

Committee of Adjustment
Received / Reçu le
2024-02-29
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of
PART OF LOT 38
REGISTERED PLAN 83
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100
4 3 2 1 0 2 4 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 8th day of March, 2021.

April 19, 2021
Date
E. H. Herveyer
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: April 19, 2021

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to
CENTRETOWN CITIZENS OTTAWA CORPORATION (The Client),
their solicitors, mortgagees, and other related parties, permission to use original,
signed, sealed copies of the Surveyor's Real Property Report in transactions involving
The Client.

Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
IB	Iron Bar
SSIB	Short Standard Iron Bar
CC	Cut Cross
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Registered Plan 83
(P2)	Registered Plan 155
(P3)	Plan 4R-31721
(P4)	Plan 5R-11635
(P5)	Plan by (725) dated March 11, 1987
(P6)	Plan by (725) dated June 2, 1977
(P7)	Plan by (JDB) dated August 30, 2016
(P8)	Plan by (1692) dated July 27, 2018
(DI)	Inst. No. N380312
○ MH-ST	Maintenance Hole (Storm Sewer)
○ MH-S	Maintenance Hole (Sanitary)
— OW	Overhead Wires (Sanitary)
— UP	Utility Pole
BF	Board Fence
RWT	Timber Retaining Wall
RWC	Concrete Retaining Wall
RWS	Stone Retaining Wall
∅	Diameter
+65.00	Location of Elevations
+65.00	Location of Curb/Retaining Wall Elevations
C/L	Centreline
—	Property Line
□ GM	Gas Meter
□ HM	Hydro Meter
EI	Elevation
Tp/dn	Top of Foundation
U/Eave	Underside of Eave
A+S	Sign
□ AC	Air Conditioner
Inv.	Invert
○ MP	Metal Post
○	Deciduous Tree
☼	Coniferous Tree

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-11485
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECTION 29 (3).

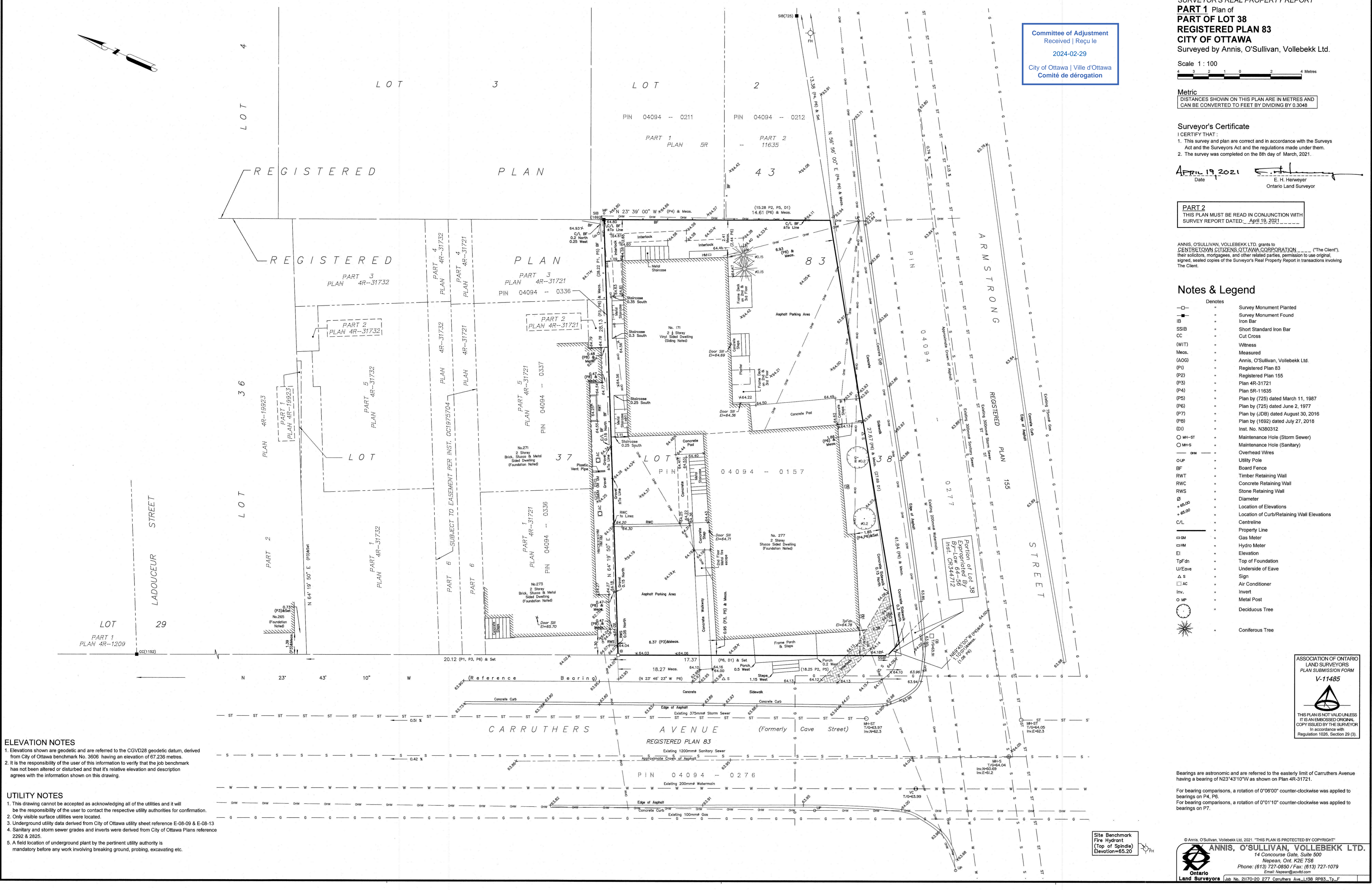
ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum, derived from City of Ottawa benchmark No. 3606 having an elevation of 67.236 metres.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

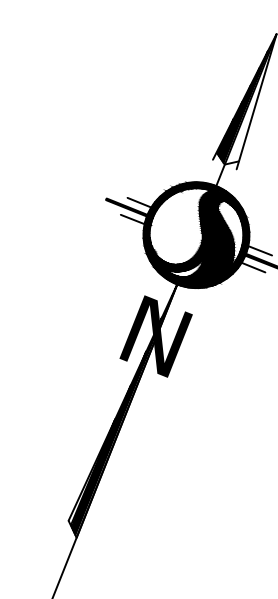
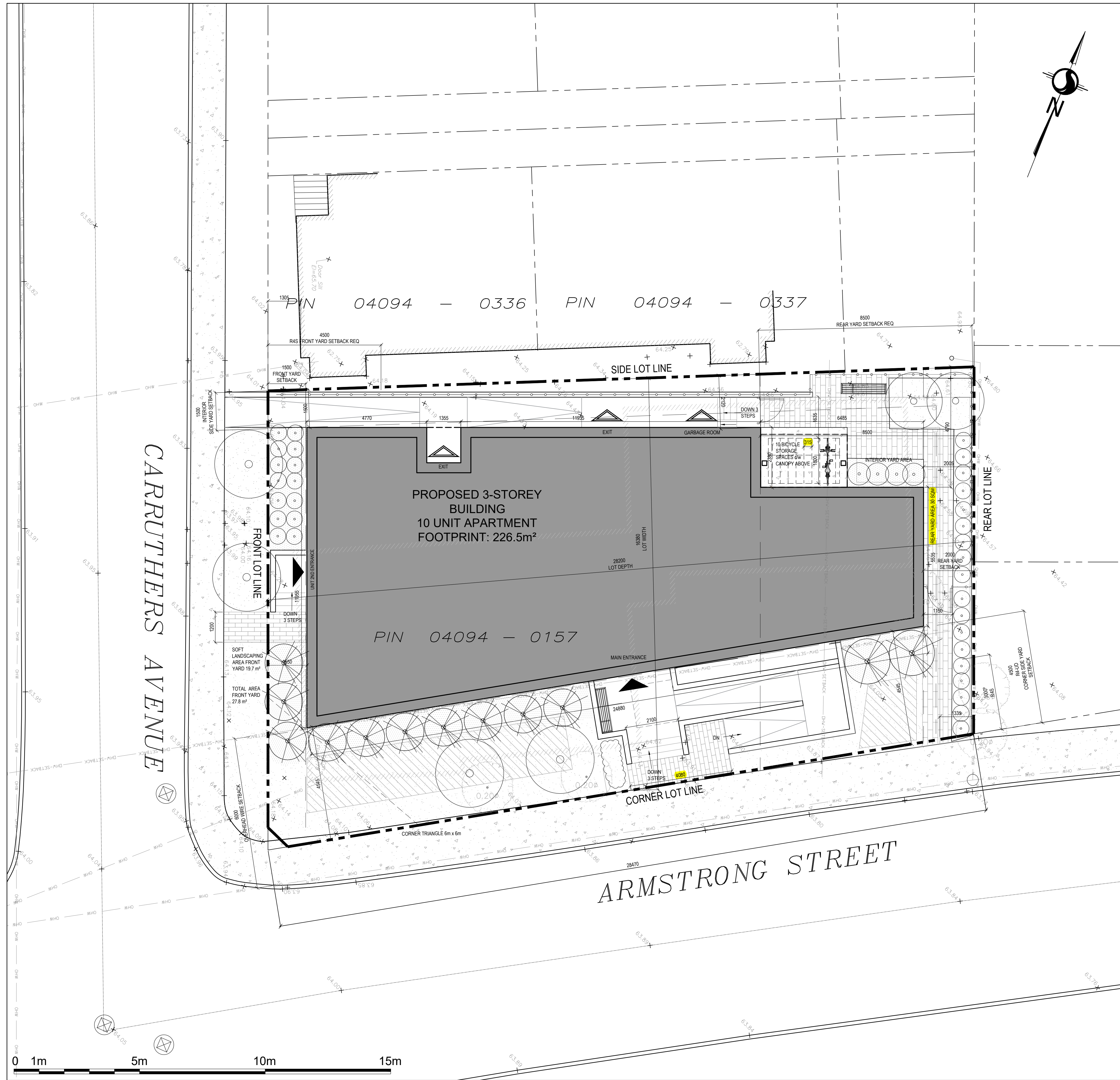
UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference E-08-09 & E-08-13
4. Sanitary and storm sewer grades and inverts were derived from City of Ottawa Plans reference 2292 & 2825.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Bearings are astronomic and are referred to the easterly limit of Carruthers Avenue having a bearing of N23°43'10"W as shown on Plan 4R-31721.
For bearing comparisons, a rotation of 0°08'00" counter-clockwise was applied to bearings on P4, P6.
For bearing comparisons, a rotation of 0°01'10" counter-clockwise was applied to bearings on P7.

Site Benchmark
Fire Hydrant
(Top of Spindle)
Elevation=65.20

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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@aosvl.com
Ontario Land Surveyors Job No. 21170-20 277 Carruthers Ave. L1S8 RP83_Tp_F





KEY PLAN

PROPERTY DESCRIPTION
3 STOREY RESIDENTIAL BUILDING
CITY OF OTTAWA PIN NUMBER: 04094 - 0157
MUNICIPAL ADDRESS: 171 Armstrong St

SITE INFORMATION
LOT AREA: 461m²
LOT FRONTAGE: 28.47m
LOT DEPTH: 28.2m

BUILDING INFORMATION
BUILDING AREA: 226.5m²
BUILDING FLOOR AREA: 906m²
PROPOSED USE: APARTMENT DWELLING, LOW-RISE

UNIT BREAKDOWN:
FIRST FLOOR: 2 UNITS 1-1BD, 1-2 BD
SECOND FLOOR: 3 UNITS 2-1BD, 1-2 BD
THIRD FLOOR: 3 UNITS 2-1BD, 1-2 BD
FOURTH FLOOR: 2 UNITS 1-2 BD, 1-3 BD
TOTAL: 10 UNITS 6-1 BD, 3-2 BD, 1-3 BD

ZONING TABLE	R4UD	REQUIRED	PROPOSED
CITY OF OTTAWA ZONING BY-LAW No. 2008-250			
MINIMUM LOT AREA	450m ²		461m ²
MINIMUM LOT WIDTH	15m		16.4m
HYDRO SETBACK	6m		6m
ROAD WIDENING EASEMENT (ROW)	N/A		N/A
FRONT YARD SETBACK	4.5m		1.5m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m		1.5m
MINIMUM REAR YARD SETBACK	8.5m		1.5m
CORNER SIDE YARD SETBACK	4.5m		4.55m
MAXIMUM BUILDING HEIGHT	14.5m		12.43m
LANDSCAPED AREA	40% TBC		135.5m ² OF 234.5m ² = 58%
LANDSCAPED AREA REAR YARD	50%		14.56m ² OF 29.51m ² = 49%
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment		0
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	N/A		0
AMENITY AREA REQUIREMENTS	N/A		N/A
BICYCLE PARKING SPACES	0.5 per dwelling unit = 5		10

No. Date Événement / Object

- 01/29/2024 COORDINATION
- 01/31/2024 PRECONSULT
- 02/26/2024 VARIANCE APPLICATION

Comité de Adjustment
Received / Reçu le
2024-02-29
City of Ottawa / Ville d'Ottawa
Comité de dérogation

Ingenieur / Engineer
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer
(Structure / Structure)

Architecte / Architect
(paysagiste / Landscape)

Ingenieur / Engineer
(Civil / Civil)

Client / Client

Centretown Citizens Ottawa Corporation

Architecte / Architect
fig. 1
3505, Saint-Antoine O.
Montréal QC H3C 1A0
T. 514 881-9122

fig. 2
190 Somerset St W #206
Ottawa ON K2P 0A4
T. 613 956-6122

www.figur.ca

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Scale / Échelle

Note:
L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et avant immédiatement l'installation de toutes structures ou ornements.
Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Project / Projet

CCOC AFFORDABLE HOUSING

171 ARMSTRONG STREET
OTTAWA, ON

Drawn by / Dessiné par: DD
No. projet / Project number: 2337

Verified by / Vérifié par: ZK
No. dessin / Drawing number: 1.75

Échelle / Scale: 1:75

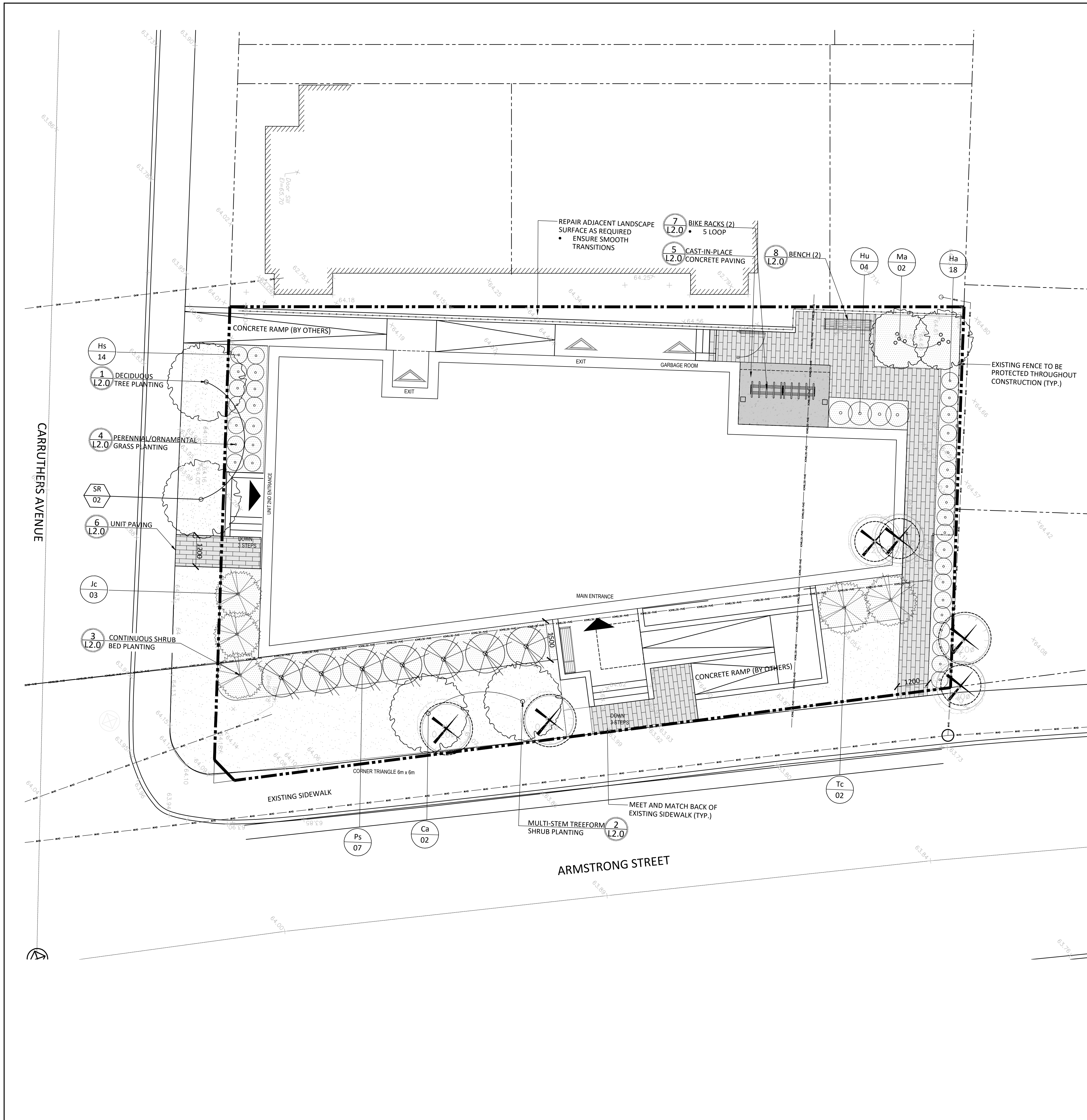
Date de création du dessin / Drawing creation date: 01/26/2024

A010

LEGEND

---	EXISTING BUILDING ELEMENT TO BE REMOVED	□	SOFT LANDSCAPING
-x-x-x-	EXISTING FENCE	□	ASPHALT PAVING
-o-o-o-	NEW BOARD FENCE REFER TO LANDSCAPE	□	RIVERSTONE REFER TO LANDSCAPE
---	LOT LINE	□	UNIT PAVERS REFER TO LANDSCAPE
- - -	SETBACK LINE	□	CONCRETE
▲	DESIGNATED BUILDING ENTRANCE / EXIT	□	SNOW STORAGE AREA
▲	FIRE HYDRANT REFER TO CIVIL	□	
○	CATCH BASIN	□	
○	MANHOLE	□	
○	FLOOR DRAIN	□	
○	UTILITY POLE	□	
○	OVERHEAD UTILITY WIRES	□	
○	LIGHT STANDARD	□	
○	DEPRESSED CURB	□	
○	EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)	□	
○	NEW TREE (REFER TO LANDSCAPE DRAWINGS)	□	
○	NEW BUSH (REFER TO LANDSCAPE DRAWINGS)	□	
○		□	

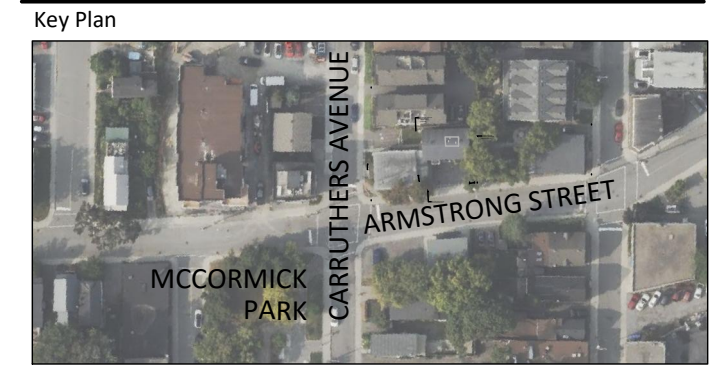
NOTE: 'X' INDICATES EXISTING TO REMAIN



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SMALL DECIDUOUS TREES/TREEFORM SHRUBS - 6M HEIGHT MAXIMUM)					
	2	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	100cm	B&B
SR	2	SYRINGA RETICULATA	JAPANESE LILAC	70mm	B&B
Ca	2	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	150cm	WB
DECIDUOUS SHRUBS					
Ps	7	PHILADELPHUS X 'SNOWBELLE'	SNOWBELLE MOCK ORANGE	3 GAL	POTTED
CONIFEROUS SHRUBS					
Tc	2	TAXUS CUSPIDATA 'NANA'	DWARF JAPANESE YEW	3 GAL	POTTED
Jc	3	JUNIPERUS CHINENSIS SARGENTII 'GLAUCA'	BLUE SARGENT JUNIPER	3 GAL	POTTED
GRASSES/PERENNIALS					
Ha	27	HEMEROCALLIS 'JOAN'S SENIOR'	JOAN'S SENIOR DAYLILY	1 GAL	POTTED
Hs	14	HEMEROCALLIS 'DAD'S BEST WHITE'	DAD'S BEST WHITE DAYLILY	1 GAL	POTTED
Hu	4	HOSTA 'BLUE UMBRELLAS'	BLUE UMBRELLAS HOSTA	1 GAL	POTTED

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



LEGEND

PLANTING

- (Circle with X) EXISTING TREE TO BE REMOVED
- (Circle with dot) PROPOSED SMALL DECIDUOUS TREE/TREEFORM SHRUB
- (Circle with cross) DECIDUOUS SHRUB
- (Circle with vertical lines) CONIFEROUS SHRUB
- (Circle with horizontal lines) PERENNIALS
- (Circle with diagonal lines) SHRUB BED AREA
- (Circle with grid) SOD

SURFACING

- (Solid grey) C.I.P CONCRETE
- (Grid pattern) UNIT PAVING

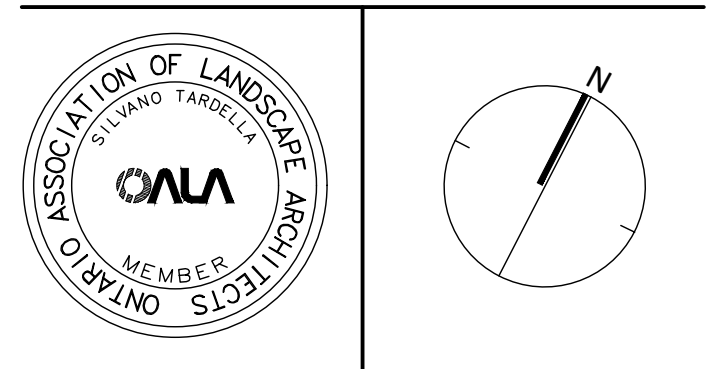
- AMENITIES**
- (Rectangle) BENCH
 - (Square with grid) BIKE RACK
- GENERAL NOTES:**
- ALL MEASUREMENTS IN MILLIMETERS UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWING. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR TO REPORT ALL ERRORS / OMISSIONS TO THE CONTRACT ADMINISTRATOR.
 - REINSTATE / REPAIR ALL DAMAGE TO ADJACENT PROPERTIES OR AREAS TO BE PROTECTED. ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED AND TO BEAR THE COST OF THE SAME.

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No.	Description	Date
2	Issued for City Submission	Feb.28/24
1	Issued for Coordination	Feb.23/24

Revision

City Approval Stamp



NAK
design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345 NAKDESIGNSTRATEGIES.COM
Project

CCOC CARRUTHERS-ARMSTRONG
212 Carruthers Avenue, Ottawa

TREE SOIL VOLUMES

TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (m3/TREE)
ORNAMENTAL	15	9
COLUMNAR	15	9
SMALL	20	12
MEDIUM	25	15
LARGE	30	18
CONIFER	25	15

Title

LANDSCAPE PLAN

Date 2024-02-23 Sheet

Scale 1:100

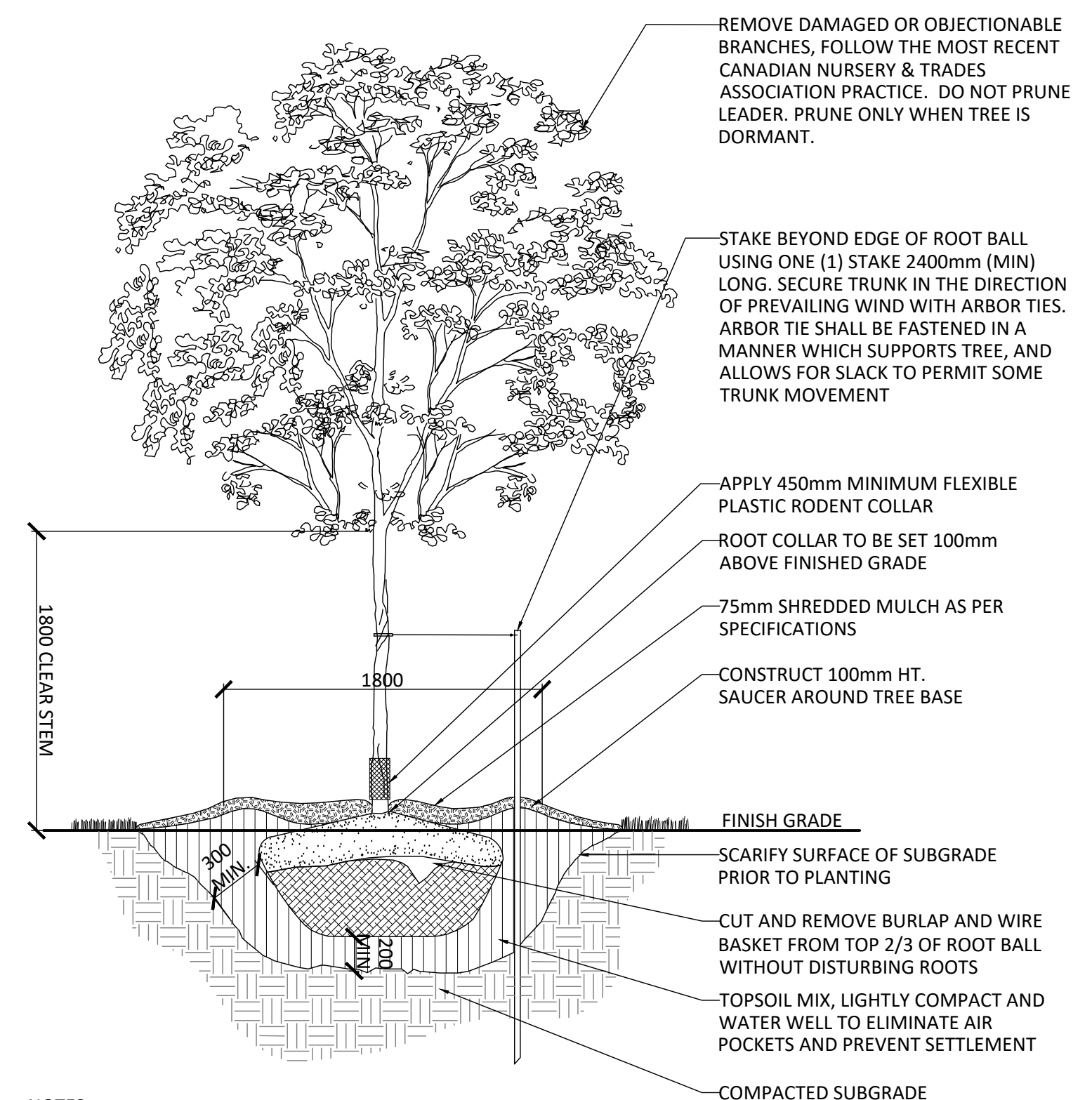
Drawn SE

Checked SC

Job No. 22-154

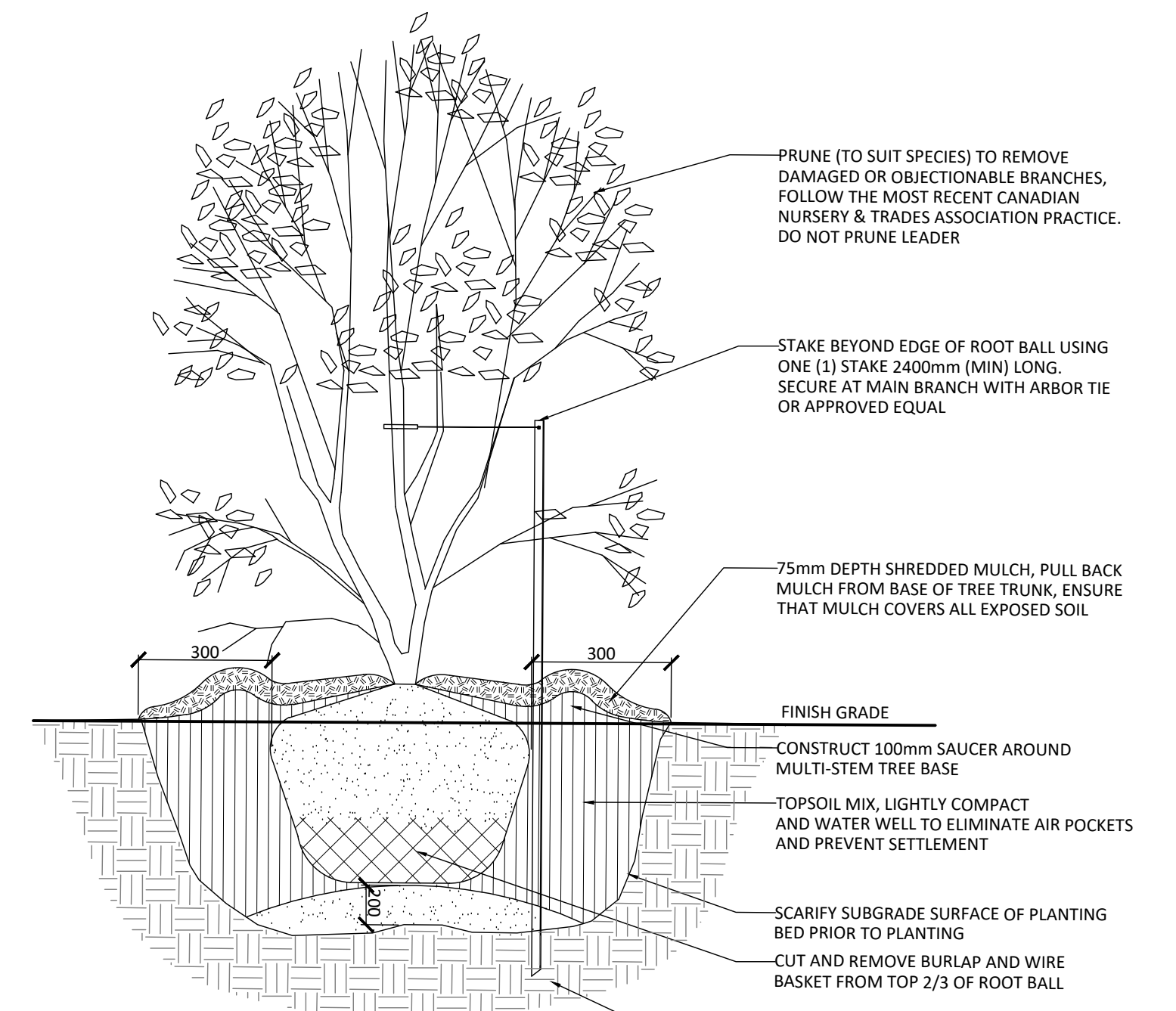
L1.0

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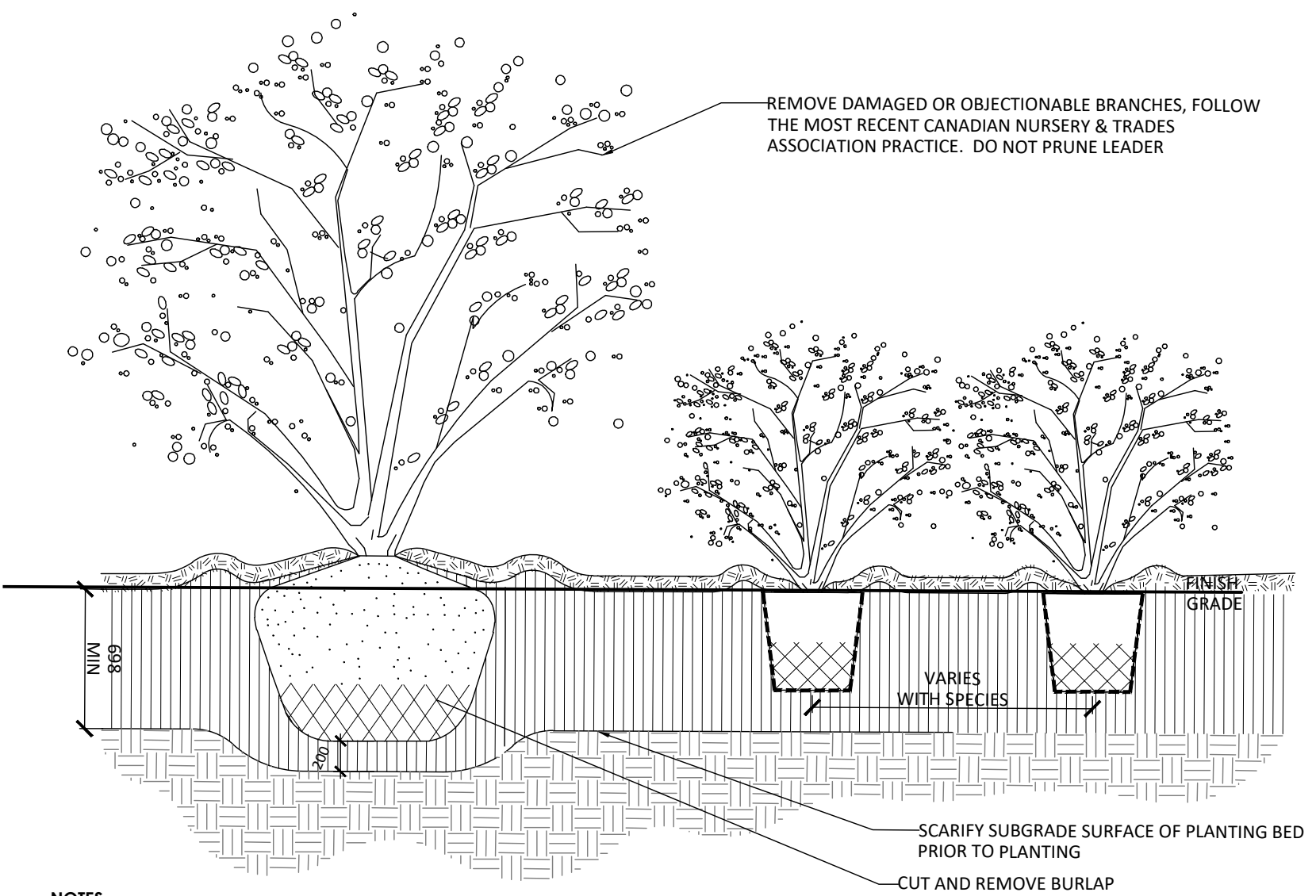
- NOTES:
1. REMOVE STAKE AFTER ONE YEAR OR UNTIL TAKEOVER, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
 2. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION
 3. REMOVE TREE WRAP AFTER PLANTING
 4. CALIPER TO BE MEASURED AT THE BASE OF TREE AT ROOT BALL.

1 DECIDUOUS TREE PLANTING (ONE STAKE W/ARBOR TIES)
1:30



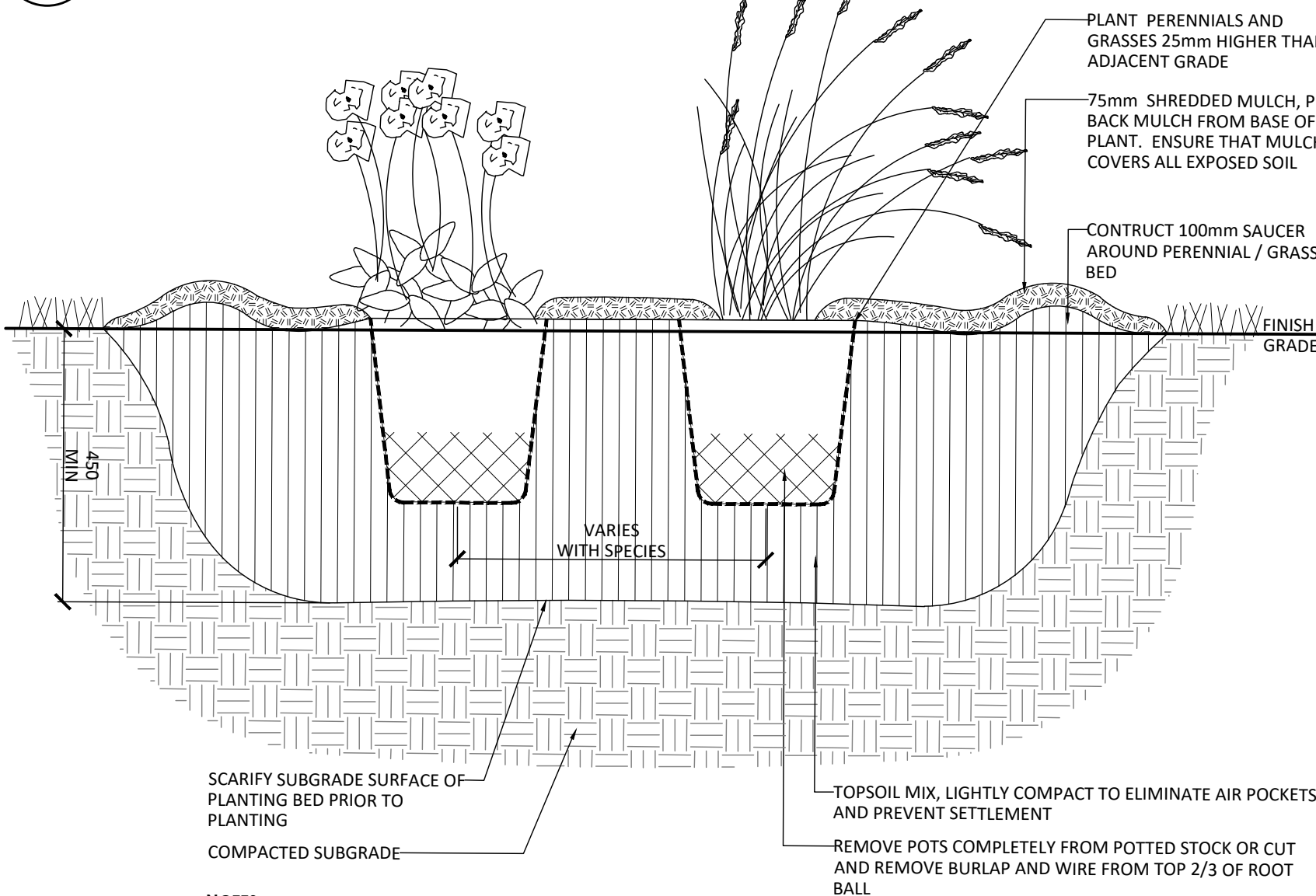
- NOTES:
1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
 2. PROVIDE 100mm HIGH EARTH SAUCER AROUND SHRUB BED.
 3. STAKES TO BE REMOVED AFTER ONE YEAR OR UNTIL TAKEOVER UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

2 MULTI-STEM TREEFORM SHRUB PLANTING (ONE STAKE W/ARBOR TIES)
1:30



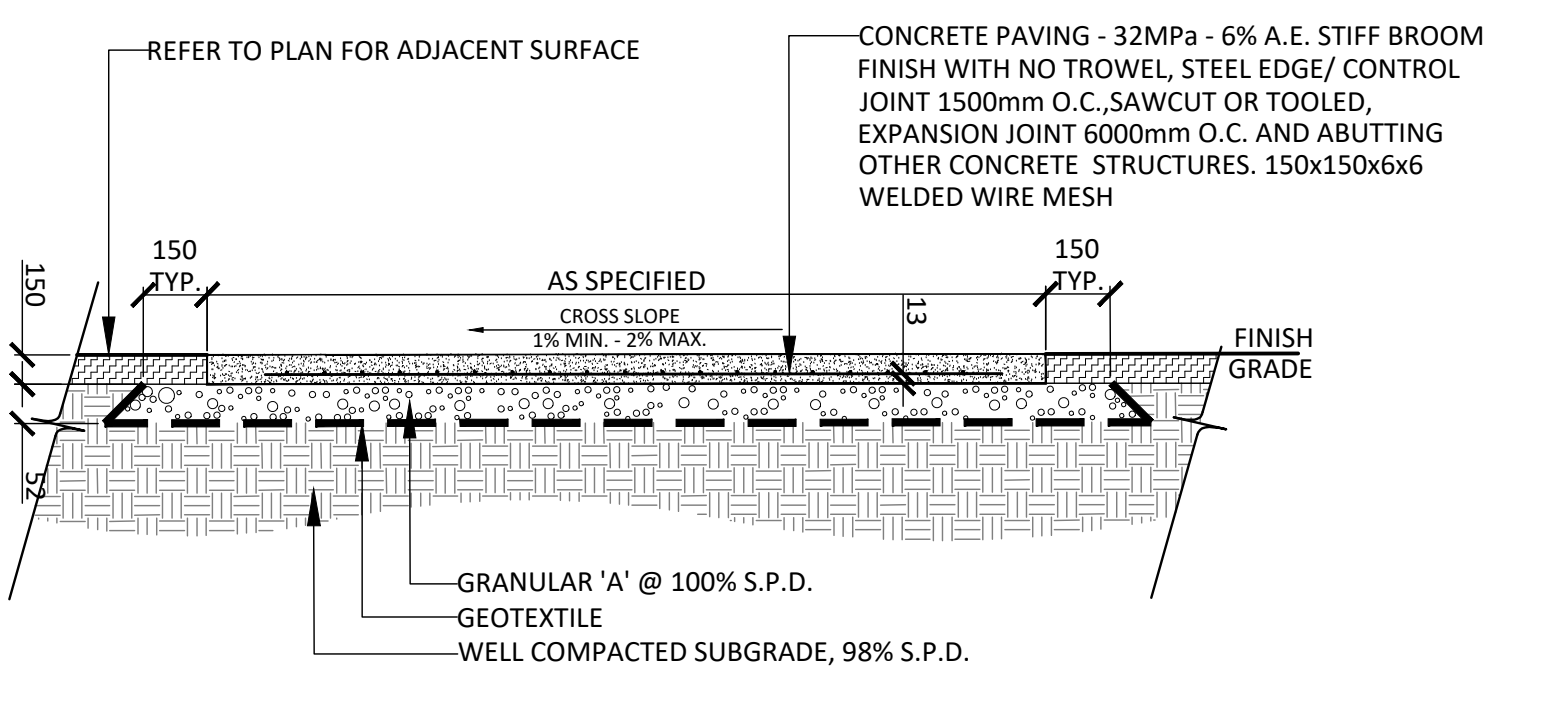
- NOTES:
1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
 2. SHRUBS SPECIFIED BARE ROOT (B.R.) TO BE PLANTED SO THAT ROOTS ARE FULLY EXTENDED IN PLANTING HOLE WITH SOIL MIX BACKFILLED CAREFULLY TO PREVENT ROOT DAMAGE.
 3. PROVIDE 100mm HIGH EARTH SAUCER AROUND SHRUB BED.
 4. STAKES TO BE REMOVED AFTER ONE YEAR OR UNTIL TAKEOVER UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

3 CONTINUOUS SHRUB BED PLANTING
1:30



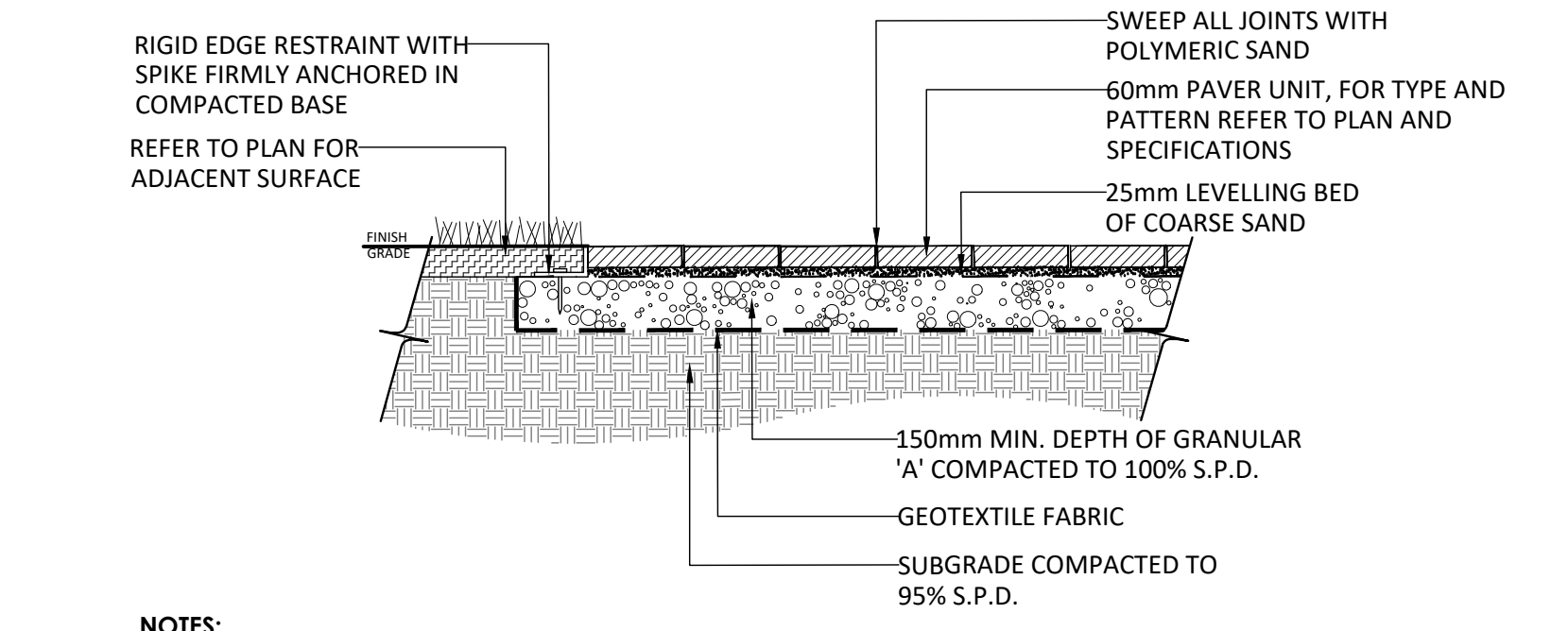
- NOTES:
1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
 2. PROVIDE 100mm HIGH EARTH SAUCER AROUND PERENNIAL/GRASS BED.

4 PERENNIAL AND ORNAMENTAL GRASS PLANTING
1:30



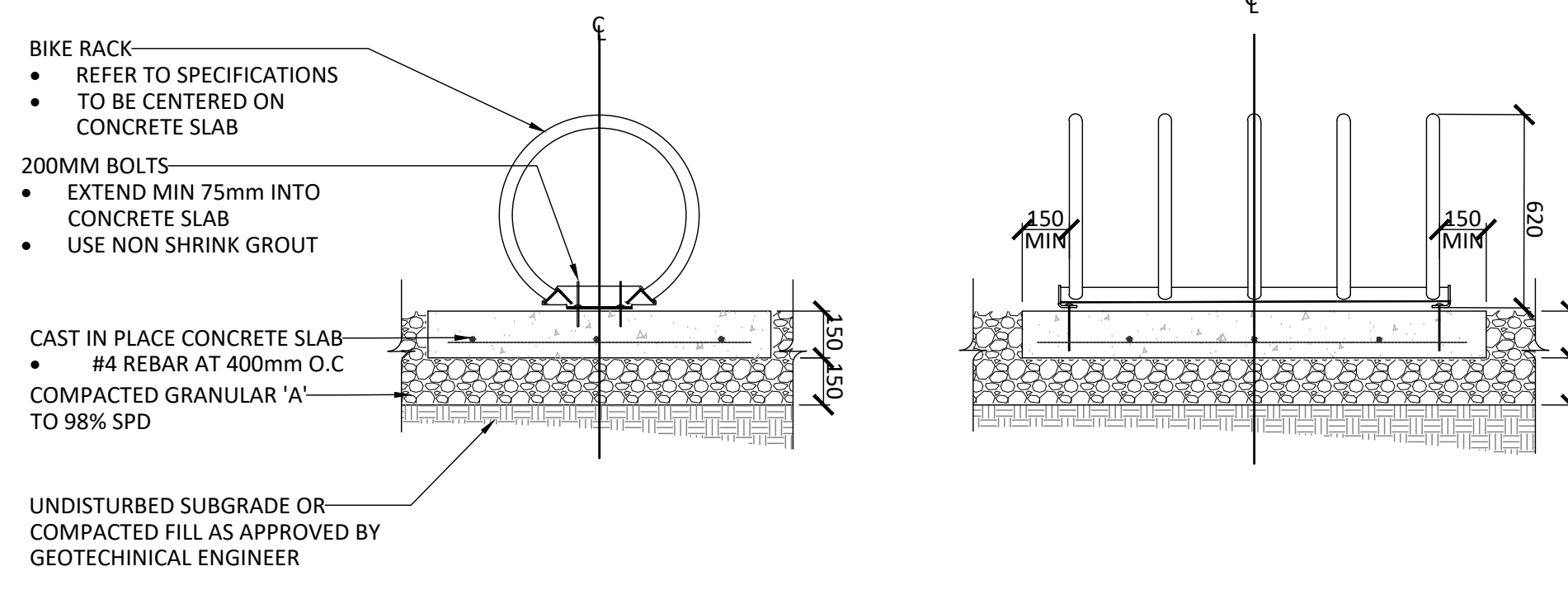
- NOTES:
1. CONCRETE TO BE 32 MPa CLASS C-2 MEETING THE REQUIREMENTS OF S.P. F-3510 AND PLACED IN ACCORDANCE WITH S.P. F-9040. REFER TO SPECIFICATIONS.
 2. GRANULAR 'A' SHALL MEET THE REQUIREMENTS OF OPSS 1010.
 3. APPROVED NON-WOVEN CLASS 1 GEOTEXTILE AS PER MS-22.15 WHEN WARRANTED BY SOIL CONDITION, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.

5 CAST-IN-PLACE CONCRETE PAVING
1:10

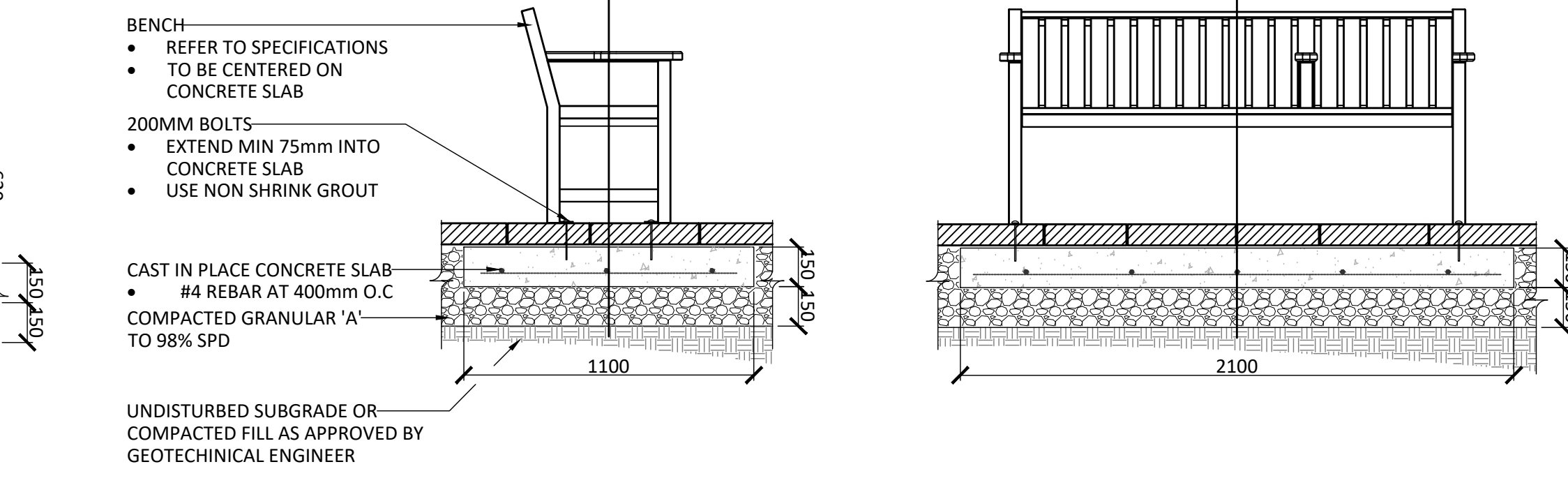


- NOTES:
1. FOR PAVER TYPE REFER TO SPECIFICATIONS. PAVERS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS WITH TIGHT BUTT JOINTS OF APPROXIMATELY 3mm, ON A SAND BASE. SAW CUT PAVERS AS REQUIRED. USE AN APPROVED VIBRATORY COMPACTOR IN A CIRCULAR PATTERN.
 2. ALL DAMAGED OR CHIPPED PAVERS MUST BE REPLACED AT THE CONTRACTOR'S COST.
 3. EXCAVATE AND REMOVE ALL TOPSOIL AND UNSTABLE MATERIALS OFF SITE. SUBGRADE TO BE GRADED TO SIMILAR CONTOURS AS FINISH GRADE. COMPACT SUBGRADE TO 95% S.P.D. PLACE 150mm LAYER OF GRANULAR 'A' COMPACTED TO 100% S.P.D.
 4. PLACE MAXIMUM 25mm UNCOMPACTED SAND FOR LEVELLING COURSE.
 5. INSTALL PAVING UNITS IN THE PATTERN AS SPECIFIED PER MANUFACTURER'S PATTERN RECOMMENDATION AND SPECIFICATIONS.
 6. RETAIN EDGING WITH RIGID PAVER EDGE RESTRAINTS AS PER SPECIFICATIONS.

6 LIGHT DUTY UNIT PAVING
1:20

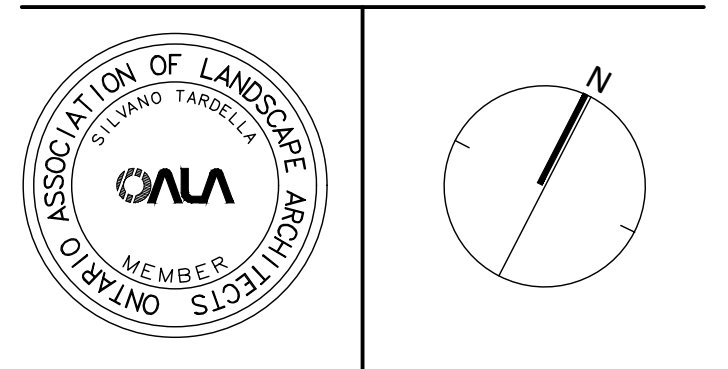


7 BIKE RACKS MOUNTED ON CONCRETE PAVING
1:20



8 BENCH MOUNTED ON UNIT PAVERS
1:20

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T 613.237.2345 NAKDESIGNSTRATEGIES.COM

CCOC CARRUTHERS-ARMSTRONG
212 Carruthers Avenue, Ottawa

Title	DETAILS
Date	2024-02-23
Scale	1:100
Drawn	SE
Checked	SC
Job No.	22-154
Sheet	L2.0

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