



**MINOR VARIANCE APPLICATION  
COMMENTS TO THE COMMITTEE OF ADJUSTMENT  
PANEL 2**

**PLANNING, REAL ESTATE AND ECONOMIC DEVELOPMENT DEPARTMENT**

Site Address: 158 Asper Trail Circle  
Legal Description: Lot 31, Registered Plan 4M-1520  
File No.: D08-02-23/A-00239  
Report Date: October 26, 2023  
Hearing Date: October 31, 2023  
Planner: Samantha Gatchene  
Official Plan Designation: Suburban Transect, Neighbourhood Designation  
Zoning: R1W [1907]

**Committee of Adjustment**  
Received | Reçu le  
**2023-10-26**  
City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**

**DEPARTMENT COMMENTS**

The Planning, Real Estate and Economic Development Department **has no concerns with** the application.

**DISCUSSION AND RATIONALE**

The Official Plan designates the property Neighbourhood within the Suburban Transect. The Official Plan provides policy direction that Neighbourhoods located in the Suburban Transect shall accommodate residential growth to meet the City's Growth Management Framework. The Official Plan supports low-rise development in Neighbourhoods which are context-sensitive and include areas for soft landscaping, main entrances at-grade, and front porches or balconies.

The property is zoned Residential First Density, Subzone W, Urban Exception 1907, (R1W [1907]), which permits detached dwellings. The purpose of this zone is to limit development to detached dwellings and regulate the massing, height, and design of new developments in a manner that is compatible with the existing land use pattern and built form.

Staff have reviewed the subject minor variance application against the "four tests" as outlined in Section 45 (1) of the *Planning Act*, R.S.O. 1990 c. P.13, as amended. Staff are satisfied that the requested minor variance meets the "four tests".

The requested variance to reduce the minimum rear yard setback from 7.5 metres to 4.62 metres maintains the intent of the Zoning By-law as it provides appropriate separation between the development and the adjacent properties. Adverse impacts on

privacy are not anticipated as the proposed sunroom would be 1-storey (3.39 metres). Staff are satisfied that the proposed sunroom is appropriate for the site as it will not detract from the usable rear yard space. Further, the resulting new total lot coverage for the site would be 49%, which is below the maximum 55% lot coverage required by the Zoning By-law.

## **ADDITIONAL COMMENTS**

### **Planning Forestry**

Through pre-consultation it was determined a Tree Information Report was not required for this application. If any materials and/or equipment ever needs to access the rear yard, tree protection fencing should be installed to prevent any damages to the existing trees (both are under 50 cm in diameter). The fencing should be installed prior to any works commence on sites. The City of Ottawa Tree Protection Specification can be found here:

[https://documents.ottawa.ca/sites/documents/files/tree\\_protection\\_specification\\_en.pdf](https://documents.ottawa.ca/sites/documents/files/tree_protection_specification_en.pdf)

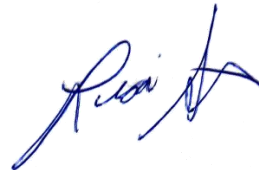
### **Right of Way Management**

The Right-of-Way Management Department has no concerns with the Minor Variance Application as there are no requested changes to private approach.



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