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**TO: Chair and Members of the Planning and Housing Committee, Agriculture and Rural Affairs Committee and Transportation Committee**

**DESTINATAIRE: Président et membres du Comité de la planification et du logement, Comité de l'agriculture et des affaires rurales et du Comité des transports**

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**DATE: March 12, 2024**

**12 mars 2024**

**FILE NUMBER: ACS2024-PRE-GEN-0003**

**SUBJECT: Planning, Real Estate and Economic Development Department 2023  
Delegated Authority Report**

**OBJET: Rapport sur les pouvoirs délégués de 2023 de la Direction générale de la  
planification, de l'immobilier et du développement économique**

## **PURPOSE**

The report updates Agricultural and Rural Affairs Committee and Planning and Housing Committee on key activities for Planning, Real Estate, and Economic Development (PRED) in 2023.

## **EXECUTIVE SUMMARY**

In 2023, Planning Services received a total of 908 planning applications, excluding City-initiated applications. This is a 16 per cent decrease from 2022. Planning Services received 362 Pre-Application Consultation Files. Planning Services also processed seven applications under the new Bill 109 timelines, issuing no refunds in 2023.

A large component of the operational work of the Right of Way, Heritage and Urban Design service area is right of way inspections, utility circulations, permits and agreements including the review related to private approaches, road cut permits, utility circulations, and encroachments. There were approximately 1293 utility circulations in 2023. In 2022 the branch experienced a higher-than-average volume, therefore the slight decrease in 2023 is consistent with previous years. The service area issued 3422 road cut permits and released a record high of \$197,494,968.26 in development securities to applicants upon completion of required development-related infrastructure works.

The contents within this report details each of the highlights previously mentioned and provides update of PRED's work in 2023.

## **BACKGROUND**

The purpose of this report is to provide a list of actions undertaken under delegated authority and information on key activities to Planning and Housing Committee and Agriculture and Rural Affairs Committee for Planning Services, Economic Development and Long Range Planning, Building Code Services, and Right of Way, Heritage and Urban Design Services in 2023. Included are applications reviewed under Delegation of Authority. This report is intended to provide accountable performance measurements to Committee, the public, and the development industry.

## **DISCUSSION**

Highlights of Planning Services, Economic Development and Long Range Planning and Right of Way, Heritage and Urban Design Services, activities in 2023.

## Planning Services

Planning Services provides comprehensive development approvals, from the initial pre-consultation meetings to the processing of Official Plan amendment, Zoning By-law amendment, Plan of Subdivision, and Site Plan Control applications, as well as other applications under the *Planning, Municipal and Condominium Acts*.

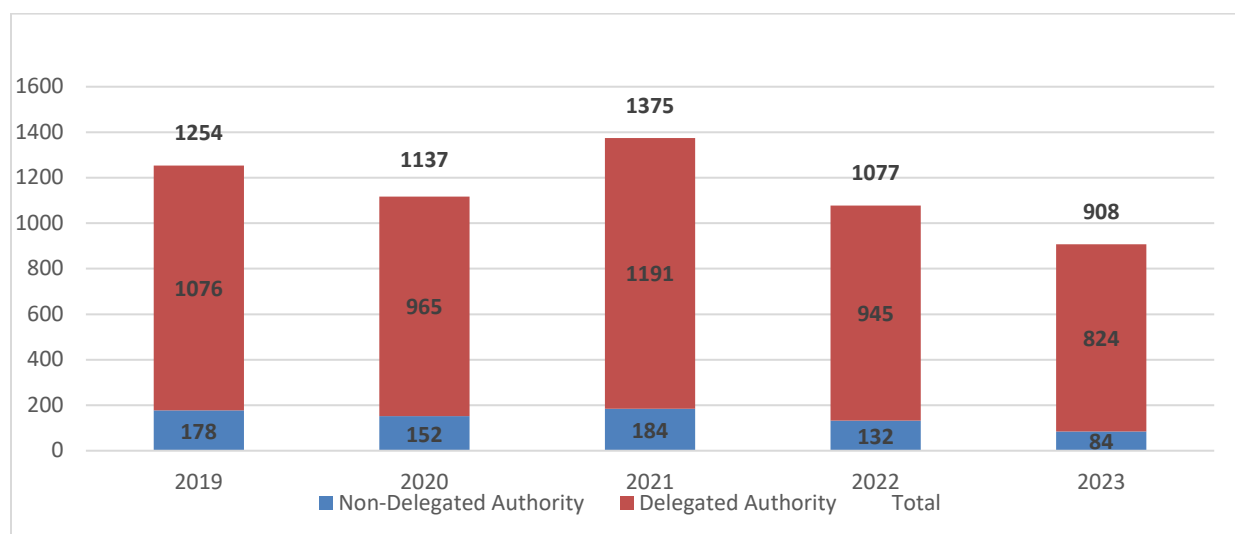
As of July 1, 2023, Bill 109 and its timelines have been in force. The province's Bill 109 introduced new legislative timelines for the processing of Site Plan Control and Zoning By-law Amendment applications. Site Plan Control now has a requirement of issuing an approval within 60 days while the City has 90 days to make a decision on Zoning By-law Amendment applications. Should the City not meet these timelines, refund of development application fees would be issued.

### Development Applications Overview

In 2023, Planning Services received a total of 908 planning applications, excluding City-initiated applications. This is a sixteen per cent decrease from 2022 and a thirty-four per cent decrease over 2021 numbers. As illustrated in Figure 1, the number of both Delegated Authority and Non-Delegated Authority applications decreased over previous years.

Highlights of Planning Services, Economic Development and Long Range Planning and Right of Way, Heritage and Urban Design Services, activities in 2023.

**Figure 1: Total Planning Applications Received in 2023**



Of the 908 applications received in 2023, 824 were under Delegated Authority to various levels of staff. Within the five Development Review areas, the Central area received the greatest number of Delegated Authority applications with 230 submissions. The South, West, Rural and East areas received 155, 174, 127 and 138 submissions respectively. In total, 84 Non-Delegated Authority applications were received in 2023: 21 in Central, 18 in West, 7 in South, 18 in Rural and 20 in East. Table 1 provides the number of application submissions received by file type.

**Table 1: Applications Received by Type in 2023**

<b>Delegated Authority</b>		<b>Non-Delegated Authority</b>	
<b>Application Type</b>	<b>Total</b>	<b>Application Type</b>	<b>Total</b>
30 CM Reserve	26	CIP Grant	0
Antenna System Review	1	Demolition Control	3
Historical Land Use Inv.	164	Front Ending Application	2
Lifting of Holding Zone	8	Official Plan Amendment	11
Part Lot Control	34	Zoning By-law Amendment	68
<b>Application Type</b>	<b>Total</b>	<b>Application Type</b>	<b>Total</b>
Plan of Condominium	16	<b>Grand Total:</b>	<b>84</b>
Plan of Subdivision	17		
Pre-App Consultation	362		
Site Plan Control	126		
Street/Lane Closure	5		
Street/Lane Opening	2		
Streetscape Char Analysis	63		
<b>Grand Total:</b>	<b>824</b>		

## Pre-Consultations

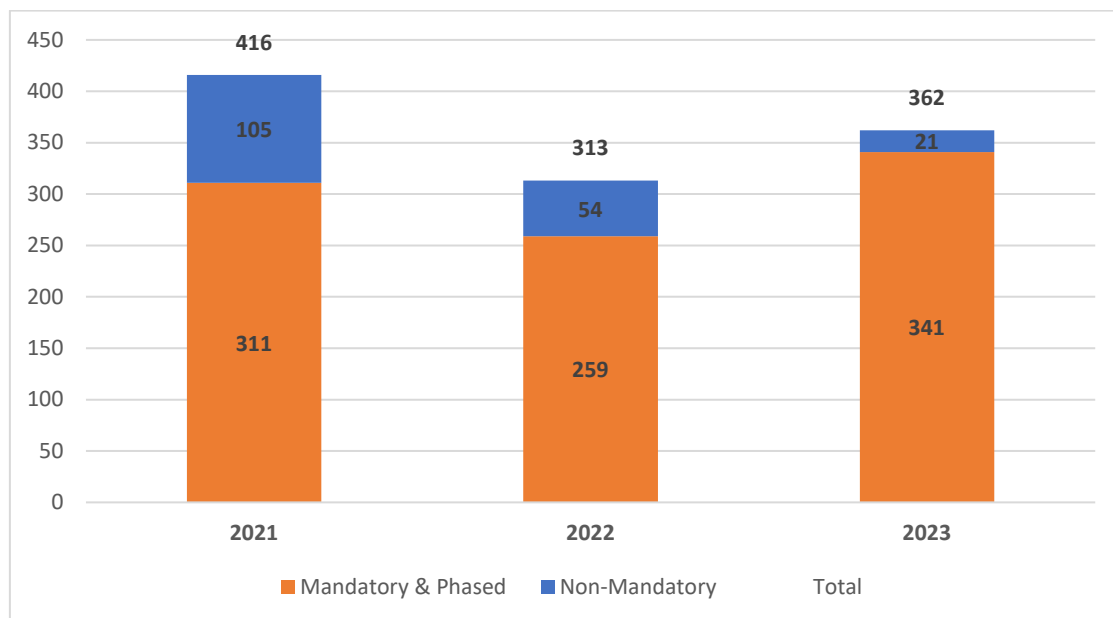
The pre-consultation process is designed to help promote the exchange of information and development considerations early in the planning process. A key outcome of this process is a customized list of the studies and plans required in support of a development application, as well as preliminary comments on the proposal information provided. Topics for discussion may include land use policies and guidelines, zoning information, public consultation, transportation and engineering requirements, development review, application fees, and other issues.

Prior to July 1<sup>st</sup>, 2023, pre-consultations fell into two categories: mandatory and non-mandatory. Mandatory pre-consultations were restricted to several application types including Official Plan amendment, Zoning By-law amendment, Plan of Condominium, Plan of Subdivision, Antenna Systems, and Site Plan Control applications that are subject to public consultations.

Since the implementation of Bill 109 on July 1, 2023, Site Plan Control and Zoning By-law Amendments have been subject to a multi-phased pre-consultation process to ensure the documentation is adequate for the official review of the application by Staff, timed by the province.

A comparison of mandatory/phased versus non-mandatory pre-consultation requests received over the past three years is provided in Figure 2 and Table 2.

**Figure 2: Pre-consultation Files Received 2021-2023**



**Table 2: Pre-consultation Files Received 2021-2023**

Year	Total Number Received	Mandatory	Non-Mandatory	Development Application Submitted	Pre-Consultation Period Lapsed	Phase 1	Phase 2	Phase 3
2021	416	311	105	203	213	N/A	N/A	N/A
2022	313	259	54	115	190	N/A	N/A	N/A
2023	362	130	21	*	*	129	32	50

\* Numbers will be reported in Q1 2025.

In 2022, of the 259 mandatory files received, 100 resulted in a development application being submitted which accounts for 39 per cent. Non-mandatory pre-applications resulted in the submission of 15 applications, or 28 per cent of submissions for the same year. Development applications resulting from pre-consultations received in 2023 will be reported on in the 2024 annual report, as the timeline to submit is still open.

### **Application Approval Timelines Overview**

Despite the shortening of the timelines to Site Plan Control (60-calendar-days to approve) and Zoning By-law Amendment files (90-calendar-days), as well as the addition of timelines to Phased Pre-consultation files, the majority of applications approved in 2023 were on time or within 30 days of the Council approved timeline. All the timelines reported below are measured from the date the application is deemed complete for review and do not include the time the application was “on hold”. Applications are placed “on hold”, also known as “file pending”, after staff provide review comments and note the requirements for resubmissions. While applications are pending, staff may continue working with the applicant to provide clarifications and resolve identified issues. Timelines continue once a satisfactory resubmission is provided. Note, that with the implementation of Bill 109 Site Plan Control and Zoning By-law Amendment files can no longer be placed on hold at any point once the review process has begun. Processing timelines for the five major application types, Site Plan Control, Zoning By-law Amendment, Plan of Subdivision, Plan of Condominium, and Official Plan Amendments, are as detailed below.

### Site Plan Control Applications Processing Timelines

A combined total of 126 Site Plan Control applications were received in 2023, which accounts for 15 per cent of all Delegated Authority applications. In addition, 58 Site Plan Control applications were processed and approved in 2023 as depicted in Table 3. Timelines are measured from the date the application is deemed complete (adequate) for review to when a decision has been made.

**Table 3: Site Plan Control – All Types**

Site Plan Control Subtype	On/Before Target	On/Before Target and Within +30 Days from Target	Total Number Processed
<b>Complex/Master/Complex Revision</b>	Processing Time Target: 133 days/ 60 days as of July 1 <sup>st</sup> , 2023		
2023	15%	24%	71
2022	16%	25%	55
2021	27%	30%	33
<b>Complex/Master/Complex Revision</b>	Processing Time Target: 133 days/ 60 days as of July 1 <sup>st</sup> , 2023		
2020	27%	45%	22
<b>Standard/Standard Rural</b>	Processing Time Target: 105 days/ 60 days as of July 1 <sup>st</sup> , 2023		
2023	27%	31%	26
2022	12%	24%	17
2021	28%	48%	29
2020	17%	50%	12
<b>Extension/Extension Rural and Revision/Revision Rural</b>	Processing Time Target: 42 days for Extension, 100 days for Revision/ 60 days as of July 1 <sup>st</sup> , 2023		

2023	84%	91%	44
2022	42%	58%	19
2021	69%	75%	16
2020	88%	94%	17
<b>Rural Small</b>	Processing Time Target: 105 days/ 60 days as of July 1 <sup>st</sup> , 2023		
2023	50%	50%	8
2022	60%	70%	10
2021	60%	80%	10
2020	100%	100%	8
<b>Other Types*</b>	Processing Time Target: 42 days for Sandy Hill, 74 days for Manager Approval with Public Consultation		
2023	0%	0%	2
2022	0%	0%	17

\*Other Types includes subtype Sandy Hill > 350 square metres (2), and two application types retired in 2019 – Manager Approval with Public Consultation (10) and Revision, Manager Approval without Public Consultation (1)

### **Zoning By-law Amendment Applications Processing Timelines**

A total of 68 Zoning By-law amendment applications are received in 2023. This constitutes 81 per cent of all non-delegated planning applications received in 2023.

Table 4 shows timelines for processing Zoning By-law amendment applications from the day they are deemed complete (adequate) to when they are considered by Council. The target timeline for Zoning By-law amendments was 120 days and was updated to 90 days on July 1<sup>st</sup>, 2023 due to the implementation of Bill 109.



**Table 4: Zoning By-law Amendments**

Year	On/Before Target	On/Before Target and Within +30 Days from Target	Total Number Processed
2023	41%	52%	94
2022	32%	46%	101
2021	40%	56%	96

**Plan of Condominium Applications Processing Timelines**

A total of 16 Plan of Condominium applications were received in 2023, which accounts for two per cent of all delegated planning applications.

Table 5 shows the timelines for processing Condominium applications, from the day they are deemed complete, to when they are approved. In those cases where a Site Plan Control application is submitted concurrently with a Plan of Condominium, the target timeline is 180 days. All other Condominium applications have a target time of 49 days for approval.

**Table 5: Plan of Condominiums**

Year	On/Before Target	On/Before Target and Within +30 Days from Target	Total Number Processed
2023	44%	61%	18
2022	13%	38%	8
2021	45%	72%	11

**Plan of Subdivision Applications Processing Timelines**

A total of 17 Plan of Subdivision applications were received in 2023, consisting of two per cent of all delegated planning applications. It should be noted that a Plan of Subdivision Application is one of the most complex types of applications and typically takes a significant amount of effort and resources to review and solve issues. It is also

important to note that staff have delegated authority to revise, clarify or change conditions of a draft approved Plan of Subdivision. Due to the complexity of these applications and the refinement that takes place between draft approval and subdivision registration, revision of conditions occurs for almost all applications.

Table 6 shows the timelines to process and approve Plan of Subdivision applications. The target timeline was 180 days and has been updated to 120 days due to Bill 108, which received royal assent in 2019.

**Table 6: Plan of Subdivisions**

Year	On/Before Target	On/Before Target and Within +30 Days from Target	Total Number Processed
2023	30%	45%	20
2022	57%	57%	14
2021	57%	62%	21

### **Official Plan Amendment Application Processing Timelines**

A total of 11 Official Plan Amendment applications were received in 2023, consisting of thirteen percent of all non-delegated authority applications. Table 7 shows the timelines to process and approve Official Plan Amendment applications. The target timeline is 120 days.

**Table 7: Official Plan Amendments**

Year	On/Before Target	On/Before Target and Within +30 Days from Target	Total Number Processed
2023	50%	50%	6
2022	29%	36%	14
2021	43%	64%	14

## **Processing Timelines of Other Types of Applications**

For application types other than specified above, most applications received in 2023 are already processed since those types of applications are relatively simple in nature.

The Guaranteed Approval Timeline Initiative (GATI) is a commitment of Planning Services to render a decision for five types of minor development applications within the Council approved timeline, or else the applicant's next application of that type will be free of charge. Due to challenges related to COVID, the GATI was interrupted in 2020 and 2021. In 2023, 79 per cent of applications subject to GATI were approved on-time.

### **Bill 109 Timeline monitoring**

Since July 1, 2023, Site Plan Control and Zoning By-law Amendments have been subject to a multi-phased pre-consultation process to ensure the documentation is adequate for the official review of the application by staff, timed by the province.

The intent of phase 1 of pre-consultation is for the applicant to present their development concept to staff and for staff to provide clear and high-level feedback on its consistency with the Official Plan and provincial policy statement.

The intent of phase 2 of pre-consultation is for applicants to present a revised concept, if they have refined their phase 1 proposal with changes to design, density or uses.

The intent of phase 3 of pre-consultation is for the document review by staff of the applicant's completed information and materials as detailed in the 'Study and Plans Identification List' provided in the phase 1 and/or phase 2 pre-consultation process. Submitted information and materials are reviewed against the City's Terms of References or Guidelines to ensure they are:

- complete
- consistent with one another
- meeting the criteria
- contain enough information to allow a proper application processing during the provincially timed "Official Review".

All applications timelines for the Official Review (timed by the province) have been met. For pre-consultation, while we are meeting our 21-calendar day target roughly a third of the time, we complete them within 30-calendar-days more than 80 per cent of the time.

Presented below in Table 3 and 4 is Bill 109 application data that demonstrates the number of submissions for pre-consultation and official review process, and the

timelines by which those submissions were taken through the process. In completing the analysis of the data, several themes have emerged that provide additional context to the numbers presented below.

- Learning: Staff have a learning curve in adapting to this new process, in effect since July 1, 2023. Some of the decisions made by staff, learning to use the new process have led to longer timelines. As staff gain experience with the process and new tools and documentation clarifying the process are developed, we expect to see a lower impact of this factor over time.
- Flexibility: Staff strive to be efficient with their time and the applicants, and in an effort to do so, sometimes negatively impact the new process timelines. For example, there have been instances where applicants were permitted to resubmit documentation, which extended the timelines. The process was clarified so that instead, the applicant would apply for a second phase 3 to ensure the applicant meets timeline parameters.
- Scheduling conflicts: Staff have been directed to prioritize pre-consultation meetings and in instances where they will not be able to make the meeting, their written comments must be shared with the file lead in advance. The challenge in scheduling a meeting occurs when the applicant is not available to meet within the target timeline. Staff have accommodated this, at the expense of meeting timelines. Staff will look to find a mechanism to capture this applicant caused delay in the future.
- Complexity of the files: in certain instances, planning and engineering issues that are complex to resolve cause some delay as staff need to further assess the implications of the proposal.
- Staffing – the hiring process and onboarding for the staff members that were approved as part of the Provincial Resources Impact Report is complete.

Since the implementation of Bill 109 on July 1<sup>st</sup>, 2023, Planning Services has received a total of **235** planning applications, excluding Site Plan Extension applications.

**Table 8: Applications Received by Type:**

<b>Bill 109 Applications</b>		
<b>Application Type</b>	<b>Applications Received</b>	<b>Total applications that completed the process</b>
Pre-App Consultation	211	166
Site Plan Control	7	2
Zoning By-law Amendment	17	5
<b>Grand Total:</b>	<b>235</b>	<b>173</b>

The difference between the received and complete column is that on some occasions, the applicant had not submitted a concept plan or payment, and the applicant has not followed up.

Please note that Zoning By-Law Amendment Farm Severance files do not require a pre-consultation.

**Table 9: Completed Pre-consultation, and development application submitted:**

Total Number of complete pre-applications	Phase 1	Phase 2	Phase 3	Development Applications Submitted for Official Review to date
166	109	24	33	18

The difference between phase 2 and phase 3 is because some applications were exempted from that phase because the application had not substantially changed since phase 1.

**Table 10: Pre-consultation Timelines, by the numbers:**

Pre-Application Phase	On or before 21-calendar-day target	Over 22 days, and under 30 days	Over 31 days, and under 60 days	Over 61 days, and under 90 days	Total
Phase 1	31	67	9	2	109
Phase 2	6	14	3	1	24
Phase 3	12	17	3	1	33
<b>Total</b>	<b>49</b>	<b>98</b>	<b>15</b>	<b>4</b>	<b>166</b>

**Table 11: Pre-consultation Timelines, by percentages:**

Pre-applications	On or before 21-calendar-day target	under 30-calendar-days	Total Processed
Phase 1	28%	90%	109
Phase 2	30%	83%	24
Phase 3	36%	88%	33

**Table 12: Pre-consultation that turned into Application Submission subject to provincial timelines – Site Plan Control**

Site Plan Control	Phase 1 /mandatory pre-consultation	Phase 2	Phase 3	Total Number of adequate applications for Official Review	Total approved Applications
Revision Rural	0	0	1	1	1
Revision Standard	1	0	1	1	1
Standard	1	0	0	1	0
<b>Total</b>	<b>2</b>	<b>0</b>	<b>2</b>	<b>3</b>	<b>2</b>

**Table 13: Pre-consultation that turned into Application Submission subject to provincial timelines – Zoning By-law Amendment**

Zoning By-law Amendment	Phase 1 /mandatory pre-consultation	Phase 2	Phase 3	Total Number of adequate applications for Official Review	Total approved Applications
Farm Sever (pre-consultation not required)	0	0	2	7	2
Minor	3	0	5	6	3
Major	0	1	3	2	0
60-Day Re-Application	0	0	0	0	0
<b>Total:</b>	<b>3</b>	<b>1</b>	<b>12</b>	<b>15</b>	<b>5</b>

### Additional Items Under Delegated Authority

Under delegated authority, staff can also approve other planning applications in addition to the most common ones as noted previously herein. For 2023, the following approvals and release of easements were approved under delegated authority:

- Street Opening applications: two

The following table details the amount of park land that was conveyed to the City as part of agreements registered in 2023:

APPLICATION NUMBER	PARKLAND CONVEYED (m2)	WARD	Development Review AREA
D07-12-20-0184	6,200	Ward 19	East
D07-12-20-0188	772	Ward 11	East
D07-12-21-0123	1,693	Ward 12	Central

D07-12-22-0097	1,210	Ward 22	South
D07-12-22-0176	232.9	Ward 18	South
D07-16-13-0036 PH2	93,170	Ward 6	West
D07-16-20-0015	21,308	Ward 3	South
D07-16-20-0018	41,590	Ward 22	South
D07-16-17-0032, Ph 2	24,570	Ward 22	South
D07-16-17-0017 Phase 3	25,018	Ward 21	Rural
Total Land Conveyed	215,764		

### **Economic Development and Long-Range Planning (EDLRP)**

In 2023, the Economic Development and Long Range Planning team had a number of challenges and highlights. From the Official Plan team, the main story was the repealing of the provincially approved New Official Plan, through Bill 150 re-introducing the official plan that was sent in for approval in 2021. In addition to responding to these provincial amendments, the Official Plan Section also delivered an omnibus Official Plan amendment for policy modifications requiring correction and clarifications that the Minister did not make through his approval of the Official Plan, and other updates since approval.

The key focus of the Zoning Unit was the continued preparation of the massive project to produce a new Zoning By-law, including release of discussion papers in Q1 2023 and “behind the scenes” work on developing a new digital mapping framework in collaboration with GATS to improve workflow. The Interpretation Unit continued its work in supporting development review application processes, assisting Planning Services with bringing forward new by-laws in support of zoning and other development approvals applications, and facilitating the legal nonconforming by-law review process. Additionally, the Zoning Unit also supports the cannabis retail commenting process and the group home minimum distance separation process alongside Building Code Services.

EDLRP had the following highlights:

- Drafted 138 zoning by-law amendments and produced four omnibus zoning reports, and one omnibus Official Plan amendment



- Received eight retail applications
- Processed two non-conforming applications

### **Cannabis**

A total of eight Cannabis applications were received by staff in the Zoning and Intensification Unit in 2023. Objections from the city focus on four key principles: prevention of clustering, separation from sensitive sites, where retail is a permitted/principal use, and additional local issues.

### **Bird-Safe Design Guidelines**

City staff continue to implement the guidelines through public and private development projects. In 2023, almost 70 Site Plan Control applications were reviewed for bird-safe measures. Of those files:

- 13 submissions acknowledged and/or explicitly incorporated bird-safe measures in their designs
- 30 submissions posed potential risks to birds and met the approved criteria for application of the guidelines; their designs could therefore be mitigated through the use of conditions of approval
- 25 submissions did not meet the approved criteria for application of the guidelines, or were not considered to pose a significant threat to birds through their design (e.g., warehouses without expansive office windows)

### **Fence-viewers**

Fence-viewers are part of a dispute resolution procedure between the owners of adjoining properties:

- Where no fence currently exists at the boundary between the two properties, and one owner wants a new fence to be constructed to mark the boundary
- Where a line fence already exists, and one owner believes that it needs to be reconstructed or repaired

The City last appointed Fence-viewers in 2019 (By-law 2019-415).

## **Livestock Valuers**

In 2023, the Director of EDLRP appointed three new municipal investigators (livestock valuers).

## **Community Environmental Projects Grant Program (CEPGP)**

In 2023, the City executed 22 CEPGP Contribution Agreements and provided funding to the following non-profit organizations:

- Ottawa-Carleton District School Board
- Community Wellness Living Centre Canada Inc.
- Rideau Waterway Land Trust
- Kanata Muslim Association
- Water Rangers
- CAFES
- Glebe Community Association
- Capacity Building Institute
- Biodiversity Conservancy International
- Fisher Heights and Area Community Association
- Ottawa Valley Wild Bird Care Centre
- Overbrook Community Association
- Sustainable Eastern Ontario Network
- Rideau-Rockcliffe Community Resource Centre
- Just Food Ottawa
- The Incorporated Synod of the Diocese of Ottawa
- Riverview Park Community Association
- Goulbourn Museum
- Ottawa Catholic School Board
- Tree Fest Ottawa Inc.

- University of Ottawa
- Alta Vista Community Association

The deadline to submit applications to the Community Environmental Projects Grant Program (CEPGP) in 2023 was March 31, 2023. The CEPGP budget increased from \$52,000 to \$102,000 in 2023, which led to an increase in the number of projects that were successful in obtaining funding.

### **Heritage Planning**

A total of 27 heritage reports were prepared by staff in the Heritage Planning branch for consideration by the Built Heritage Committee and City Council in 2023.

Of these 27 reports, 14 were related to alterations, demolitions or new construction of buildings designated under either Part IV or Part V of the Ontario Heritage Act. There were six reports related to the designation of properties under Part IV of the Ontario Heritage Act. There were annual reports related to the Heritage Register and the use of Delegated Authority under the Ontario Heritage Act in 2022. An information report was provided on the Implementation of Bill 23. Two major initiatives the branch participated in during 2022 were the conservation of the former Hintonburg Pumping Station project and Lansdowne 2.0. Two reports sent to the Built Heritage Committee contained Information Previously Distributed.

A technical report delegating various heritage approvals under the Ontario Heritage Act to staff was approved by Council in 2015. Consequently, 67 heritage permits were issued by Heritage Planning staff through delegated authority in 2023.

Staff approved 19 projects for funding under the Heritage Grant Program for Building Restoration in 2023, totaling \$289,750.00.

### **Building Code Services**

Building Code Services reviews and issues building permits, demolition permits, assigns municipal addresses, inspects building construction to ensure compliance with permit plans, Ontario Building Code and applicable laws.

Building Code Services saw a 22 per cent decrease in the number of building permits issued from 2022 to 2023. The number of building inspections performed in 2023 were down 11 per cent from 2022. Of the total number of building inspections in 2023, the branch performed over 70,300 building inspections, in excess of 18,100 mechanical inspections, and over 21,000 plumbing inspections.

**Table 14: Building Permits and Inspections from 2019 to 2023**

Year	Building Permits Issued	Access to Building Permit Record Applications	Number of Building Inspections
<b>2023</b>	7,169	1,830	110,648
<b>2022</b>	9,198	1,663	124,999
<b>2021</b>	11,412	1,465	125,579
<b>2020</b>	10,047	1,470	124,202
<b>2019</b>	9,785	1,492	126,767

### Non-Building Code Related Applications

Information on the cost of servicing building permits and enforcing the *Building Code Act* and Ontario Building Code are reported separately in a report to Council every year, as required by the *Building Code Act*. The branch also deals with Sign Minor Variances, Naming or Renaming Private Roadways and other Non-Building Code related permits as described below.

Table 16 summarizes all non-Building Code related permit applications received by Building Code Services in the past five years.

**Table 16: Non-Building Code Related Permit Applications**

	<b>2023</b>	<b>2022</b>	<b>2021</b>	<b>2020</b>	<b>2019</b>	<b>Total</b>
<b>Pool Enclosure Permits</b>	567	882	1,549	1,383	769	5,150
<b>Permanent Signs on Private Property Permit Applications</b>	402	419	475	342	482	2,120
<b>Permanent Signs on Private Property Permit - Individual signs</b>	904	901	1,007	693	969	4,474
	<b>2023</b>	<b>2022</b>	<b>2021</b>	<b>2020</b>	<b>2019</b>	<b>Total</b>
<b>Compliance Reports (including Compliance with Agreements)</b>	950	1175	1261	903	996	5285

<b>Release of Agreement Application (includes site plan and other development agreements)</b>	46	28	60	28	35	197
<b>Sign Minor Variance Application</b>	2	6	4	6	11	29
<b>Private Roadway Naming</b>	6	11	13	11	8	49
<b>Highway Name Changes</b>	0	1	1	0	20	22
<b>Total</b>	<b>2877</b>	<b>3423</b>	<b>4370</b>	<b>3366</b>	<b>3290</b>	<b>17326</b>

### **Delegation of Authority for Non-Building Code Related Activity**

#### Permanent Signs on Private Property Sign Minor Variances:

Applications are evaluated under the Delegated Authority of the Chief Building Official under the Permanent Signs on Private Property By-law 2016-326.

#### Naming or Renaming of Private Roadways:

The Chief Building Official may authorize the naming or renaming of a private roadway under By-law 2014-78. If objections are received to the naming or renaming, a report is forwarded to Planning and Housing Committee and Council for a decision.

#### Highway Name Changes:

The Chief Building Official may authorize the naming of a highway, the change in the name of a highway, the assignment of civic numbers and changes to civic numbers under the Municipal Addressing By-law 2014-78. Under the Municipal Addressing By-law, delegation of authority is permitted to approve street name changes primarily where public safety and wayfinding is involved.

### **Right of Way and Public Realm Permits and Approvals**

A large component of the Right of Way (ROW) and Public Realm and Urban Design branches' activities includes

the review and issuance of various permits, agreements, and approvals related to private approaches, road cut permits, utility circulations and various encroachments in the public realm, as described in Table 17.

**Table 17: Permits, Agreements and Approvals Issued by the ROW Branch and Public Realm and Urban Design Branch**

	<b>2023</b>	<b>2022</b>	<b>2021</b>	<b>2020</b>	<b>2019</b>
<b>Road Cut</b>	3422	4186	4844	4178	5106
<b>Temporary Construction Encroachment</b>	4396	3436	3898	2971	3249
<b>Over Dimensional vehicle</b>	1565	1833	1581	1419	1542
<b>Traffic Management Plans</b>	1023	1326	1573	1259	2584
<b>Temporary Road Closures</b>	633	831	720	530	592
<b>Patio / Café Seating</b>	124	184	188	140	104
<b>Signs</b>	3	0	5	4	15
<b>Customer Service Boxes</b>	5	29	6	8	8
<b>Private Approach</b>	66	50	46	94	122
<b>Private Approach – culvert permits</b>	42	39	56	59	70
<b>Private Approach - temporary access permits</b>	58	38	45	43	37
<b>Permanent Encroachment</b>	27	21	22	32	22
<b>Right of Way Agreement</b>	18	12	22	38	18
	<b>2023</b>	<b>2022</b>	<b>2021</b>	<b>2020</b>	<b>2019</b>
<b>Municipal Consent - utility work</b>	1227	1463	1546	1082	1384
<b>Total</b>	<b>12,609</b>	<b>13448</b>	<b>14552</b>	<b>11857</b>	<b>14853</b>

Property owners wishing to construct a new or alter an existing access onto their property, such as a driveway, are required to obtain a Private Approach permit. The review of the proposal, as part of the permit application process, ensures that the approach meets all municipal safety and construction standards.

Prior to undertaking a road cut within any portion of the City right of way including the boulevard and sidewalk, a permit must be obtained. A road cut is defined as a surface or subsurface cut in any part of a City-owned right of way made by any means, including for example excavation, reconstruction, cutting, overlaying, crack sealing, braking, boring, jacking or tunneling operations. As expected, the number of road cut permits issued in 2023 dropped similar to 2022 from its usual average, due to amendments made to the by-law and the way that permits are now issued in groupings.

The Right of Way Branch undertakes approximately 1,300 utility circulations per year. In 2022, the branch experienced a higher-than-average volume, therefore the slight decrease in 2023 is consistent with the typical yearly averages. Most circulations are for routine subsurface works (i.e., minimal or no noticeable visual changes to the streetscape after works are completed), but some result in changes that could have impacts on the community. Coordination of work to reduce community impact and minimize traffic disruptions undertaken as part of the circulation process. Councillors are notified by staff on all circulations for information purposes prior to the commencement of work within their respective ward.

### **Requests to Release or Reduce Securities**

The City receives securities from developers that are associated with work being undertaken through early servicing or development agreements as well as letters of undertaking in relation to approvals produced by Planning Services. These securities ensure that the work is undertaken in accordance with the conditions of approval. Once part or all of the work has been completed, the developer can request partial or full release of the securities that the City is holding. The release or reduction of securities is carried out in conjunction with the Development Inspections Unit. In 2023, the City released \$197,494,968.26 in securities to applicants as required works were completed, compared to \$164,876,872.10 in 2022 and \$193,123,375.05 in 2021.

Figure 3 shows the breakdown of the securities released from 2018 to current.

**Figure 3**

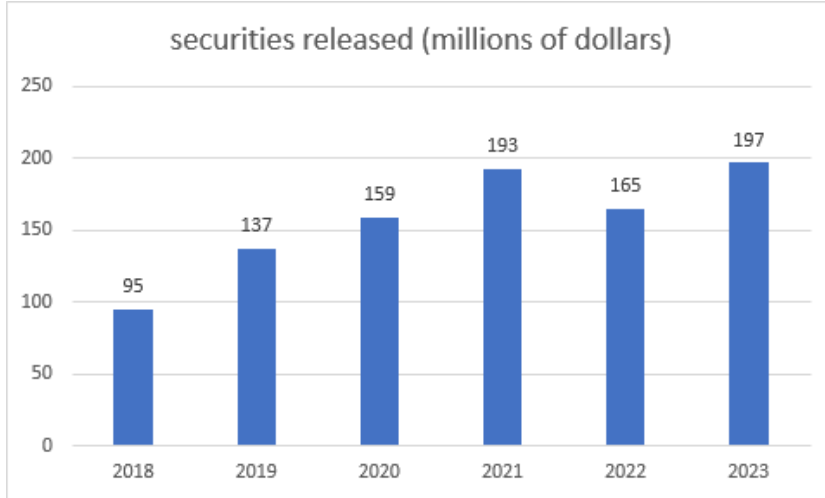
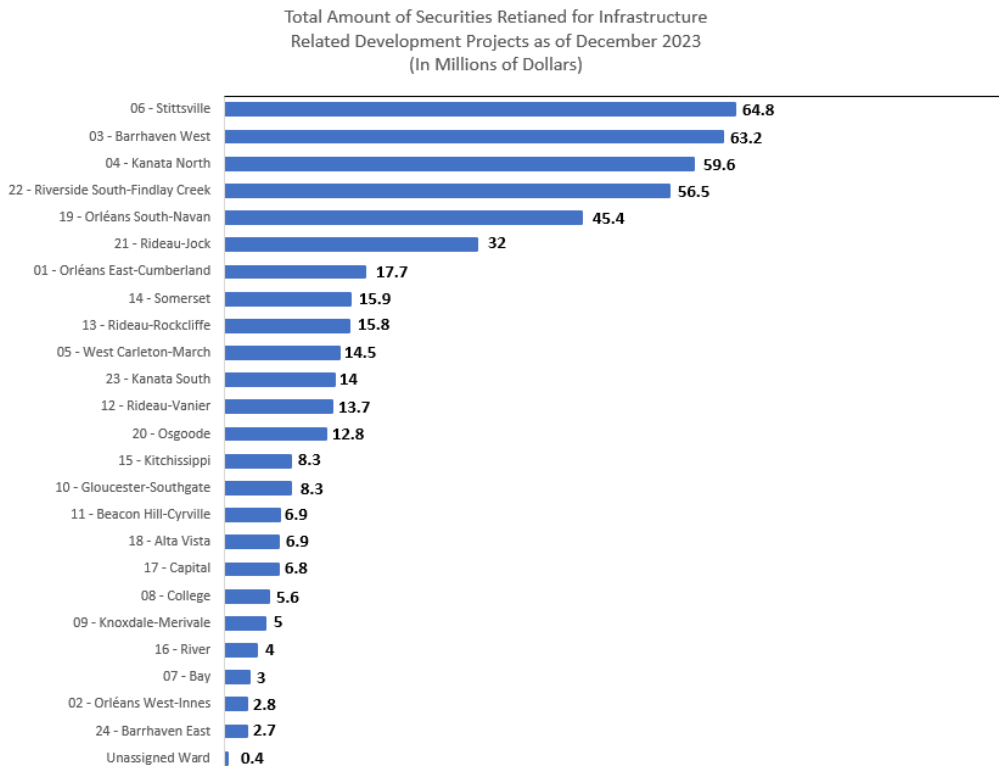


Figure 4 shows the breakdown of securities retained by ward. This data is an interesting indicator of how development activity is distributed around the City.

**Figure 4**





Original signed by

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Manager, Business and Technical Support Services

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Technical Support Services, Planning, Real Estate and Economic Development