

**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1 Plan of Survey of**  
**LOT 33 AND**  
**PART OF LOT 32**  
**REGISTERED PLAN 309**  
**CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 200



**Metric**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 7th day of Decemeber, 2023.

**DEC. 13, 2023**

Date

*Mirel Aradau*  
 Mirel Aradau  
 Ontario Land Surveyor

**PART 2**

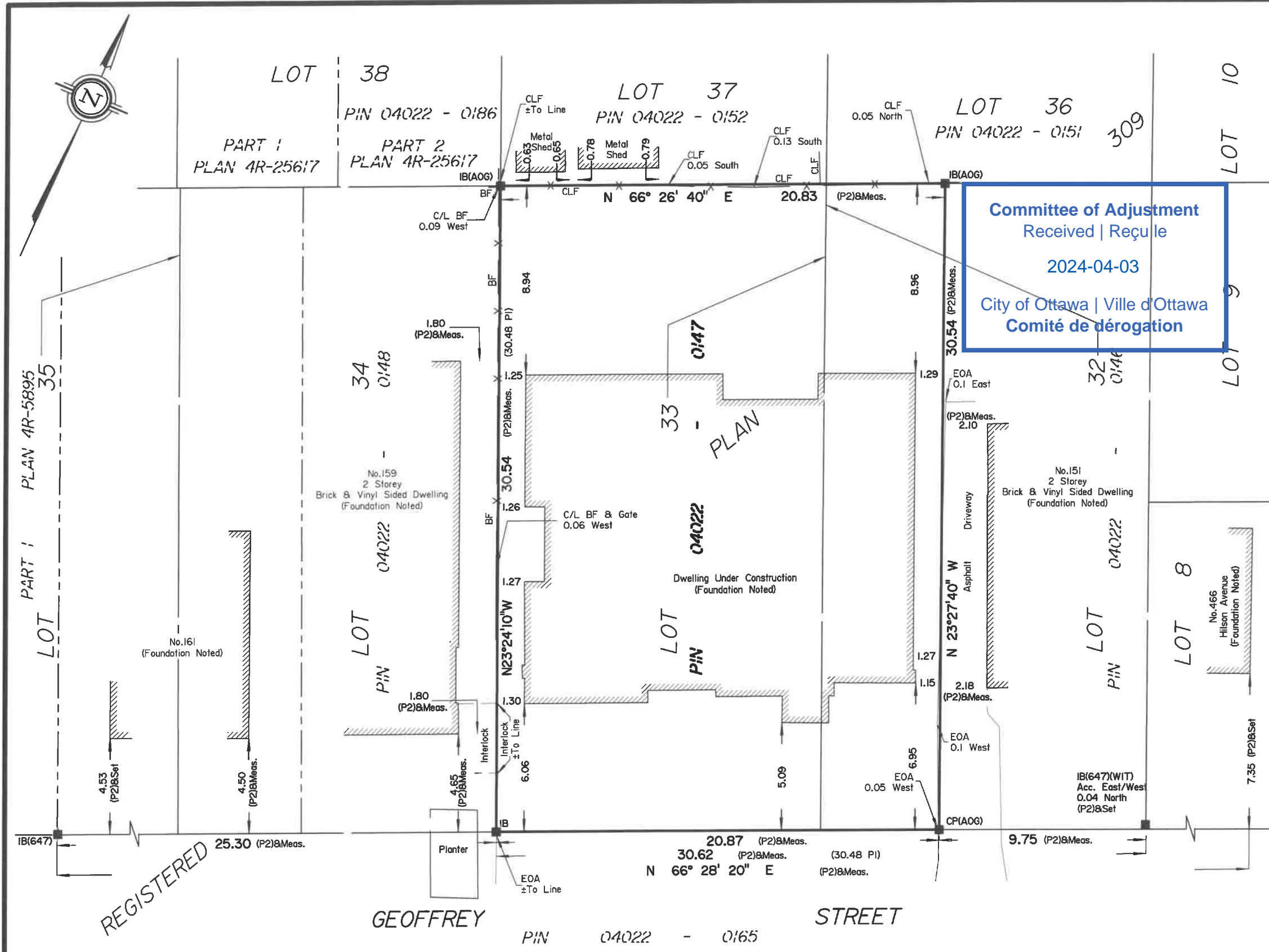
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: December 13, 2023

**Notes & Legend**

Symbol	Denotes
	Survey Monument Planted
	Survey Monument Found
CP	Concrete Pin
IB	Iron Bar
IP	Iron Pipe
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(PI)	Registered Plan 309
(P2)	(AOG) Plan dated June 13, 2022
CLF	Chain Link Fence
BF	Board Fence
EOA	Edge of Asphalt
C/L	Centreline

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
**V-69119**

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29 (3).



REGISTERED

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 ( 76°30' West Longitude ) NAD-83 (original).

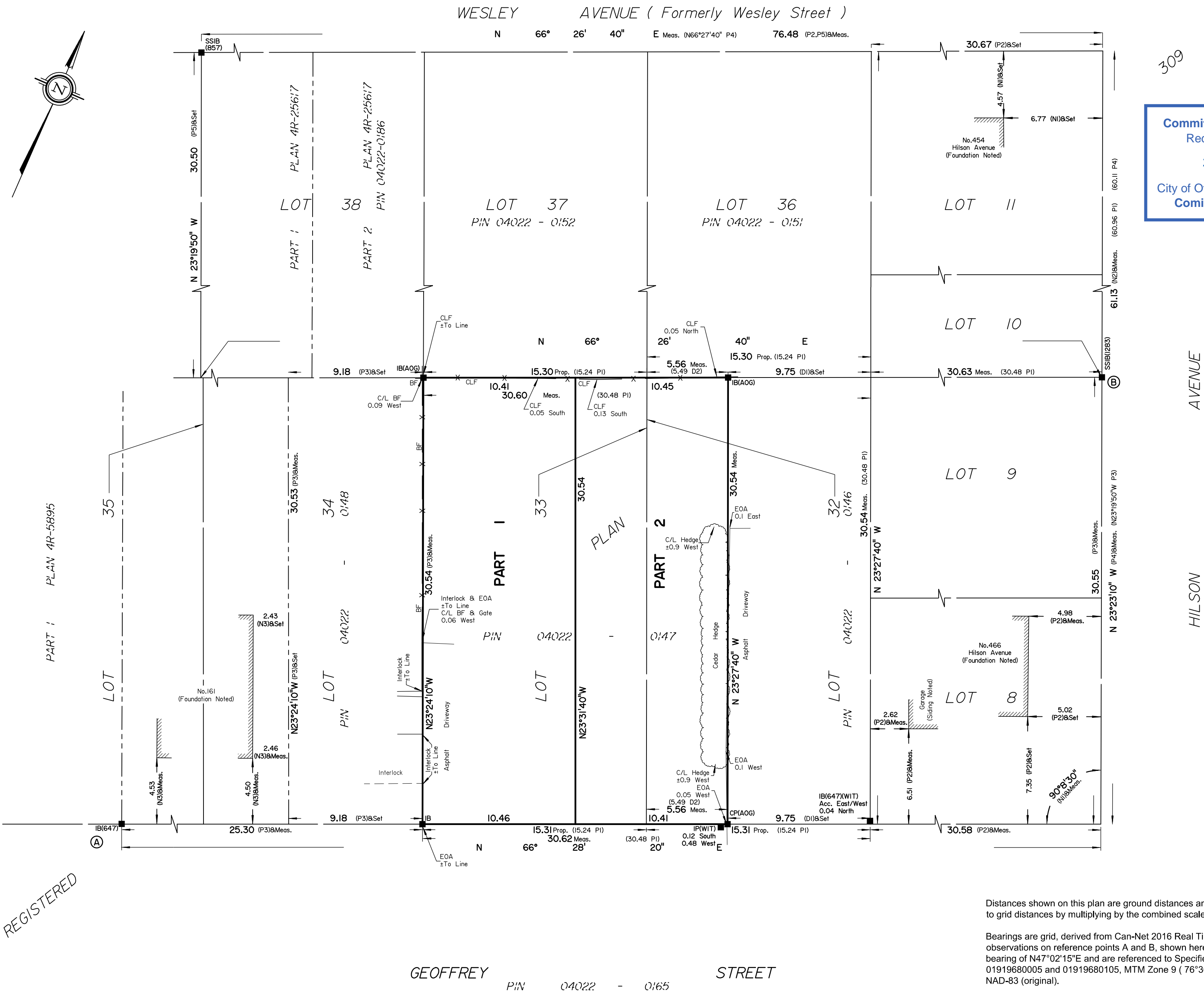
ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to Andy Davey ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

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Ontario Land Surveyors Job No. 24003-23 ADavey PRL1s32-33 RP309 D-C DI DG/VF

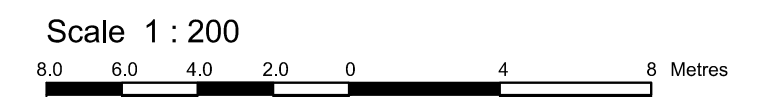
SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
318.4	1	PART OF LOT 33	309	ALL OF 04022-0147
318.4	2	PART OF LOT 32		



**Committee of Adjustment**  
 Received | Reçu le  
 2024-04-03  
 City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**

**PLAN OF SURVEY OF**  
**LOT 33 AND**  
**PART OF LOT 32**  
**REGISTERED PLAN 309**  
**CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.



The intended plot size of the plan is 610 mm in width by 457 mm in height when plotted at a scale of 1:200.

**Metric**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**

- I CERTIFY THAT :
- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
  - The survey was completed on the \_\_\_ day of \_\_\_\_\_, 2022.

Date \_\_\_\_\_ Stefan Bazar  
 Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission form number V-

**Notes & Legend**

—□—	Denotes	Survey Monument Planted
—■—	"	Survey Monument Found
SSIB	"	Short Standard Iron Bar
CP	"	Concrete Pin
IB	"	Iron Bar
IP	"	Iron Pipe
Prop.	"	Proportioned
(WIT)	"	Witness
Meas.	"	Measured
(AOG)	"	Annis, O'Sullivan, Vollebakk Ltd.
(P1)	"	Registered Plan 309
(P2)	"	(1442) Plan dated January 22, 1993
(P3)	"	(1692) Plan dated February 4, 2011
(P4)	"	(1319) Plan dated March 26, 1986
(P5)	"	(857) Plan dated November 25, 1986
(N1)	"	(725) Field Notes dated September 20, 1944
(N2)	"	(725) Field Notes dated April 1, 1955
(N3)	"	(725) Field Notes dated June 22, 1955
(D1)	"	Inst. N708804
(D2)	"	Inst. N444968
CLF	"	Chain Link Fence
BF	"	Board Fence
C/L	"	Centreline
EOA	"	Edge of Asphalt

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999943.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N47°02'15"E and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°34'30" counter-clockwise was applied to bearings on plan (P2), (P3) and (P4).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

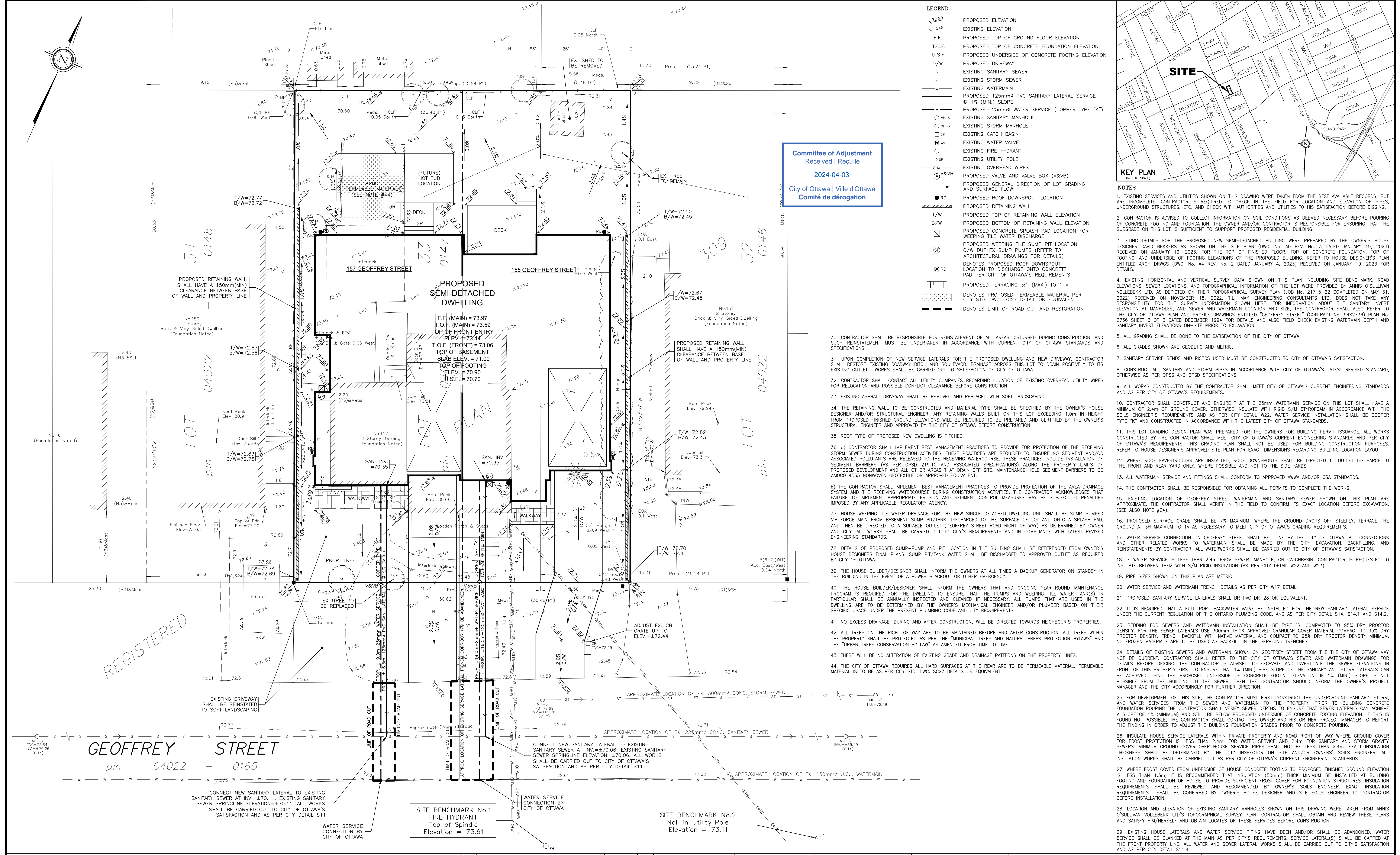
Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Easting	361496.76
.01919680105	Northing	5024915.16	Easting	373971.65
.Point A	Northing	5028300.00	Easting	363946.86
.Point B	Northing	5028362.58	Easting	364014.06

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

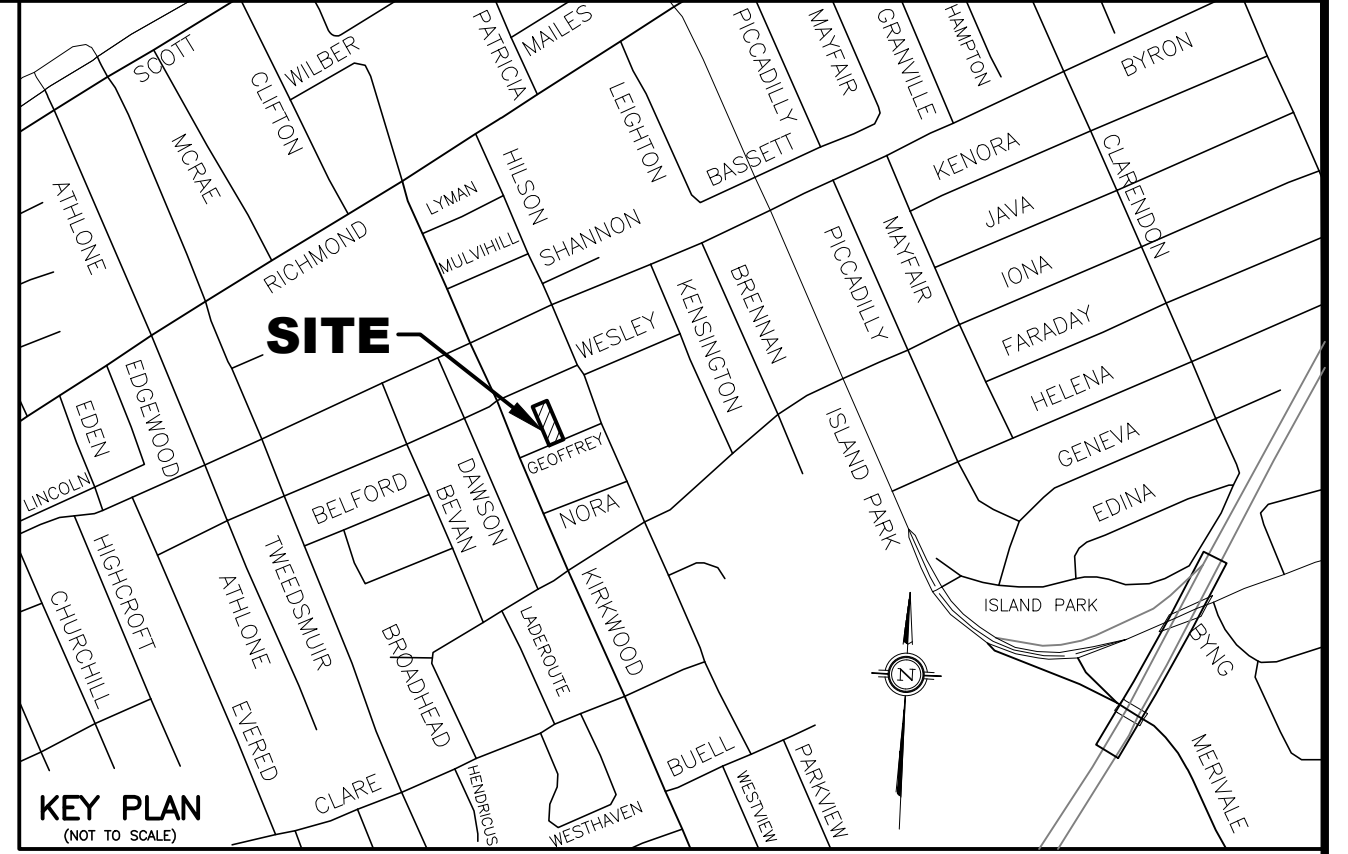
REGISTERED

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Committee of Adjustment  
Received | Reçu le  
2024-04-03  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

- LEGEND**
- PROPOSED ELEVATION
  - EXISTING ELEVATION
  - F.F. PROPOSED TOP OF GROUND FLOOR ELEVATION
  - T.O.F. PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
  - U.S.F. PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
  - D/W PROPOSED DRIVEWAY
  - ST — EXISTING SANITARY SEWER
  - ST — EXISTING STORM SEWER
  - W — EXISTING WATERMAIN
  - W — PROPOSED 125mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
  - W — PROPOSED 25mm WATER SERVICE (COPPER TYPE "K")
  - MI-S EXISTING SANITARY MANHOLE
  - MI-ST EXISTING STORM MANHOLE
  - CB EXISTING CATCH BASIN
  - WV EXISTING WATER VALVE
  - FH EXISTING FIRE HYDRANT
  - UP EXISTING UTILITY POLE
  - OHW EXISTING OVERHEAD WIRES
  - V&VB PROPOSED VALVE AND VALVE BOX (V&VB)
  - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
  - RD PROPOSED ROOF DOWNSPOUT LOCATION
  - RD — PROPOSED RETAINING WALL
  - T/W PROPOSED TOP OF RETAINING WALL ELEVATION
  - B/W PROPOSED BOTTOM OF RETAINING WALL ELEVATION
  - ⊠ PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE
  - ⊠ PROPOSED WEeping TILE SUMP PIT LOCATION
  - ⊠ C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
  - ⊠ DENOTES PROPOSED ROOF DOWNSPOUT LOCATION TO DISCHARGE ONTO CONCRETE PAD PER CITY OF OTTAWA'S REQUIREMENTS
  - ⊠ PROPOSED TERRACING 3:1 (MAX.) TO 1 V
  - ⊠ DENOTES PROPOSED PERMEABLE MATERIAL PER CITY STD. SC27 DETAIL OR EQUIVALENT
  - ⊠ DENOTES LIMIT OF ROAD CUT AND RESTORATION

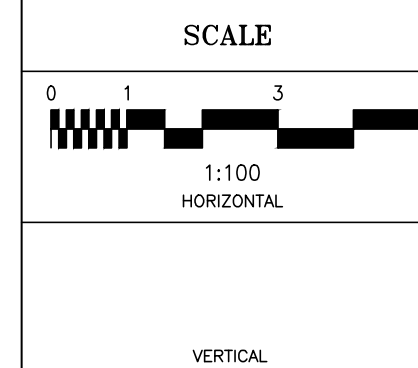


- NOTES**
- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, UNDERGROUND STRUCTURES, ETC. AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
  - CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDING.
  - SITING DETAILS FOR THE PROPOSED NEW SEMI-DETACHED BUILDING WERE PREPARED BY THE OWNER'S HOUSE DESIGNER DAVID BEKKERS AS SHOWN ON THE SITE PLAN (DWG. No. AD REV. No. 3 DATED JANUARY 19, 2023) RECEIVED ON JANUARY 19, 2023. T.L.M. ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR INFORMATION ABOUT THE SANITARY INVERT ELEVATION AT MANHOLES, AND SEWER AND WATERMAIN LOCATION AND SIZE, THE CONTRACTOR SHALL ALSO REFER TO THE CITY OF OTTAWA PLAN AND PROFILE DRAWINGS ENTITLED "GEOFFREY STREET" (CONTRACT No. 9452736) PLAN No. 2746 SHEET 3 OF 3 DATED DECEMBER 1994 FOR DETAILS AND ALSO FIELD CHECK EXISTING WATERMAIN DEPTH AND SANITARY INVERT ELEVATIONS ON-SITE PRIOR TO EXCAVATION.
  - EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY ANNIS O'SULLIVAN VOLLEBEKK LTD. AS DEPICTED ON THEIR TOPOGRAPHICAL SURVEY PLAN (JOB No. 21715-22 COMPLETED ON MAY 31, 2022) RECEIVED ON NOVEMBER 18, 2022. T.L.M. ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR INFORMATION ABOUT THE SANITARY INVERT ELEVATION AT MANHOLES, AND SEWER AND WATERMAIN LOCATION AND SIZE, THE CONTRACTOR SHALL ALSO REFER TO THE CITY OF OTTAWA PLAN AND PROFILE DRAWINGS ENTITLED "GEOFFREY STREET" (CONTRACT No. 9452736) PLAN No. 2746 SHEET 3 OF 3 DATED DECEMBER 1994 FOR DETAILS AND ALSO FIELD CHECK EXISTING WATERMAIN DEPTH AND SANITARY INVERT ELEVATIONS ON-SITE PRIOR TO EXCAVATION.
  - ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
  - ALL GRADES SHOWN ARE GEODETIC AND METRIC.
  - SANITARY SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
  - CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPSD AND OPSD SPECIFICATIONS.
  - ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
  - CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 25mm WATERMAIN SERVICE ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER, OTHERWISE INSULATE WITH RIGID 5/M STYROFOAM IN ACCORDANCE WITH THE SOILS ENGINEER'S REQUIREMENTS AND AS PER CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE "K" AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF OTTAWA STANDARDS.
  - THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
  - WHERE ROOF EAVESTROUGHS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO THE FRONT AND REAR YARD ONLY, WHERE POSSIBLE AND NOT TO THE SIDE YARDS.
  - ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED ANWA AND/OR CSA STANDARDS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
  - EXISTING LOCATION OF GEOFFREY STREET WATERMAIN AND SANITARY SEWER SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM ITS EXACT LOCATION BEFORE EXCAVATION. (SEE ALSO NOTE #24).
  - PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM. WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3:1 MAXIMUM TO 1V AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
  - WATER SERVICE CONNECTION ON GEOFFREY STREET SHALL BE DONE BY THE CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY THE CITY. EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CAPPED TO CITY OF OTTAWA'S SATISFACTION.
  - IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCHBASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH 5/M RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
  - PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
  - WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
  - PROPOSED SANITARY SERVICE LATERALS SHALL BR PVC DR-28 OR EQUIVALENT.
  - IT IS REQUIRED THAT A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE NEW SANITARY LATERAL SERVICE UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE, AND AS PER CITY DETAIL S14, S14.1 AND S14.2.
  - BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE "B" COMPACTED TO 95% DRY PROCTOR DENSITY. FOR THE SEWER LATERALS USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN THE SERVING TRENCHES.
  - DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON GEOFFREY STREET FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO THE CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE DIGGING. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1% (MIN.) PIPE SLOPE OF THE SANITARY AND STORM LATERALS CAN BE ACHIEVED USING THE PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1% (MIN.) SLOPE IS NOT POSSIBLE FROM THE BUILDING TO THE SEWER, THEN THE CONTRACTOR SHOULD INFORM THE OWNER'S PROJECT MANAGER AND THE CITY ACCORDINGLY FOR FURTHER DIRECTION.
  - FOR DEVELOPMENT OF THIS SITE, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM THE SEWER AND WATERMAIN TO THE PROPERTY, PRIOR TO BUILDING CONCRETE FOUNDATION POURING. THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% (MINIMUM) AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
  - INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR FROST PROTECTION IS LESS THAN 2.4m. FOR WATER SERVICE AND 2.4m FOR SANITARY AND STORM GROWER SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2.4m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY THE CITY INSPECTOR ON SITE AND/OR OWNERS' SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS.
  - WHERE FROST COVER FROM UNDERSIDE OF HOUSE CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (50mm) THICK MINIMUM BE INSTALLED AT BUILDING FOOTING AND FOUNDATION TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
  - LOCATION AND ELEVATION OF EXISTING SANITARY MANHOLES SHOWN ON THIS DRAWING WERE TAKEN FROM ANNIS O'SULLIVAN VOLLEBEKK LTD'S TOPOGRAPHICAL SURVEY PLAN. CONTRACTOR SHALL OBTAIN AND REVIEW THESE PLANS AND SATISFY HIM/HERSELF AND OBTAIN LOCATES OF THESE SERVICES BEFORE CONSTRUCTION.
  - EXISTING HOUSE LATERALS AND WATER SERVICE PIPING HAVE BEEN AND/OR SHALL BE ABANDONED. WATER SERVICE SHALL BE CAPPED AT THE MAIN AS PER CITY'S REQUIREMENTS. SERVICE LATERAL(S) SHALL BE CAPPED AT THE FRONT PROPERTY LINE. ALL WATER AND SEWER LATERAL WORKS SHALL BE CARRIED OUT TO CITY'S SATISFACTION AND AS PER CITY DETAIL S11.4.

- CONTRACTOR SHALL BE RESPONSIBLE FOR REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION, AND SUCH REINSTATEMENT MUST BE UNDERTAKEN IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- UPON COMPLETION OF NEW SERVICE LATERALS FOR THE PROPOSED DWELLING AND NEW DRIVEWAY, CONTRACTOR SHALL RESTORE EXISTING ROADWAY DITCH AND BOULEVARD, DRAINAGE ACROSS THIS LOT TO DRAIN POSITIVELY TO ITS EXISTING OUTLET. WORKS SHALL BE CARRIED OUT TO SATISFACTION OF CITY OF OTTAWA.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CONFLICT CLEARANCE BEFORE CONSTRUCTION.
- EXISTING ASPHALT DRIVEWAY SHALL BE REMOVED AND REPLACED WITH SOFT LANDSCAPING.
- THE RETAINING WALL TO BE CONSTRUCTED AND MATERIAL TYPE SHALL BE SPECIFIED BY THE OWNER'S HOUSE DESIGNER AND/OR STRUCTURAL ENGINEER. ANY RETAINING WALLS BUILT ON THIS LOT EXCEEDING 1.0m IN HEIGHT FROM PROPOSED FINISHED GROUND ELEVATIONS WILL BE REQUIRED TO BE PREPARED AND CERTIFIED BY THE OWNER'S STRUCTURAL ENGINEER AND APPROVED BY THE CITY OF OTTAWA BEFORE CONSTRUCTION.
- ROOF TYPE OF PROPOSED NEW DWELLING IS PITCHED.
- a) CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE RECEIVING STORM SEWER DURING CONSTRUCTION ACTIVITIES. THESE PRACTICES ARE REQUIRED TO ENSURE NO SEDIMENT AND/OR ASSOCIATED POLLUTANTS ARE RELEASED TO THE RECEIVING WATERCOURSE. THESE PRACTICES INCLUDE INSTALLATION OF SEDIMENT BARRIERS (AS PER OPSD 219.10 AND ASSOCIATED SPECIFICATIONS) ALONG THE PROPERTY LIMITS OF PROPOSED DEVELOPMENT AND ALL OTHER AREAS THAT DRAIN OFF SITE. MAINTENANCE HOLE SEDIMENT BARRIERS TO BE AMOCO 4555 NONWOVEN GEOTEXTILE OR APPROVED EQUIVALENT.  
b) THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
- HOUSE WEeping TILE WATER DRAINAGE FOR THE NEW SINGLE-DETACHED DWELLING UNIT SHALL BE SUMP-PUMPED VIA FORCE MAIN FROM BASEMENT SUMP PIT/TANK, DISCHARGED TO THE SURFACE OF LOT AND ONTO A SPLASH PAD, AND THEN BE DIRECTED TO A SUITABLE OUTLET (GEOFFREY STREET ROAD RIGHT OF WAY) AS DETERMINED BY OWNER AND CITY. ALL WORKS SHALL BE CARRIED OUT TO CITY'S REQUIREMENTS AND IN COMPLIANCE WITH LATEST REVISED ENGINEERING STANDARDS.
- DETAILS OF PROPOSED SUMP-PUMP AND PIT LOCATION IN THE BUILDING SHALL BE REFERENCED FROM OWNER'S HOUSE DESIGNER'S FINAL PLANS. SUMP PIT/TANK WATER SHALL BE DISCHARGED TO APPROVED OUTLET AS REQUIRED BY CITY OF OTTAWA.
- THE HOUSE BUILDER/DESIGNER SHALL INFORM THE OWNERS AT ALL TIMES A BACKUP GENERATOR ON STANDBY IN THE BUILDING IN THE EVENT OF A POWER BLACKOUT OR OTHER EMERGENCY.
- THE HOUSE BUILDER/DESIGNER SHALL INFORM THE OWNERS THAT AN ONGOING YEAR-ROUND MAINTENANCE PROGRAM IS REQUIRED FOR THE DWELLING TO ENSURE THAT THE PUMPS AND WEeping TILE WATER TANK(S) IN PARTICULAR SHALL BE ANNUALLY INSPECTED AND CLEANED IF NECESSARY. ALL PUMPS THAT ARE USED IN THE DWELLING ARE TO BE DETERMINED BY THE OWNER'S MECHANICAL ENGINEER AND/OR PLUMBER BASED ON THEIR SPECIFIC USAGE UNDER THE PRESENT PLUMBING CODE AND CITY REQUIREMENTS.
- NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, WILL BE DIRECTED TOWARDS NEIGHBOUR'S PROPERTIES.
- ALL TREES ON THE RIGHT OF WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION. ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE "MUNICIPAL TREES AND NATURAL AREAS PROTECTION BYLAWS" AND THE "URBAN TREES CONSERVATION BY-LAW" AS AMENDED FROM TIME TO TIME.
- THERE WILL BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES.
- THE CITY OF OTTAWA REQUIRES ALL HARD SURFACES AT THE REAR ARE TO BE PERMEABLE MATERIAL. PERMEABLE MATERIAL IS TO BE AS PER CITY STD. DWG. SC27 DETAILS OR EQUIVALENT.

SITE BENCHMARK No.1  
FIRE HYDRANT  
Top of Spindle  
Elevation = 73.61

SITE BENCHMARK No.2  
Nail in Utility Pole  
Elevation = 73.11



DESIGN	T.L.M.
CHECKED	T.L.M.
DRAWN BY	P.M.
CHECKED	T.L.M.
APPROVED	T.L.M.

PROJECT  
**157 GEOFFREY STREET  
LOT 33 AND PART OF LOT 32  
REGISTERED PLAN 309  
CITY OF OTTAWA**

DRAWING TITLE  
**PROPOSED LOT GRADING PLAN**

		PROJECT No.	DATE	DRAWING No.
		822-153	NOVEMBER 2022	G-1

1	REVISIONS AS PER CITY'S REVIEW COMMENTS OF JANUARY 19, 2023	01/20/23	TLM
NO.	REVISION	DATE	BY

**Committee of Adjustment**  
 Received | Reçu le  
 2024-04-03  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

**ZONING - R3H RESIDENTIAL THIRD DENSITY ZONE (SEC.154-160)**

REQUIRED ZONING FOR SEMI-DETACHED:	PROPOSED:
MIN. LOT WIDTH - 7.5m	Pt1 10.46m, Pt2 10.40m
MIN. LOT AREA - 225m <sup>2</sup>	Pt1 318.38m <sup>2</sup> , Pt2 318.28m <sup>2</sup>
MAX. BUILDING HEIGHT - 8m	Pt1 7.97m, Pt2 7.97m
MIN. FRONT YARD SETBACK - 6m (Avg. 5.67m)	Pt1 6.05m, Pt2 6.35m
MIN. CORNER SIDE YARD SETBACK - n/a	n/a
MIN. REAR YARD SETBACK (28%) - 8.55m	Pt1 8.94m, Pt2 8.95m
MIN. INTERIOR SIDE YARD SETBACK - 1.2m	Pt1 1.27m, Pt2 1.27m

**LEGEND**

- ▲ ENTRANCE LOCATION
- ◻ WW WINDOW WELL
- ▶ GENERAL LOT DRAINAGE
- \*-\*-\* 1.5m WOOD FENCE
- ⊙ HYDRO POLE
- OHW OVERHEAD WIRE (HYDRO BELL CABLE)
- STB 0.2m DIA. STEEL BOLLARD
- CB CBMH MH CATCH BASIN, MANHOLE
- ASPHALT LANE
- INTERLOCK MATERIAL
- LANDSCAPED-SOD/PLANTING
- DS DOWNSPOUT

REV 3	LANEWAY ADJUSTED TO AVOID C/B, DOWNSPOUTS, CIVIC NUMBERS	JAN. 19 2023
REV 2	LANEWAY 3m MAX. WIDTH, WALKWAY 1.2m WIDE, AVERAGE EXIST. GRADE	JAN. 04 2023
REV 1	ISSUED FOR PERMIT	NOV. 29 2022

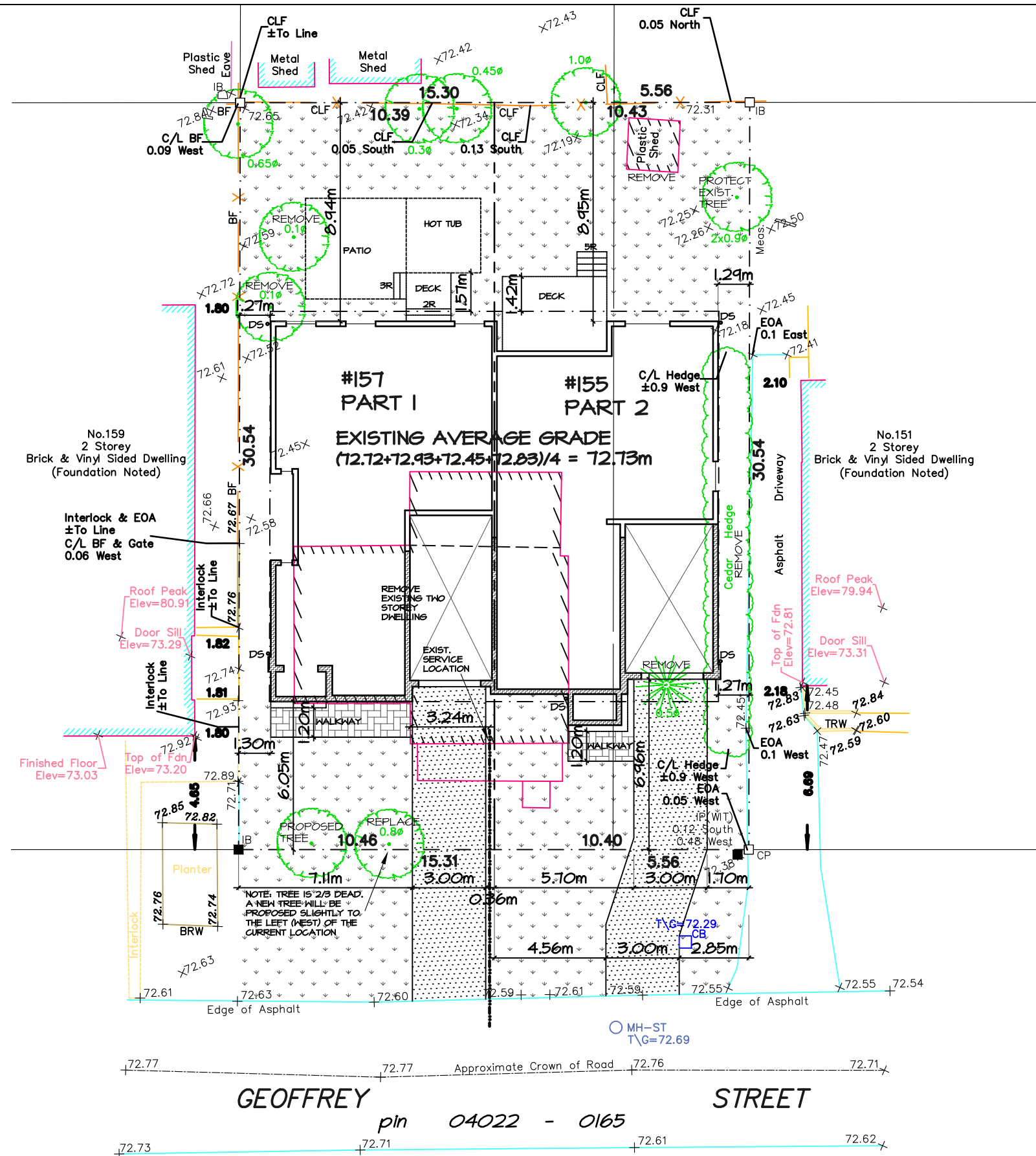
Designer:  
**David Bekkers**  
 M.A.A.T.O.  
 151 Bay St., Suite 100B  
 Ottawa, Ontario  
 K1R 7T2

Project:  
**The "GEOFFREY" Semi**  
 157 GEOFFREY ST., OTTAWA  
 ON. K1Z 7A7  
 LOT 33 and PART OF LOT 32 RP 304

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code

David Bekkers 22980  
 NAME SIGNATURE BCIN

Date:  
 Dwg. No.:  
**AO**



**SITE BENCHMARK No.1**  
 FIRE HYDRANT  
 Top of Spindle  
 Elevation = 73.61

**SITE BENCHMARK No.2**  
 Nail in Utility Pole  
 Elevation = 73.11

0m 1m 2m 3m 4m 5m 10m  
**SITE PLAN** SCALE 1=200