

Minor Variance Application Cover Letter 74 Strachan Street

This proposal is to permit the construction of a 51 square meter addition on a 128 square meter existing home. An old existing single-storey addition with major structure defects will be replaced by the proposed addition. The second story addition represents a major opportunity for the owners to improve the layout and usefulness of the home by adding modern necessities to existing bedrooms such as closets. The existing addition (to be removed as detailed in the submitted June 2019 plans by Precision) is a single-story addition at the rear of the home.

For this application, two minor variances are required.

#1 Requested Variance: To permit the construction of a 51 square meter addition on a 128 square meter existing home.

Bylaw Requirement: "for an addition to a building or structure for a use permitted in the underlying zone which does not exceed an amount equal to 20 percent of the gross floor area of the building or 20 metres square whichever is less"

By-law Section: 2008-250 Section 58 (2) (a)

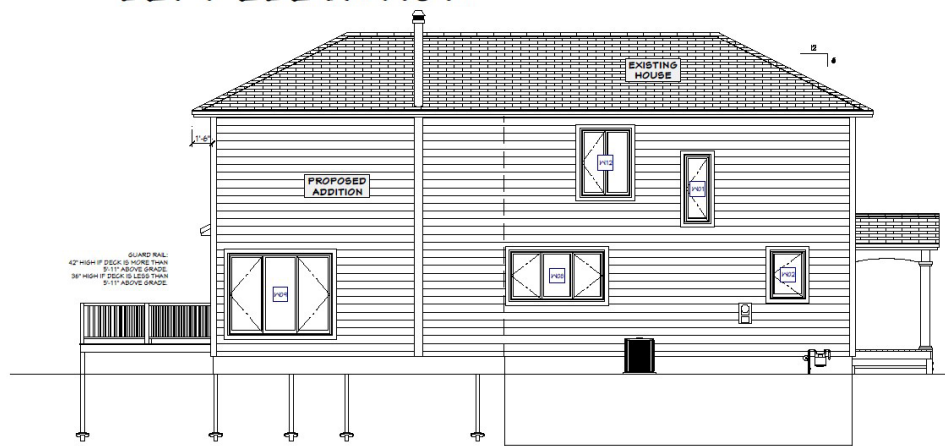
#2 Requested Variance: To permit construction of an addition, set back 18.87m from the normal high-water mark of a watercourse or waterbody

By-law Requirement: Except for flood or erosion control works, or a public bridge or a marine facility, no building or structure, including any part of a sewage system, which does not require plan of subdivision, or site plan control approval, shall be located closer than 30 m to the normal highwater mark of any watercourse or waterbody.

By-law Section: 2008-250 Section 69 (2) (a)



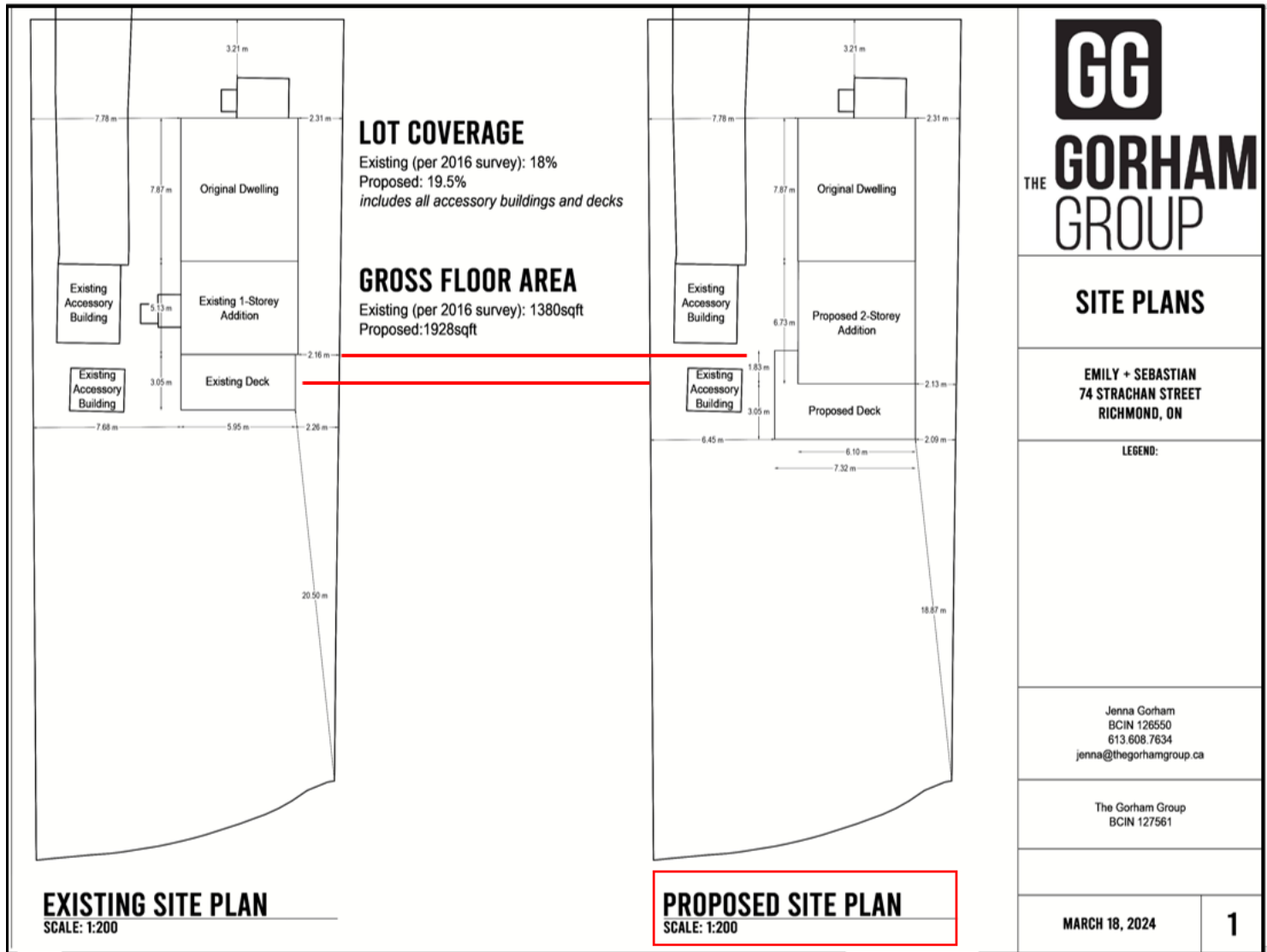
**EXISTING
LEFT ELEVATION**



**PROPOSED
LEFT ELEVATION**

The Four Tests:

1. *The Variance is Minor:* the total net increase in lot coverage according to the site plan for the proposed addition is 1.5%. The existing 3-bedroom occupancy will also remain unchanged. The total gross floor area proposed is increasing by 51 square meters (mainly on the second floor). Only a small portion of the roofline will be enlarged beyond the existing rear addition. Changes to the roofline will not affect the sightlines of neighboring homes given their approaches and views. Adjacent neighbors have been consulted on the proposed addition and have both provided written letters of support (attached). In addition, access, parking, grading and drainage on the property will remain unchanged. Access on the west side of the property allows for easy movement of machinery ensuring minimal disruption to the property greenery and surrounding areas during work.

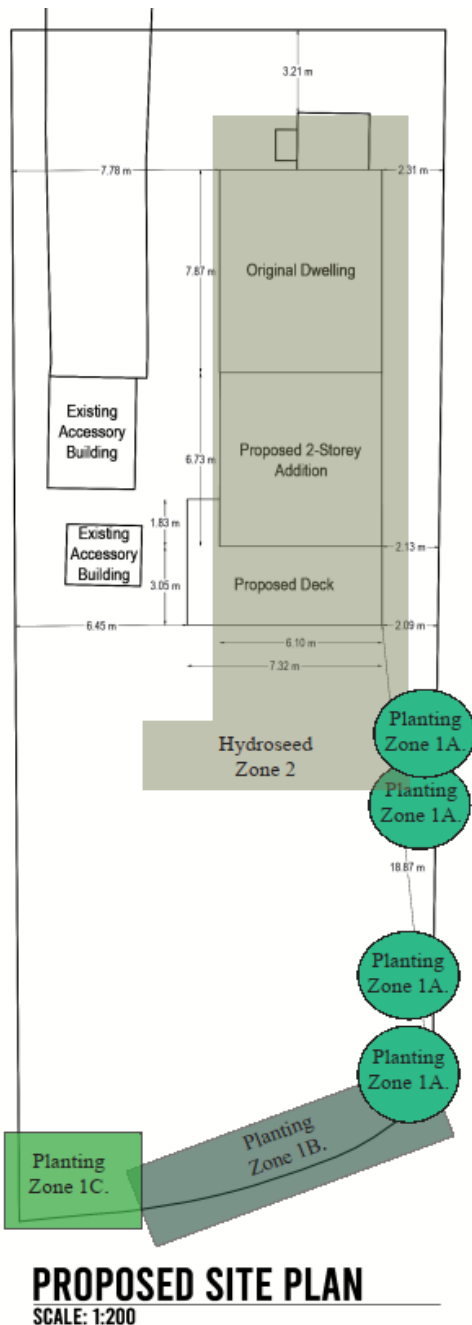


2. *The variance is desirable for the appropriate development or use of the property:* Replacing the existing single-storey addition with the proposed two-storey addition will correct major structural defects associated with the unpermitted work performed on the house by previous owners. Replacing the existing dilapidated addition will allow the owners to perform major improvements to the home including stone foundation repointing, roof replacement, structural reinforcement of floor joists, insulating and plumbing and electrical upgrades. These improvements will ensure this property is restored to a safe, livable home, greatly increasing its value, neighborhood curb appeal and environmental friendliness.

The exterior style of the home finishings (windows, roofing and siding) will be upgraded to be consistent with the classic nature of the surrounding homes according to the Richmond Heritage Community Design Plan. Additionally, a planting plan was developed to ensure new trees and plants are added to the lot to compensate for the loss in setback (the planting plan was attached with this submission). The new proposed addition will be constructed on engineered helical piles (engineered and installed by Techno Metal Post) to ensure the home is well above the high water mark of the flood plain and the crawlspace conditions and finishes meet or exceed guidelines stipulated by the Rideau Valley Conservation Authority's floodable crawlspace guidelines. The proposed addition will be built on engineered helical piles. As a result **no additional grading or excavation is required** for construction.



Planting Plan Overview – 74 Strachan



SITE PLANS

EMILY + SEBASTIAN
74 STRACHAN STREET
RICHMOND, ON

LEGEND:

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MARCH 18, 2024

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1. Work with **Rideau Valley Conservation Authority's** Shoreline Naturalization Program to plant at least:

- a. 2 large-species trees (preferably Silver Maple or White Birch as they are fast-growing). 4 options for chosen areas are provided; RVCA can assist in choosing the best option.
- b. 5+ low-growing shrubs on the southern shoreline (where permitted)
- c. 3+ tall shrubs on the southwest area of the shoreline (where permitted)

2. Replace any grass damaged during construction with new grass of the same/similar species by way of hydroseeding. Given the rise the slope of the rear property down to the water from the existing addition, this is the safest option to minimize grass seed washout before roots can take form/ensure the most rapid growth before the rain seasons (fall and spring).

3. *The general intent and purpose of the Zoning By-law is maintained:* The general use of the property (74 Strachan) as permitted is not changing as a result of the proposed work. There are no rear-neighbors that would be impacted by the set-back change required to accommodate the rear addition. The scale of the new addition will not change the spacing between the existing home and adjacent homes. Due to these facts, the proposed work will not be detrimental to the streetscape or character of the neighborhood. Regarding the second minor variance being requested "To permit construction of an addition, set back 18.87m from the normal high-water mark of a watercourse or waterbody", an outlay of other existing neighboring properties also shows the proposed work is in keeping with setbacks on those properties and more notably, is farther back than comparable property structures.



4. *The general intent and purpose of the Official Plan is maintained: According to the Village of Richmond Secondary Plan, the zoning type (village residential 1), property use and intent of the property is not changing as a result of the proposed addition. The existing home will continue to be a permitted single-family detached home, with the number of bedrooms remaining unchanged. The Village of Richmond Design guidelines will be followed to ensure finishes are in keeping with the general look of other homes in the area. Due to the fact that excavation and grading are not required, there is no impact to drainage or water runoff on the property. Steps have been taken to ensure that additional greenery will be added to the property as per the planting plan to offset the gross lot coverage increased planned of 1.5%. The Rideau Valley Conservation Authority has reviewed this proposal and granted permits for the proposed work (file number RV5-0624).*