

Committee of Adjustment
Received | Reçu le
2024-03-27
City of Ottawa | Ville d'Ottawa
Comité de dérogation





THE **GORHAM**
GROUP

**SURVEY WITH
SETBACKS**

EMILY + SEBASTIAN
74 STRACHAN STREET
RICHMOND, ON

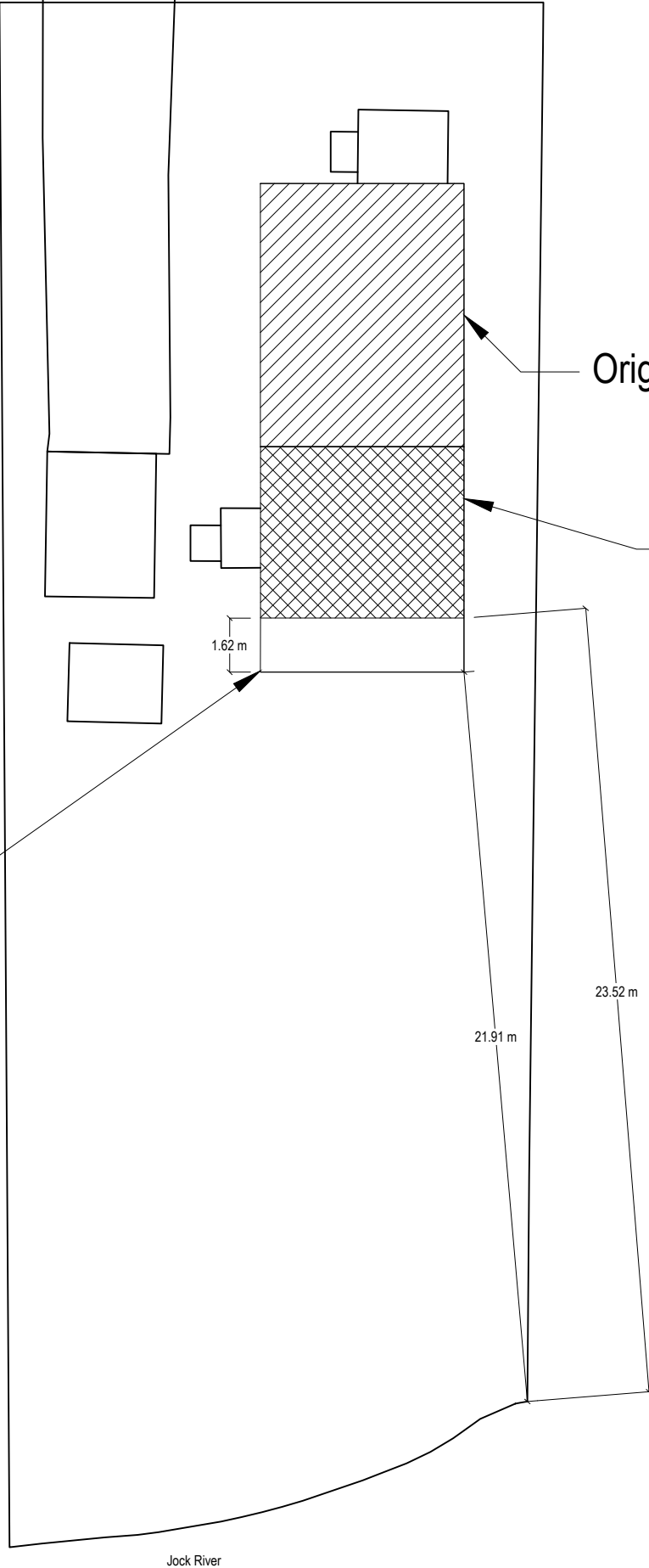
LEGEND:

APPROVED BY: 

DATE: March 25, 2024
PERMIT NO: RV5-0624
RIDEAU VALLEY CONSERVATION AUTHORITY

Jenna Gorham
BCIN 126550
613.608.7634
jenna@thegorhamgroup.ca

The Gorham Group
BCIN 127561

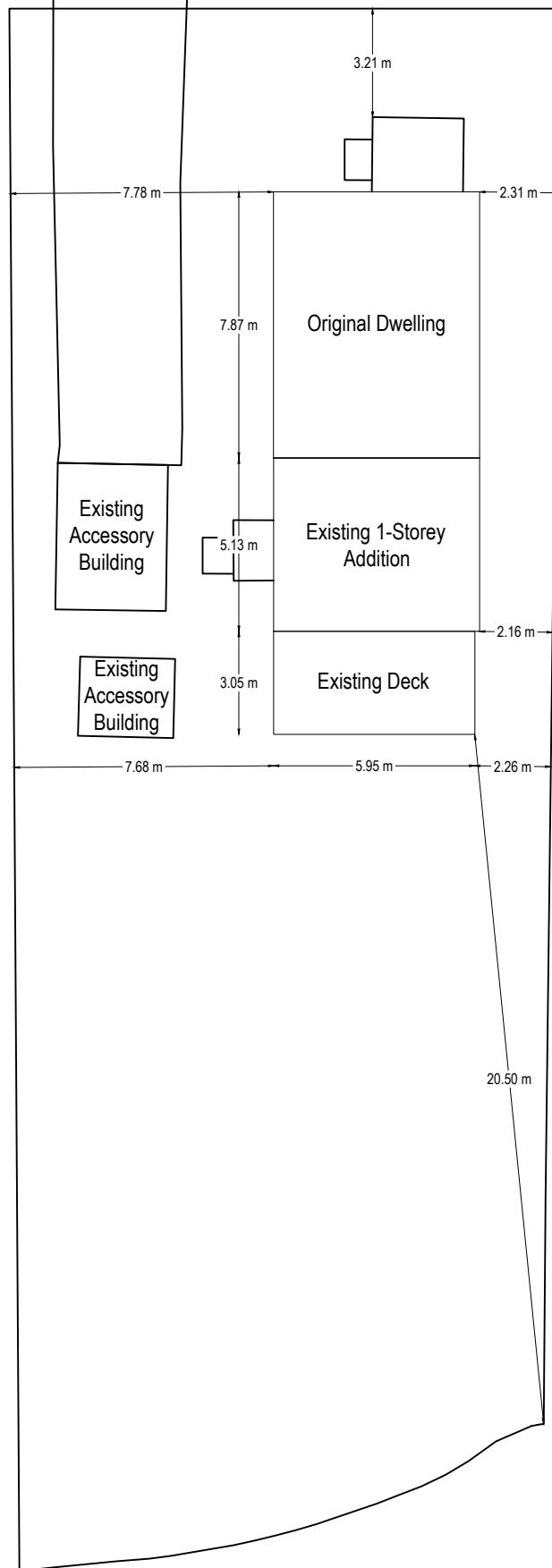
Currently constructed addition
footprint aligns with 'existing' drawings by
Precision and building plans dated June 2023



Original House

Former addition
footprint aligns with 2016 survey

Jock River



EXISTING SITE PLAN
SCALE: 1:200

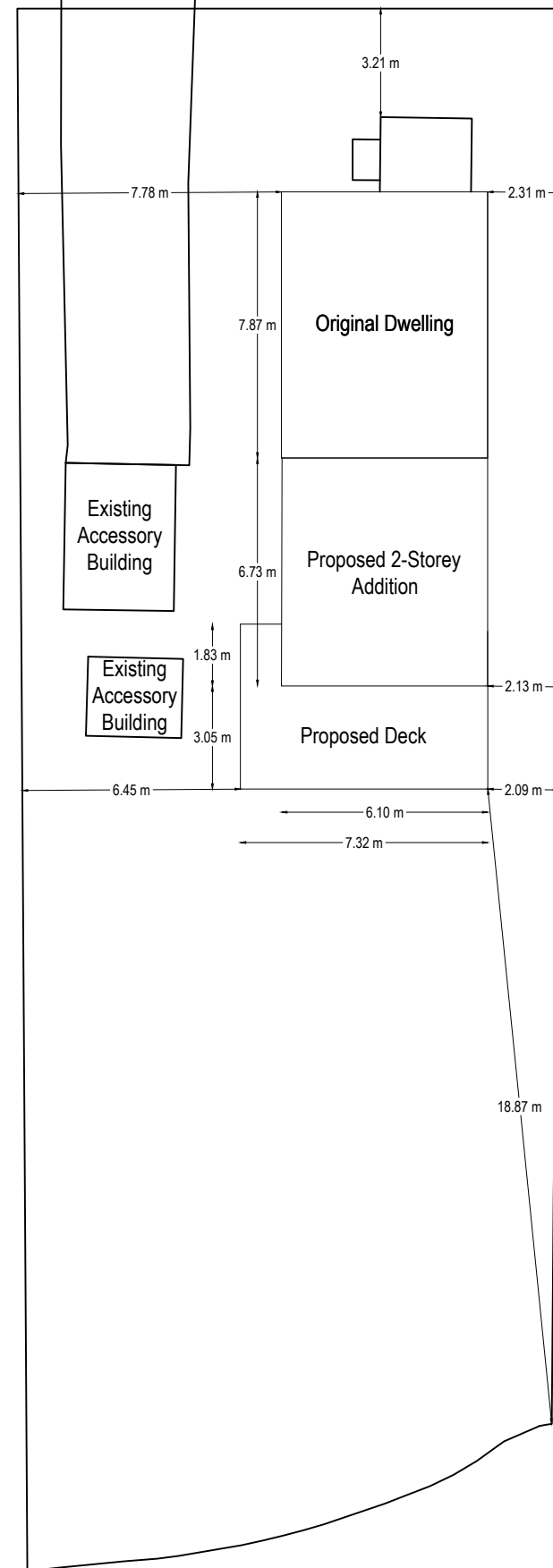
LOT COVERAGE

Existing (per 2016 survey): 18%
Proposed: 19.5%
includes all accessory buildings and decks

GROSS FLOOR AREA

Existing (per 2016 survey): 1380sqft
Proposed: 1928sqft

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PROPOSED SITE PLAN
SCALE: 1:200




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GROUP

SITE PLANS

EMILY + SEBASTIAN
74 STRACHAN STREET
RICHMOND, ON

LEGEND:

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MARCH 18, 2024



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

Jeremy McMullen *Jeremy McMullen* 22021
 NAME SIGNATURE BCIN

Precision Home Design 113690
 FIRM BCIN

CUSTOMER:

BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:

| | |
|------------------------|---------|
| SCALE: | Sheet # |
| DATE: JUNE 19, 2023 | A1 |

OWNER & BUILDER'S NOTE

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED AND SIGNED BY A QUALIFIED DESIGNER & THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING CONSTRUCTION. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS HER ATTENTION FOR CLARIFICATION.

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2012 ONTARIO BUILDING CODE AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED OR PROTECTED WITH AN APPROVED VAPOR BARRIER.

CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 GCA.

ALL FRAMING LUMBER TO BE #2 OR BETTER DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

ALL REQUIRED SMOKE ALARMS NEED A VISUAL COMPONENT.

BLOCKING FOR NON-LOAD BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE MIN 2x4 @ 4'-0" O.C.

CHIMNEY HEIGHT SHALL BE DETERMINED USING A 10' RADIUS PLANE AND SHALL BE 2' HIGHER THAN ANY ROOF SURFACE 10' FROM THE CHIMNEY.

DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.

FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

SOIL PARAMETERS: BASED ON SOILS INDIGENOUS TO THE AREA:
BEARING PRESSURE - 1600 PSF. (75 kPa) LATERAL ACTIVE PRESSURE 35 PSF FLUID EQUIVALENT
SOIL-CONCRETE COEFFICIENT 0.35 SOIL PROFILE SD

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH POLYURETHANE FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

SOIL GAS CONTROL:
A SOIL GAS BARRIER IS REQUIRED TO BE INSTALLED BENEATH A CONCRETE SLAB (AT OR BELOW GRADE) FOR ALL CONSTRUCTION REGULATED UNDER PART 9 OF THE ONTARIO BUILDING CODE.
A SOIL GAS BARRIER MUST INCLUDE THE FOLLOWING REQUIREMENTS;
POLYETHYLENE SHEET COMPLYING TO CAN/CGSB-51.34-M
- JOINTS IN THE SOIL GAS BARRIER SHALL BE LAPPED NOT LESS THAN 300MM (12")
- PERIMETER OF SLAB SHALL BE SEALED TO THE INNER SURFACE OF ADJACENT WALLS USING FLEXIBLE SEALANT
- SLAB PENETRATIONS SHALL BE SEALED AGAINST SOIL GAS LEAKAGE

VENTILATION:

WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 35" MEASURED BETWEEN WALL FACES OR GUARDS.

TREADS SHALL HAVE A MIN. DEPTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 1/4".

STAIRWAYS SHALL HAVE MIN. 6'-5" OF HEADROOM AT THE NOSE OF THE STAIR.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS LESS THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

WINDOWS AND DOORS

WINDOWS SHALL BE DOUBLE PANE WITH VINYL FRAMES AND CONFORM TO CAN/CSA-A440 MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 39" ABOVE THE FINISH FLOOR HEIGHT (EXCLUDING BASEMENTS) AND SHALL HAVE A MINIMUM OPENABLE AREA OF 3.3 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 15" WIDE OR 24" HIGH.

SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHER STRIPPED.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH, A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR A SIDELIGHT.

ATTIC ACCESS:

A MINIMUM OF 22" x 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.

HATCHWAYS TO ATTIC OR ROOF SPACES SHALL BE FITTED WITH DOORS OR COVERS.

| REVISIONS | DATE |
|-----------|------|
| | |

| DOOR SCHEDULE | | | | | | | | | |
|----------------|-----|-------|----------|--------|-----------------|--------------------------------|----------------------|----------|--|
| NUMBER | QTY | FLOOR | WIDTH | HEIGHT | R/O | DESCRIPTION | AREA, ACTUAL (SQ FT) | COMMENTS | |
| D01 | 1 | 1 | 36 " | 80 " | 39"X83 3/4" | EXT. HINGED-GLASS PANEL | 20.0 | | |
| D02 | 1 | 1 | 58 1/2 " | 80 " | 59 1/2"X81" | MULLED UNIT-HL | 32.5 | | |
| D03 | 1 | 1 | 72 " | 80 " | 75"X83 3/4" | EXT. DOUBLE HINGED-GLASS PANEL | 40.0 | | |
| D04 | 1 | 2 | 18 " | 80 " | 20 1/2"X83 1/2" | HINGED-3 PANEL | 10.0 | | |
| D05 | 1 | 2 | 24 " | 80 " | 26 1/2"X83 1/2" | HINGED-3 PANEL | 13.33 | | |
| D06 | 1 | 2 | 26 " | 80 " | 53 1/4"X84 1/2" | POCKET-3 PANEL | 14.44 | | |
| D07 | 6 | 2 | 30 " | 80 " | 32 1/2"X83 1/2" | HINGED-3 PANEL | 16.67 | | |
| D08 | 1 | 2 | 32 " | 80 " | 34 1/2"X83 1/2" | HINGED-3 PANEL | 17.78 | | |
| D09 | 2 | 2 | 48 " | 80 " | 50 1/2"X83 1/2" | DOUBLE HINGED-3 PANEL | 26.67 | | |
| D10 | 1 | 2 | 46 " | 80 " | 48 1/2"X84 1/2" | SLIDER-DOOR P05 | 53.33 | | |
| TOTALS: | | | | | | | 354.74 | | |

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|-----|-------|----------|--------|-------------|-------------------------|----------------------|----------|--|
| NUMBER | QTY | FLOOR | WIDTH | HEIGHT | R/O | DESCRIPTION | AREA, ACTUAL (SQ FT) | COMMENTS | |
| W01 | 1 | 1 | 22 " | 60 " | 23"X61" | SINGLE CASEMENT-HL | 9.17 | | |
| W02 | 1 | 1 | 30 " | 42 " | 31"X43" | SINGLE CASEMENT-HL | 8.75 | | |
| W03 | 1 | 1 | 30 " | 66 " | 31"X67" | SINGLE CASEMENT-HL | 13.75 | | |
| W04 | 1 | 1 | 42 " | 72 " | 43"X73" | DOUBLE CASEMENT-LHL | 21.0 | | |
| W05 | 1 | 1 | 42 " | 72 " | 43"X73" | DOUBLE CASEMENT-RHR | 21.0 | | |
| W06 | 1 | 1 | 46 1/4 " | 55 " | 47 1/4"X56" | DOUBLE HUNG | 17.66 | | |
| W07 | 1 | 1 | 48 " | 42 " | 49"X43" | DOUBLE CASEMENT-LHL | 14.0 | | |
| W08 | 1 | 1 | 84 " | 44 " | 85"X45" | TRIPLE CASEMENT-LHL/RHR | 25.67 | | |
| W09 | 1 | 1 | 42 " | 72 " | 43"X73" | TRIPLE CASEMENT-LHL/RHR | 46.0 | | |
| W10 | 1 | 2 | 24 " | 60 " | 25"X61" | SINGLE CASEMENT-HL | 10.0 | | |
| W11 | 2 | 2 | 30 " | 60 " | 31"X61" | DOUBLE HUNG | 12.5 | | |
| W12 | 1 | 2 | 44 " | 60 " | 45"X61" | DOUBLE CASEMENT-LHL | 18.33 | | |
| W13 | 2 | 2 | 72 " | 48 " | 73"X49" | TRIPLE CASEMENT-LHL/RHR | 24.0 | | |
| TOTALS: | | | | | | | 278.33 | | |

NOTES:

- DOUBLE PANE WINDOWS / DOORS
- GRIDS AS PER ELEVATIONS

| TABLE 3.1.1.11. (IF) | | |
|--|------------------|--------------------|
| REQUIREMENTS FOR ADDITIONS TO EXISTING BUILDINGS | | |
| COMPONENT | THERMAL VALUES | ZONE 1 < 5000 D.D. |
| CEILING w/ ATTIC SPACE | MIN. NOMINAL 'R' | 60 |
| CEILING w/o ATTIC SPACE | | N/A |
| EXPOSED FLOOR | | 18 + 22 |
| WALLS ABOVE GRADE | | 22 + 5 C.I. |
| BASEMENT WALLS | | N/A |
| HEATED SLAB OR SLAB < 600mm BELOW GRADE | | N/A |
| EDGE OF BELOW GRADE SLAB < 600 mm BELOW GRADE | N/A | N/A |
| WINDOWS AND SLIDING GLASS DOORS | ENERGY RATING | 25 |
| SPACE HEATING EQUIPMENT | MIN. AFUE | EXISTING |
| HRV | MIN. SRE | EXISTING |
| DOMESTIC WATER HEATER | MIN. EF | EXISTING |



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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

Jeremy McMullen 22021
NAME SIGNATURE BCIN

Precision Home Design 113640
FIRM BCIN

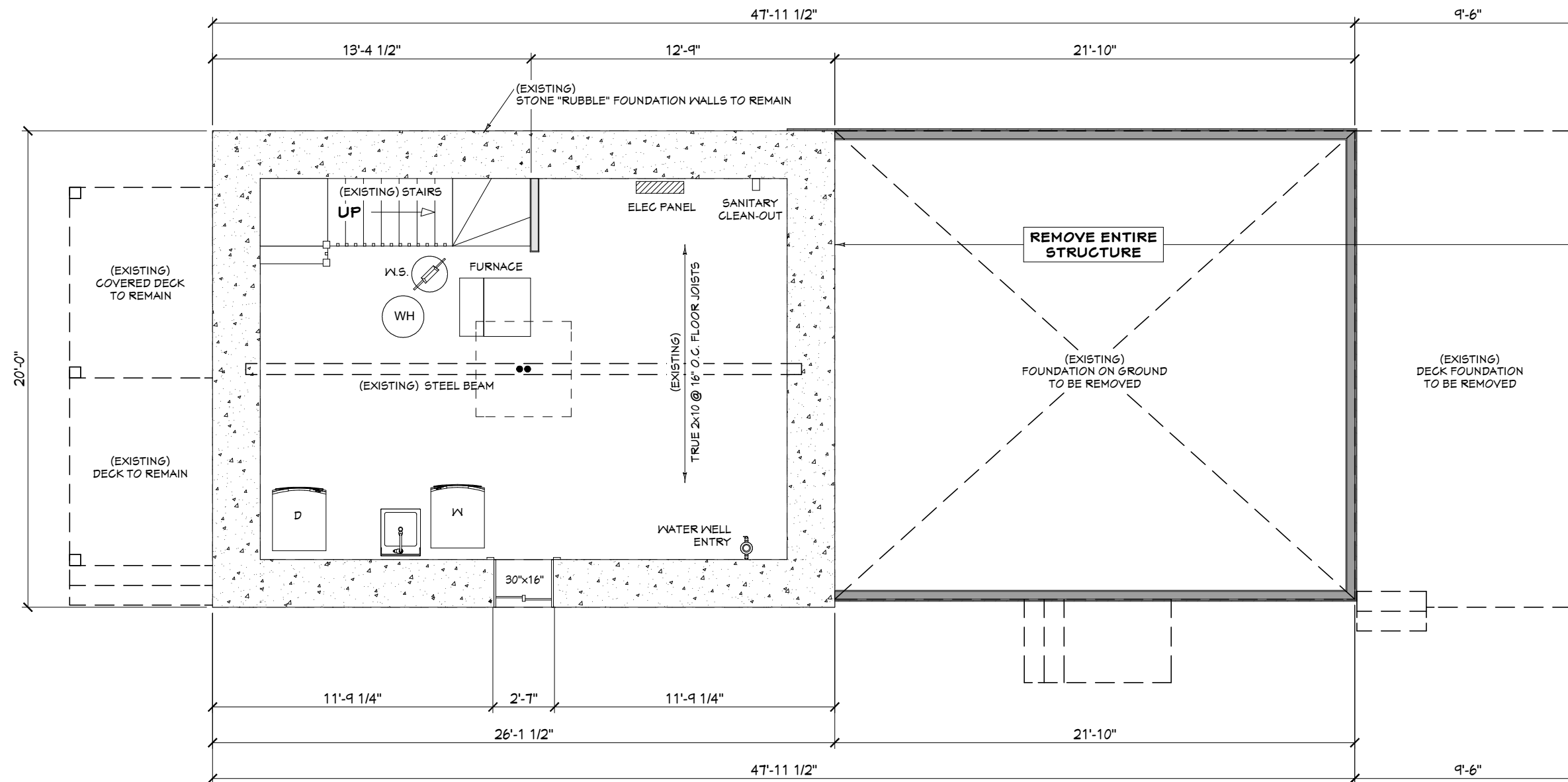
CUSTOMER:
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:
GENERAL NOTES

SCALE: Sheet #
A2

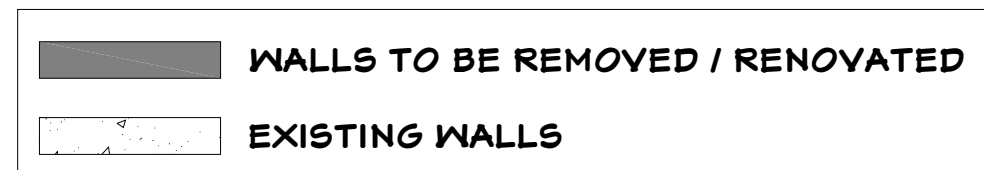
DATE:
JUNE 19, 2023

ALL EXTERIOR DIMENSIONS
ARE FROM CONCRETE



EXISTING FOUNDATION PLAN

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.



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Qualification Information:

Jeremy McMullen *Signature* 22021
NAME SIGNATURE BCIN

Precision Home Design 113690
FIRM BCIN

CUSTOMER:
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME: EXISTING FOUNDATION PLAN

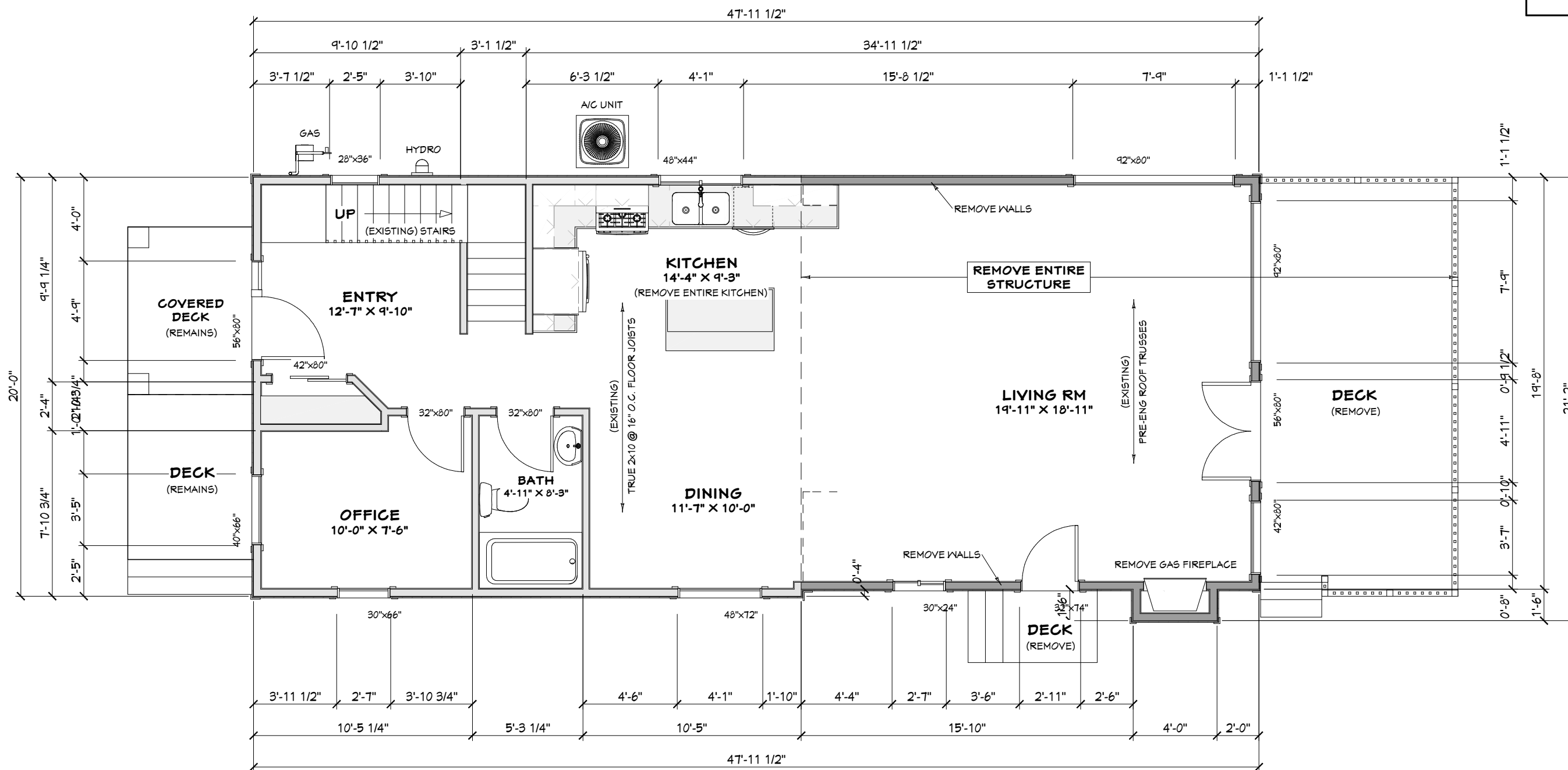
SCALE: 1/8" = 1'-0"

DATE: JUNE 19, 2023

Sheet #
A3

ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING



ALL INTERIOR DIMENSIONS
ARE FROM FRAMING



EXISTING GROUND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

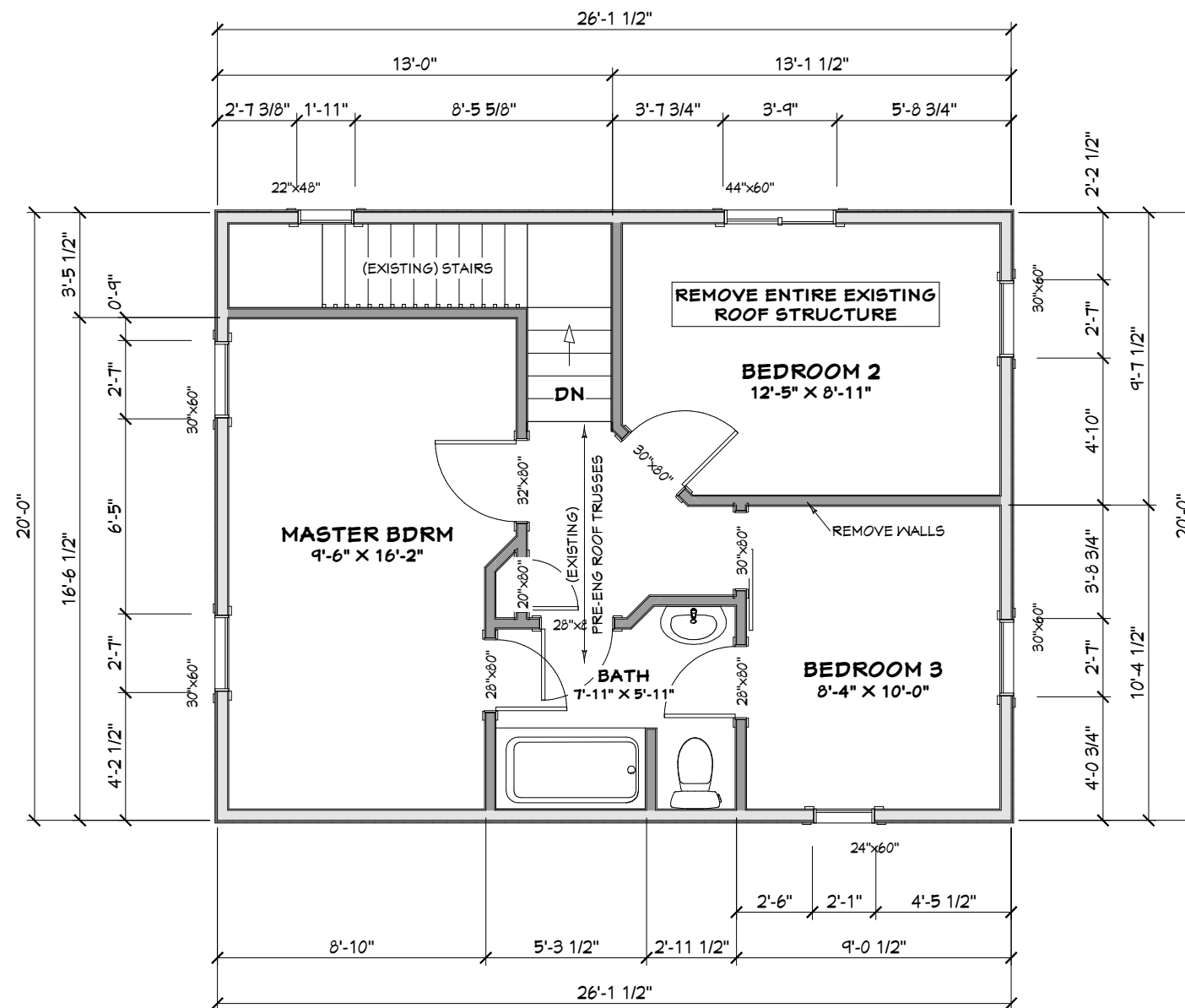
| | |
|---|---------------------------------|
|  | WALLS TO BE REMOVED / RENOVATED |
|  | EXISTING WALLS |



| | |
|---|----------------|
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| <small>Qualification Information:</small> | |
| Jeremy McMullen | 22021 |
| NAME | SIGNATURE BCIN |
| Precision Home Design | 113690 |
| FIRM | BCIN |
| CUSTOMER: | |
| BOEMAC RENO / ADDITION | |
| 74 STRACHAN ST. RICHMOND, ON | |
| DRAWING NAME: EXISTING GROUND FLOOR PLAN | |
| SCALE: 1/8" = 1'-0" | Sheet # |
| DATE: JUNE 19, 2023 | A4 |

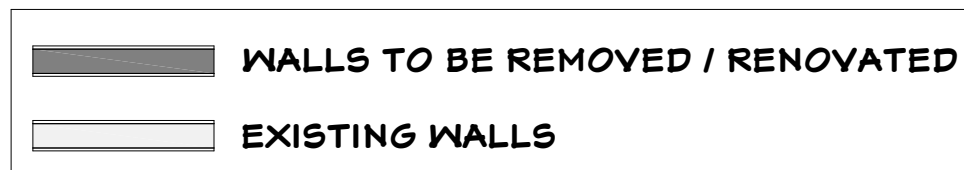
ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR DIMENSIONS
ARE FROM FRAMING



EXISTING SECOND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.



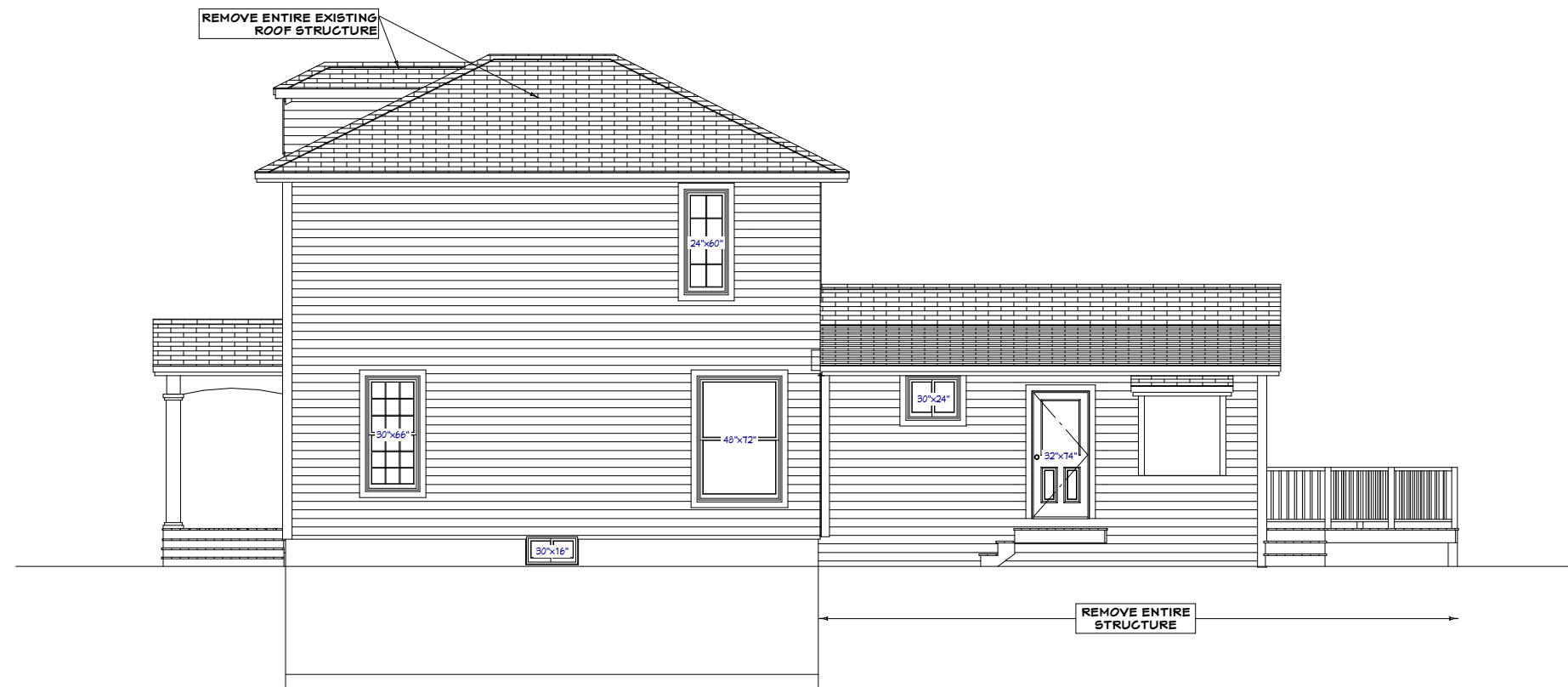
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| | |
|--|-------------------------------|
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| Jeremy McMullen | 22021 |
| NAME | SIGNATURE BCIN |
| Precision Home Design | 113690 |
| FIRM | BCIN |
| CUSTOMER: | |
| BOEMAC RENO / ADDITION | |
| 74 STRACHAN ST. RICHMOND, ON | |
| DRAWING NAME: | EXISTING SECOND FLOOR PLAN |
| SCALE: | 1/8" = 1'-0" |
| DATE: | JUNE 19, 2023 |
| | Sheet # A5 |



EXISTING FRONT ELEVATION



EXISTING RIGHT ELEVATION

NOTES:

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NAME SIGNATURE BCIN

Precision Home Design 113690
FIRM BCIN

CUSTOMER:

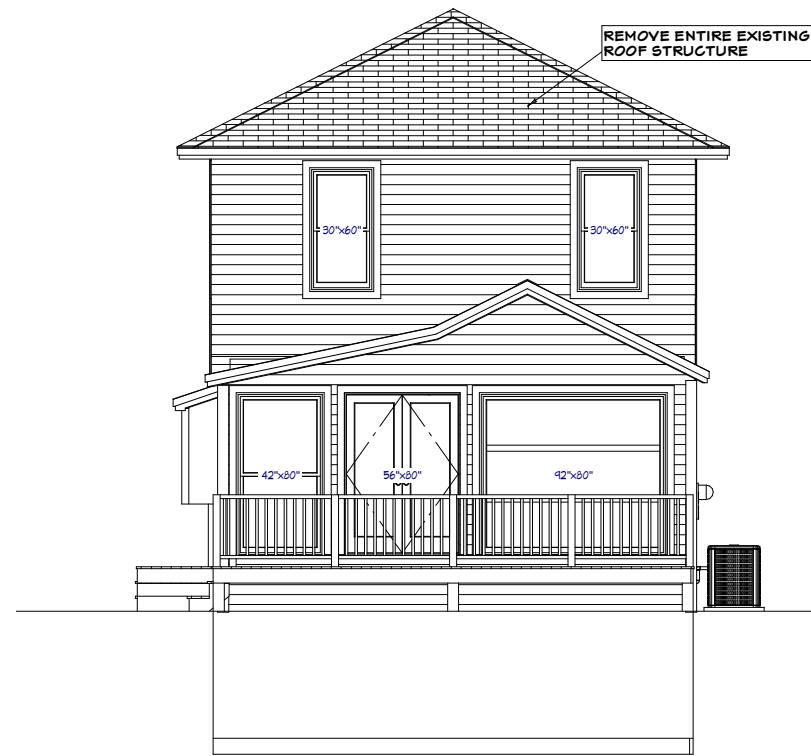
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:

EXISTING ELEVATIONS

SCALE: 1/8" = 1'-0" Sheet #

DATE: JUNE 19, 2023 A6



EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION

NOTES:

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Jeremy McMullen *Signature* 22021
 NAME SIGNATURE BCIN

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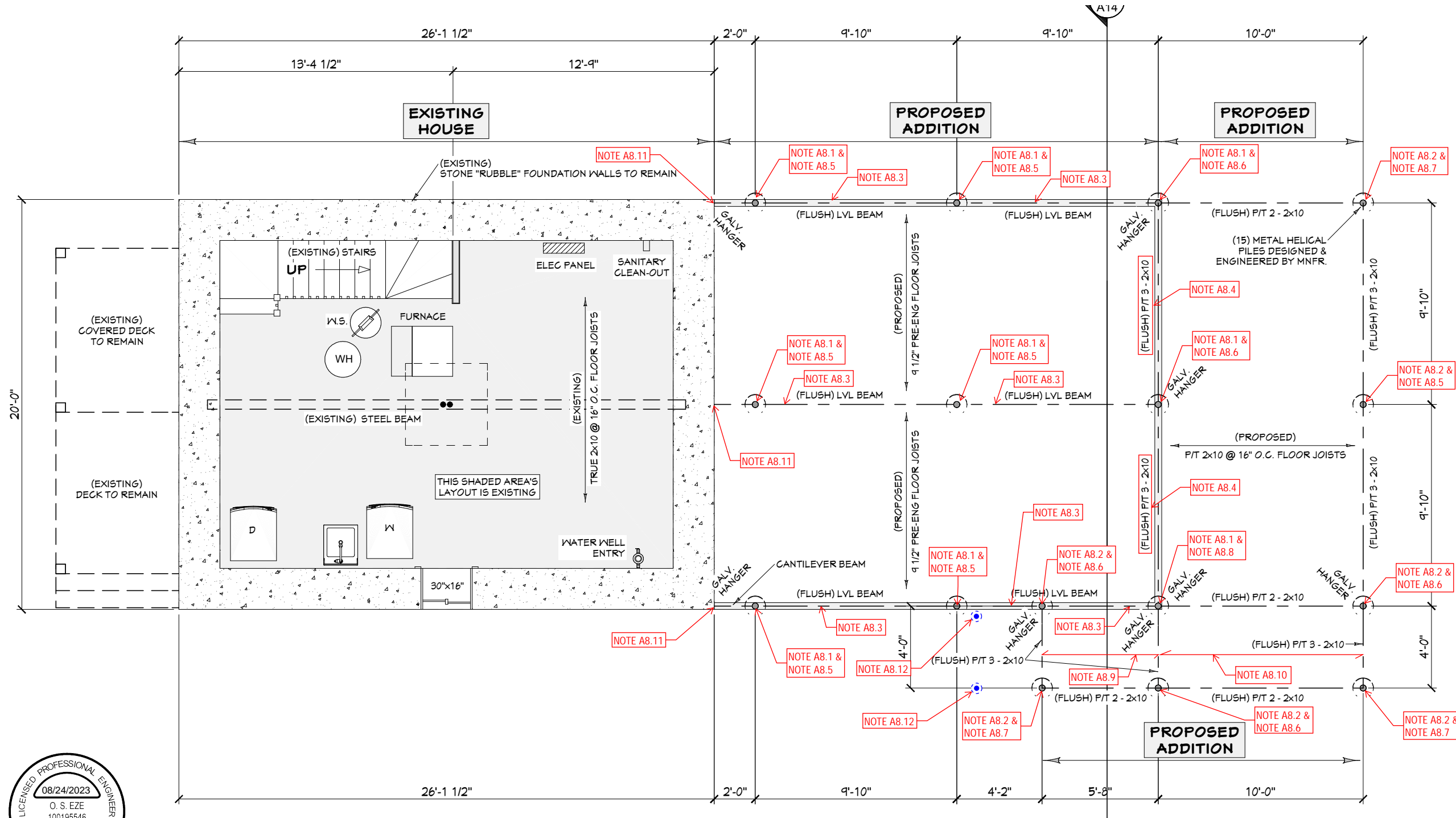
CUSTOMER:
 BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:
 EXISTING ELEVATIONS

SCALE:
 1/8" = 1'-0" **Sheet #**

DATE:
 JUNE 19, 2023 **A7**

ALL EXTERIOR DIMENSIONS ARE FROM CONCRETE



FOUNDATION PLAN NOTES:

NOTE A8.1: NEW "P3" TECHNOPOST HELICAL PILE, TYP @ NINE LOCATIONS w/ BRACKETS TO FASTEN BUILT-UP BEAM.

NOTE A8.2: NEW "P1" TECHNOPOST HELICAL PILE, TYP @ SEVEN LOCATIONS w/ BRACKETS FROM MANUFACTURER TO FASTEN BUILT-UP BEAM.

NOTE A8.3: NEW 3PLY 1-3/4" x 9-1/2" 2.0E 2900Fb ENGINEERED BUILT-UP LVL BEAM c/w SIMPSON STRONG-TIE JOIST HANGERS.

NOTE A8.4: NEW 4PLY 2x 10 BUILT-UP SPF BEAM c/w HU210 SIMPSON STRONG-TIE FACE MOUNT HANGERS.

NOTE A8.5: NEW CUSTOM GALVANIZED STEEL BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL A BELOW.

NOTE A8.6: NEW CUSTOM GALVANIZED STEEL T-BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL B BELOW.

NOTE A8.7: NEW CUSTOM GALVANIZED STEEL L-BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL C BELOW.

NOTE A8.8: NEW CUSTOM GALVANIZED STEEL CROSS-BRACKET TO BE WELDED TO THE HELICAL PILE. SEE DETAIL D BELOW.

NOTE A8.9: NEW P/T 2x8 JOISTS @ 16" c/c w/ LU28 SIMPSON FACEMOUNT HANGERS

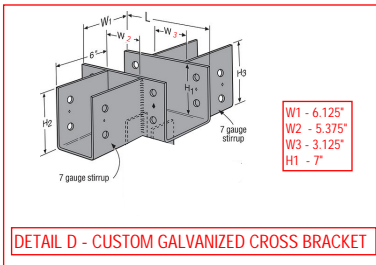
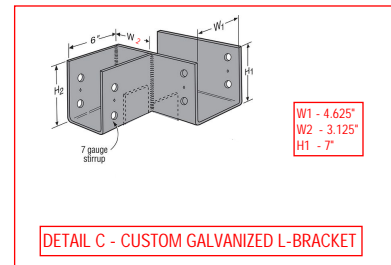
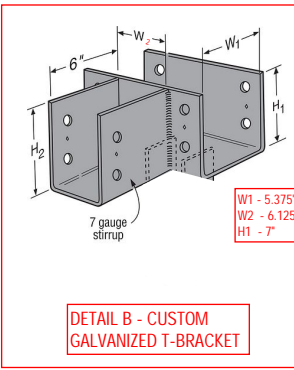
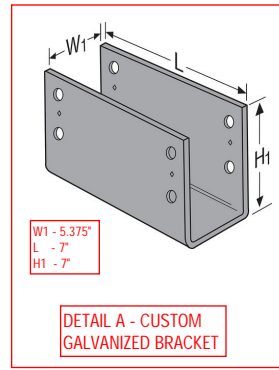
NOTE A8.10: NEW P/T 2x10 JOISTS @ 16" c/c w/ LU210 SIMPSON FACEMOUNT HANGERS

NOTE A8.11: NEW HUC610 SIMPSON CONCEALED FACEMOUNT HANGERS FASTENED TO THE EXISTING RUBBLE FOUNDATION WALL w/ MIN. THREE 3/16" DIA x 2-3/4" LONG TAPCON SCREWS PER FLAP. EPOXY THE CONNECTION LOCATION IF NEEDED.

NOTE A8.12: NEW PYLEX ADJUSTABLE 50" FOUNDATION SCREW OR AN ALTERNATIVE TO BE INSTALLED FOR THE STAIRCASE LANDING.



PROPOSED FOUNDATION PLAN



NEW WALLS TO BE CONSTRUCTED

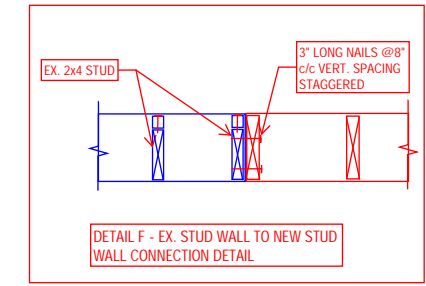
EXISTING WALLS

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

| | |
|--|---------------------|
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| The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. | |
| Qualification Information: | |
| NAME: Jeremy McMullen | BCIN: 22021 |
| SIGNATURE: <i>Jeremy McMullen</i> | |
| FIRM: Precision Home Design | BCIN: 113640 |
| CUSTOMER: | |
| BOEMAC RENO / ADDITION | |
| 74 STRACHAN ST. RICHMOND, ON | |
| DRAWING NAME: PROPOSED FOUNDATION PLAN | |
| SCALE: 1/8" = 1'-0" | Sheet # |
| DATE: JUNE 19, 2023 | A8 |

ALL EXTERIOR DIMENSIONS ARE FROM FRAMING
ALL INTERIOR DIMENSIONS ARE FROM FRAMING

GROUND FLOOR PLAN NOTES:
NOTE A9.1: NEW 3PLY 2x12 BUILT-UP SPF BEAM.
NOTE A9.2: NEW ECCL464 & ECCLR464 SIMPSON STRONG-TIE END COLUMN CAP FASTENED TO NEW TIMBER POST. SEE DETAIL E.
NOTE A9.3: NEW P/T 6x6 TIMBER POST FASTENED TO TOP OF BUILT-UP BEAM BELOW w/ BC60 SIMPSON STRONG-TIE POST BASE.
NOTE A9.4: SEE DETAIL F FOR CONNECTION BETWEEN EXISTING & NEW STUD WALL.
NOTE A9.5: NEW ADJUSTABLE FOUNDATION SCREW, SEE NOTE A8.12 ON PAGE A8 FOR STAIRS SUPPORT.
PLA - POINT LOAD ABOVE

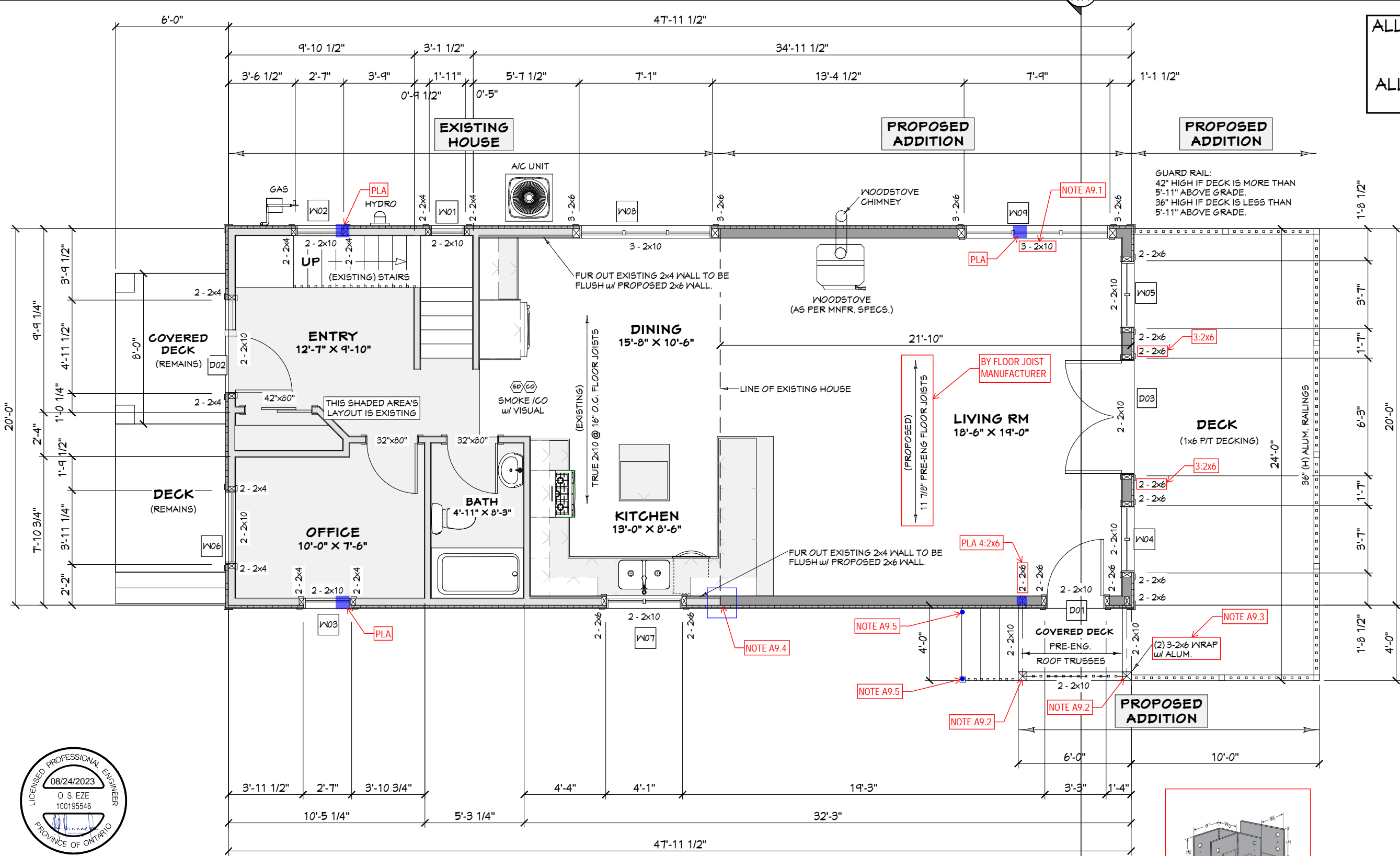


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 Qualification Information:
Jeremy McMullen 22021
 NAME SIGNATURE BCIN
Precision Home Design 113640
 FIRM BCIN

CUSTOMER:
BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

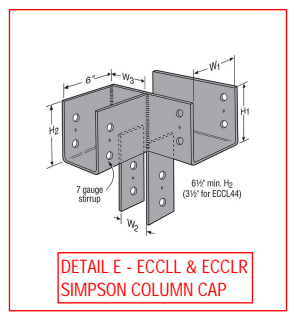
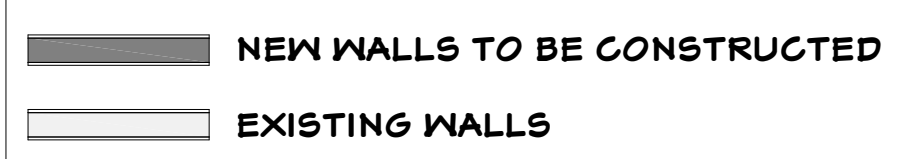
DRAWING NAME: PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
DATE: JUNE 19, 2023
Sheet #
A9



WINDOW / DOOR POSTS
 2 - 2x6 = 1 JACK STUD, 1 KING STUD
 3 - 2x6 = 2 JACK STUDS, 1 KING STUD
 4 - 2x6 = 3 JACK STUDS, 1 KING STUD

GIRDER TRUSS SUPPORT NOTE:
 LOCATION OF POSTS FOR THE GIRDER TRUSSES SHALL BE COORDINATED w/ THE PRE-ENG. ROOF TRUSS LAYOUT. THE POSTS SHALL BE A MIN. OF 4 - 2x6 SPF #2.



PROPOSED GROUND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.
 PROPOSED ADDITION = 437 SQ.FT.
 TOTAL = 1902 SQ.FT.

NOTES:
 1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.



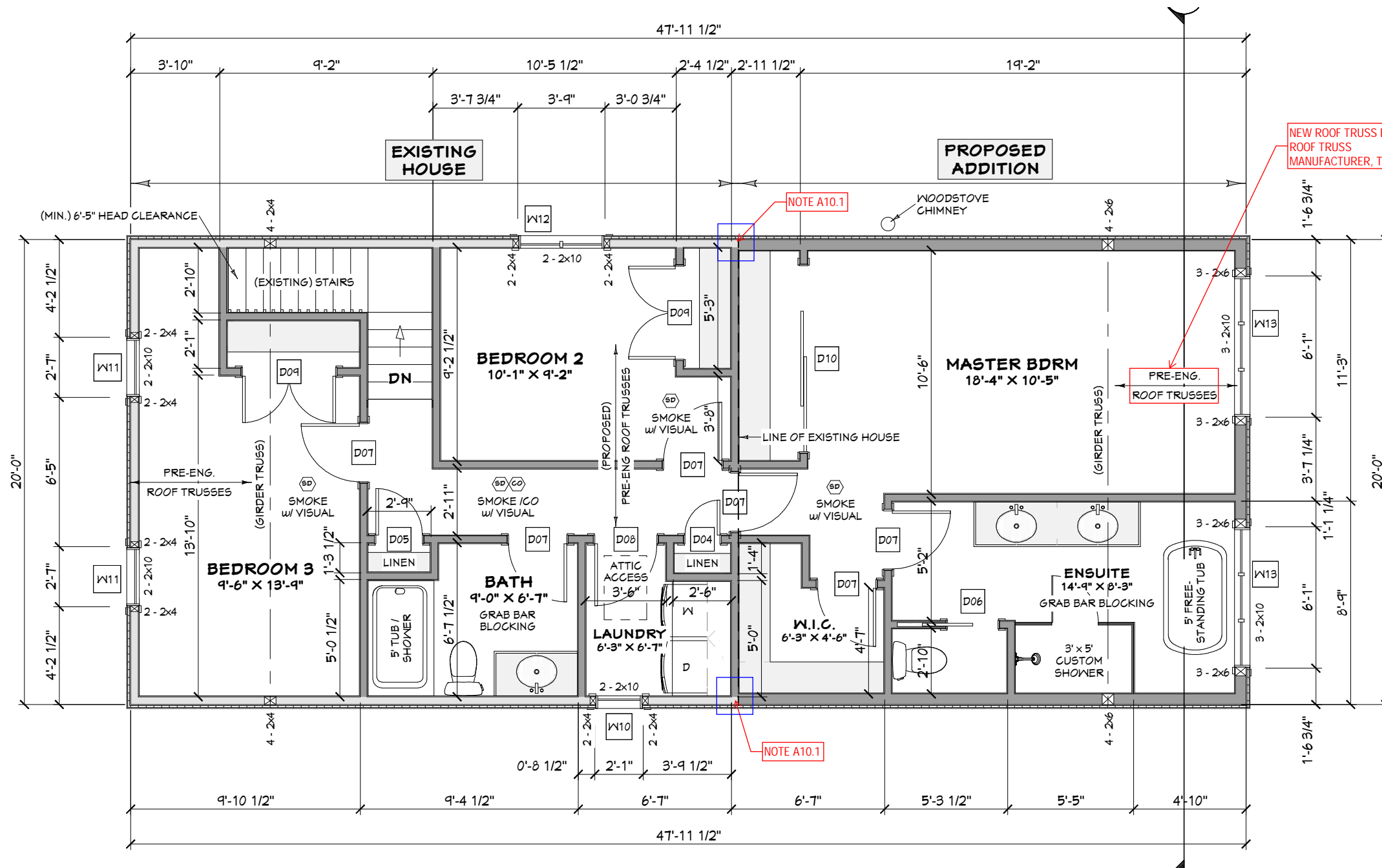
TO BE READ IN CONJUNCTION WITH LETTER FROM OSTAN ENGINEERING INC.

ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR DIMENSIONS
ARE FROM FRAMING

SECOND FLOOR PLAN NOTES:

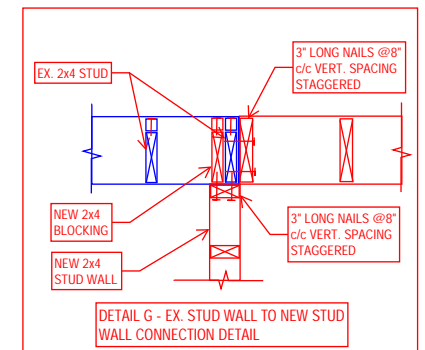
NOTE A10.1:
SEE DETAIL G FOR CONNECTION BETWEEN EXISTING
AND NEW STUD WALLS.



NEW ROOF TRUSS BY
ROOF TRUSS
MANUFACTURER, TYP

NOTE A10.1

PRE-ENG.
ROOF TRUSSES



PROPOSED SECOND FLOOR PLAN

EXISTING HOUSE = 1465 SQ.FT.
PROPOSED ADDITION = 437 SQ.FT.
TOTAL = 1902 SQ.FT.

WINDOW / DOOR POSTS
2 - 2x6 = 1 JACK STUD, 1 KING STUD
3 - 2x6 = 2 JACK STUDS, 1 KING STUD
4 - 2x6 = 3 JACK STUDS, 1 KING STUD

GIRDER TRUSS SUPPORT NOTE:
LOCATION OF POSTS FOR THE GIRDER TRUSSES SHALL
BE COORDINATED W/ THE PRE-ENG. ROOF TRUSS
LAYOUT. THE POSTS SHALL BE A MIN. OF 4 - 2x6 SFF #2.



NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.



TO BE READ IN CONJUNCTION
WITH LETTER FROM OSTAN
ENGINEERING INC.

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Qualification Information:

Jeremy McMullen *Signature* 22021
NAME SIGNATURE BCIN

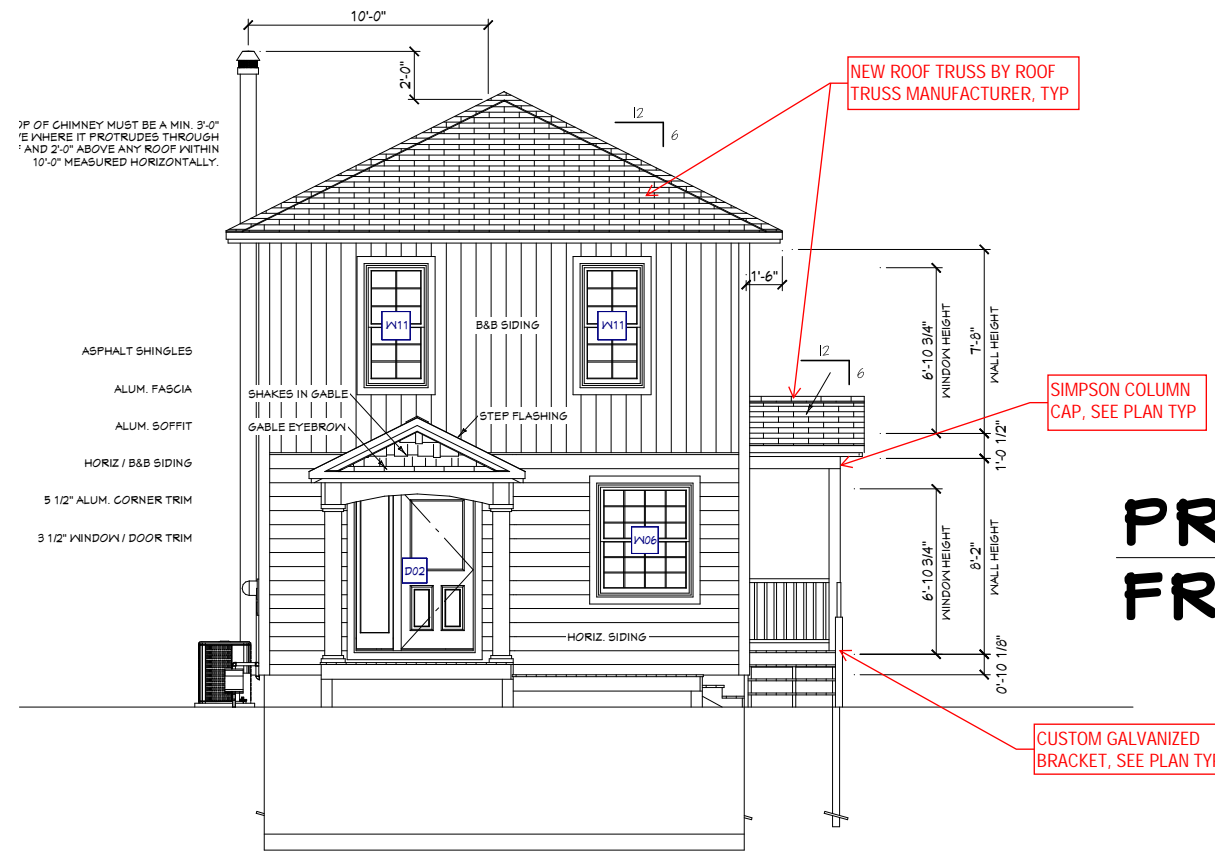
Precision Home Design 113640
FIRM BCIN

CUSTOMER:
BOEMAC RENO / ADDITION
74 STRACHAN ST.
RICHMOND, ON

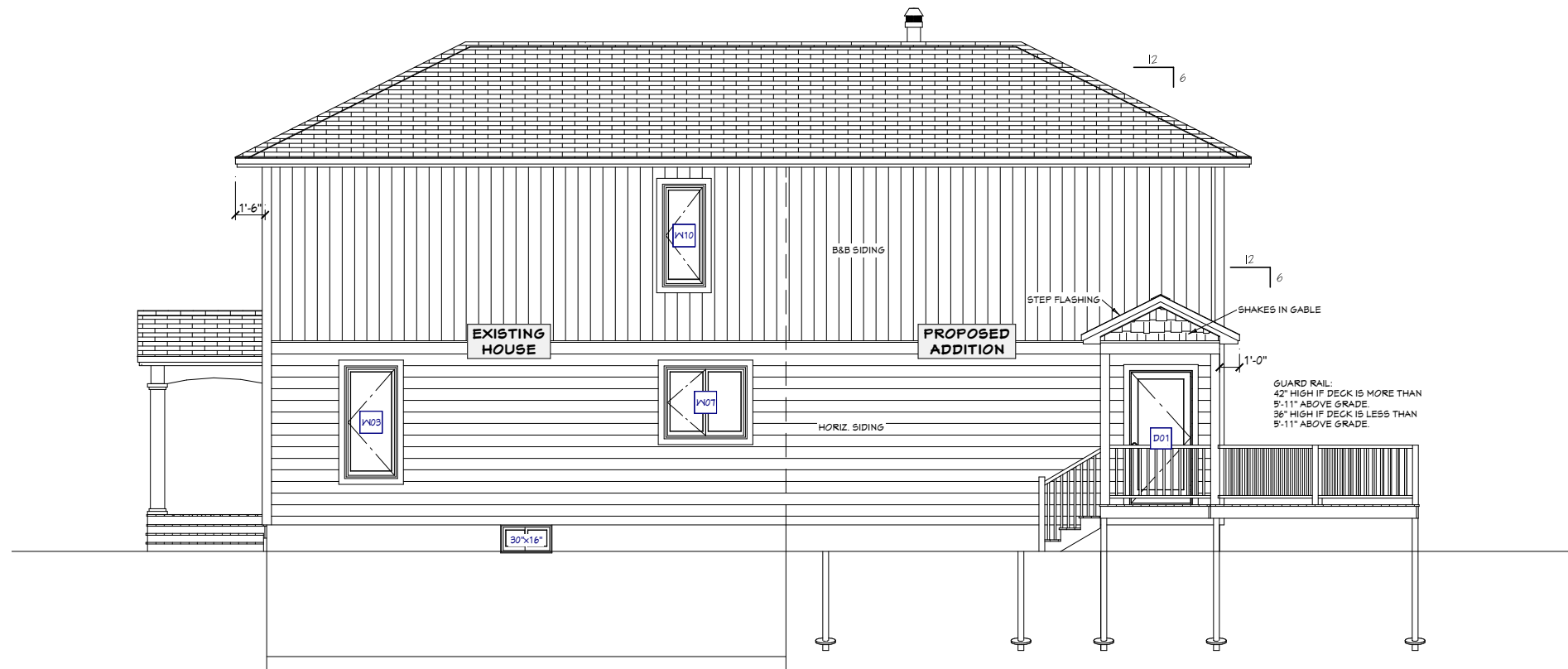
DRAWING NAME: PROPOSED
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" Sheet #

DATE: JUNE 19, 2023 A10



PROPOSED FRONT ELEVATION



PROPOSED RIGHT ELEVATION



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Qualification Information:

Jeremy McMullen *Signature* 22021
NAME SIGNATURE BCIN

Precision Home Design 113640
FIRM BCIN

CUSTOMER:

BOEMAC RENO / ADDITION

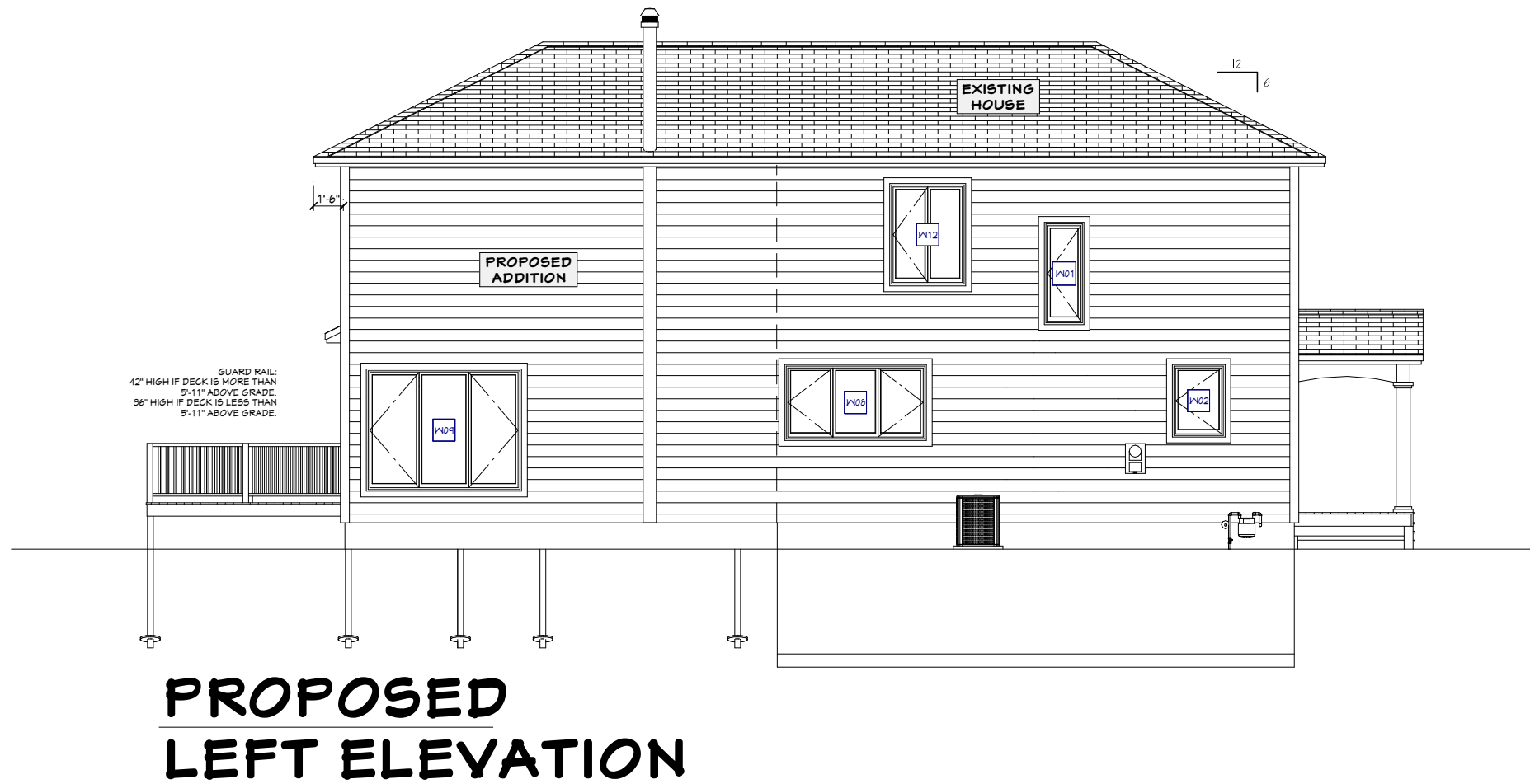
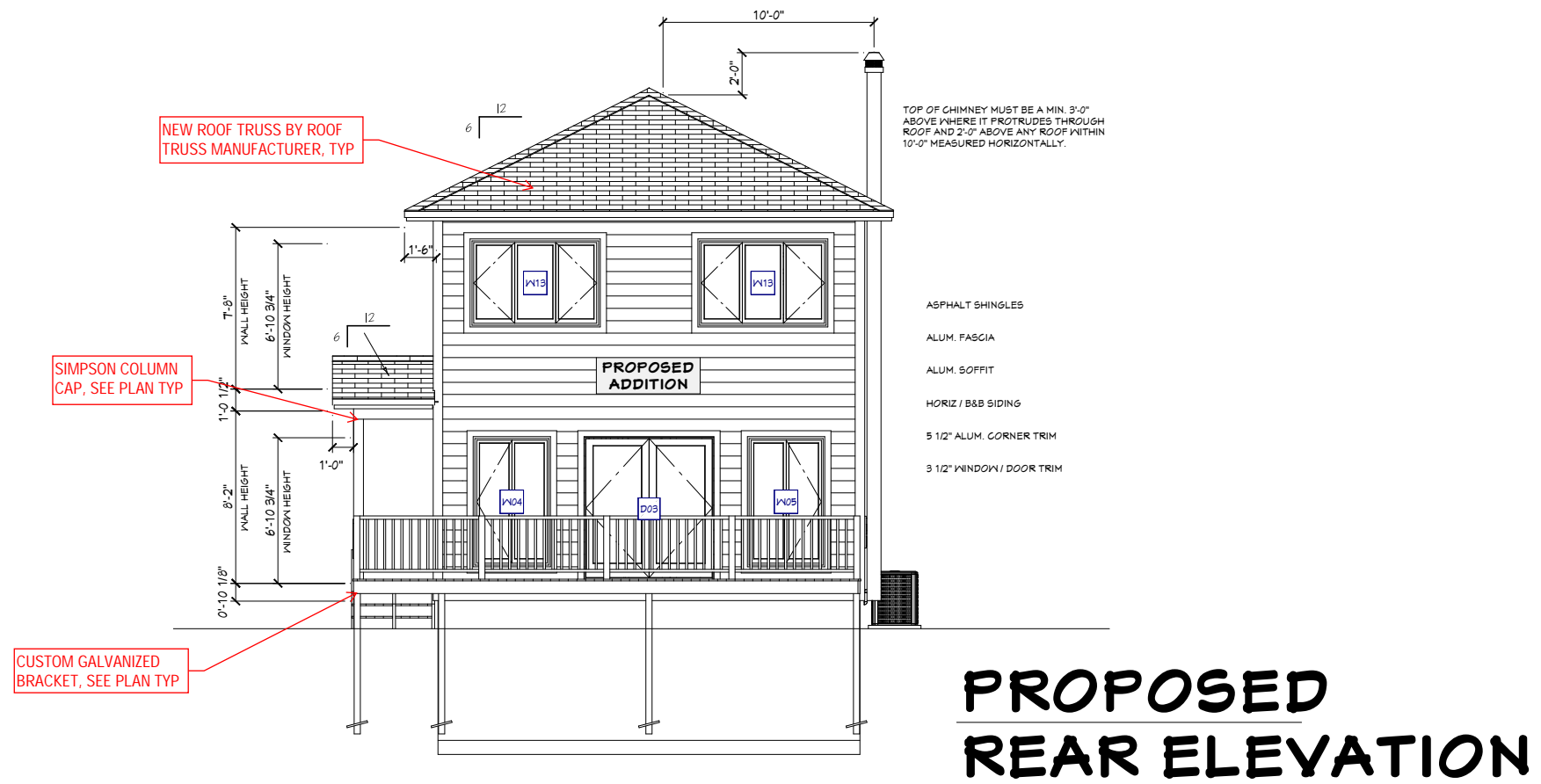
74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:

PROPOSED ELEVATIONS

| | |
|-------------------------------|------------------------------|
| SCALE: 1/8" = 1'-0" | Sheet # A11 |
| DATE: JUNE 19, 2023 | |

NOTES:
1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.



NOTES:
 1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.

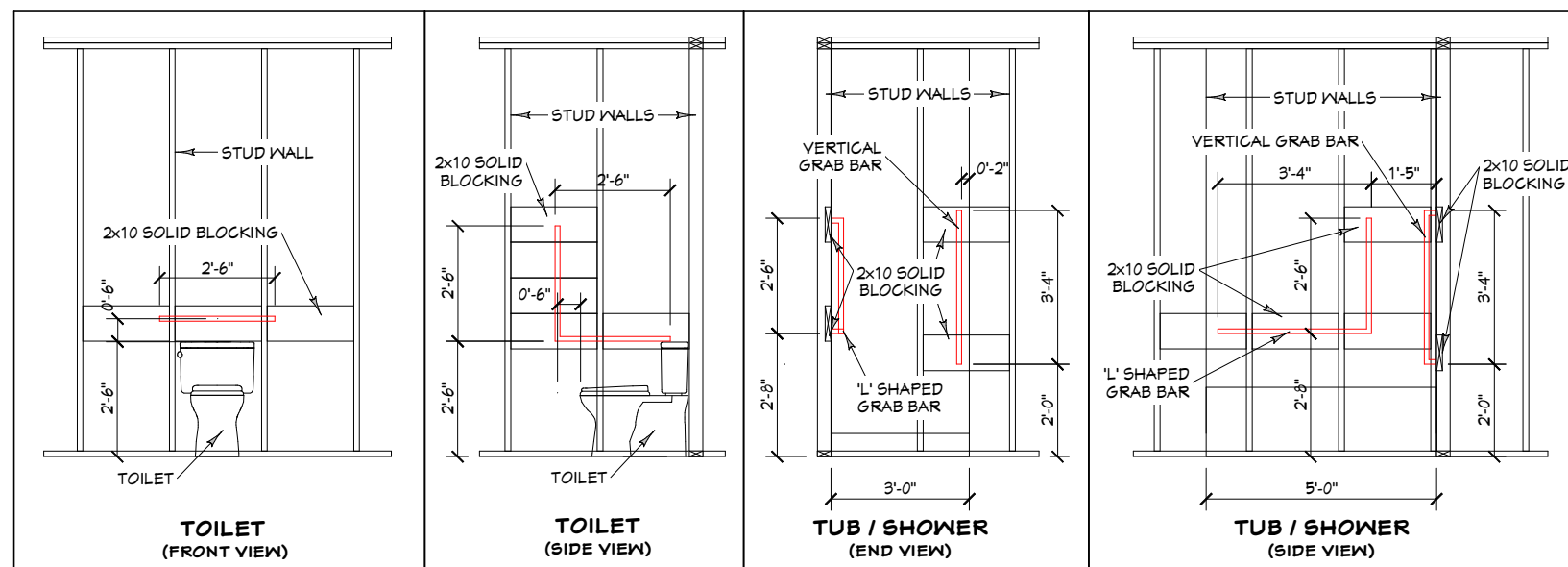
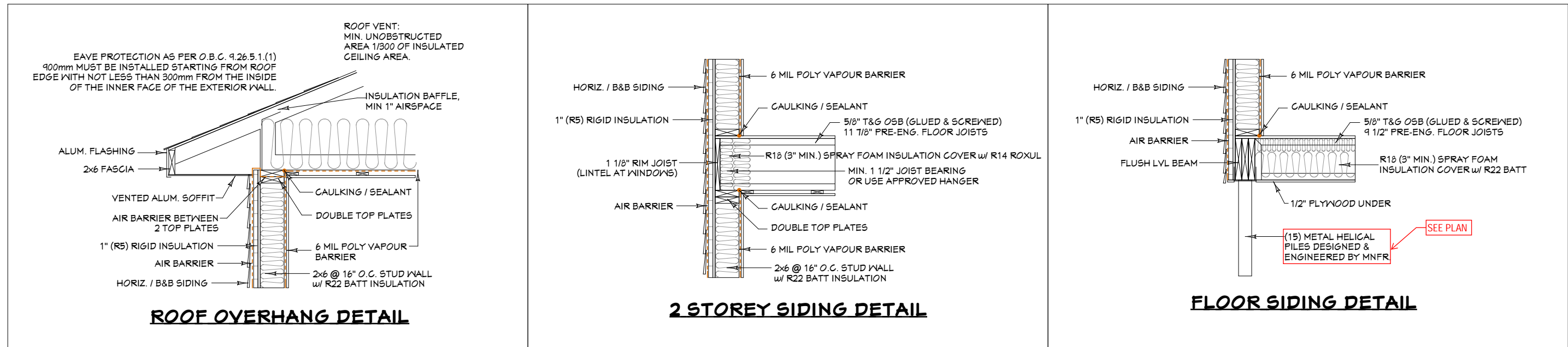


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 Qualification Information:
Jeremy McMullen 22021
 NAME SIGNATURE BCIN
Precision Home Design 113640
 FIRM BCIN

CUSTOMER:
 BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:
 PROPOSED ELEVATIONS

| | |
|-------------------------------|------------------------------|
| SCALE: 1/8" = 1'-0" | Sheet # A12 |
| DATE: JUNE 19, 2023 | |



TYPICAL GRAB BAR BLOCKING (MIN DIA. OF GRAB BARS = 1 1/8")

NOTES:
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Qualification Information:

Jeremy McMullen *Signature* 22021
 NAME SIGNATURE BCIN

Precision Home Design 113640
 FIRM BCIN

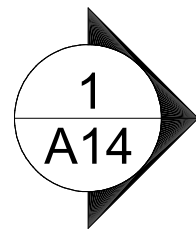
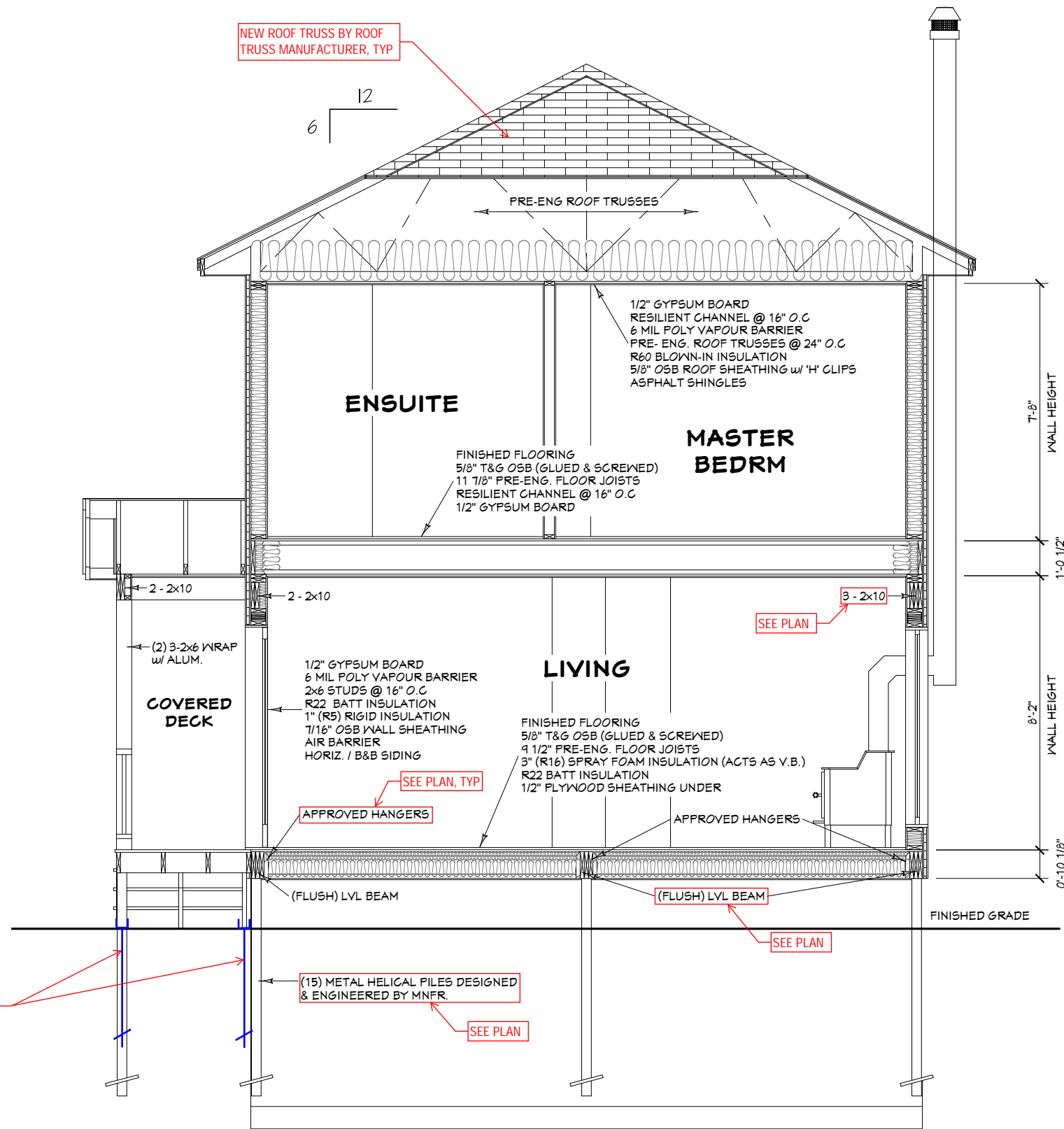
CUSTOMER:
 BOEMAC RENO / ADDITION
 74 STRACHAN ST.
 RICHMOND, ON

DRAWING NAME:
 DETAILS

SCALE:

DATE:
 JUNE 19, 2023

Sheet #
A13



BUILDING SECTION

SCALE: 1/4" = 1'-0"



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Qualification Information:

| | | |
|-----------------|-----------------------|--------|
| NAME | Signature | 22021 |
| Jeremy McMullen | | BCIN |
| FIRM | Precision Home Design | 113690 |
| | | BCIN |

CUSTOMER:

BOEMAC RENO / ADDITION

74 STRACHAN ST.
RICHMOND, ON

DRAWING NAME:

BUILDING SECTION

| | |
|---------------|---------|
| SCALE: | Sheet # |
| DATE: | A14 |
| JUNE 19, 2023 | |



TO BE READ IN CONJUNCTION WITH LETTER FROM OSTAN ENGINEERING INC.

NOTES:

1. ALL DIMENSIONS ARE TO BE CONFIRMED ON-SITE PRIOR TO CONSTRUCTION.