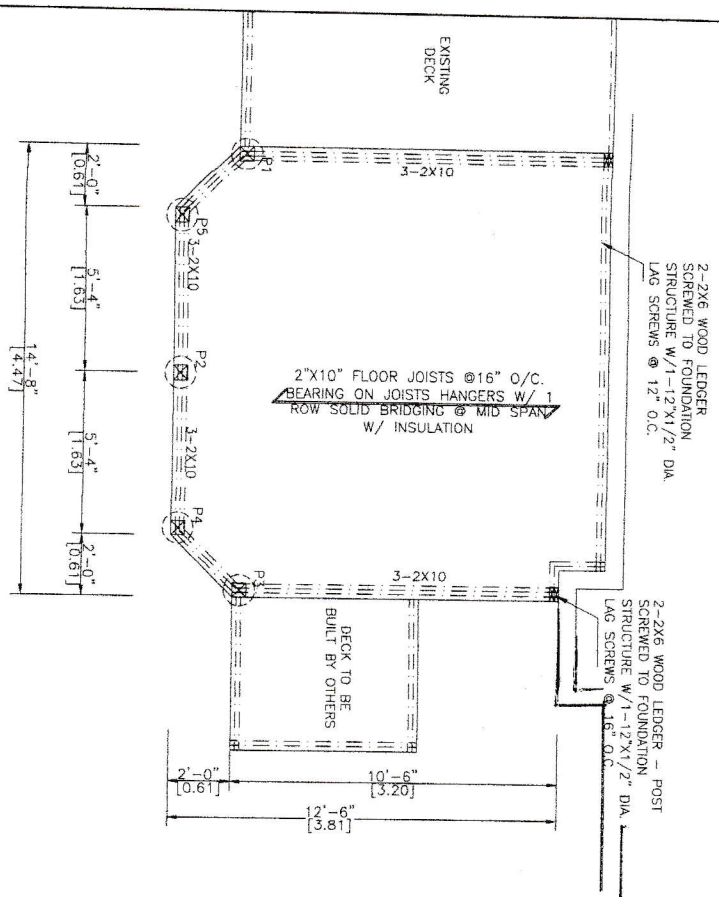


DATE	SCALE
JULY 17 2023	
DRAWN BY:	CHECKED BY:
AA.E.D.P.	J.P.
LIFESTYLE ENGINEERING	

REVISION	PROJECT #	DESIGN #
	11023	
MODEL TYPE		
3125 AFRAME (RAFTER ROOF)		
CLIENT		
DATE EXAMINED		
DRAWING NUMBER		
04		
PROJECT ADDRESS		
158 ASPER TRAIL CIRCLE		
KANATA, ON K2M 0K7		
DRAWING TITLE		
A-A SECTION & SNOW		
ACCUMULATION		

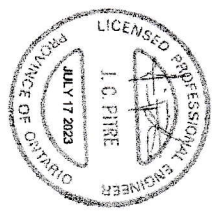
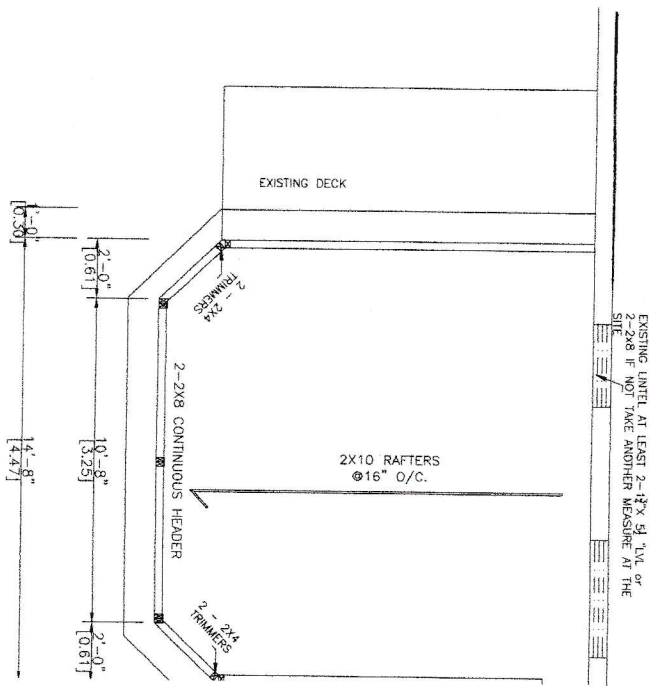
PIERS & DECK PLAN

SCALE 1/4"=1'-0"



WALLS & ROOF PLAN

SCALE 1/4"=1'-0"



REVISION	PROJECT#	DESIGN#
	11023	
MODEL TYPE	3125 AFRAME (RAFTER ROOF)	
CLIENT	MAM EXHIBITOR	
DATE	SCALE	
JULY 17 2023		
DRAWN BY:	CHECKED BY:	
A.A.A.D.P.	J.P.	
LIFESTYLE ENGINEERING		

02

DRAWING NUMBER

DECK & ROOF PLAN

DRAWING TITLE

PROJECT

**UNHEATED
SUNROOM ADDITION**

PROJECT ADDRESS

158 ASPER TRAIL CIRCLE
KANATA, ON K2M 0K7