

**METRIC**  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

TOPOGRAPHIC SURVEY OF  
PART OF LOT 13  
(WEST SIDE DANIEL AVENUE)  
REGISTERED PLAN 219  
CITY OF OTTAWA

SCALE 1 : 100  
0 1 2 3 4 5 10 metres  
FAIRHALL, MOFFATT & WOODLAND LIMITED  
ONTARIO LAND SURVEYORS

**ELEVATION NOTES**

- ELEVATIONS ARE REFERRED TO GEODETIC DATUM (CGVD28).
- ELEVATIONS FOR MANHOLE COVERS AND CATCH BASINS HAVE TO BE INDEPENDENTLY CONFIRMED BEFORE THEY CAN BE ACCEPTED FOR FINAL DESIGN OR CONSTRUCTION PURPOSES.
- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THEIR RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.
- ELEVATIONS SHOWN ALONG FACE OF ROAD CURB ARE TOP OF ASPHALT.

**UTILITY NOTES**

- THIS DRAWING CANNOT BE ACCEPTED AS ACKNOWLEDGING ANY UNDERGROUND UTILITIES AND IT WILL BE THE RESPONSIBILITY OF THE USER TO CONTACT THE RESPECTIVE UTILITY AUTHORITIES FOR CONFIRMATION OR LOCATION.
- UNDERGROUND UTILITIES, AS REPORTED ON THIS DRAWING, ARE NOT BASED ON AN ACTUAL "FIELD LOCATE" BY THE RESPECTIVE UTILITY AGENCIES BUT HAVE BEEN COMPILED FROM DATA OBTAINED FROM THE FOLLOWING SOURCE:  
a) CITY OF OTTAWA
- BEFORE ANY WORK INVOLVING PROBING, EXCAVATING, ETC., A FIELD LOCATION OF UNDERGROUND PLANT BY THE PERTINENT UTILITY AUTHORITY IS MANDATORY.

**NOTES**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF DANIEL AVENUE AS SHOWN ON PLAN OF SURVEY BY FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S., DATED JUNE 3, 2019 REF. 62(a)-219 NP, HAVING A BEARING OF N 22°30'00" W.

**LEGEND**

- - SURVEY MONUMENT SET
- - SURVEY MONUMENT FOUND
- IB - IRON BAR
- SSIB - SHORT STANDARD IRON BAR
- CP - CONCRETE PIN
- (P) - REGISTERED PLAN 219
- (B57) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S., REF. 62(a)-219 NP
- (FSD) - FARLEY, SMITH & DENIS SURVEYING LTD., O.L.S., REF. 36-09
- (M) - MEASURED
- (S) - SET
- (WT) - WITNESS
- (SU) - SOURCE UNKNOWN
- DIA. - DIAMETER
- PIN - PROPERTY IDENTIFIER NUMBER
- TW - TOP OF WALL
- EDA - EDGE OF ASPHALT
- Fdn - FOUNDATION
- CLF - CHAIN LINK FENCE
- BF - BOARD FENCE
- SRW - STONE RETAINING WALL
- ISRW - IRREGULAR STONE RETAINING WALL
- VRW - VINYL RETAINING WALL
- SC - STONE COLUMN
- AC - AIR CONDITIONER
- MH - MANHOLE
- UP - UTILITY POLE
- GM - GAS METER
- WV - WATER VALVE
- WM - WATER MAIN
- G - GAS MAIN
- ST - STORM SEWER
- S - SANITARY SEWER
- - OVERHEAD UTILITY WIRES

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON OCTOBER 12, 2023.

2023/10/16  
DATE  
JOHN H. GÜTRI  
ONTARIO LAND SURVEYOR

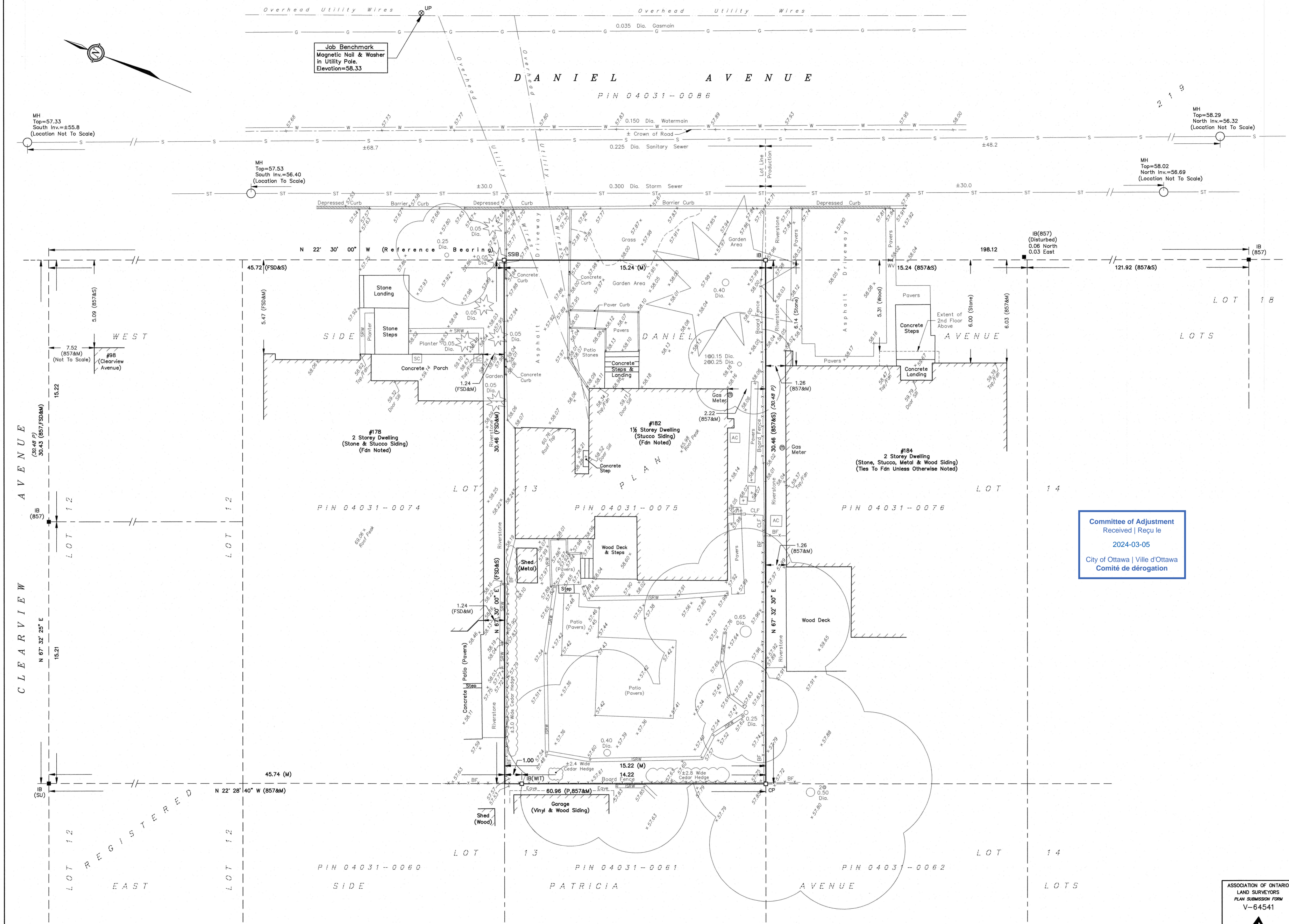
ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-64541

**Fairhall  
Moffatt &  
Woodland**  
LIMITED  
ONTARIO LAND SURVEYORS

100-400 TERRY FOX DRIVE, KANATA, ONTARIO K2A 6B6  
TEL: (613) 591-2580 FAX: (613) 591-1495  
www.fmw.on.ca

JOB No.  
AD25300  
E 363710, N5029453  
REFERENCE No.  
66 - 219 NP  
S:\JOBS\AD25300\DWG\tp253ad.dwg (brd)

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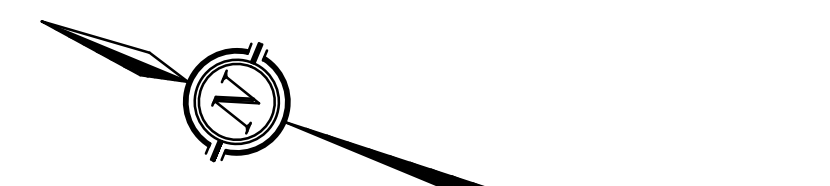
Committee of Adjustment  
Received | Reçu le  
2024-03-05  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

GENERAL NOTES:  
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.  
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.  
3. FOOTINGS DESIGNED FOR 2000 P.S.F. ASSUMED BEARING. BEARING STRATA GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.  
4. DO NOT SCALE THE DRAWINGS.

JOB TITLE:  
182 DANIEL AVENUE  
OTTAWA, ON.  
2-STORY DETACHED DWELLING

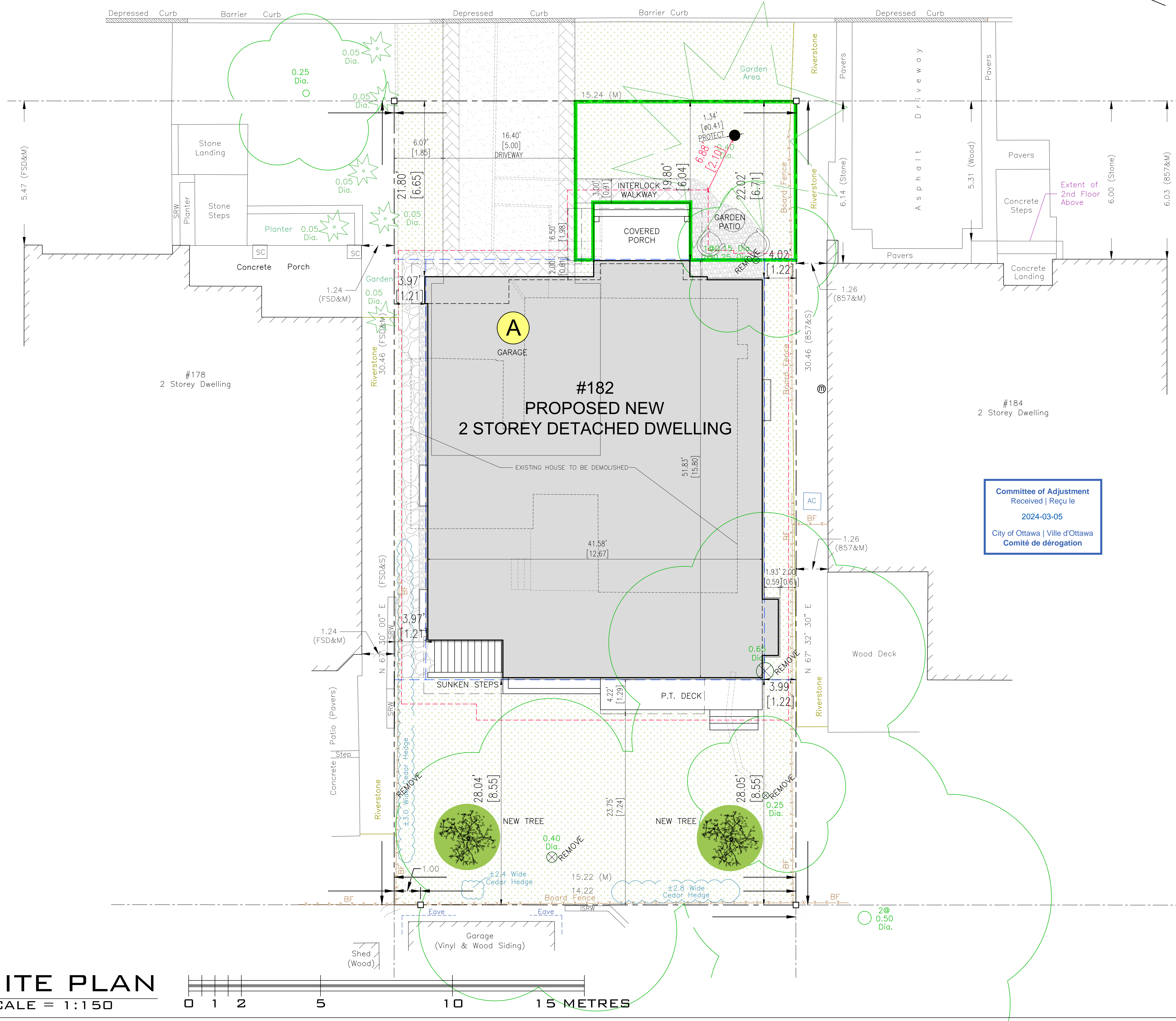
SHEET TITLE:  
PROPOSED ELEVATIONS  
PART 1 & 2

SCALE: AS SHOWN  
DRAWN: M.D.  
CHECKED:  
DATE: DECEMBER 2023  
PRINT DATE: 2024-FEB-21  
Dwg No. **S1.1**

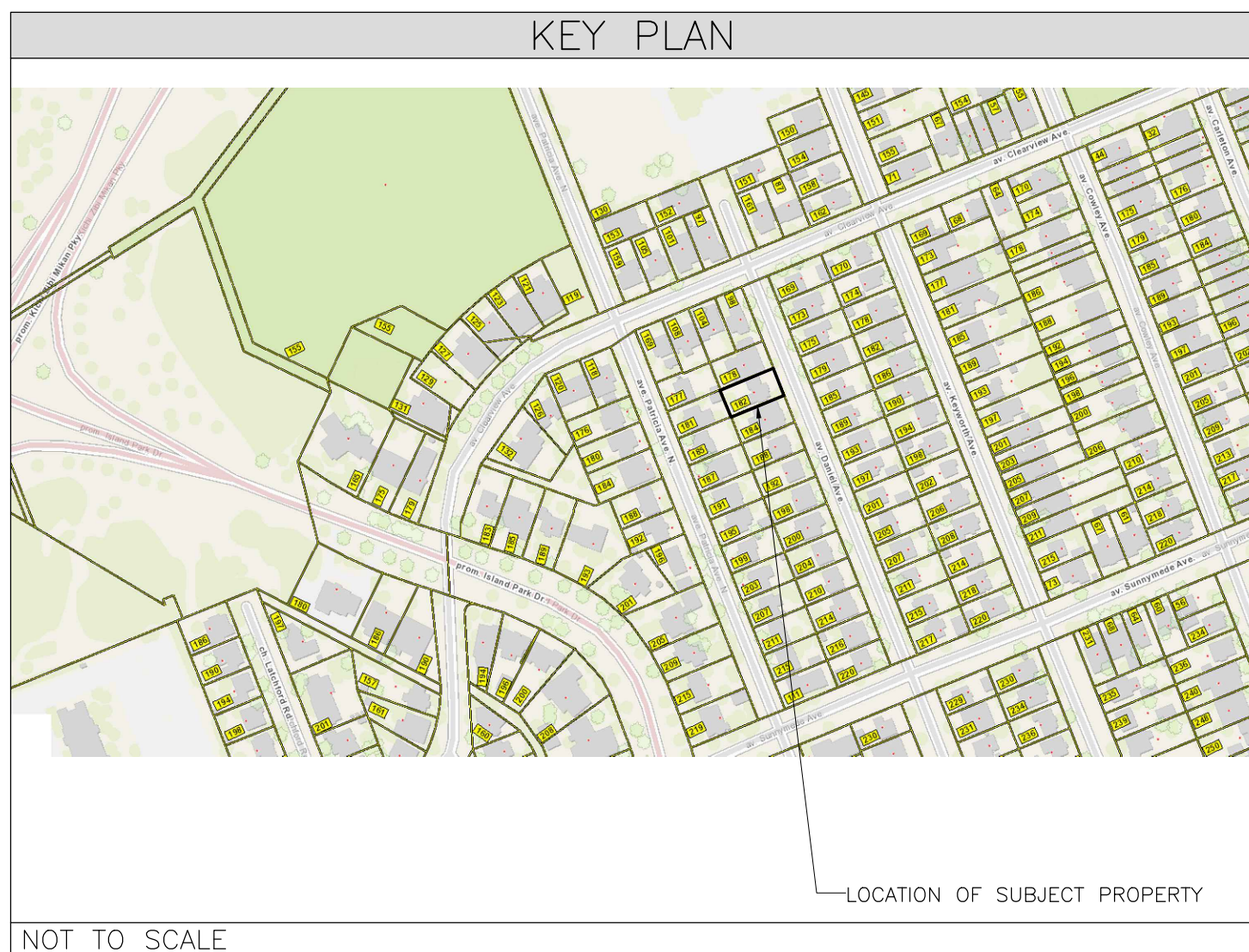
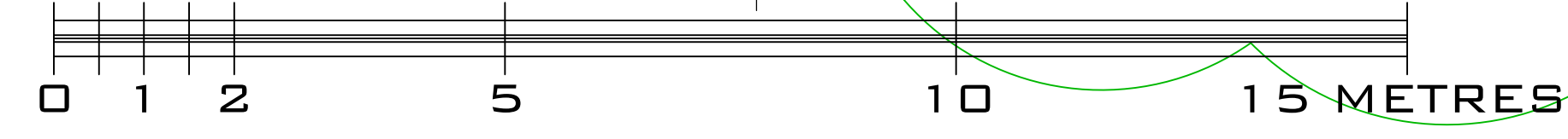


FRONT YARD SOFT LANDSCAPING  
FRONT YARD AREA = 92.17m<sup>2</sup>  
SOFT LANDSCAPE AREA = 42.78m<sup>2</sup>  
TOTAL = 46.41%

D A N I E L A V E N U E



**SITE PLAN**  
SCALE = 1:150



NOT TO SCALE

LOCATION OF SUBJECT PROPERTY

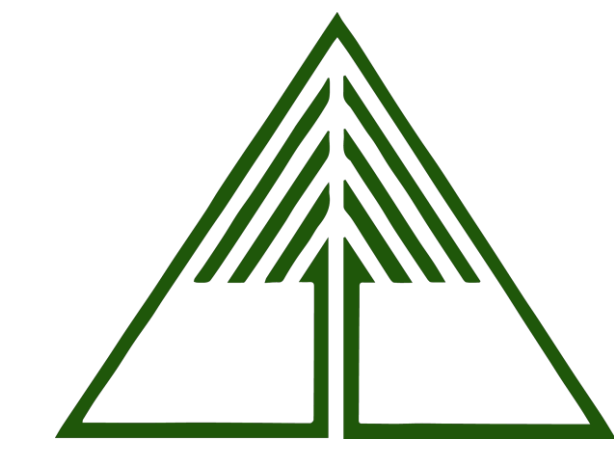
PROJECT INFORMATION	
ADDRESS	182 DANIEL AVENUE OTTAWA, ON. K1Y 0E1
LEGAL DESCRIPTION	PART OF LOT 13 REGISTERED PLAN 219 PIN: 04031-0075 WARD 15, KITCHISSIPPI
ZONING	ZONING BYLAW 2008-250   R1P[2159] SECTION 139 - LOW-RISE RESIDENTIAL IN ALL NEIGHBOURHOODS WITHIN THE GREENBELT SECTION 140 - LOW-RISE RESIDENTIAL DEVELOPMENT WITHIN THE MATURE NEIGHBOURHOODS OVERLAY SECTION 144 - ALTERNATIVE YARD SETBACKS AFFECTING LOW-RISE RESIDENTIAL IN THE R1 TO R4 ZONES WITHIN THE GREENBELT

DEVELOPMENT STANDARDS		
SITE PROVISIONS	BY-LAW REQUIREMENTS	PROVIDED
MIN. LOT WIDTH	15m	15.24m
LOT DEPTH	-	30.46m
MIN. LOT AREA	440m <sup>2</sup>	464.21m <sup>2</sup>
MAX. BUILDING HEIGHT	8.5m	8.5m
MIN. FRONT YARD SETBACK	6m*	6.04m
MIN. CORNER YARD SETBACK	4.5m*	N/A
MIN. REAR YARD SETBACK	28% (8.52m)	28.06% (8.55m)
MIN. REAR YARD AREA	25% (116.05m <sup>2</sup> )	28.03% (130.12m <sup>2</sup> )
MIN. INTERIOR YARD SETBACK	1.2m	1.21m
MIN. SOFT LANDSCAPING OF THE FRONT YARD AREA	40%	46.41%
MAXIMUM DRIVEWAY WIDTH	5.5m DOUBLE	5.0m

URBAN EXCEPTION 2159  
MINIMUM FRONT YARD SETBACK: 6m  
MINIMUM CORNER SIDE YARD SETBACK: 4.5m

MINOR VARIANCES REQUESTED	
A	TO PERMIT A FRONT-FACING ATTACHED GARAGE, WHEREAS THE RESULTS OF THE STREETSCAPE CHARACTER ANALYSIS DO NOT PERMIT A FRONT-FACING ATTACHED GARAGE. [Sec.139(3)(c), Sec.140(7)(a), Table 140A(ii)]

LEGEND			
PROPOSED BUILDING		SOFT LANDSCAPING AREA	
ASPHALT		LINE OF REQUIRED SETBACK	
INTERLOCK		EXISTING TO BE DEMOLISHED	
SOD		EXCAVATION OFFSET	
RIVERWASH		STONE PATH	



Tree Planting Plan – 182 Daniel Avenue  
Prepared by Dendron Forestry Services  
Version 2.0, February 20, 2024  
For more information, please contact:  
info@dendronforestry.ca

**Note:** the tree layer has been added to the original site plan supplied by the client in pdf format. This layer refers to the trees only, and the original site plan has not been altered in the process. Refer to the original plan for details as quality is lost when importing the plan into the mapping software used to create the tree layer.

### Replacement Tree Specifications

**Note:** Proposed tree locations are suggestions only and should be finalized only once construction is complete and should adhere to City of Ottawa Tree Planting Guidelines.

**Tree 1 and 2** should be large trees at maturity. Site conditions are expected to be low light exposure and moderate moisture availability. Species suggestions include:

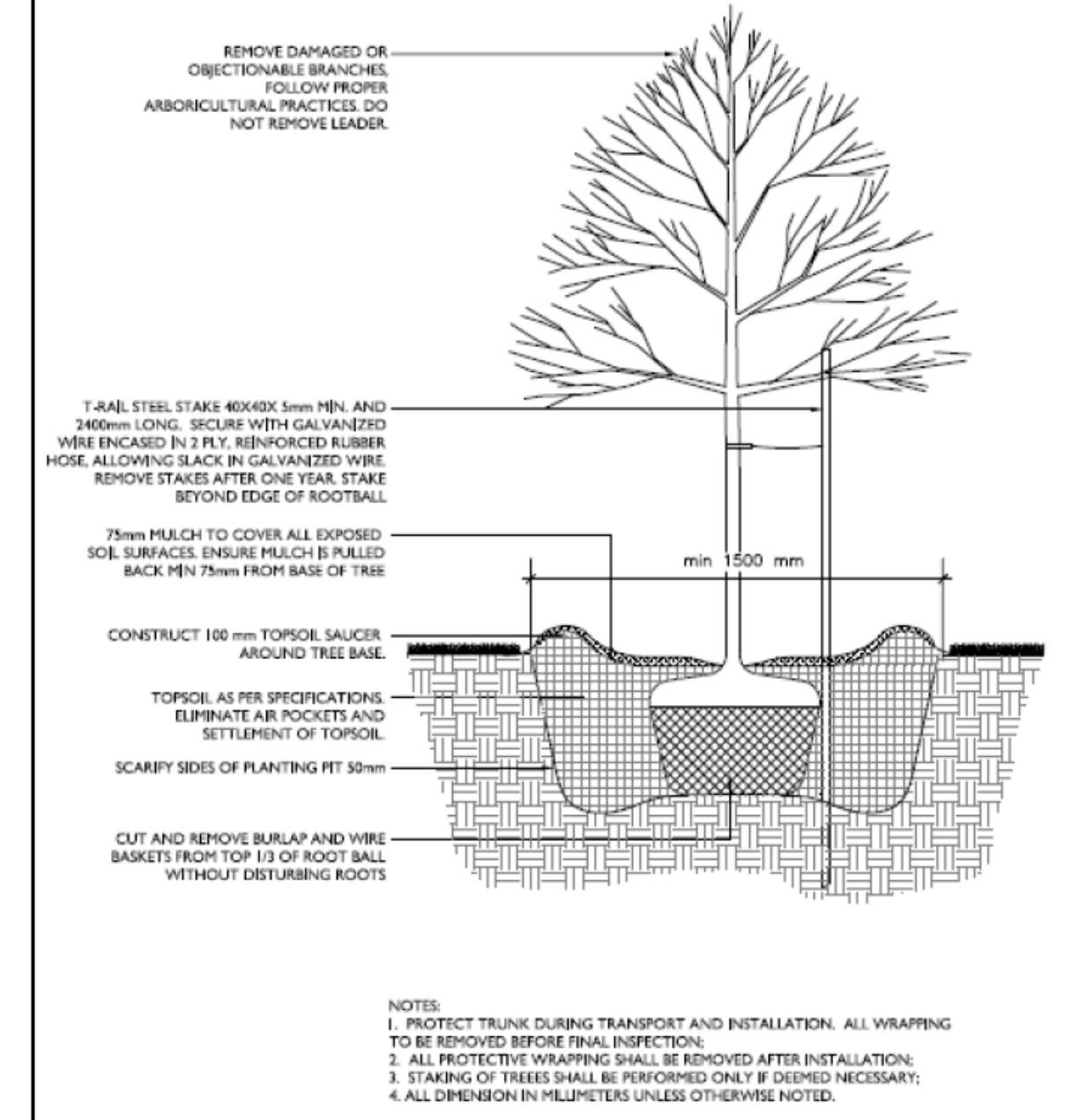
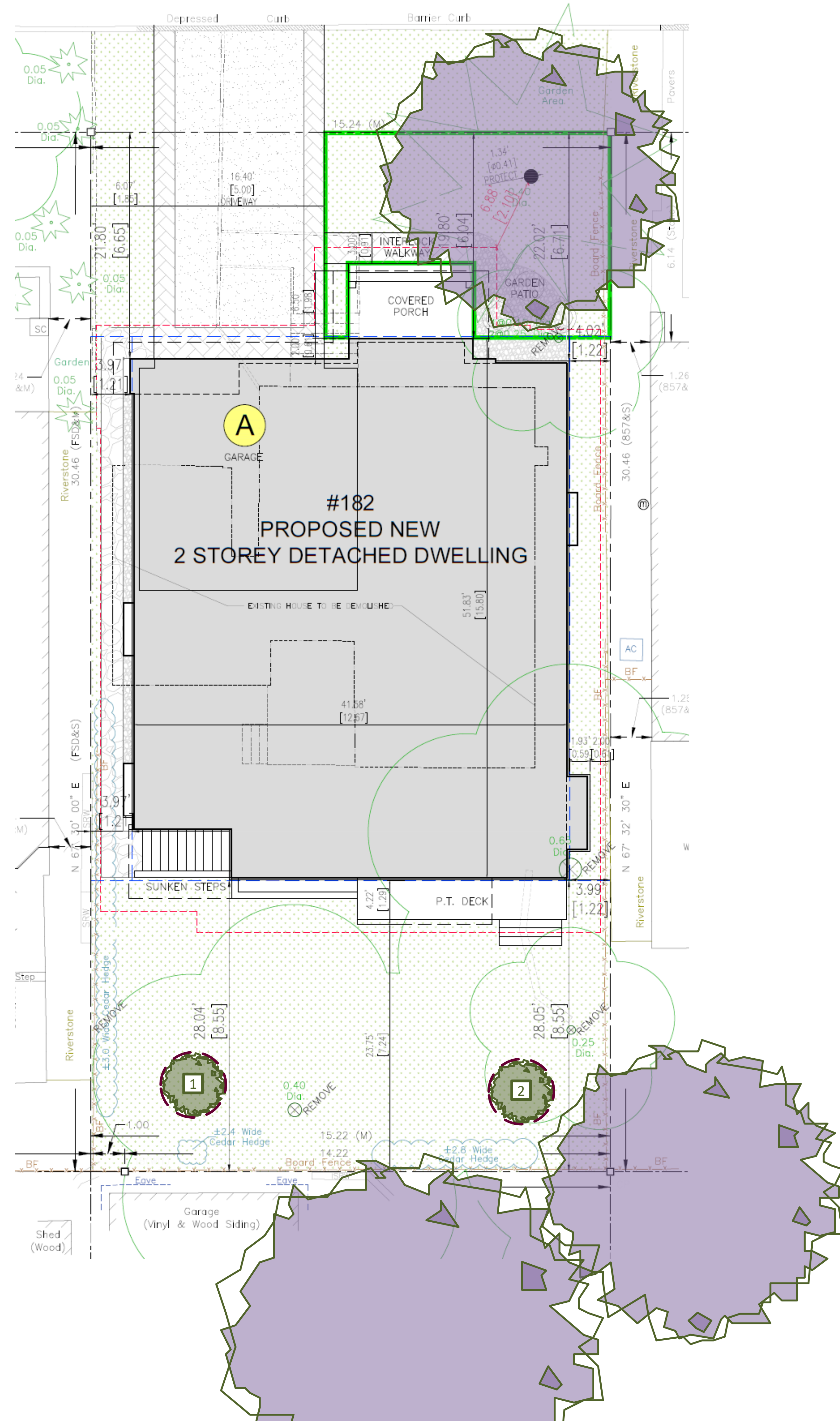
- Black maple - *Acer nigrum*\*
- Sugar maple - *Acer saccharum*\*
- Balsam fir - *Abies balsamea*\*
- Hemlock - *Tsuga canadensis*\*
- Red Spruce - *Picea rubens*\*

\*Native to Ottawa region: Planting species native to a region can help maintain and enhance biodiversity.

**Note:** Norway maple (*Acer platanoides*) is *not* recommended as it is highly invasive and not a suitable tree for urban planting.

The species recommended herein are the most suitable species based on the existing plans. For best success, tree species should be matched to site conditions.

**All deciduous trees must be a minimum of 50 mm in diameter measured no less than 15 cm above ground level. Coniferous trees must be no less than 200 cm in height.**

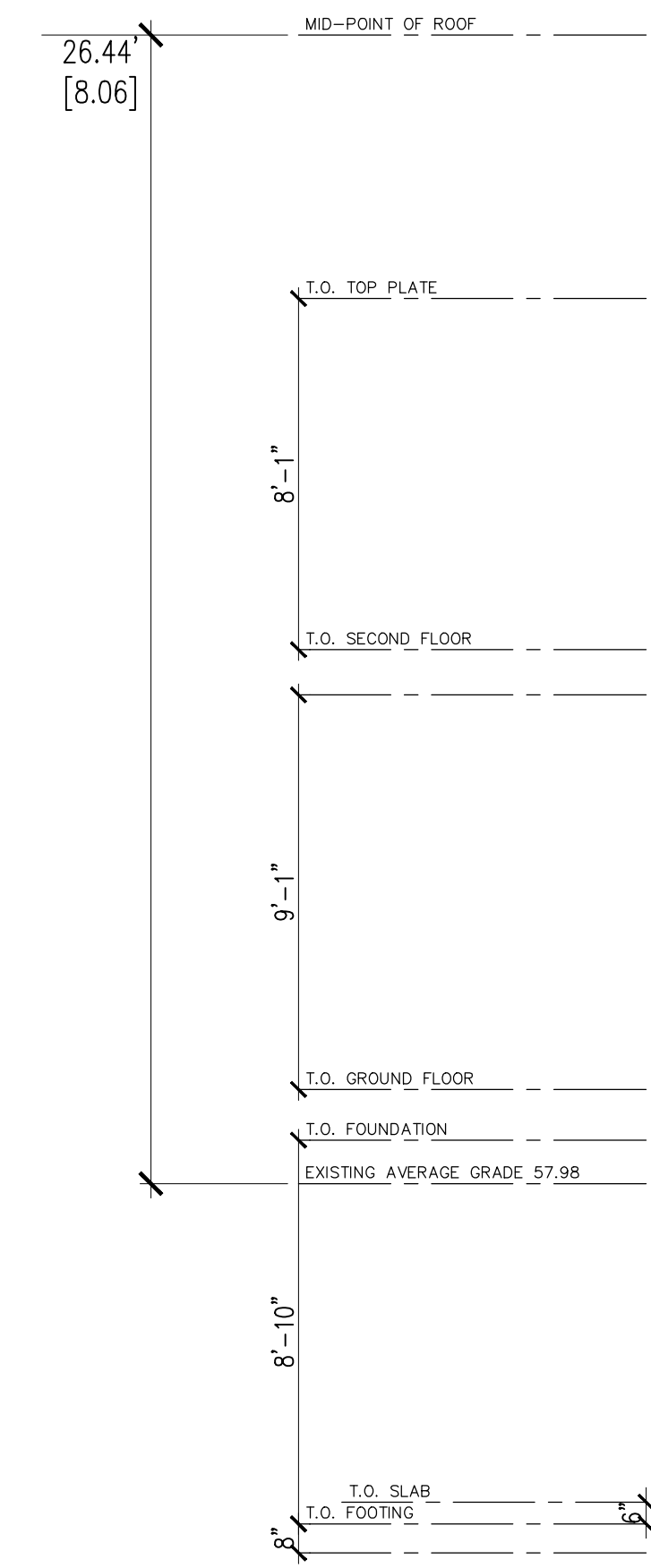
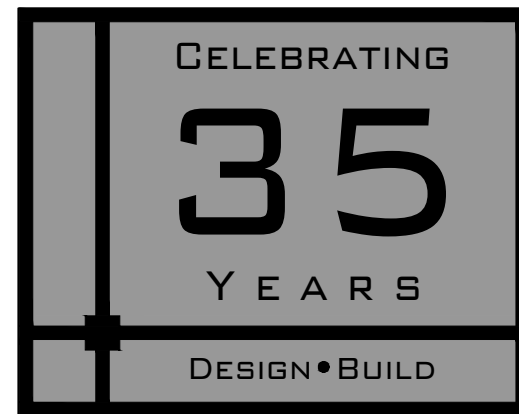


- #### KEY SPACING GUIDELINES
- For Deciduous Trees:**
- Minimum 50mm caliper stock
  - 1.5m from sidewalks, driveways, walkways, fences, sound walls, and old stumps.
  - 2.5m from curbs, hydro transformers, or behind fire hydrants
  - 4-7m from any part of an existing tree, depending on canopy width
  - 10m from bus shelters and community mailboxes
- For Coniferous Trees:**
- Follow same setbacks as deciduous, but due to the widest branching being at the base of the tree, conifers need greater setbacks for ground-level obstacles.
  - Minimum 200cm height stock
  - 4.5m setbacks from sidewalks, walkways, driveways, and curbs.
  - Do not plant on corners where sight lines will be compromised.

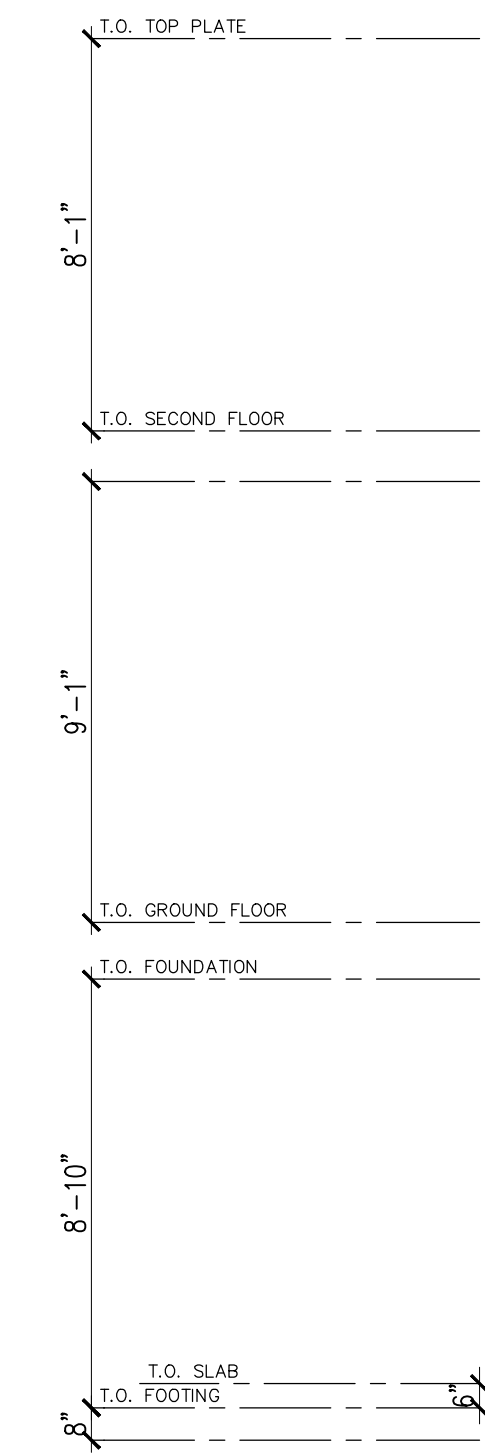
**TREES MUST BE WATERED REGULARLY FOLLOWING PLANTING TO ENSURE PROPER ESTABLISHMENT.**  
On average, a young tree needs 6 gallons (24 liters) of water twice per week. (Do not water using a sprinkler as water on the foliage can lead to fungal infection)  
Placing a ring of mulch around the planting hole will help reduce water loss. Ensure no mulch is touching the base of the tree.

### Legend

- New Private Tree
- New Tree either fully or partly on city property
- Existing Tree to be retained



FRONT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



REAR ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"

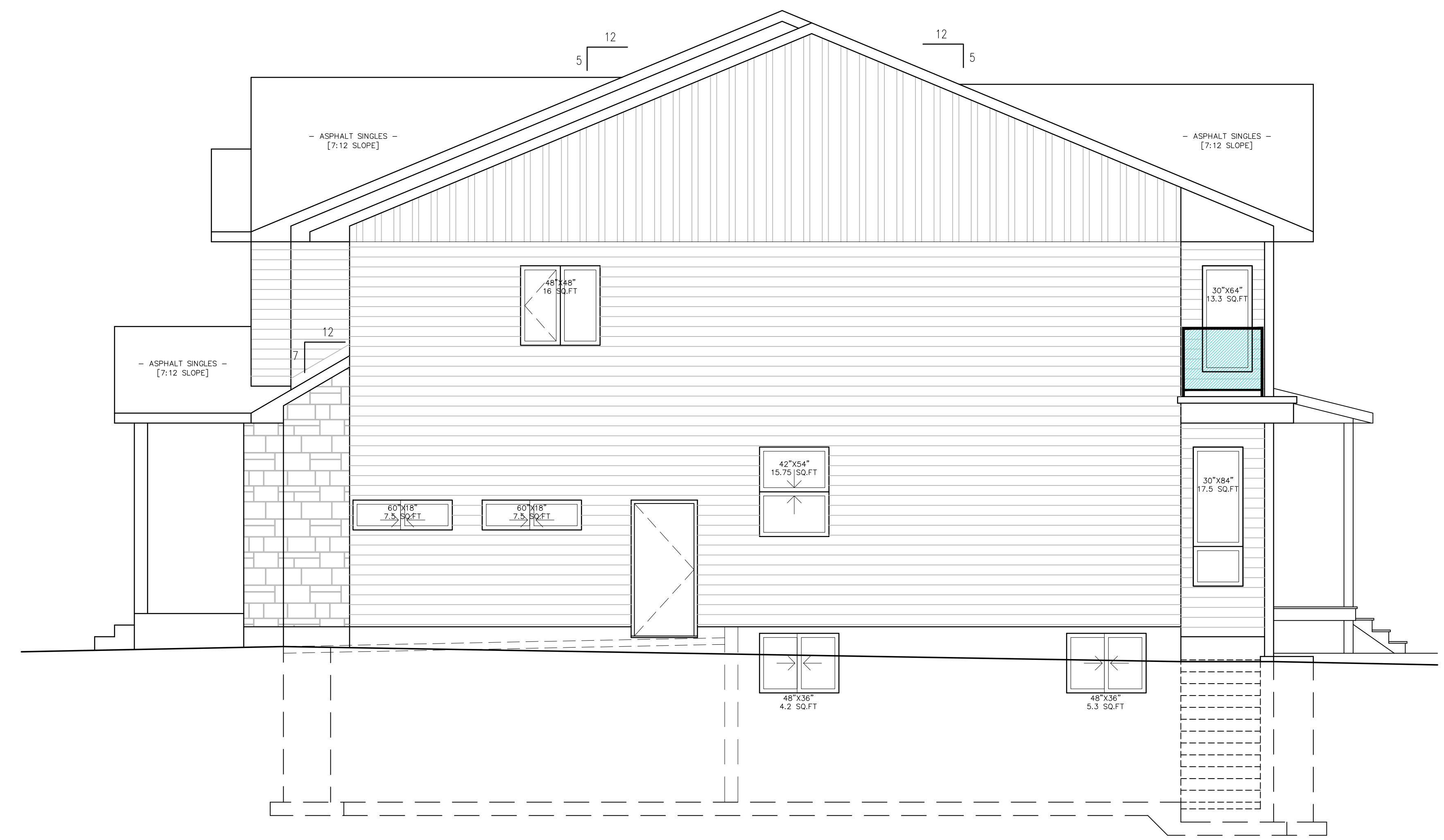
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  4. DO NOT SCALE THE DRAWINGS.
  5. THE OWNER / GENERAL CONTRACTOR SHALL CONFIRM ALL UTILITY EASEMENTS AND/OR SETBACK REQUIREMENTS BEFORE SETTING OUT FOR CONSTRUCTION.
  6. THE GENERAL CONTRACTOR SHALL CONFIRM ALL FROST PROTECTION DETAILS ON SITE WITH A GEO-TECHNICAL ENGINEER BEFORE FORMING.

NO.	REVISION	DATE
1	REVISION	DATE

JOB TITLE:  
182 DANIEL STREET  
OTTAWA, ON.  
2-STORY  
DETACHED DWELLING

SHEET TITLE:  
FRONT ELEVATION (EAST)  
REAR ELEVATION (WEST)

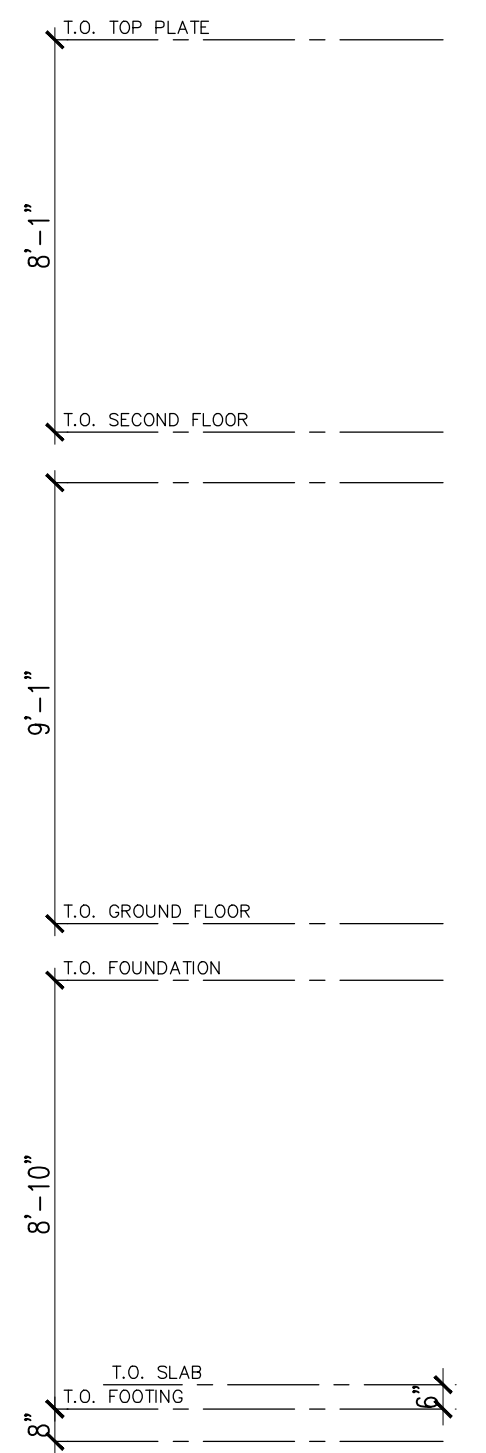
SCALE: AS SHOWN	DWG NO.
DRAWN: M.D.	A1.2
CHECKED:	
DATE: 2024-DECEMBER	
PRINT DATE: 2024-FEB-21	



**RIGHT SIDE ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION (SOUTH)**  
SCALE: 1/4" = 1'-0"



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NO.	REVISION DATE	DESCRIPTION & DATE
1		

**JOB TITLE:**  
182 DANIEL STREET  
OTTAWA, ON.  
2-STORY  
DETACHED DWELLING

**SHEET TITLE:**  
RIGHT SIDE ELEVATION (NORTH)  
LEFT SIDE ELEVATION (SOUTH)

SCALE: AS SHOWN	DWG NO.
DRAWN: M.D.	<b>A2.2</b>
CHECKED:	
DATE: 2024-DECEMBER	
PRINT DATE: 2024-FEB-21	

# CONCEPTUAL STREETSCAPE RENDERING

Committee of Adjustment  
Received | Reçu le

2024-03-05

City of Ottawa | Ville d'Ottawa  
Comité de dérogation



182 DANIEL AVENUE

MIROCA DESIGN  
INCORPORATED SINCE 1986

APPLICATION FOR MINOR VARIANCE | MARCH 2024