

Committee of Adjustment
Received | Reçu le
2024-02-29
City of Ottawa | Ville d'Ottawa
Comité de dérogation

LOT 29
PART 1
PLAN 4R-1209

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 15
REGISTERED PLAN 83
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 8th day of March, 2021.

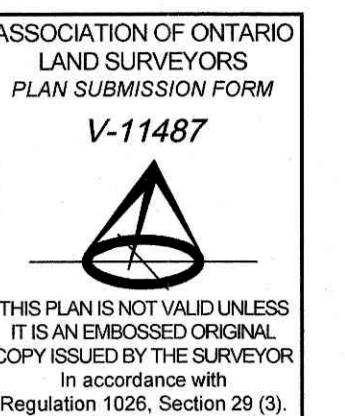
APR 19 2021
Date
E. H. Herveyer
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: April 19, 2021

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to
CENTRETOWN CITIZENS OTTAWA CORPORATION ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed copies of the
Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

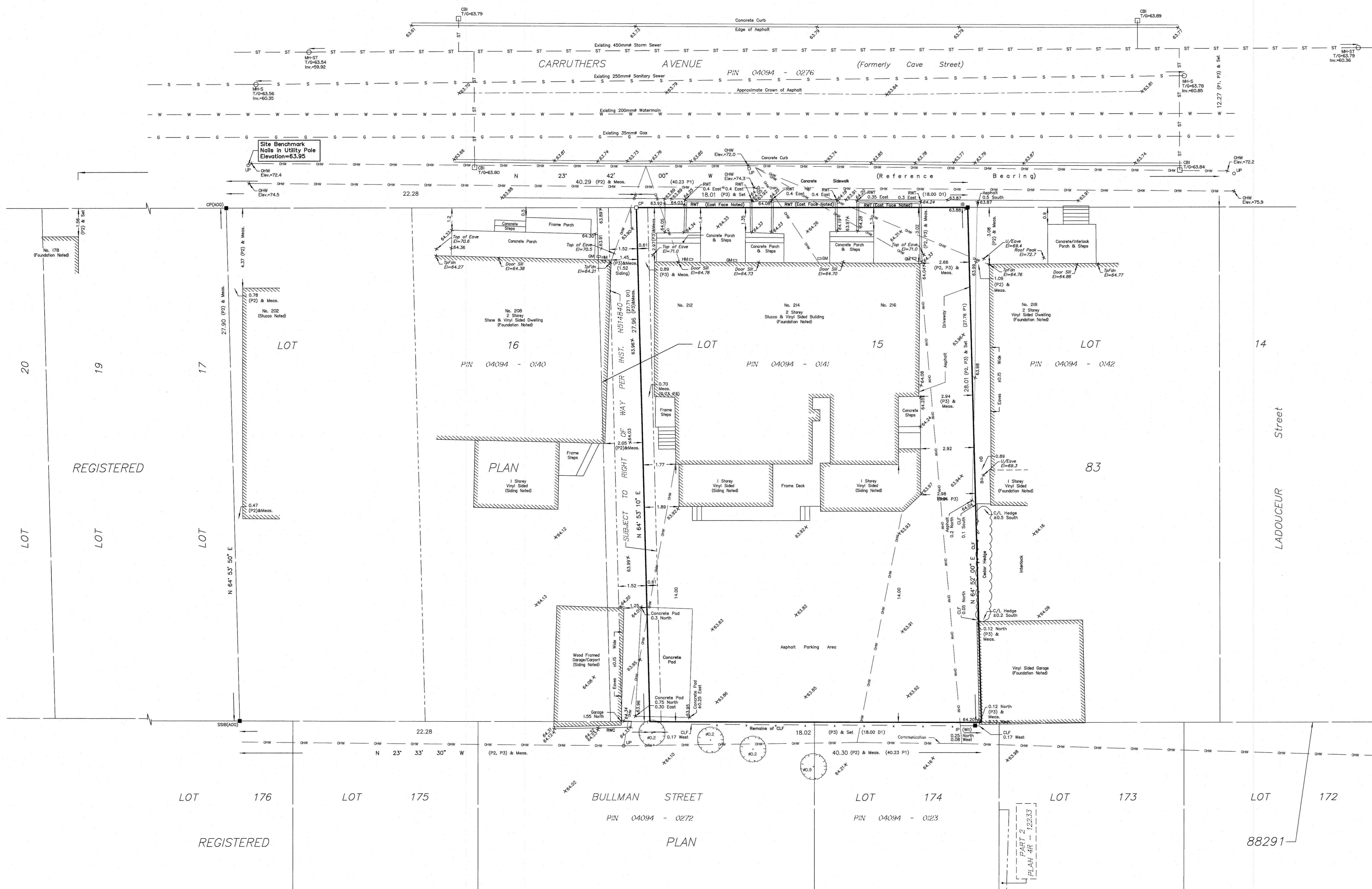
Symbol	Description
□	Survey Monument Planted
■	Survey Monument Found
IB	Iron Bar
SSIB	Short Standard Iron Bar
CP	Concrete Pin
CC	Cut Cross
IP	Iron Pipe
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Registered Plan 83
(P2)	(AOG) Plan dated July 15, 2020 (Job No. 20462-19)
(P3)	(AOG) Plan dated September 18, 1989 (Job No. 0-481-89)
(DI)	Inst. N514840
ROW	Right-of-Way
OH-ST	Maintenance Hole (Storm Sewer)
OH-S	Maintenance Hole (Sanitary)
OW	Overhead Wires
UP	Utility Pole
CLF	Chain Link Fence
RWT	Timber Retaining Wall
RWC	Concrete Retaining Wall
Ø	Diameter
+65.00	Location of Elevations
+65.00	Location of Elevations
C/L	Centreline
—	Property Line
GM	Gas Meter
HM	Hydro Meter
EI	Elevation
TpFdn	Top of Foundation
U/Eave	Underside of Eave
o B	Bollard
○	Deciduous Tree

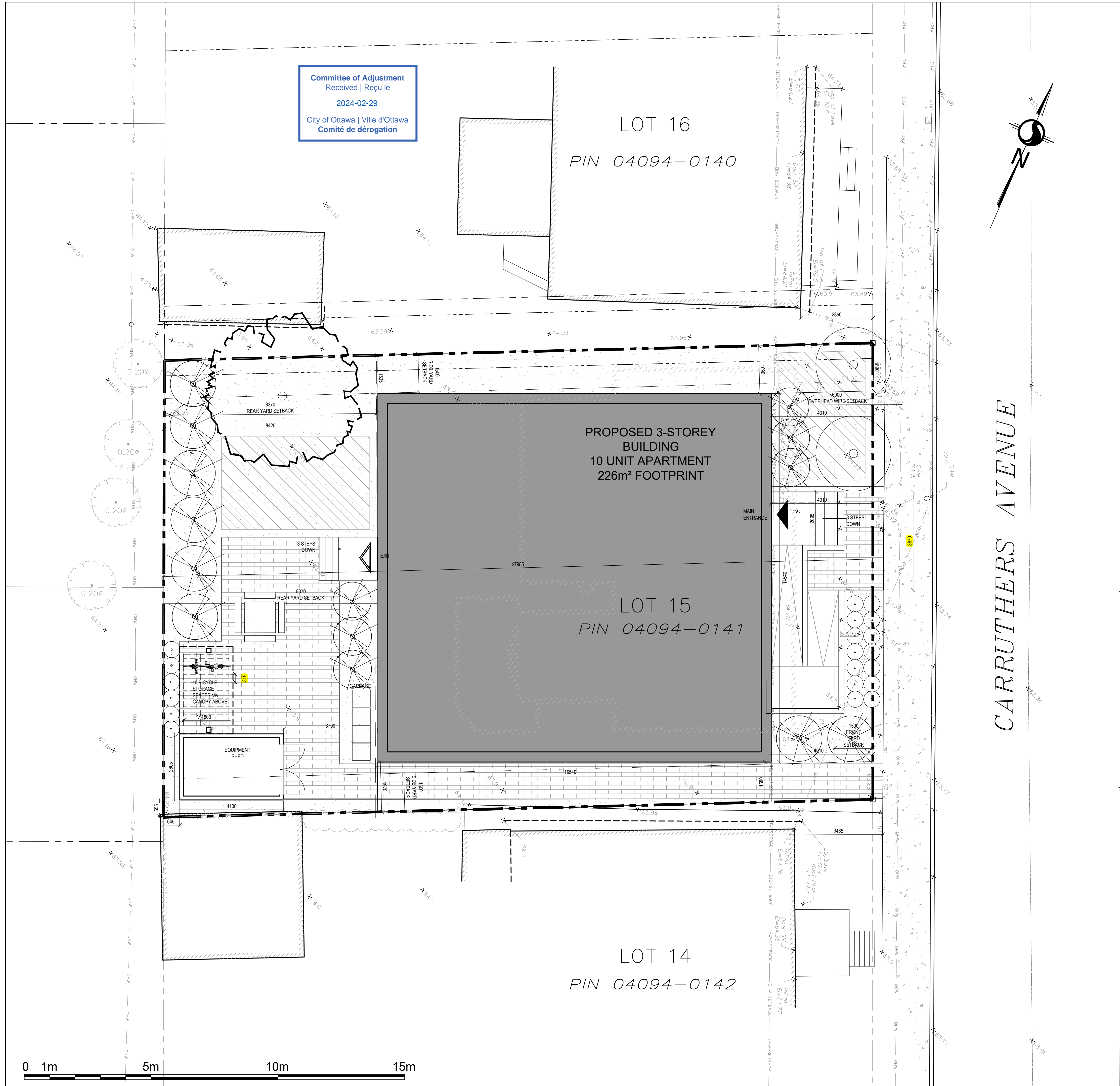


Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum. Derived from City of Ottawa vertical benchmark No. 3606 having an elevation of 67.236 metres.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference E-08-05 has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.
4. Sanitary and storm sewer grades and inverts were derived from City of Ottawa plan reference 2825
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.





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LOT 16
PIN 04094-0140

PROPOSED 3-STORY BUILDING
10 UNIT APARTMENT
226m² FOOTPRINT

LOT 15
PIN 04094-0141

LOT 14
PIN 04094-0142

CARRUTHERS AVENUE

0 1m 5m 10m 15m

KEY PLAN

PROPOSED SITE

PROPERTY DESCRIPTION

THREE STOREY RESIDENTIAL BUILDING
CITY OF OTTAWA PIN NUMBER: 04094-0141
MUNICIPAL ADDRESS: 212 Carruthers Avenue

SITE INFORMATION

LOT AREA: 504 m²
LOT FRONTAGE: 18 m
LOT DEPTH: 27.96 m

BUILDING INFORMATION

BUILDING AREA: 226m²
BUILDING FLOOR AREA: 904m²
PROPOSED USE: APARTMENT DWELLING, LOW-RISE

UNIT BREAKDOWN:

BASEMENT:	2 UNITS	1- 1 BD, 1- 3 BD
FIRST FLOOR:	2 UNITS	2- 3 BD
SECOND FLOOR:	3 UNITS	3- 1 BD
THIRD FLOOR:	3 UNITS	3- 1 BD
TOTAL:	10 UNITS	7- 1 BD, 3- 3 BD

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	R4UB REQUIRED	PROPOSED
MINIMUM LOT AREA	450m ²	504m ²
MINIMUM LOT WIDTH	15m	18m
HYDRO SETBACK	6m	6m
ROAD WIDENING EASEMENT (ROW)	N/A	N/A
FRONT YARD SETBACK	1.5m	4.01m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	1.5m
MINIMUM REAR YARD SETBACK	8.37m	8.425m
MAXIMUM BUILDING HEIGHT	11m	12.5m
LANDSCAPED AREA	30% = 151.2m ²	32% = 160.1m ²
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units	0 SPACES
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	N/A	0 SPACES
AMENITY AREA REQUIREMENTS	N/A	N/A
BICYCLE PARKING SPACES	0.5 per dwelling unit = 5	10 EXTERIOR SPACES

LEGEND

- EXISTING BUILDING ELEMENT TO BE REMOVED
- EXISTING FENCE
- NEW BOARD FENCE REFER TO LANDSCAPE
- LOT LINE
- SETBACK LINE
- DESIGNATED BUILDING ENTRANCE / EXIT
- FIRE HYDRANT. REFER TO CIVIL
- CATCH BASIN
- MANHOLE
- FLOOR DRAIN
- UTILITY POLE
- OVERHEAD UTILITY WIRES
- LIGHT STANDARD
- DEPRESSED CURB
- EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
- NEW TREE (REFER TO LANDSCAPE DRAWINGS)
- EXISTING BUSHES TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
- SOFT LANDSCAPING
- ASPHALT PAVING
- RIVERSTONE REFER TO LANDSCAPE
- UNIT PAVERS REFER TO LANDSCAPE
- CONCRETE
- SNOW STORAGE AREA
- EXISTING GROUND ELEVATION TO DETERMINE EXISTING AVERAGE GRADE
- NEW GROUND ELEVATION REFER TO CIVIL
- EMERGENCY OVERFLOW ROOF SCUPPER
- ROOF DRAIN

CCOC AFFORDABLE HOUSING

212 CARRUTHERS AVENUE
OTTAWA, ON

SITE PLAN

Designé par / Drawn by: DD
No. projet / Project number: 2336

Verifié par / Verified by: ZK
No. dessin / Drawing number: 175

Échelle / Scale: 1:75

Date de création du dessin / Drawing creation date: 1/29/2024

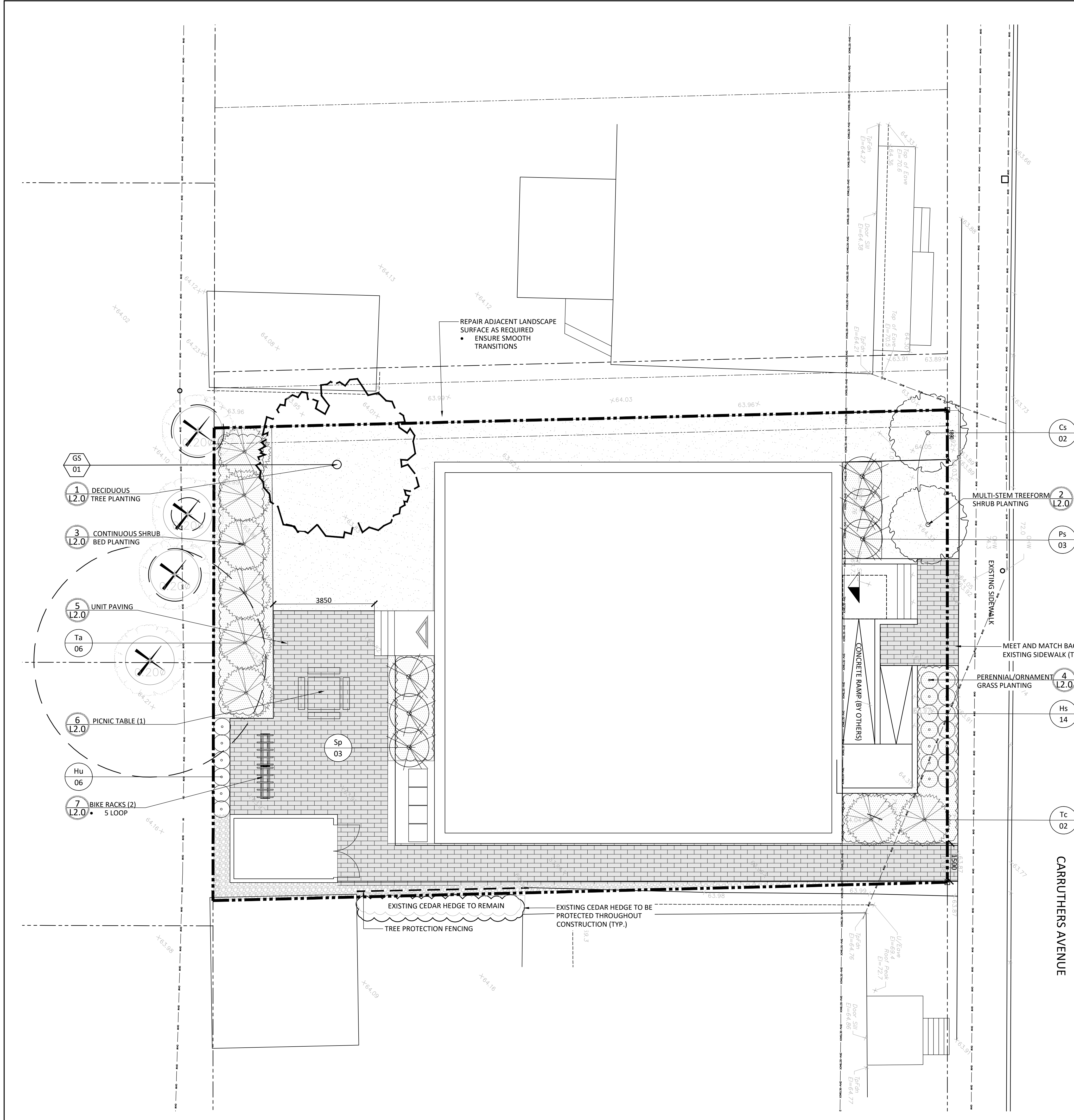
figuri architects collective

3500, Saint-Antoine O. Montréal QC H3C 1A0 T. 514 881 9122

190 Somerset St W #206 Ottawa ON K2P 0A4 T. 613 956 6122

www.figuri.ca

A010



PLANT LIST					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES/TREEFORM SHRUBS					
	1	GLEDITSIA TRIACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	50mm	B&B
Ca	2	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	150cm	WB
DECIDUOUS SHRUBS					
Sp	3	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	3 GAL	POTTED
Ps	3	PHILADELPHUS X 'SNOWBELLE'	SNOWBELLE MOCK ORANGE	3 GAL	POTTED
CONIFEROUS SHRUBS					
Ta	6	TAXUS x MEDIA 'HILLII'	HILL'S YEW	5 GAL	POTTED
Tc	2	TAXUS CUSPIDATA 'NANA'	DWARF JAPANESE YEW	5 GAL	POTTED
GRASSES/PERENNIALS					
Hs	14	HEMEROCALLIS 'DAD'S BEST WHITE'	DAD'S BEST WHITE DAYLILY	1 GAL	POTTED
Hu	6	HOSTA 'AUGUST MOON'	AUGUST MOON HOSTA	1 GAL	POTTED

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



PLANTING

- PROPERTY LINE
- ⊗ EXISTING TREE TO BE REMOVED AS REQUIRED
- PROPOSED DECIDUOUS TREE
- ⊗ PROPOSED TREEFORM SHRUB
- ⊗ DECIDUOUS SHRUB
- ⊗ CONIFEROUS SHRUB
- ⊗ PERENNIALS
- SHRUB BED AREA
- ▨ SOD

SURFACING

- C.I.P. CONCRETE
- ▨ UNIT PAVING
- ▨ RIVERSTONE

AMENITIES

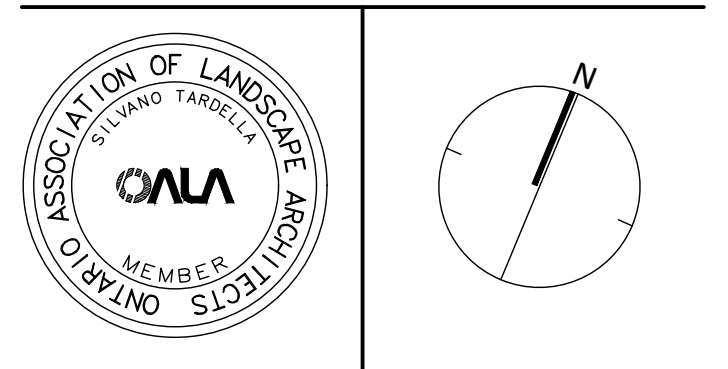
- PICNIC TABLE
- ▨ BIKE RACK

- GENERAL NOTES:**
- ALL MEASUREMENTS IN MILLIMETERS UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWING. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS.
 - THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR TO REPORT ALL ERRORS / OMISSIONS TO THE CONTRACT ADMINISTRATOR.
 - REINSTATE / REPAIR ALL DAMAGE TO ADJACENT PROPERTIES OR AREAS TO BE PROTECTED. ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED AND TO BEAR THE COST OF THE SAME.

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No.	Description	Date
2	Issued for City Submission	Feb.28/24
1	Issued for Coordination	Feb.23/24

Revision
City Approval Stamp



NAK
design strategies
1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345 NAKDESIGNSTRATEGIES.COM
Project

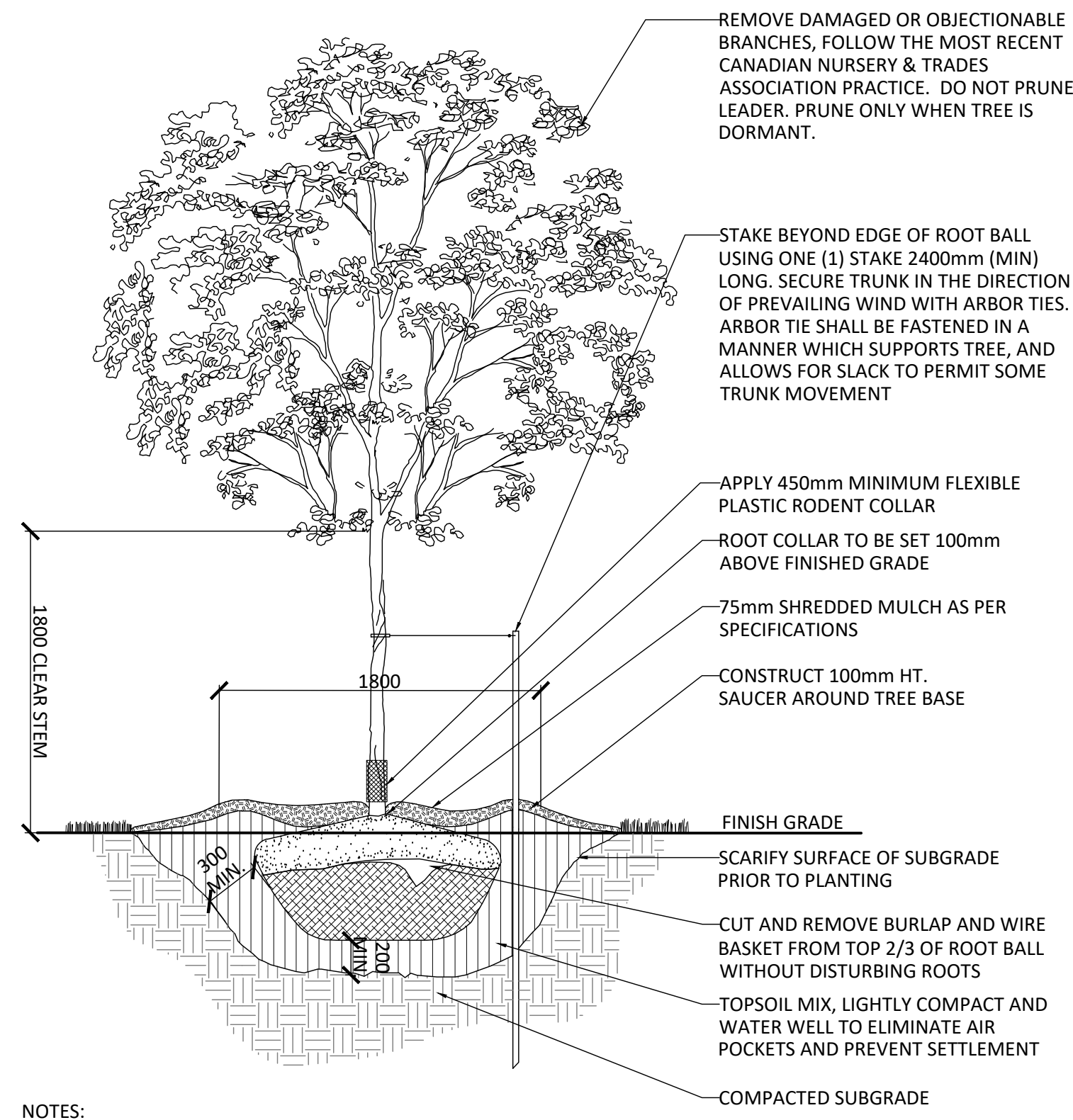
CCOC CARRUTHERS-HINCHEY
212 Carruthers Avenue, Ottawa

Title
LANDSCAPE PLAN

Date	2024-02-23	Sheet	L1.0
Scale	1:75		
Drawn	SE		
Checked	SC		
Job No.	24-030		

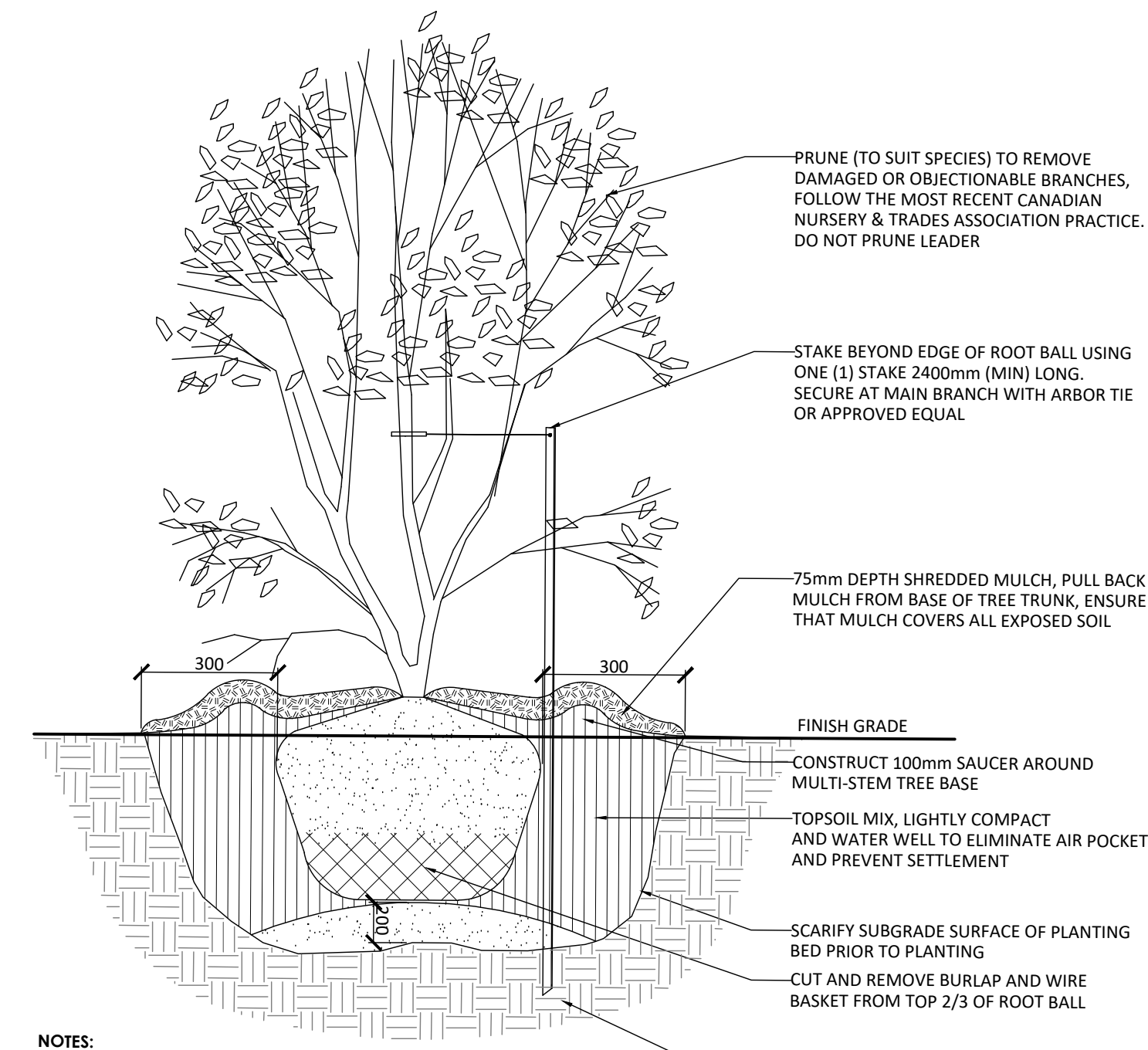
TREE SOIL VOLUMES		
TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (m3/TREE)
ORNAMENTAL	15	9
COLUMNAR	15	9
SMALL	20	12
MEDIUM	25	15
LARGE	30	18
CONIFER	25	15

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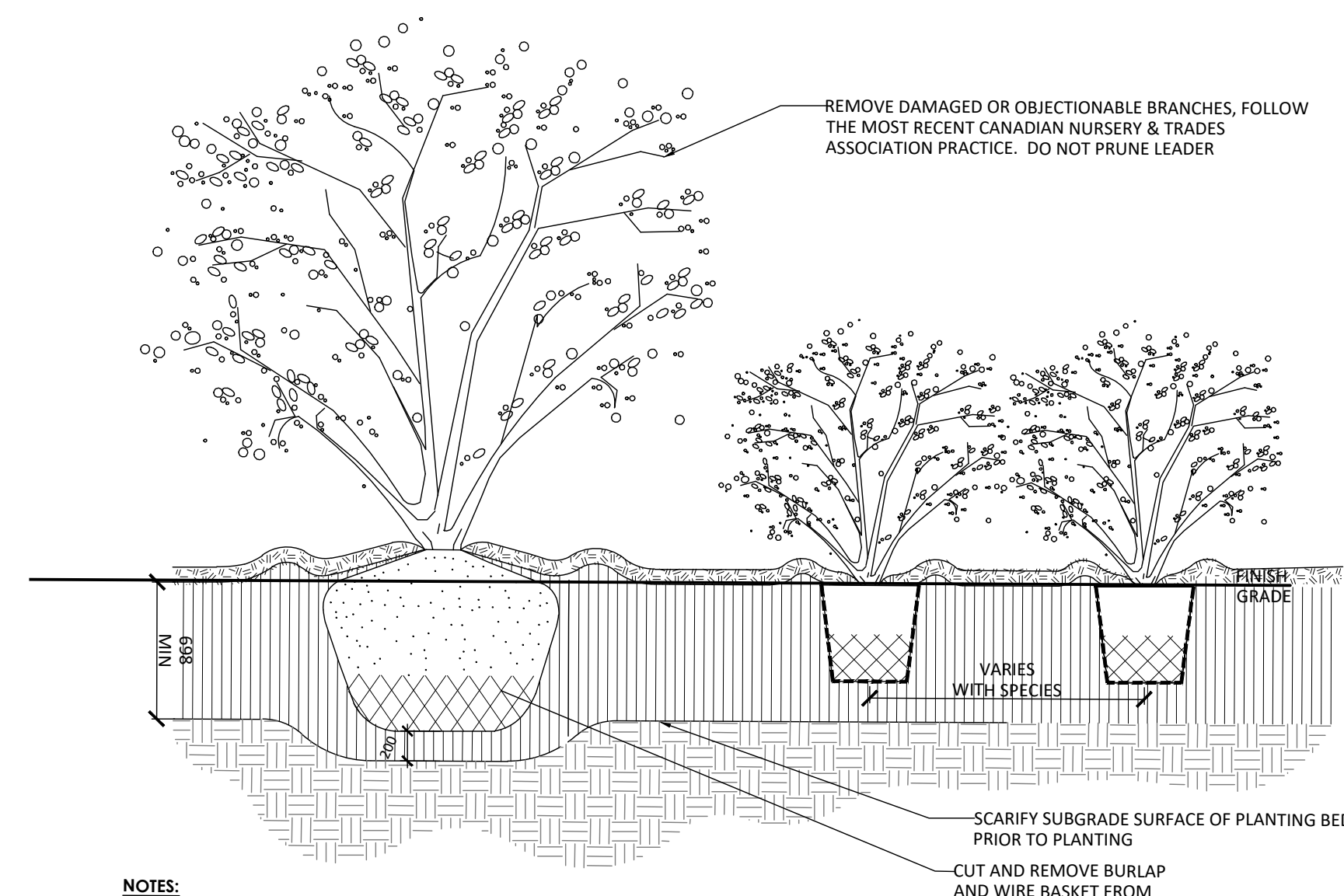
- NOTES:**
1. REMOVE STAKE AFTER ONE YEAR OR UNTIL TAKEOVER, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
 2. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION
 3. REMOVE TREE WRAP AFTER PLANTING
 4. CALIPER TO BE MEASURED AT THE BASE OF TREE AT ROOT BALL.

1 DECIDUOUS TREE PLANTING (ONE STAKE W/ARBOR TIES)
1:30



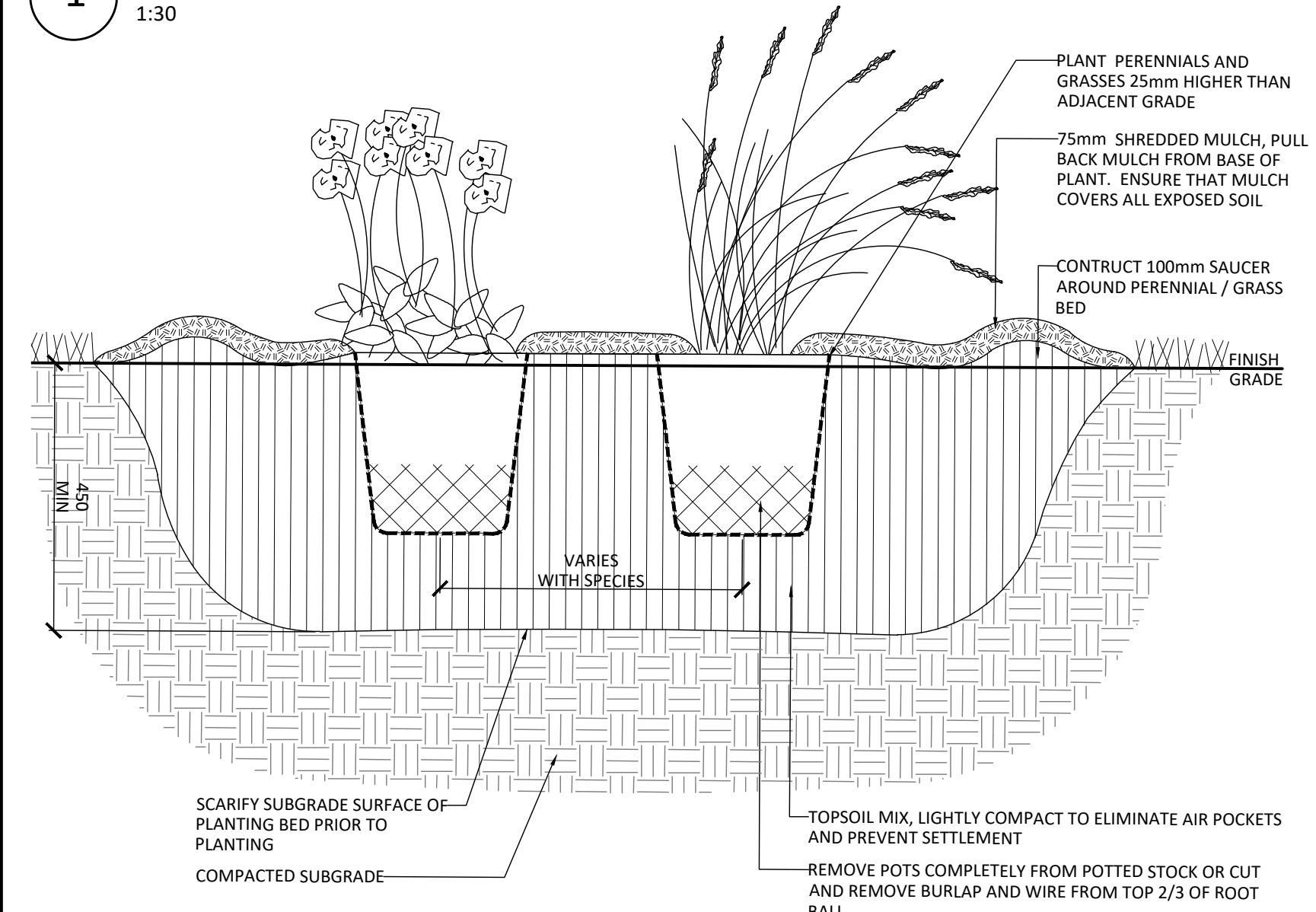
- NOTES:**
1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
 2. PROVIDE 100mm HIGH EARTH SAUCER AROUND SHRUB BED.
 3. STAKES TO BE REMOVED AFTER ONE YEAR OR UNTIL TAKEOVER UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

2 MULTI-STEM TREEFORM SHRUB PLANTING (ONE STAKE W/ARBOR TIES)
1:30



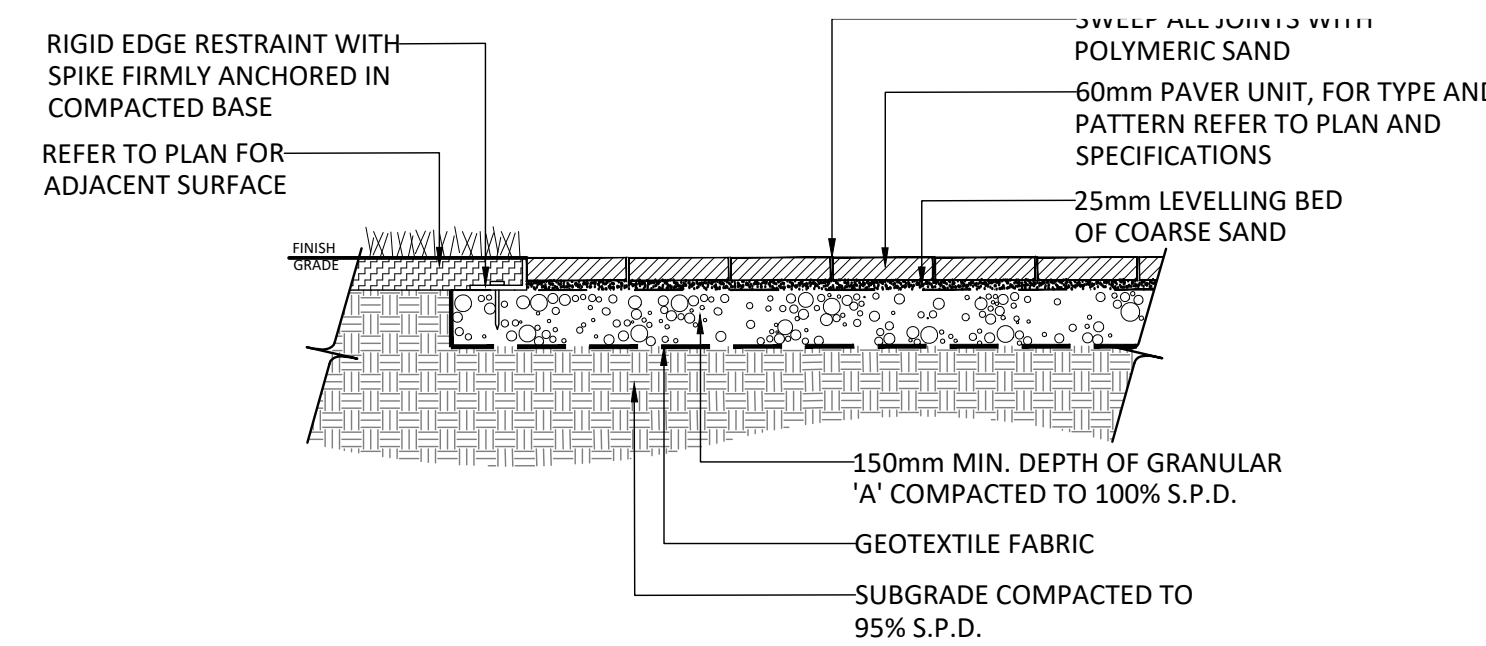
- NOTES:**
1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
 2. SHRUBS SPECIFIED BARE ROOT (B.R.) TO BE PLANTED SO THAT ROOTS ARE FULLY EXTENDED IN PLANTING HOLE WITH SOIL MIX BACKFILLED CAREFULLY TO PREVENT ROOT DAMAGE.
 3. PROVIDE 100mm HIGH EARTH SAUCER AROUND SHRUB BED.
 4. STAKES TO BE REMOVED AFTER ONE YEAR OR UNTIL TAKEOVER UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

3 CONTINUOUS SHRUB BED PLANTING
1:30



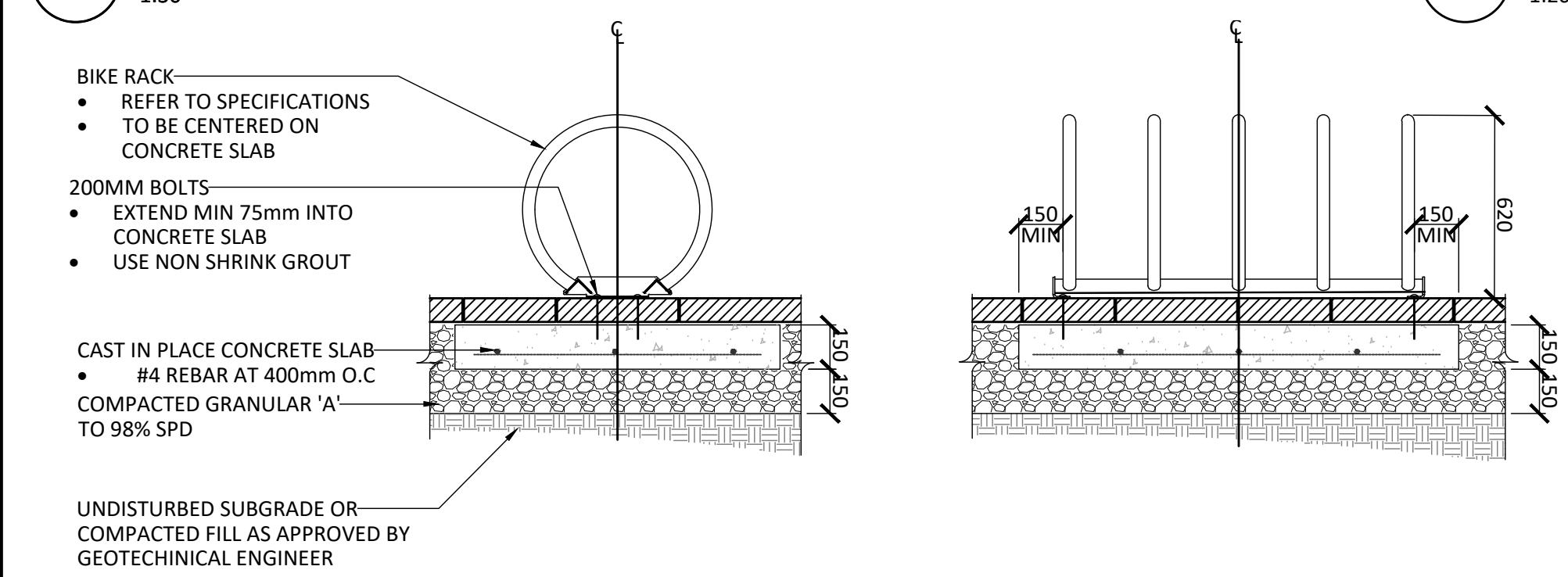
- NOTES:**
1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
 2. PROVIDE 100mm HIGH EARTH SAUCER AROUND PERENNIAL/GRASS BED.

4 PERENNIAL AND ORNAMENTAL GRASS PLANTING
1:30



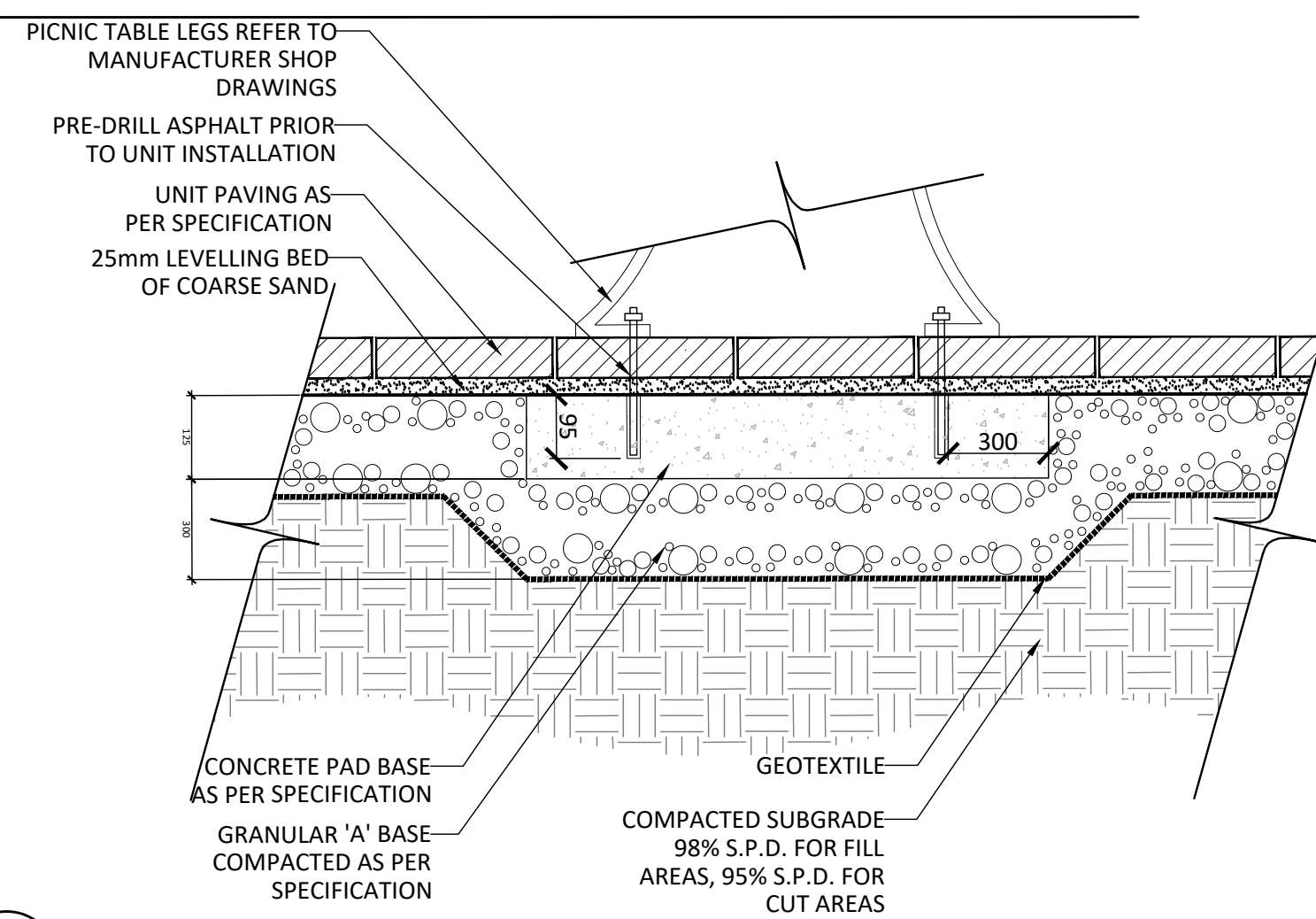
- NOTES:**
1. FOR PAVER TYPE REFER TO SPECIFICATIONS. PAVERS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS WITH TIGHT BUTT JOINTS OF APPROXIMATELY 3mm, ON A SAND BASE. SAW CUT PAVERS AS REQUIRED. USE AN APPROVED VIBRATORY COMPACTOR IN A CIRCULAR PATTERN.
 2. ALL DAMAGED OR CHIPPED PAVERS MUST BE REPLACED AT THE CONTRACTOR'S COST.
 3. EXCAVATE AND REMOVE ALL TOPSOIL AND UNSTABLE MATERIALS OFF SITE. SUBGRADE TO BE GRADED TO SIMILAR CONTOURS AS FINISH GRADE. COMPACT SUBGRADE TO 95% S.P.D. PLACE 150mm LAYER OF GRANULAR 'A' COMPACTED TO 100% S.P.D.
 4. PLACE MAXIMUM 25mm UNCOMPACTED SAND FOR LEVELLING COURSE.
 5. INSTALL PAVING UNITS IN THE PATTERN AS SPECIFIED PER MANUFACTURER'S PATTERN RECOMMENDATION AND SPECIFICATIONS.
 6. RETAIN EDGING WITH RIGID PAVER EDGE RESTRAINTS AS PER SPECIFICATIONS.

5 LIGHT DUTY UNIT PAVING
1:20



- NOTES:**
1. BIKE RACK - REFER TO SPECIFICATIONS TO BE CENTERED ON CONCRETE SLAB
 2. 200MM BOLTS - EXTEND MIN 75mm INTO CONCRETE SLAB
 3. USE NON SHRINK GROUT
 4. CAST IN PLACE CONCRETE SLAB - #4 REBAR AT 400mm O.C
 5. COMPACTED GRANULAR 'A' TO 98% SPD
 6. UNDISTURBED SUBGRADE OR COMPACTED FILL AS APPROVED BY GEOTECHNICAL ENGINEER

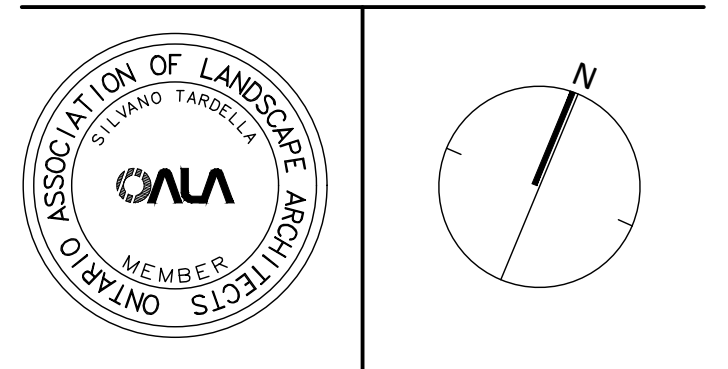
6 BIKE RACKS MOUNTED ON UNIT PAVING WITH CONCRETE BASE
1:20



- NOTES:**
1. PICNIC TABLE LEGS REFER TO MANUFACTURER SHOP DRAWINGS
 2. PRE-DRILL ASPHALT PRIOR TO UNIT INSTALLATION
 3. UNIT PAVING AS PER SPECIFICATION
 4. 25mm LEVELLING BED OF COARSE SAND
 5. CONCRETE PAD BASE AS PER SPECIFICATION
 6. GRANULAR 'A' BASE COMPACTED AS PER SPECIFICATION
 7. COMPACTED SUBGRADE 98% S.P.D. FOR FILL AREAS, 95% S.P.D. FOR CUT AREAS

7 PICNIC TABLE MOUNTED ON UNIT PAVERS
1:20

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212 Carruthers Avenue, Ottawa

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Scale	1:75
Drawn	SE
Checked	SC
Job No.	24-030
Sheet	L2.0

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