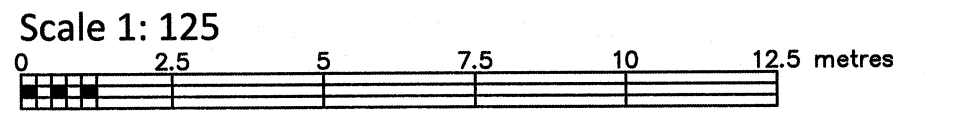


LOT 11 (WEST LORETTA AVENUE) REGISTERED PLAN 146 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023



Metric Note: Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note: Bearings hereon are grid bearings derived from the westerly limit of Loretta Avenue having a bearing of N23°34'00\"/>

Elevation Notes: 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928-1978. (Monument No. 197534238) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes: 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: Plan 17416 Contract No. ISD16-5029 Dwg. No. 15. 4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement and City of Ottawa Utility Sheets. 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend: Denotes Survey Monument Planted, Survey Monument Found, Short Standard Iron Bar, Iron Bar, Concrete Pin, Witness, Measured, Registered Plan 146, Plan 4R-27605, Plan SR-4016, Plan by (1287) dated July 8, 1987 (Job No. 307/87), Plan 4R-17902, Plan by (647) dated October 18, 1976, Maintenance Hole (Storm), Maintenance Hole (Sanitary), Underground Storm Sewer, Underground Sanitary Sewer, Underground Water, Utility Pole, Gas Meter, Catch Basin, Board Fence, Chain Link Fence, Concrete Retaining Wall, Stone Retaining Wall, Timber Retaining Wall, Top of Grate, Invert, Inside of Eave, Top of Foundation, Elevation, Centreline, Location of Elevations, Top of Concrete Curb/Retaining Wall Elevation, Property Line, Diameter, Deciduous Tree, Coniferous Tree.

Table with 2 columns: Symbol and Description. Includes symbols for monuments, fences, walls, trees, and utility features.

Site Area=781.1 sq.m.

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD.

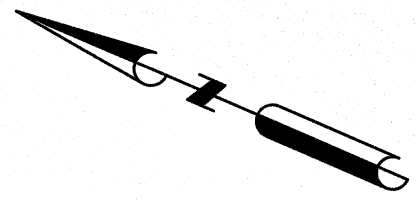
Surveyor's Certificate

- 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 17th day of August, 2023.

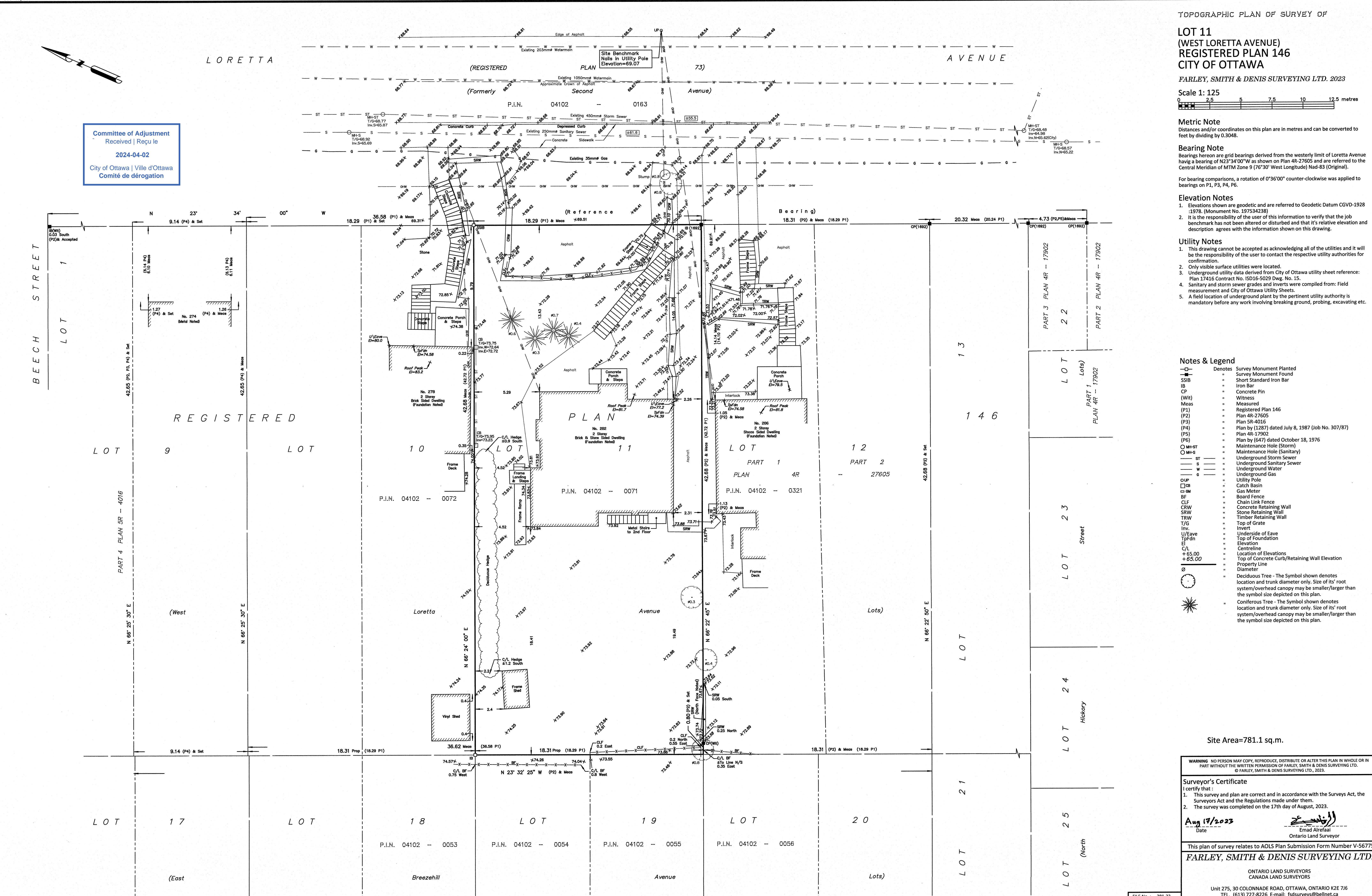
Aug 17/2023 Date, Emad Alrefaai Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-56775 FARLEY, SMITH & DENIS SURVEYING LTD.

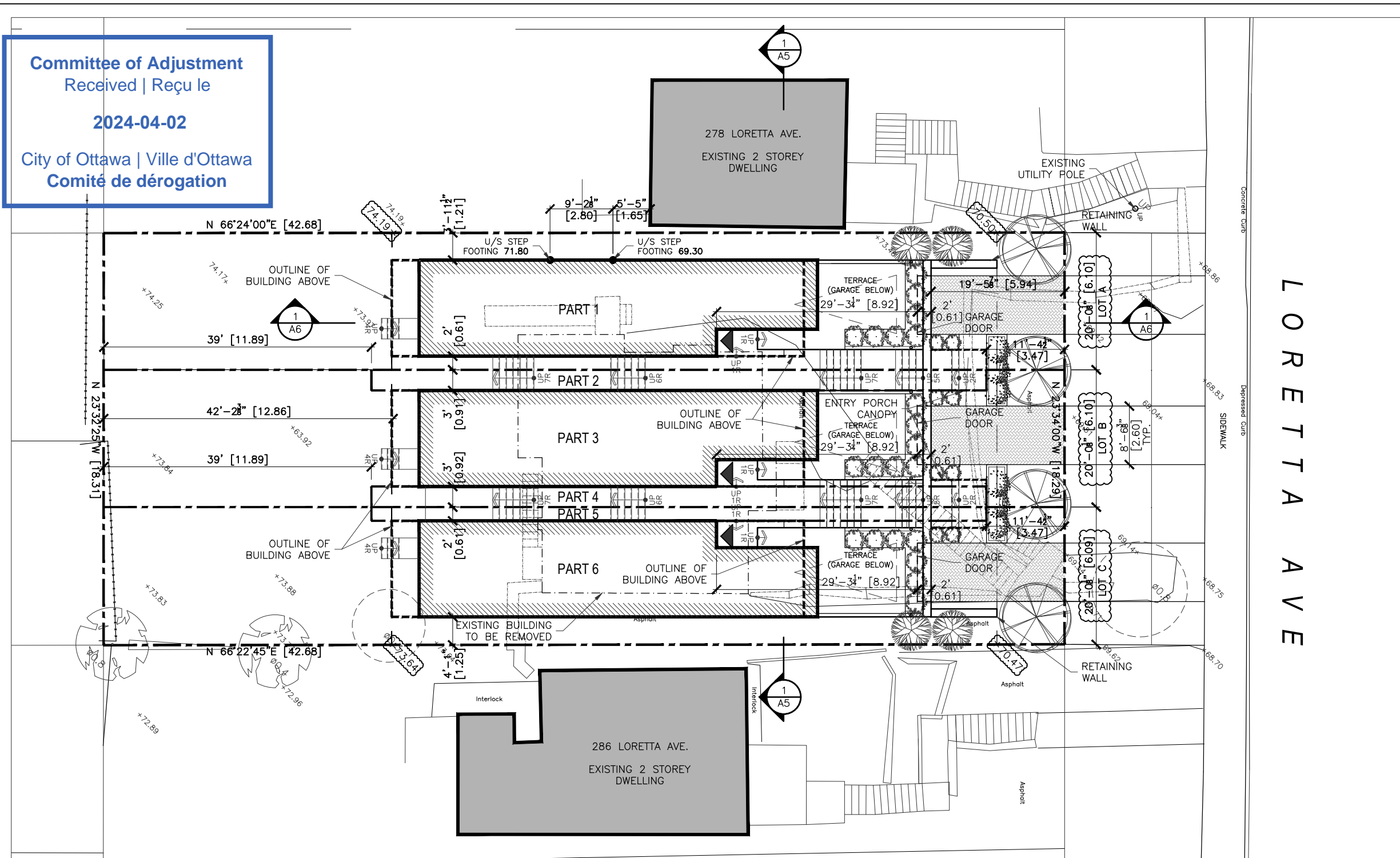
ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca



Committee of Adjustment Received | Reçu le 2024-04-02 City of Ottawa | Ville d'Ottawa Comité de dérogation



Committee of Adjustment
 Received | Reçu le
2024-04-02
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



DEVELOPMENT INFORMATION

TOTAL SITE AREA: 781.2 M²
 ZONING: R2R

LOT A: PART 1 * VARIANCES REQ'D

VARIANCES	BYLAW PROVISION	REQUIRED	PROPOSED
VAR	MINIMUM LOT WIDTH	9.0 M	6.10 M*
VAR	MINIMUM LOT AREA	270 M ²	259.9 M ² *
VAR	MAXIMUM HEIGHT	8.5 M	10.20 M* (DUE TO AVE GRADE OF SLOPE)
	MINIMUM FRONT YARD SETBACK	3.0 M	5.94 M
	MINIMUM REAR YARD SETBACK	12.8 M (30% LOT DEPTH)	12.86 M
	MINIMUM INTERIOR SIDE YARD SETBACK	1.8M TOTAL, 0.6M FOR ONE SIDE YARD	1.8M TOTAL, 0.6M FOR ONE SIDE YARD
VAR	FRONT FACING GARAGES (SECTION 140)	FRONT FACING GARAGES NOT PERMITTED	FRONT FACING GARAGES PROVIDED
VAR	FRONT FACING GARAGES (SECTION 139(3.3))	GARAGE DOOR TO BE 0.6M FURTHER FROM FRONT LOT LINE THAN THE PRINCIPAL ENTRANCE	GARAGE DOOR IS CLOSER TO FRONT LOT LINE THAN THE PRINCIPAL ENTRY*
VAR	SINGLE DRIVEWAY (STREETSCAPE CHARACTER ANALYSIS)	DRIVEWAY FROM THE STREET IS NOT PERMITTED	2.6M SINGLE DRIVEWAY* IS PROVIDED

LOT B: PART 2, 3, AND 4 * VARIANCES REQ'D

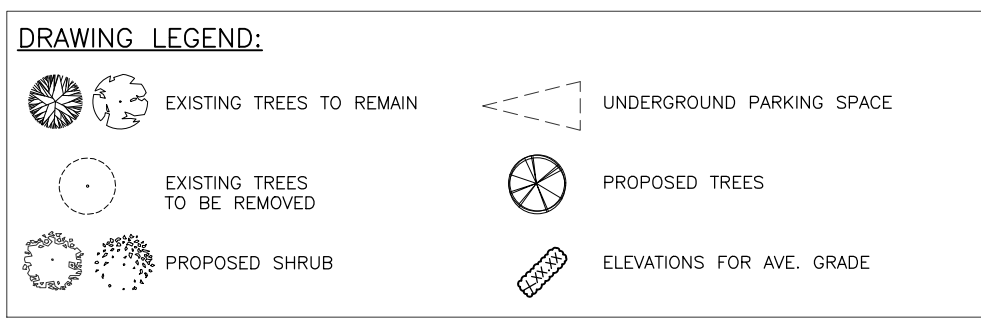
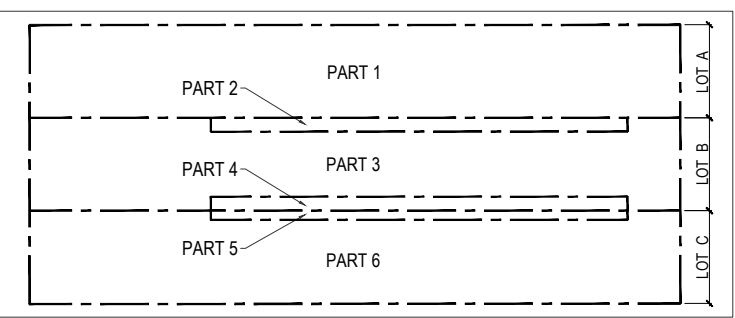
VARIANCES	BYLAW PROVISION	REQUIRED	PROPOSED
VAR	MINIMUM LOT WIDTH	9.0 M	6.10 M*
VAR	MINIMUM LOT AREA	270 M ²	260.5 M ² *
VAR	MAXIMUM HEIGHT	8.5 M	10.20 M* (DUE TO AVE GRADE OF SLOPE)
	MINIMUM FRONT YARD SETBACK	3.0 M	5.94 M
	MINIMUM REAR YARD SETBACK	12.8 M (30% LOT DEPTH)	12.86 M
	MINIMUM INTERIOR SIDE YARD SETBACK	1.8M TOTAL, 0.6M FOR ONE SIDE YARD	1.8M TOTAL, 0.6M FOR ONE SIDE YARD
VAR	FRONT FACING GARAGES (SECTION 140)	FRONT FACING GARAGES NOT PERMITTED	FRONT FACING GARAGES PROVIDED
VAR	FRONT FACING GARAGES (SECTION 139(3.3))	GARAGE DOOR TO BE 0.6M FURTHER FROM FRONT LOT LINE THAN THE PRINCIPAL ENTRANCE	GARAGE DOOR IS CLOSER TO FRONT LOT LINE THAN THE PRINCIPAL ENTRY*
VAR	SINGLE DRIVEWAY (STREETSCAPE CHARACTER ANALYSIS)	DRIVEWAY FROM THE STREET IS NOT PERMITTED	2.6M SINGLE DRIVEWAY* IS PROVIDED

LOT C: PART 5, AND 6 * VARIANCES REQ'D

VARIANCES	BYLAW PROVISION	REQUIRED	PROPOSED
VAR	MINIMUM LOT WIDTH	9.0 M	6.09 M*
VAR	MINIMUM LOT AREA	270 M ²	260.8 M ² *
VAR	MAXIMUM HEIGHT	8.5 M	10.20 M* (DUE TO AVE GRADE OF SLOPE)
	MINIMUM FRONT YARD SETBACK	3.0 M	5.94 M
	MINIMUM REAR YARD SETBACK	12.8 M (30% LOT DEPTH)	12.86 M
	MINIMUM INTERIOR SIDE YARD SETBACK	1.8M TOTAL, 0.6M FOR ONE SIDE YARD	1.8M TOTAL, 0.6M FOR ONE SIDE YARD
VAR	FRONT FACING GARAGES (SECTION 140)	FRONT FACING GARAGES NOT PERMITTED	FRONT FACING GARAGES PROVIDED
VAR	FRONT FACING GARAGES (SECTION 139(3.3))	GARAGE DOOR TO BE 0.6M FURTHER FROM FRONT LOT LINE THAN THE PRINCIPAL ENTRANCE	GARAGE DOOR IS CLOSER TO FRONT LOT LINE THAN THE PRINCIPAL ENTRY*
VAR	SINGLE DRIVEWAY (STREETSCAPE CHARACTER ANALYSIS)	DRIVEWAY FROM THE STREET IS NOT PERMITTED	2.6M SINGLE DRIVEWAY* IS PROVIDED

L O R E T T A A V E

1 SITE PLAN
 SP1 1/16" = 1'-0"



PROJECT NAME 282 LORETTA AVE.	DRAWING TITLE SITE PLAN	SCALE AS NOTED	DRAWING NO. SP1
OTTAWA, ON		DRAWN BY ---	
		DATE Mar. 28, 24	
		PROJECT NO. #019-23	

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Committee of Adjustment
Received | Reçu le

2024-04-02

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Comité de dérogation

F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A5 - LAST SAVED BY AAHN - LAST SAVED DATE March 18, 2024

LOT C

LOT B

LOT A

82.40 T/O ROOF
81.65 T/O SECOND FLOOR WALL
78.90 T/O SECOND FLOOR SUBFLOOR
75.82 T/O SUBFLOOR AT FRONT
72.73 T/O SUBFLOOR AT ENTRY
72.20 AVERAGE GRADE
69.63 T/O GARAGE SLAB
68.70 T/O SIDEWALK CURB

33'-5 7/8" [10.20]
BUILDING HEIGHT



1
A5 FRONT ELEVATION
1/8" = 1'-0"

PROJECT NAME
282 LORETTA AVE.
LOT A

OTTAWA, ON

DRAWING TITLE
FRONT
ELEVATION

SCALE
AS NOTED
DRAWN BY
DATE
3/18/24
PROJECT NO.
#019-23

DRAWING NO.

A5

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1
A6 REAR ELEVATION
1/8" = 1'-0"

PROJECT NAME
282 LORETTA AVE.
LOT A

OTTAWA, ON

DRAWING TITLE
REAR
ELEVATION

SCALE
AS NOTED
DRAWN BY

DATE
3/18/24
PROJECT NO.
#019-23

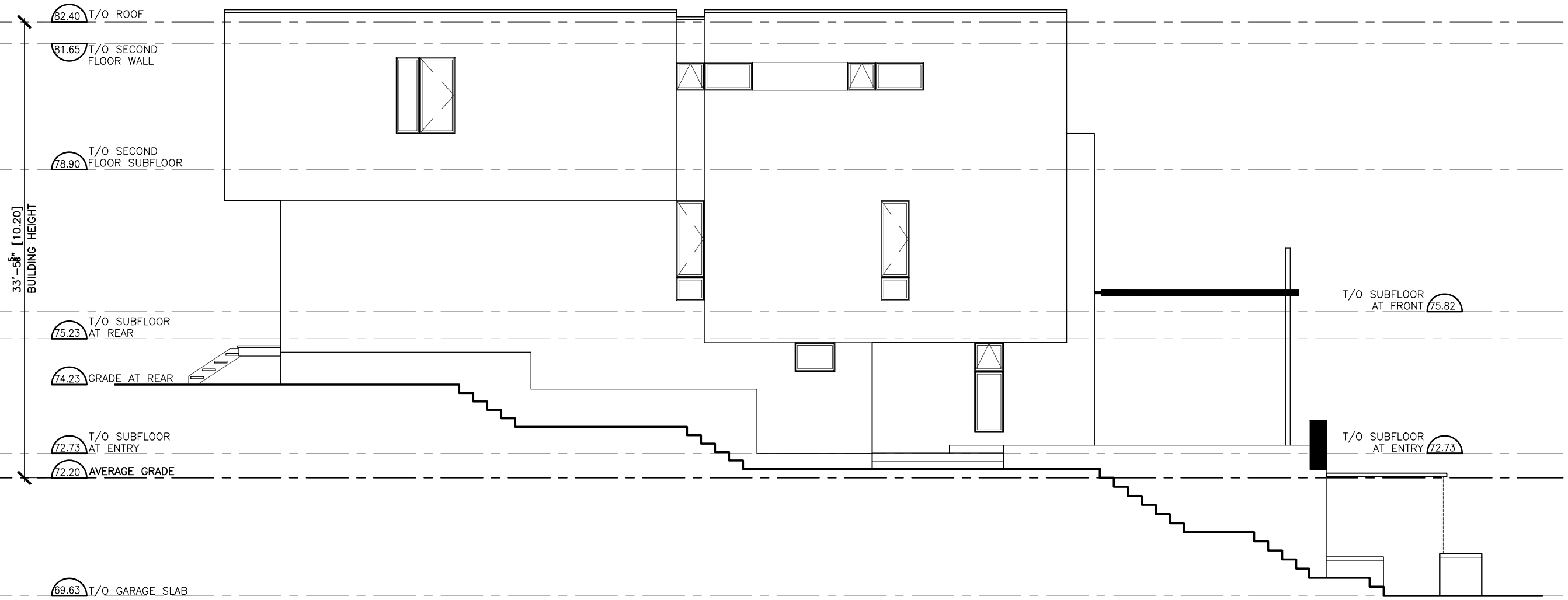
DRAWING NO.

A6

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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A7 - PLOT DATE 28-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 28, 2024



1 SOUTH ELEVATION
 A7 1/8" = 1'-0"

PROJECT NAME
 282 LORETTA AVE.
 LOT A

OTTAWA, ON

DRAWING TITLE
 SOUTH
 ELEVATION

SCALE
 AS NOTED
 DRAWN BY

 DATE
 3/28/24
 PROJECT NO.
 #019-23

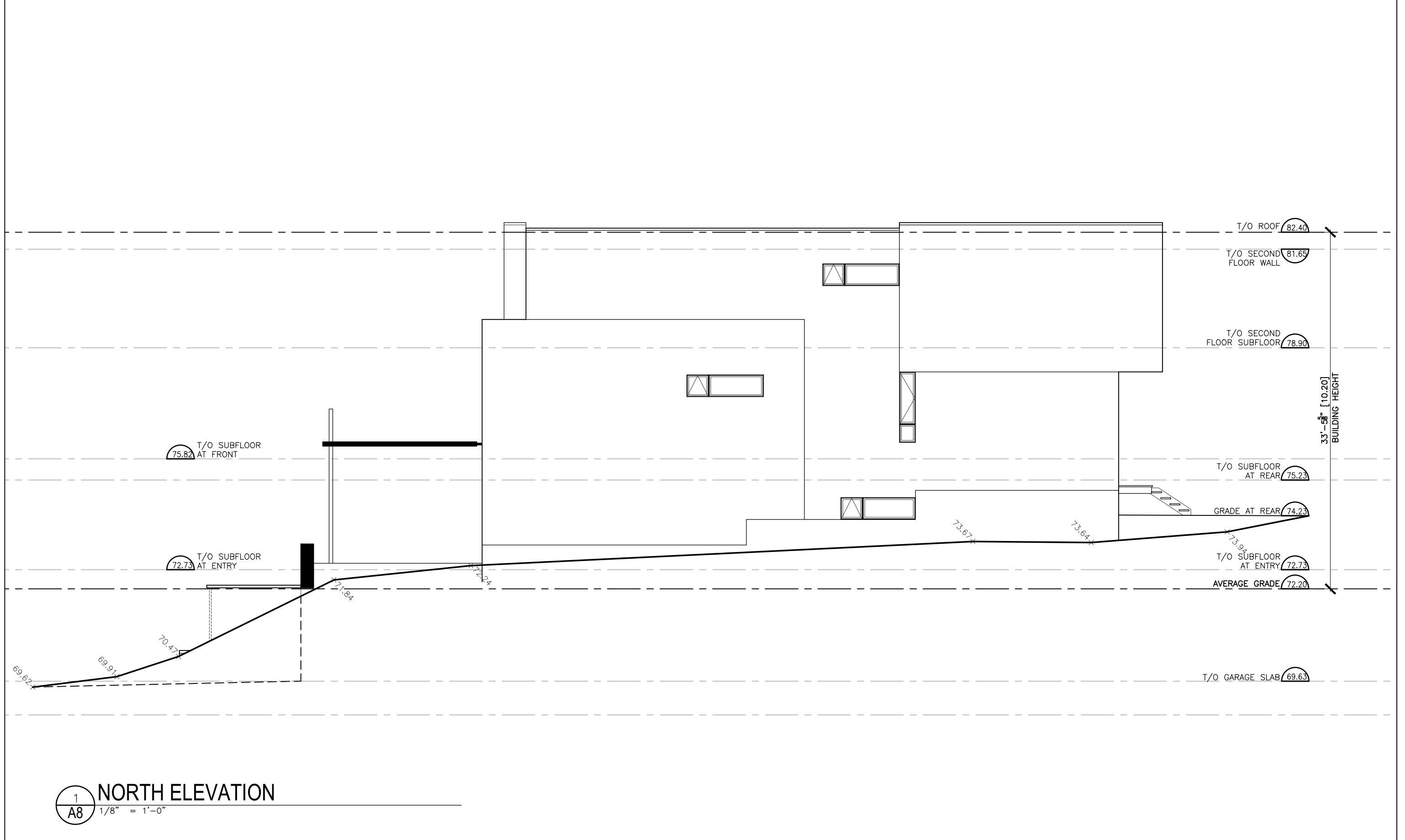
DRAWING NO.

A7

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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A8 - PLOT DATE 28-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 28, 2024



1
A8 NORTH ELEVATION
1/8" = 1'-0"

PROJECT NAME 282 LORETTA AVE. LOT A	DRAWING TITLE NORTH ELEVATION	SCALE AS NOTED	DRAWING NO. A8	COLIZZA BRUNI architecture <small>76 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V9 T 613.236.2944 • F 613.236.6777 • www.colizzabruni.com</small>
		DRAWN BY ----		
DATE 3/28/24				
PROJECT NO. #019-23				
OTTAWA, ON				

Committee of Adjustment
Received | Reçu le

2024-04-02

City of Ottawa | Ville d'Ottawa
Comité de dérogation

F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A5 - LAST SAVED BY AAHN - LAST SAVED DATE March 18, 2024

LOT C

LOT B

LOT A

82.40 T/O ROOF
81.65 T/O SECOND FLOOR WALL
78.90 T/O SECOND FLOOR SUBFLOOR
75.82 T/O SUBFLOOR AT FRONT
72.73 T/O SUBFLOOR AT ENTRY
72.20 AVERAGE GRADE
69.63 T/O GARAGE SLAB
68.70 T/O SIDEWALK CURB

33'-5 7/8" [10.20]
BUILDING HEIGHT



1
A5 FRONT ELEVATION
1/8" = 1'-0"

PROJECT NAME
282 LORETTA AVE.
LOT B

OTTAWA, ON

DRAWING TITLE
FRONT
ELEVATION

SCALE
AS NOTED
DRAWN BY
DATE
3/18/24
PROJECT NO.
#019-23

DRAWING NO.

A5

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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A6 - FLOT DATE 21-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 18, 2024



1
A6 REAR ELEVATION
1/8" = 1'-0"

PROJECT NAME
282 LORETTA AVE.
LOT B

OTTAWA, ON

DRAWING TITLE
REAR
ELEVATION

SCALE
AS NOTED
DRAWN BY

DATE
3/18/24
PROJECT NO.
#019-23

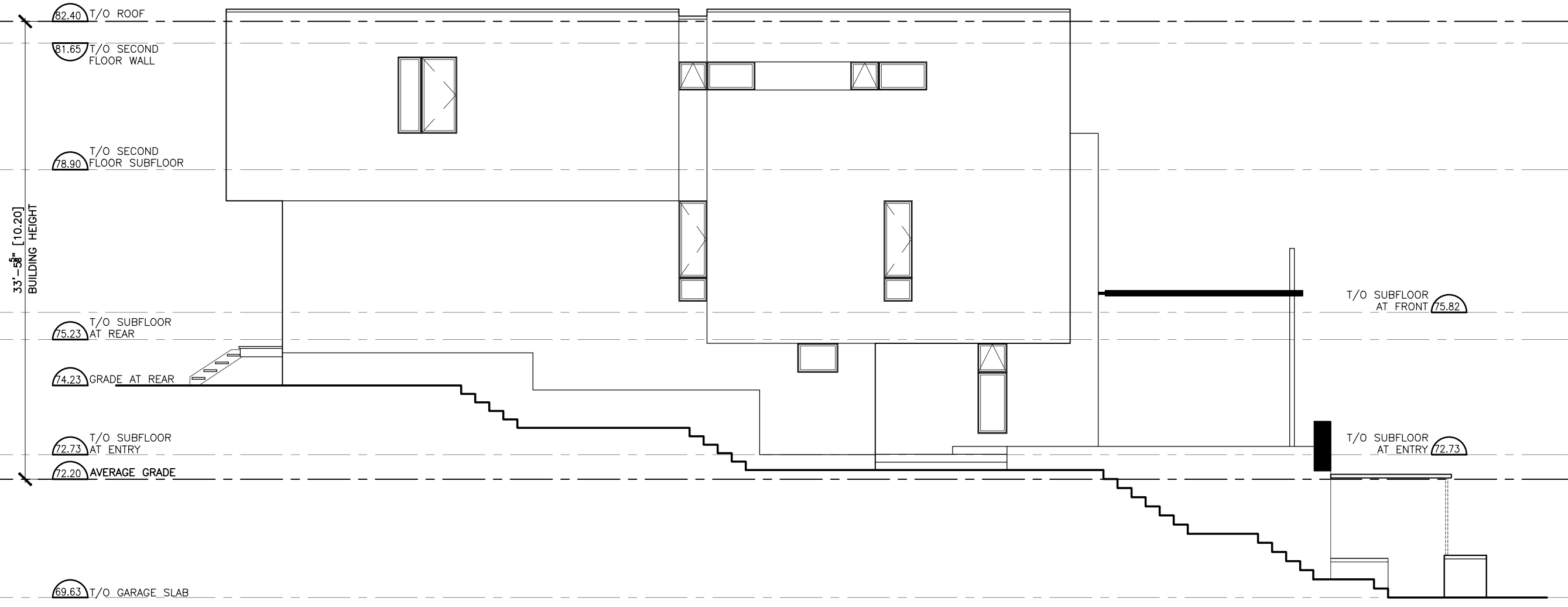
DRAWING NO.

A6

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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A7 (2) - PLOT DATE 28-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 28, 2024



1 SOUTH ELEVATION
 A7 1/8" = 1'-0"

PROJECT NAME
 282 LORETTA AVE.
 LOT B

OTTAWA, ON

DRAWING TITLE
 SOUTH
 ELEVATION

SCALE
 AS NOTED

DRAWN BY

DATE
 3/28/24

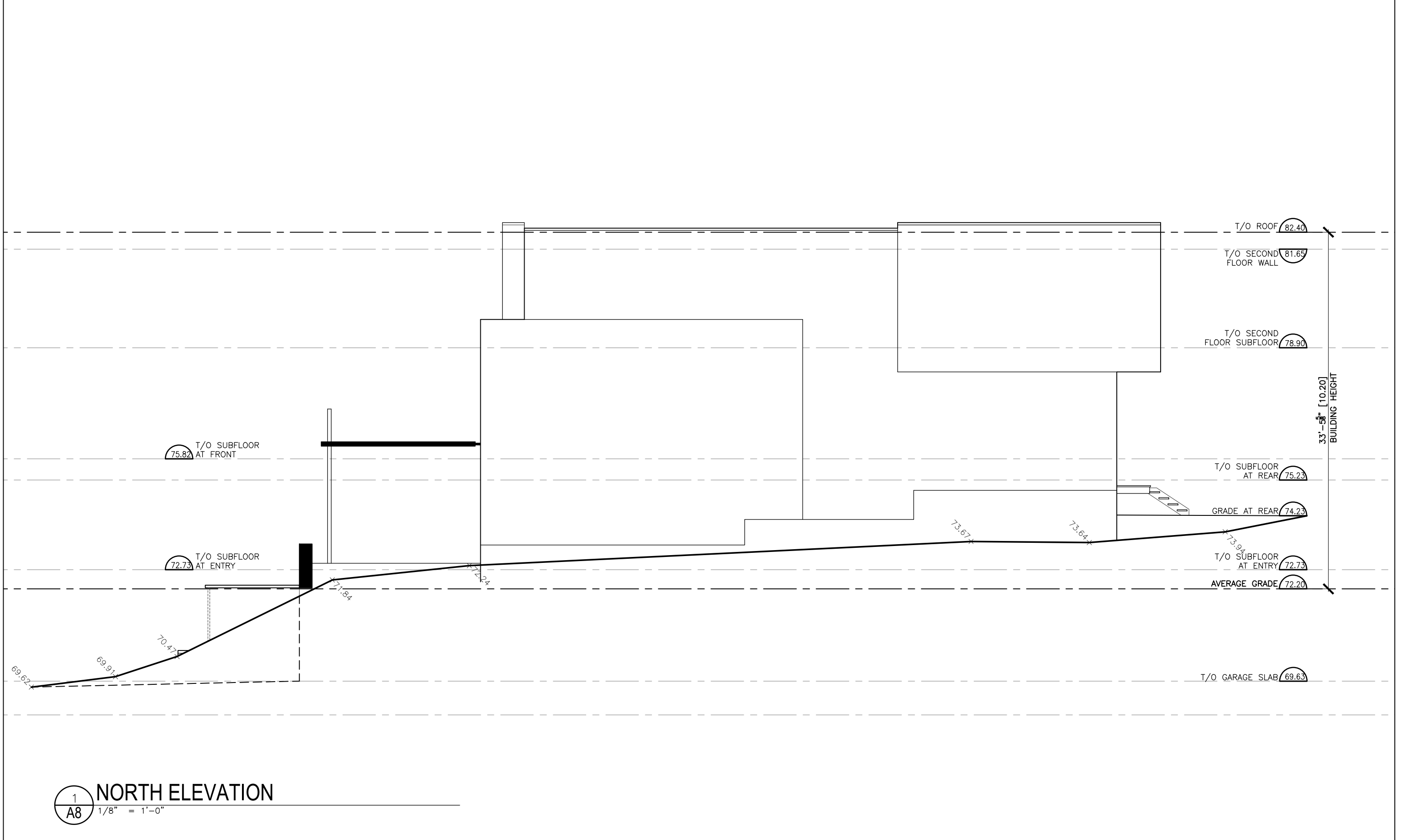
PROJECT NO.
 #019-23

DRAWING NO.
 A7

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 architecture

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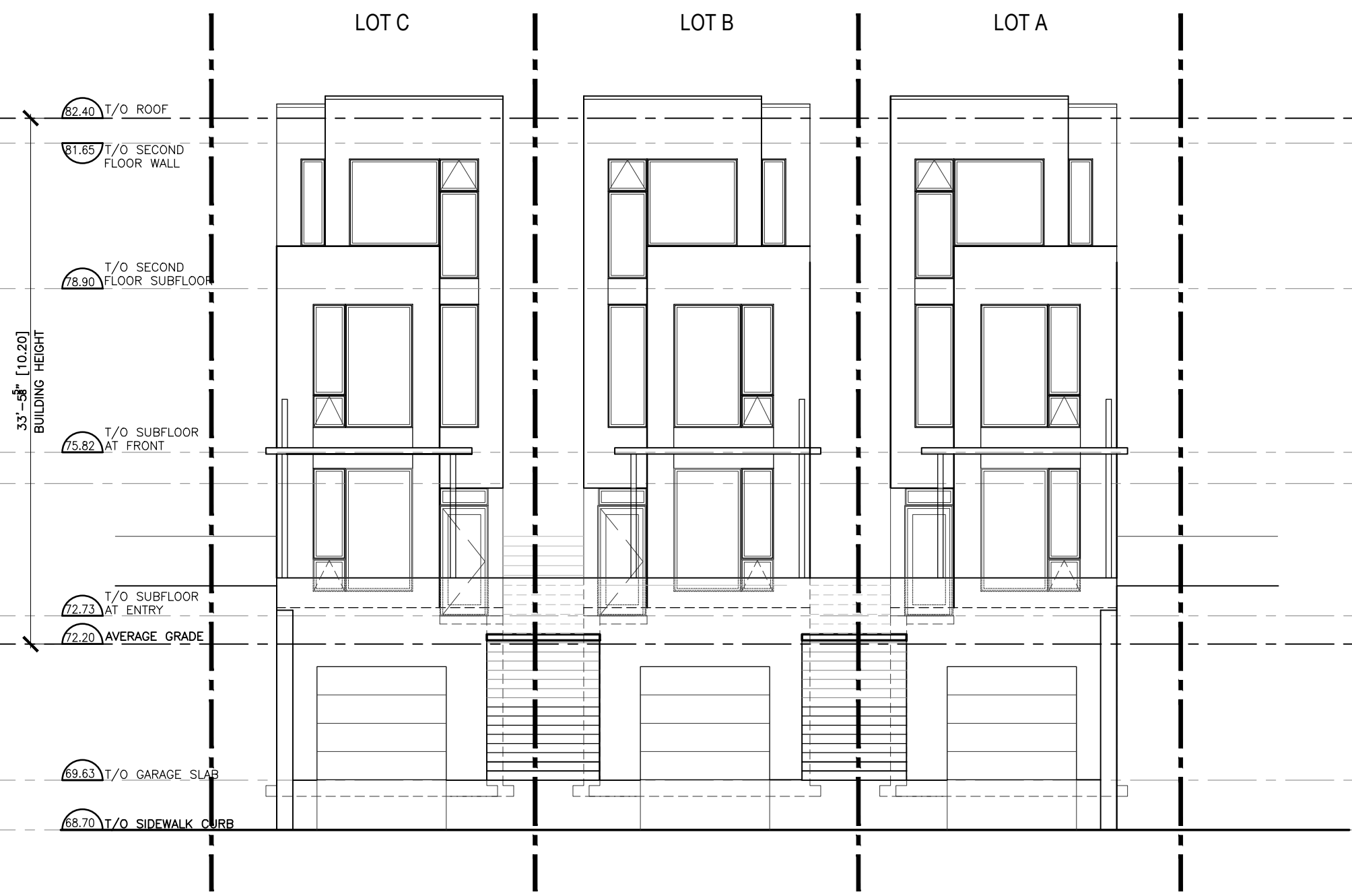
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1
A8 NORTH ELEVATION
1/8" = 1'-0"

PROJECT NAME 282 LORETTA AVE. LOT B	DRAWING TITLE NORTH ELEVATION	SCALE AS NOTED	DRAWING NO. A8	<p align="center">COLIZZA BRUNI architecture</p> <p align="right"><small>76 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V9 T 613.236.2944 • F 613.236.6777 • www.colizzabruni.com</small></p>
		DRAWN BY -----		
DATE 3/28/24				
PROJECT NO. #019-23				
OTTAWA, ON				

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 2024-04-02
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

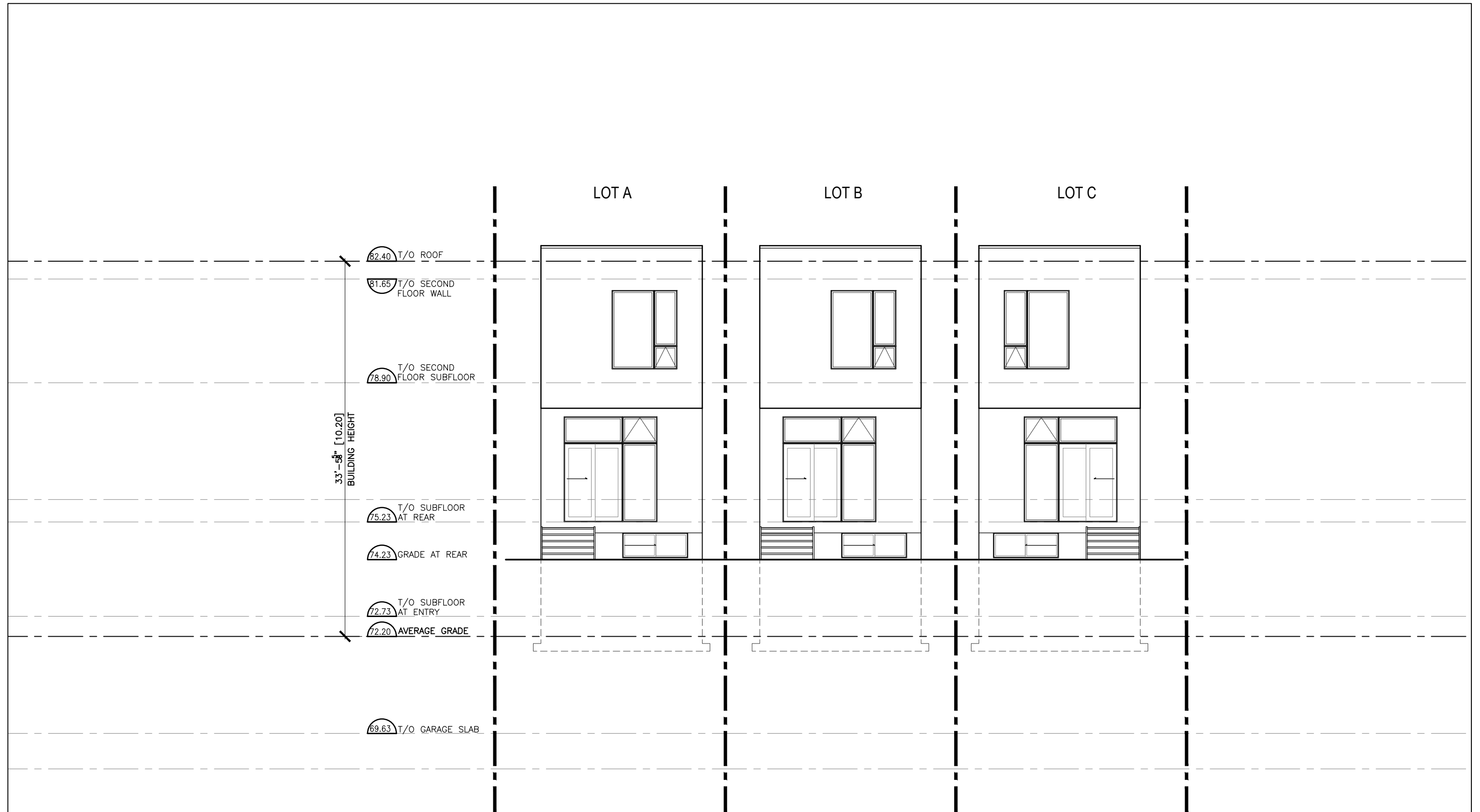


1
 A5 FRONT ELEVATION
 1/8" = 1'-0"

F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A5 - LAST SAVED BY AAHN - LAST SAVED DATE March 18, 2024

PROJECT NAME 282 LORETTA AVE. LOT C OTTAWA, ON	DRAWING TITLE FRONT ELEVATION	SCALE AS NOTED DRAWN BY ----- DATE 3/18/24 PROJECT NO. #019-23	DRAWING NO. A5	<p style="text-align: center;">COLIZZA BRUNI architecture</p> <p style="font-size: small; text-align: center;">76 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V9 T 613.236.2944 • F 613.236.6777 • www.colizzabruni.com</p>
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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A6 - FLOT DATE 21-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 18, 2024



1
A6 REAR ELEVATION
1/8" = 1'-0"

PROJECT NAME
282 LORETTA AVE.
LOT C

OTTAWA, ON

DRAWING TITLE
REAR
ELEVATION

SCALE
AS NOTED
DRAWN BY

DATE
3/18/24
PROJECT NO.
#019-23

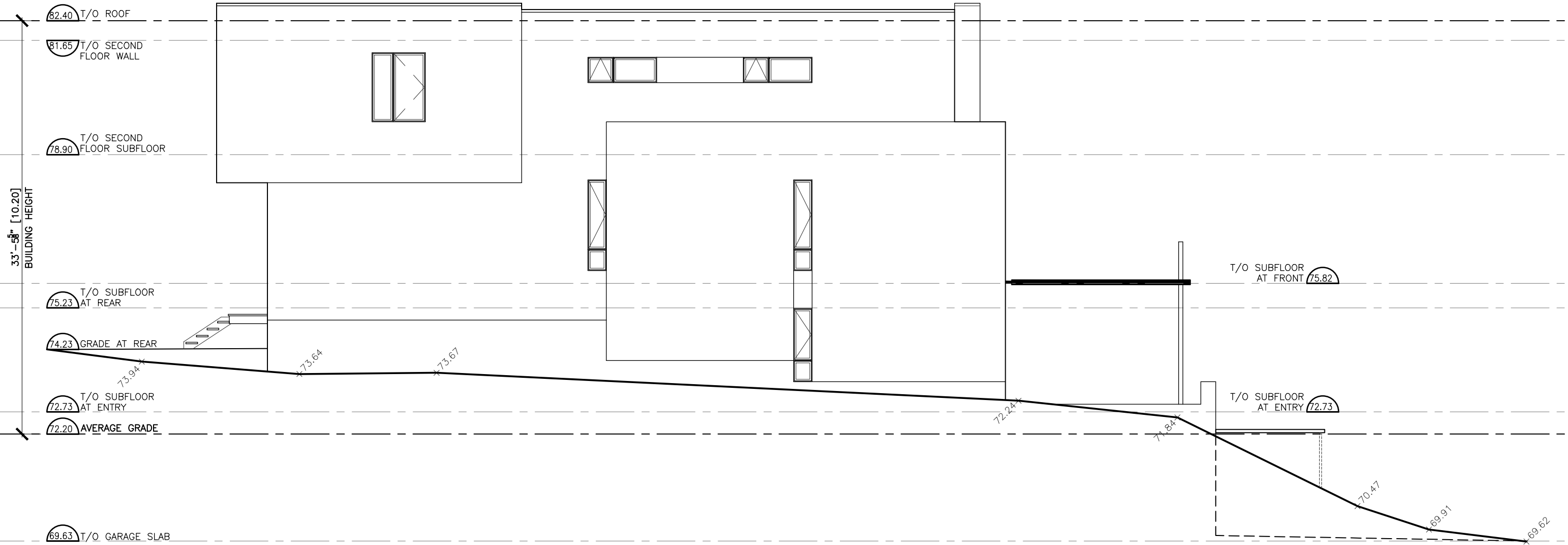
DRAWING NO.

A6

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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A7 (3) - PLOT DATE 28-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 28, 2024



1 SOUTH ELEVATION
A7 1/8" = 1'-0"

PROJECT NAME
282 LORETTA AVE.
LOT C

OTTAWA, ON

DRAWING TITLE
SOUTH
ELEVATION

SCALE
AS NOTED
DRAWN BY

DATE
3/28/24
PROJECT NO.
#019-23

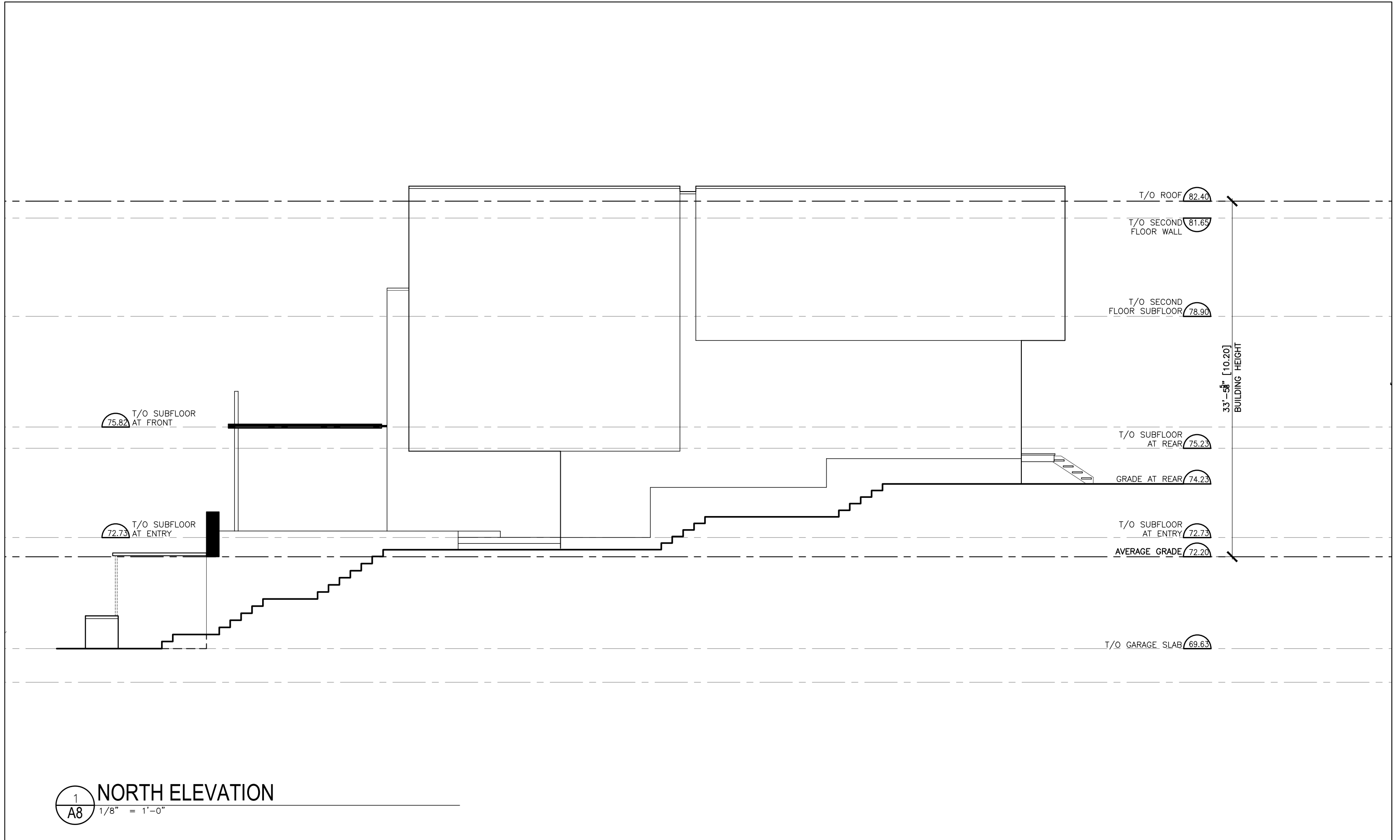
DRAWING NO.

A7

COLIZZA BRUNI
architecture

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F:\2023\01923_282 LORETTA AVE\1.3 DRAWINGS\1.3.1 DD\1.3.1.2 DRAFTING FILES\240123_282 LORETTA AVE_002.dwg - LAYOUT A8 (2) - PLOT DATE 28-Mar-24 - LAST SAVED BY AAHN - LAST SAVED DATE March 28, 2024



1
A8 NORTH ELEVATION
1/8" = 1'-0"

PROJECT NAME
**282 LORETTA AVE.
LOT C**

OTTAWA, ON

DRAWING TITLE
**NORTH
ELEVATION**

SCALE
AS NOTED

DRAWN BY

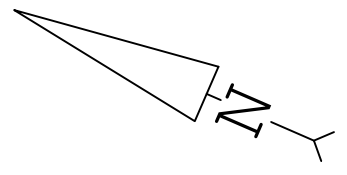
DATE
3/28/24

PROJECT NO.
#019-23

DRAWING NO.
A8

COLIZZA BRUNI
architecture

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2024-04-02
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Comité de dérogation

LORETTA

AVENUE

(REGISTERED PLAN
(Formerly Second Avenue)
P.I.N. 04102 -- 0163

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
EMAD ALREFAAI
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1				259.9
2				24.9
3	ALL OF 11	146	ALL OF 04102 - 0071	210.7
4				24.9
5				16.7
6				244.1

PLAN OF SURVEY OF

LOT 11
(WEST LORETTA AVENUE)
REGISTERED PLAN 146
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 125



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings hereon are grid bearings derived from the westerly limit of Loretta Avenue having a bearing of N23°34'00"W as shown on Plan 4R-27605 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°36'00" counter-clockwise was applied to bearings on P1, P3, P4, P6.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
Ⓐ	5029014.40	366426.18
Ⓑ	5028957.89	366450.83
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
- The survey was completed on the ___ day of _____, 2024.

Date: _____
Emad Alrefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

Notes & Legend

- Denotes Survey Monument Planted
- Survey Monument Found
- SSIB = Short Standard Iron Bar
- IB = Iron Bar
- CP = Concrete Pin
- (WH) = Witness
- Mess = Measured
- (P1) = Registered Plan 146
- (P2) = Plan 4R-27605
- (P3) = Plan 5R-4016
- (P4) = Plan by (1287) dated July 8, 1987 (Job No. 307/87)
- (P5) = Plan 4R-17902
- (P6) = Plan by (647) dated October 18, 1976
- (P7) = Plan by (1692) dated August 17, 2023 (File No. 281-23)
- ow— Overhead Wires
- ULP = Utility Pole
- BF = Board Fence
- CLF = Chain Link Fence
- SRW = Stone Retaining Wall
- TRW = Timber Retaining Wall
- C/L = Centreline
- ∅ = Diameter
- Deciduous Tree - The symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
- Coniferous Tree - The symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fdsurvey@bellnet.ca

FILE No.: 44-24

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