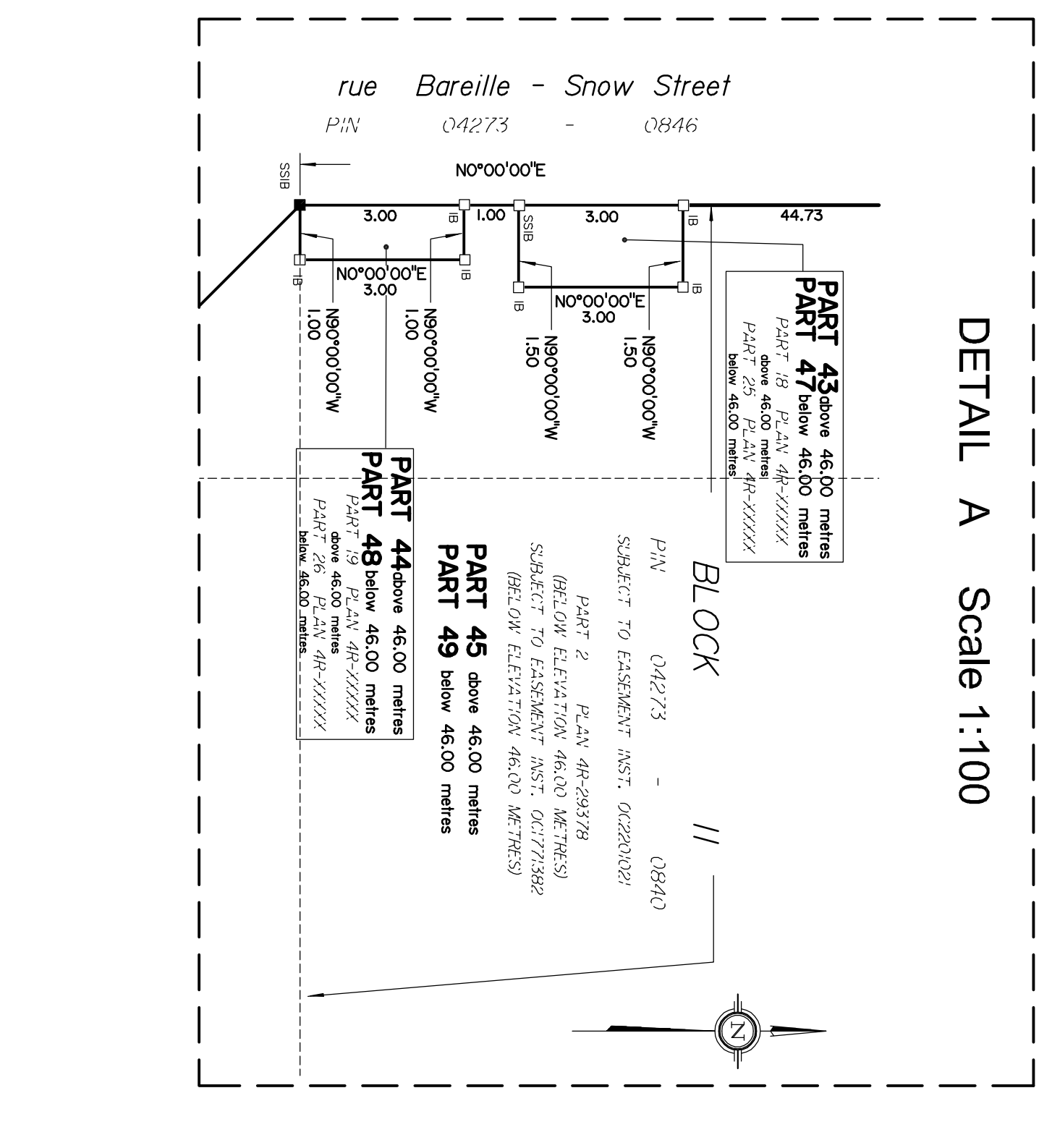
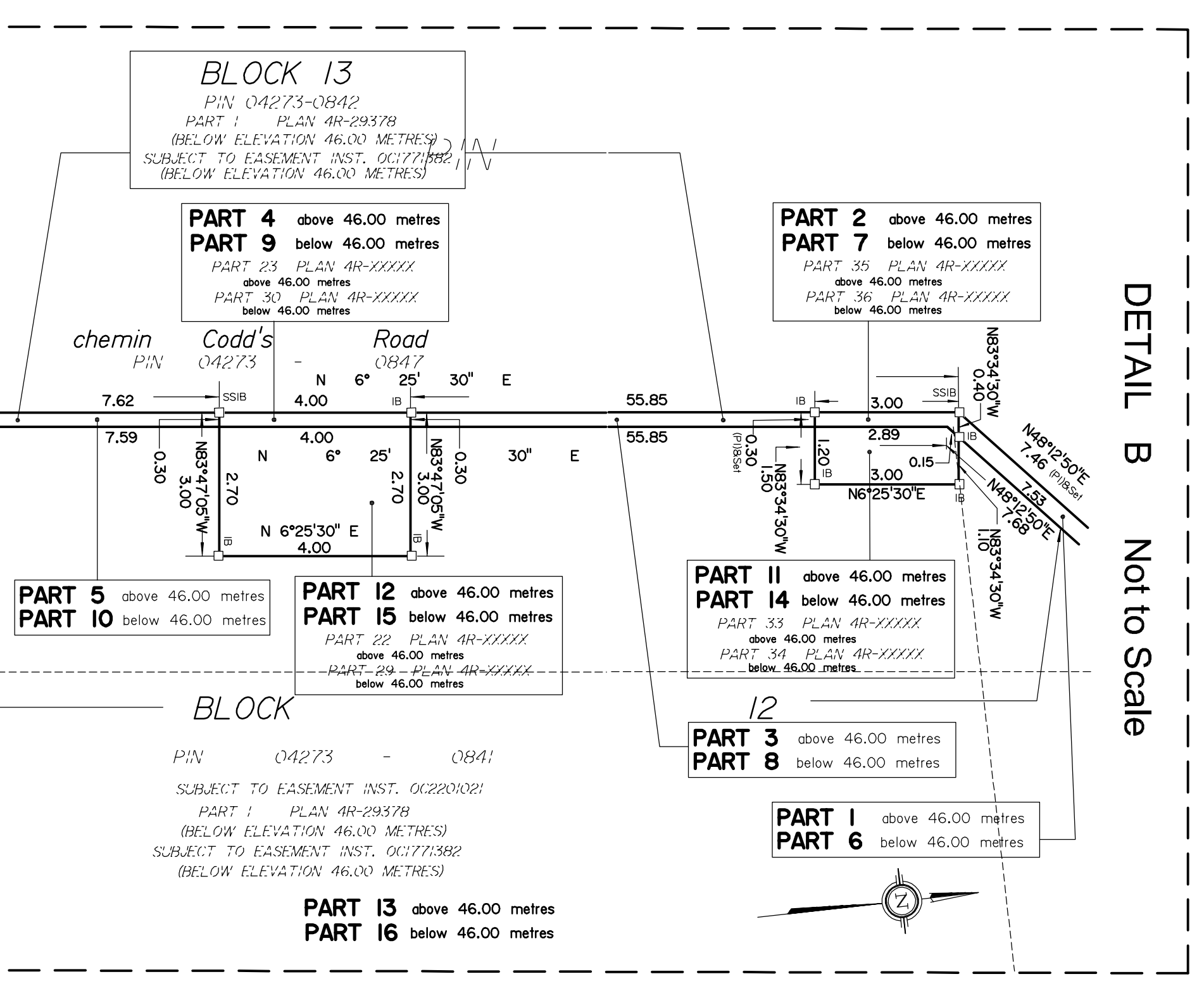
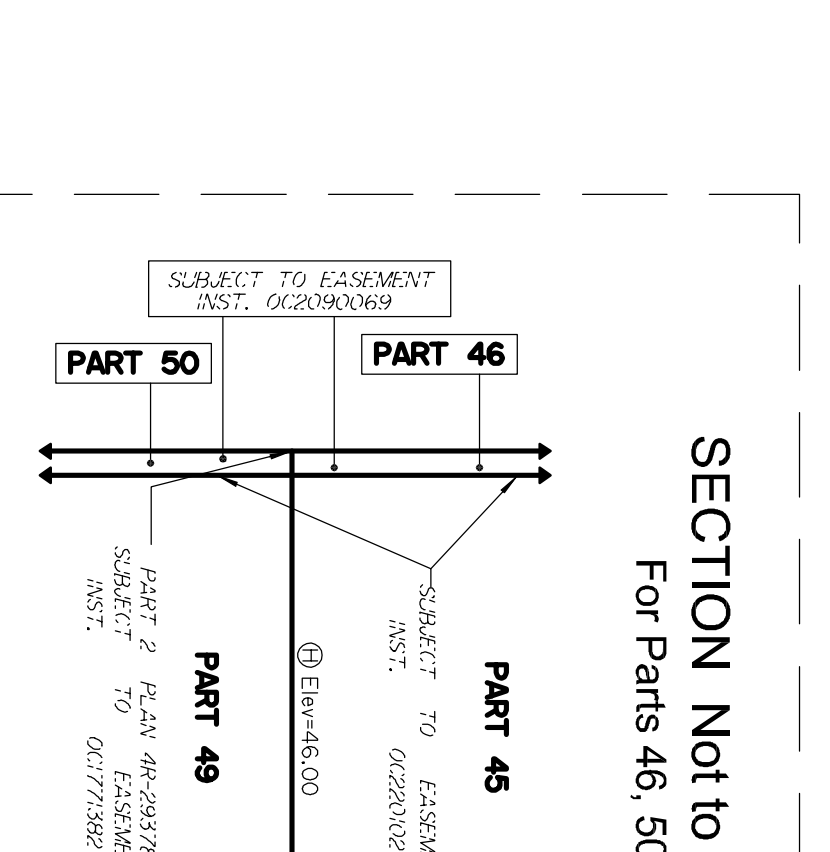
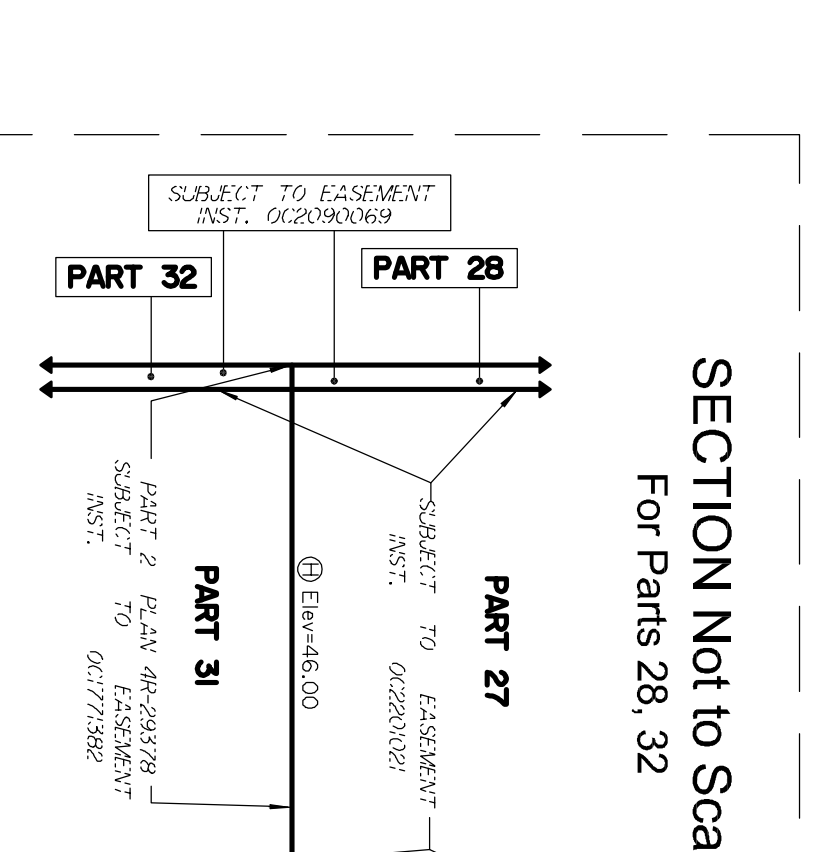
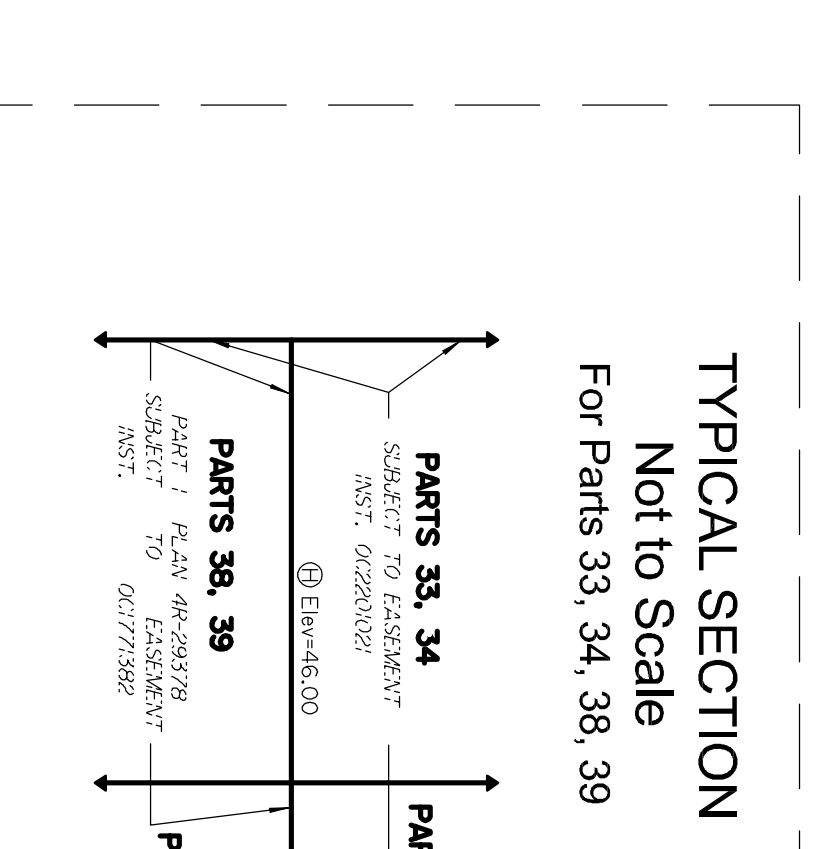
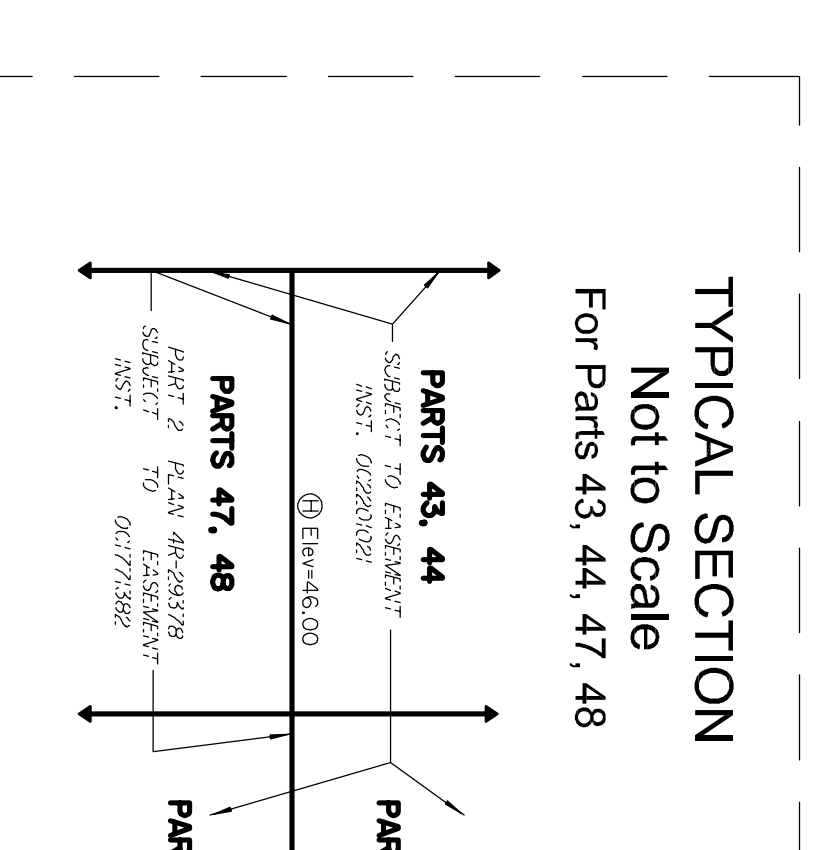
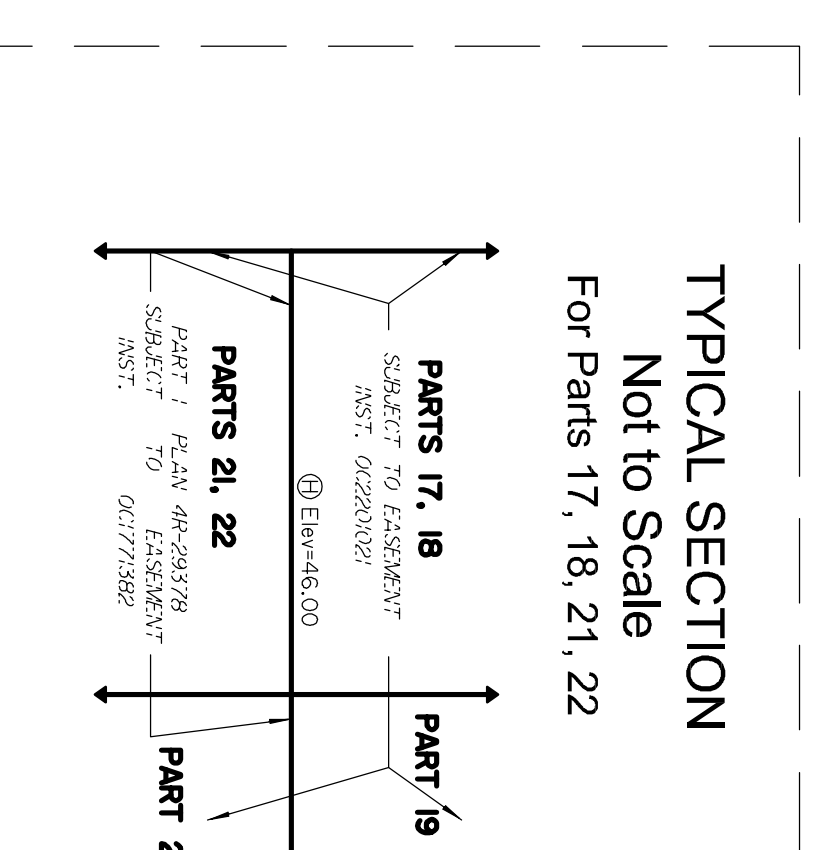
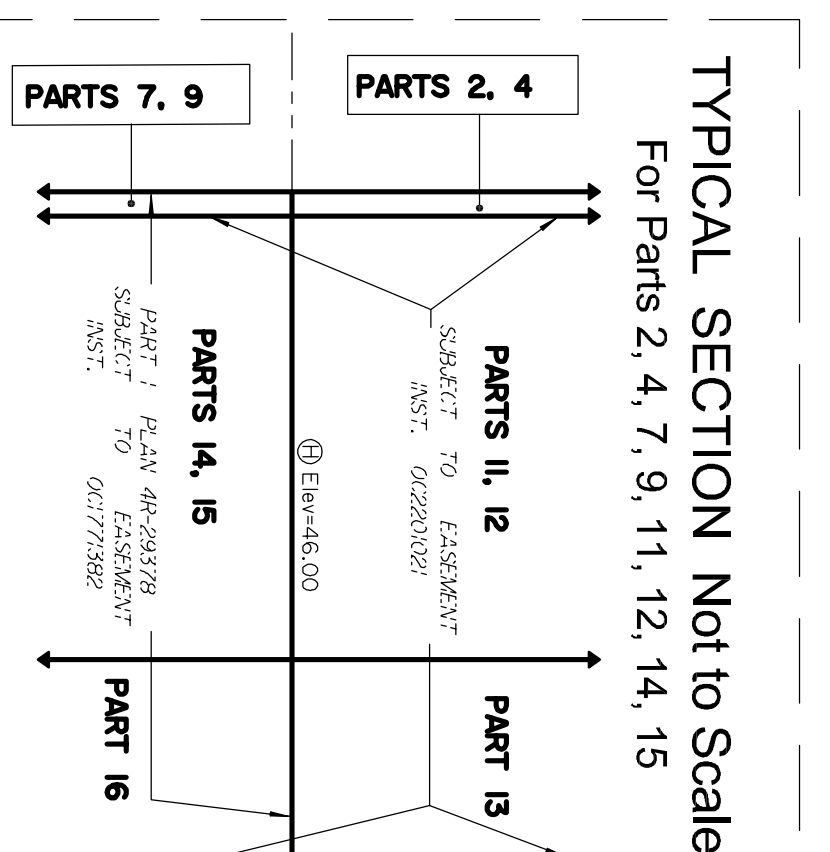
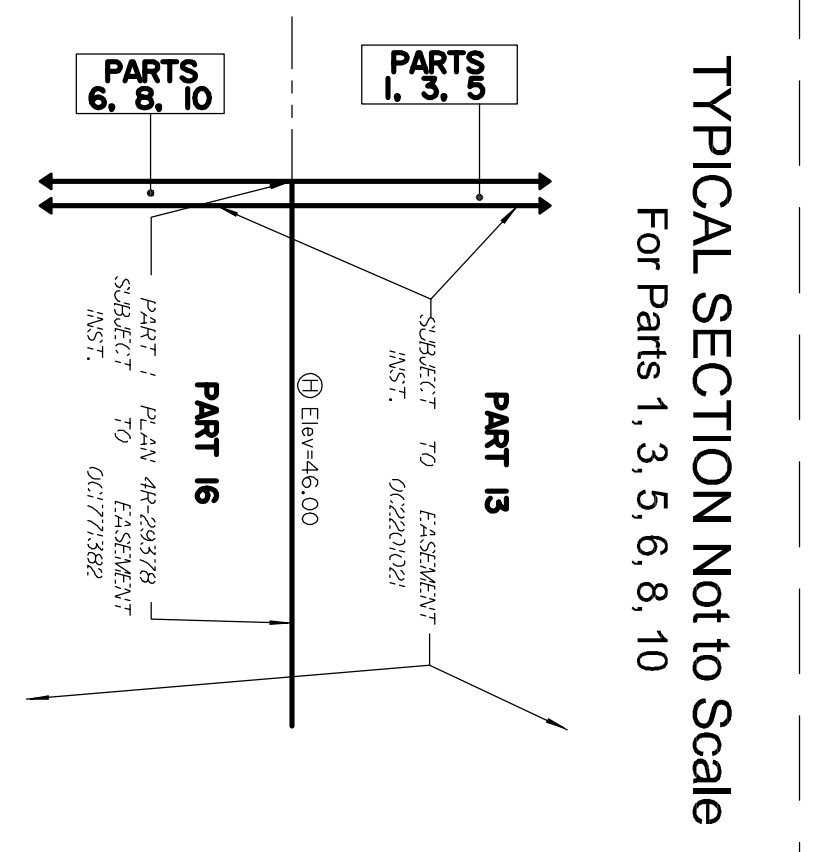
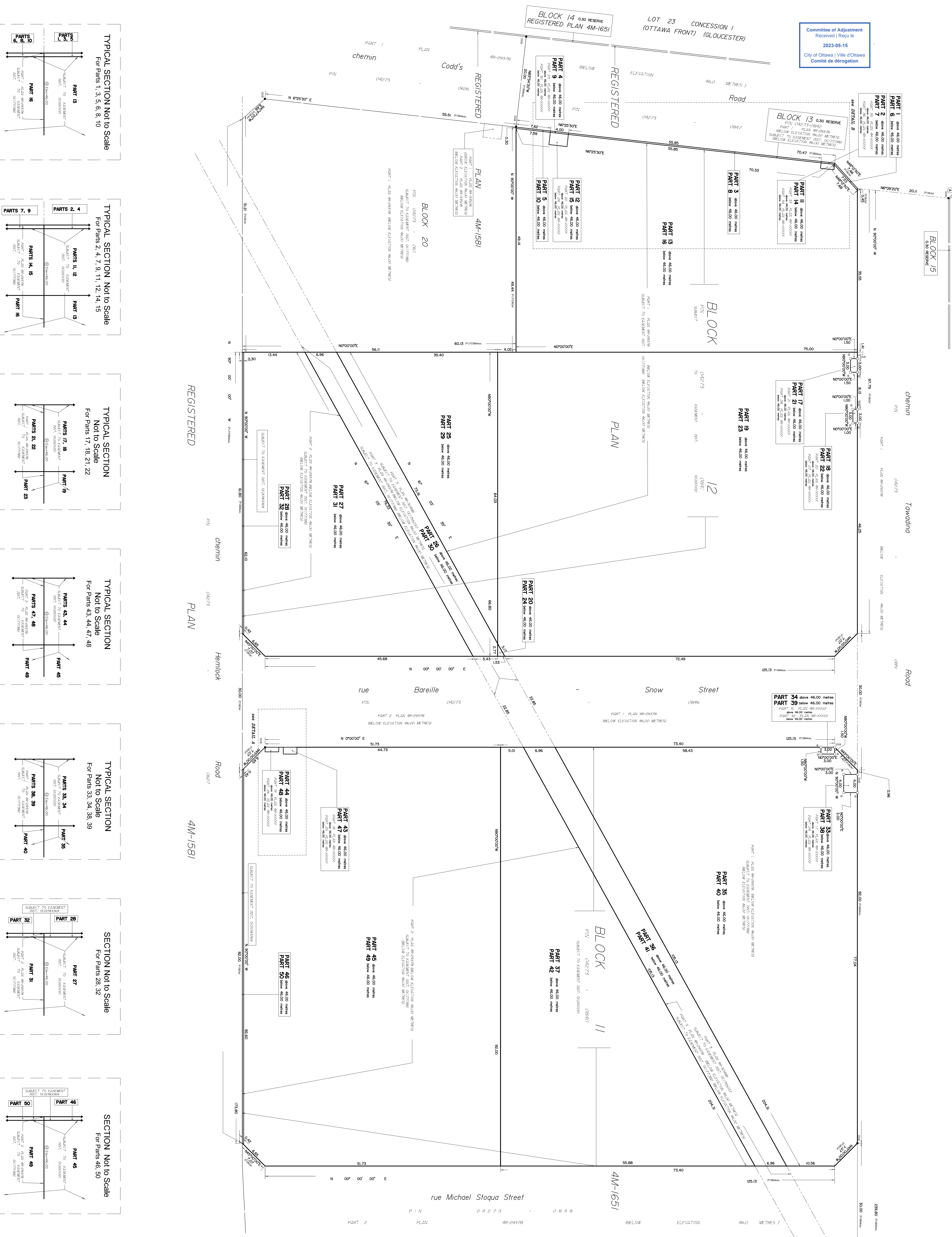


Committee of Adjustment  
Received / Reçu le  
2023-05-15  
City of Ottawa / Ville d'Ottawa  
Comité de dérogation

LOT 23 CONCESSION 1  
(OTTAWA FRONT) (GLOUCESTER)

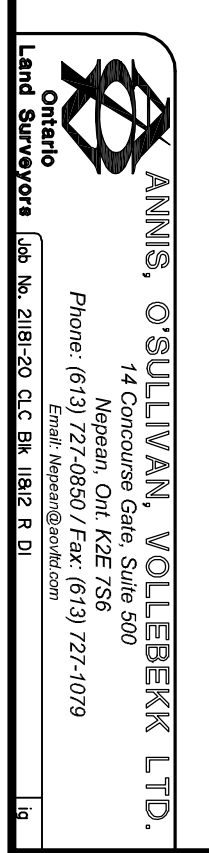


| PART NO. | AREA (sqm) | BECK | CONVEYANCE | FIN. |
|----------|------------|------|------------|------|
| 1        | 1000       | 1    | 1          | 1    |
| 2        | 1000       | 2    | 2          | 2    |
| 3        | 1000       | 3    | 3          | 3    |
| 4        | 1000       | 4    | 4          | 4    |
| 5        | 1000       | 5    | 5          | 5    |
| 6        | 1000       | 6    | 6          | 6    |
| 7        | 1000       | 7    | 7          | 7    |
| 8        | 1000       | 8    | 8          | 8    |
| 9        | 1000       | 9    | 9          | 9    |
| 10       | 1000       | 10   | 10         | 10   |
| 11       | 1000       | 11   | 11         | 11   |
| 12       | 1000       | 12   | 12         | 12   |
| 13       | 1000       | 13   | 13         | 13   |
| 14       | 1000       | 14   | 14         | 14   |
| 15       | 1000       | 15   | 15         | 15   |
| 16       | 1000       | 16   | 16         | 16   |
| 17       | 1000       | 17   | 17         | 17   |
| 18       | 1000       | 18   | 18         | 18   |
| 19       | 1000       | 19   | 19         | 19   |
| 20       | 1000       | 20   | 20         | 20   |
| 21       | 1000       | 21   | 21         | 21   |
| 22       | 1000       | 22   | 22         | 22   |
| 23       | 1000       | 23   | 23         | 23   |
| 24       | 1000       | 24   | 24         | 24   |
| 25       | 1000       | 25   | 25         | 25   |
| 26       | 1000       | 26   | 26         | 26   |
| 27       | 1000       | 27   | 27         | 27   |
| 28       | 1000       | 28   | 28         | 28   |
| 29       | 1000       | 29   | 29         | 29   |
| 30       | 1000       | 30   | 30         | 30   |
| 31       | 1000       | 31   | 31         | 31   |
| 32       | 1000       | 32   | 32         | 32   |
| 33       | 1000       | 33   | 33         | 33   |
| 34       | 1000       | 34   | 34         | 34   |
| 35       | 1000       | 35   | 35         | 35   |
| 36       | 1000       | 36   | 36         | 36   |
| 37       | 1000       | 37   | 37         | 37   |
| 38       | 1000       | 38   | 38         | 38   |
| 39       | 1000       | 39   | 39         | 39   |
| 40       | 1000       | 40   | 40         | 40   |
| 41       | 1000       | 41   | 41         | 41   |
| 42       | 1000       | 42   | 42         | 42   |
| 43       | 1000       | 43   | 43         | 43   |
| 44       | 1000       | 44   | 44         | 44   |
| 45       | 1000       | 45   | 45         | 45   |
| 46       | 1000       | 46   | 46         | 46   |
| 47       | 1000       | 47   | 47         | 47   |
| 48       | 1000       | 48   | 48         | 48   |
| 49       | 1000       | 49   | 49         | 49   |
| 50       | 1000       | 50   | 50         | 50   |

STRATA PLAN OF SURVEY OF  
BLOCKS 11, 12, 13  
REGISTERED PLAN 4M-1651  
CITY OF OTTAWA  
Surveyed by Anis, O'Sullivan, Vollebæk Ltd.  
Scale: 1:250

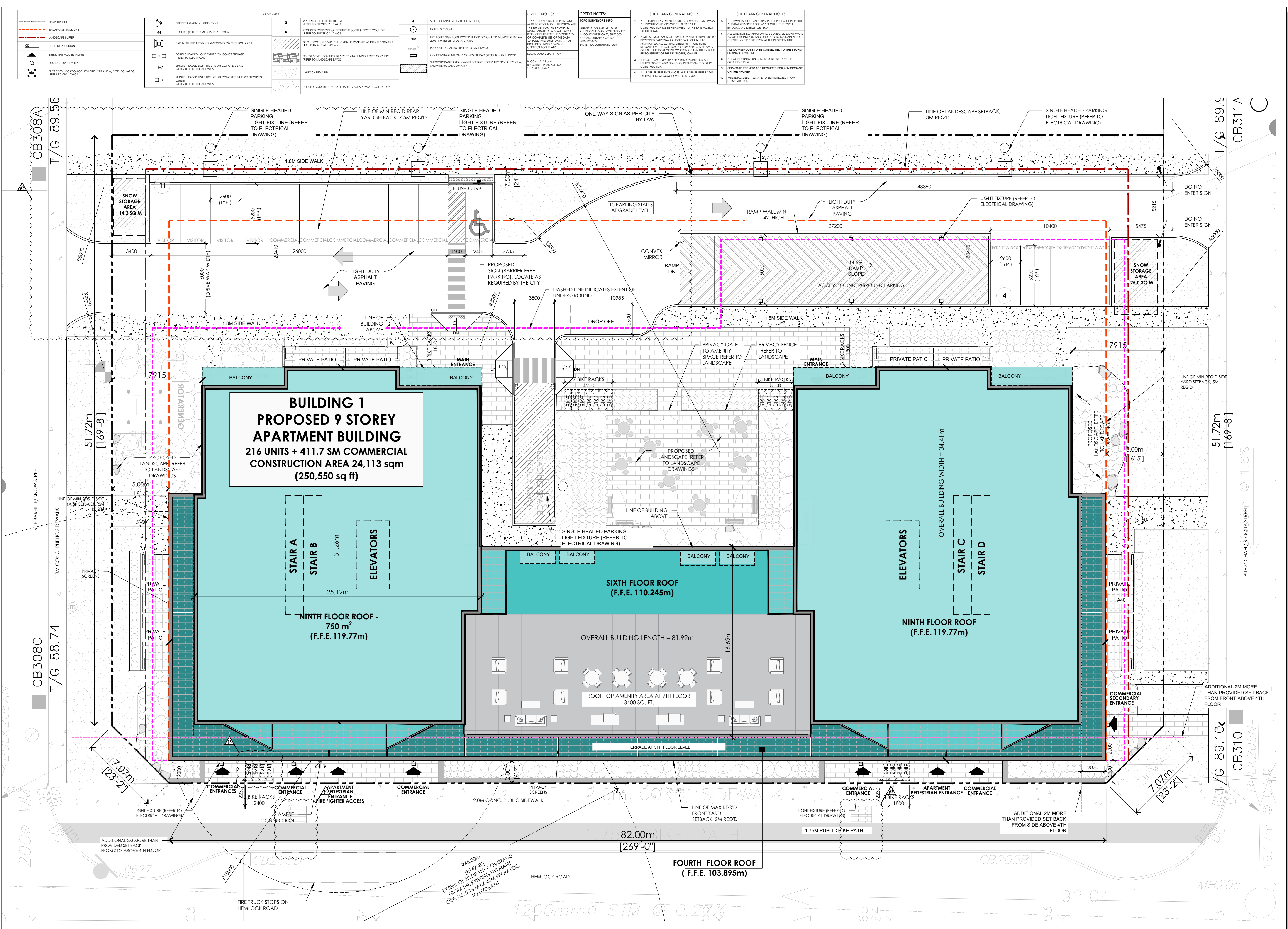
NOTES & LEGEND  
1. The survey and plan were conducted in accordance with the Survey Act and the Survey Regulations.  
2. The survey was completed on May 11, 2023.  
3. The survey was conducted by Anis, O'Sullivan, Vollebæk Ltd.  
4. The survey was conducted by Anis, O'Sullivan, Vollebæk Ltd.  
5. The survey was conducted by Anis, O'Sullivan, Vollebæk Ltd.

ELEVATION NOTES  
1. Elevations are provided relative to City of Ottawa Vertical Datum (1985).  
2. Elevations are provided relative to City of Ottawa Vertical Datum (1985).  
3. Elevations are provided relative to City of Ottawa Vertical Datum (1985).  
4. Elevations are provided relative to City of Ottawa Vertical Datum (1985).  
5. Elevations are provided relative to City of Ottawa Vertical Datum (1985).

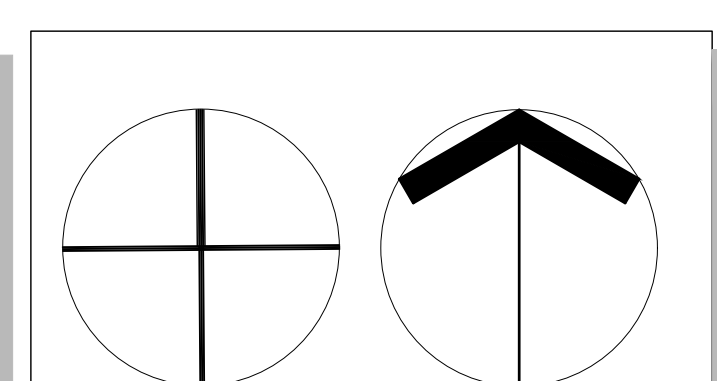








| PROPERTY LINE |   | FIRE DEPARTMENT CONNECTION |  | WALL MOUNTED LIGHT FIXTURE |   | STEEL SOLLARD (REFER TO DETAIL 3X-3) |               | CREDIT NOTES |  | CREDIT NOTES |   | SITE PLAN - GENERAL NOTES |  | SITE PLAN - GENERAL NOTES |  |
|---------------|---|----------------------------|--|----------------------------|---|--------------------------------------|---------------|--------------|--|--------------|---|---------------------------|--|---------------------------|--|
|               | PROPERTY LINE   |                            | FIRE DEPARTMENT CONNECTION                                 |                            | WALL MOUNTED LIGHT FIXTURE  |                                      | STEEL SOLLARD | 1            | THIS SOLLARD IS BASED UPON AND MUST BE RE-DESIGNED FOR CONSTRUCTION WITH THE SOLLARD FOR THE PROPERTY. | 1            | TOPO SURVEY FORM INFO   | 1                         | ALL EXISTING PAVEMENT CURBS, SIDEWALKS, DRIVEWAYS AND BARBER FREE ZONES AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA  | 2                         | THE OWNER CONTRACTOR SHALL SUPPLY ALL RE-GRADING AND BARBER FREE ZONES AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA |
|               | BUILDING SETBACK LINE                                   |                            | HOSE BIB (REFER TO MECHANICAL DWG)                         |                            | RECESSED EXTERIOR LIGHT FIXTURE @ SCRTY & PROTE COCHERE                             |                                      | FIRE SOLLARD  | 2            | THE SOLLARD IS TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 2003-499 REFER TO DETAIL 3X-103          | 2            | CHANDLER LAND SURVEYORS   | 2                         | A MINIMUM SETBACK OF 0.9M FROM STREET FRONTAGE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING TREES TO REMAIN SHALL BE MAINTAINED BY THE CONTRACTOR. ALL TREES TO BE REMOVED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. | 3                         | IF THE CONTRACTOR OWNER IS RESPONSIBLE FOR ALL UTILITY LOCALS AND DAMAGES/DISURBANCE DURING CONSTRUCTION.                |
|               | LANDSCAPE BUFFER  |                            | PAD MOUNTED TRANSFORMER W/ STEEL SOLLARDS                  |                            | NEW HEAVY DUTY ASPHALT PAVING REMANDER OF HERE TO RECEIVE LIGHT DUTY ASPHALT PAVING |                                      | FIRE SOLLARD  | 3            | LEGAL LAND DESCRIPTION: BLOCKS 11, 12 AND REGISTERED PLAN 484-1465 CITY OF OTTAWA                      | 3            | MATATA ARCHITECTS INC.  | 3                         | ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS AWAY AND DESIGNED TO MINIMIZE LIGHT POLLUTION AND GLARE.  | 4                         | ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.  |
|               | CURB DEPRESSION   |                            | DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE               |                            | DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE                              |                                      | FIRE SOLLARD  | 4            | CONVEYING LINE ON 4" CONCRETE PAD (REFER TO MECH DWG)  | 4            | LEGAL LAND DESCRIPTION: BLOCKS 11, 12 AND REGISTERED PLAN 484-1465 CITY OF OTTAWA | 4                         | SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.   | 5                         | ALL CONCRETE CURBS TO BE SCREENED ON THE GROUND FLOOR.   |
|               | ENTRY EXIT ACCESS POINTS                                |                            | SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE               |                            | LANDSCAPED AREA   |                                      | FIRE SOLLARD  | 5            | POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION   |              | LANDSCAPED AREA   | 5                         | WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.  |                           |  |
|               | EXISTING TOWN HYDRANT                                   |                            | DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL |                            |   |                                      | FIRE SOLLARD  |              |  |              |   |                           |  |                           |  |
|               | PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL SOLLARDS |                            |  |                            |   |                                      | FIRE SOLLARD  |              |  |              |   |                           |  |                           |  |



Key Plan:

|  |  |  |  |  |
|--|--|--|--|--|
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|---------------------------|----------|----------------------------------|-----|
| 3                         | 23/03/17 | Issued for SPA- 1ST REVIEW REPLY | EM  |
| 2                         | 22/06/30 | Issued for CLC- Reply            | EM  |
| 1                         | 22/05/20 | Issued for CLC                   | EM  |
| No.                       | Date:    | Issue/Revision                   | By: |
| Drawing Issues/Revisions: |          |                                  |     |

Note:  
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.  
 FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.  
 ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

**WORK IN PROGRESS**

**MATAJ ARCHITECTS INC.**

Architect's Stamp

MATAJ ARCHITECTS INCORPORATED  
 206-418 Incaquois Shore Rd  
 Oakville Ontario L6H 0X7  
 T. 905.281.4444

Project: **WATERIDGE APARTMENT BUILDING**  
 1375 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

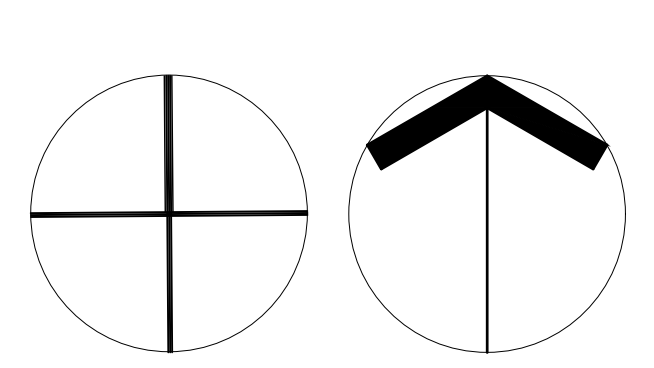
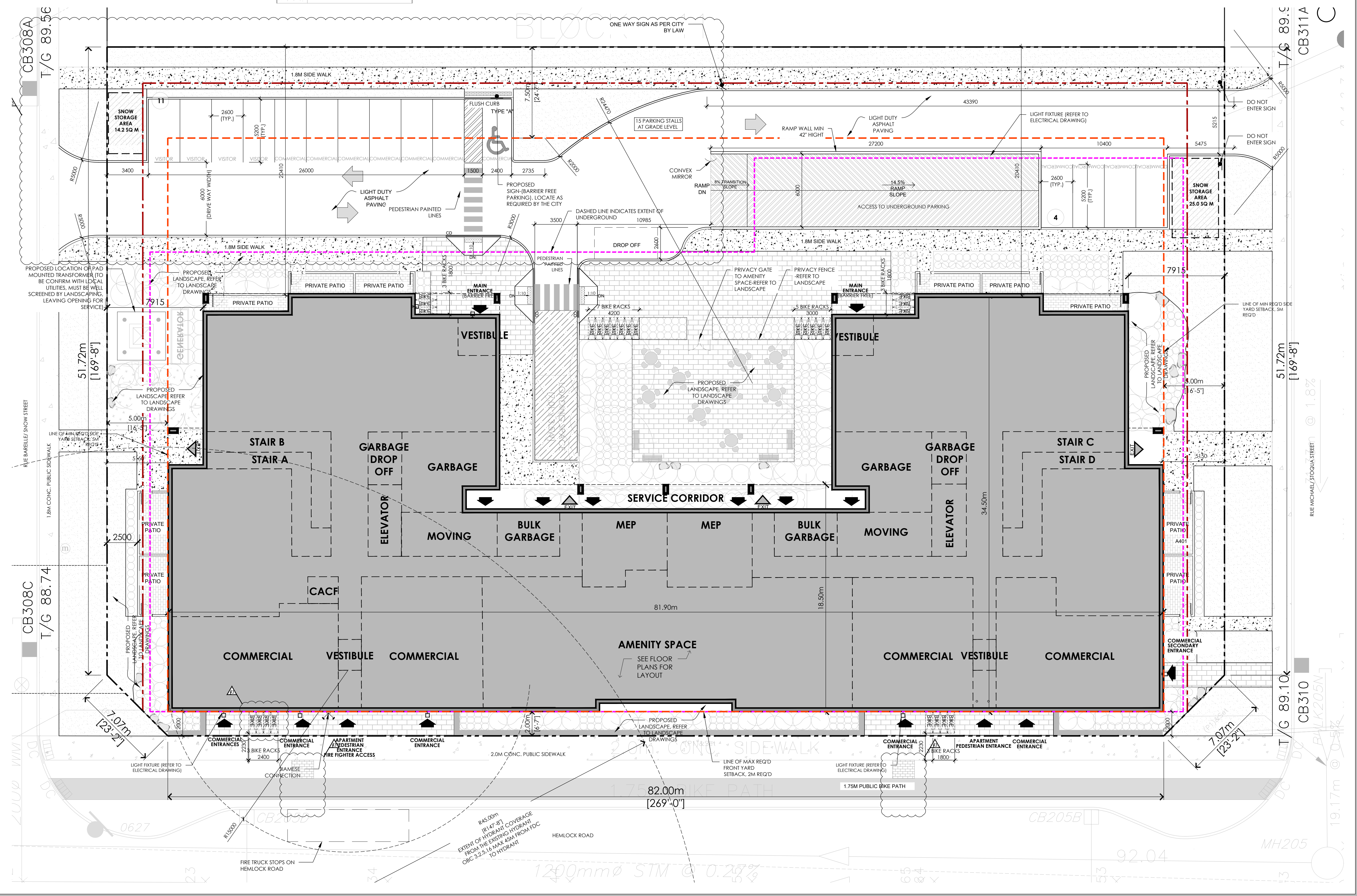
Sheet Title: **SITE PLAN - BLDG 1 ROOF LEVEL**

|               |                |                     |
|---------------|----------------|---------------------|
| Design By: EM | Drawn By: SF   | Approved By: EM     |
| Scale: 1:150  | Date: 22-06-29 | Project No.: 22-004 |
| Drawing No.:  |                |                     |

ASP-3

City's Application Number : D07-12-22-0127  
 City's Plan Number:

|                          |  |   |                                     |  |  |   |  |
|--------------------------|--|---|-------------------------------------|--|--|---|--|
| PROPERTY LINE            | FIRE DEPARTMENT CONNECTION   | WALL MOUNTED LIGHT FIXTURE  | STEEL BOLLARD (REFER TO DETAIL XL3) | CREDIT NOTES:  | CREDIT NOTES:  | SITE PLAN - GENERAL NOTES   | SITE PLAN - GENERAL NOTES  |
| BUILDING SETBACK LINE    | HOSE BR (REFER TO MECHANICAL DWGS)   | RECESSED EXTERIOR LIGHT FIXTURE @ 3000' & PROTÉ COCHERE                               | PARKING COYOT                       | THIS SHEET IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SHEETS FOR THIS PROJECT.   | TORONTO SUBMITTALS INFO  | 1 ALL EXISTING PAVEMENT CURBS, SIDEWALKS, DRIVEWAYS AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA                             | 2 THE OWNER/CONTRACTOR SHALL SUPPLY ALL TREE ROUTE AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA |
| LANDSCAPE BUFFER         | PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS                                    | NEW HEAVY DUTY ASPHALT PAVING REMAINDER OF DRIVE TO RECEIVE LIGHT DUTY ASPHALT PAVING | FRS                                 | MANAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA, SURVEY AND SUCH DATA AS NOTED HEREON UNLESS SPECIFICALLY NOTED OTHERWISE. | 2.1 A MINIMUM SETBACK OF 1.0M FROM STREET DRIVEWAYS TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING TREES TO BE REMOVED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0M, THE COST OF RELOCATION OF ANY TREE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER. | 3 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS AWAY AND DESIGNED TO MINIMIZE VERTICALLY CURSED LIGHT DISTRIBUTION AT THE PROPERTY LINE. | 4 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.  |
| CURB DEPRESSION          | DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS              | DECORATIVE NON-SLIP SURFACE PAVING UNDER PROTÉ COCHERE                                | 100.00%                             | LEGAL LAND DESCRIPTION:  | 3.1 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES/DISURBANCE DURING CONSTRUCTION.  | 5 ALL CONCRETE URNS TO BE SCREENED ON THE GROUND FLOOR.   | 6 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.   |
| ENTRY EXIT ACCESS POINTS | SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS              | LANDSCAPED AREA   | 100.00%                             | BLOCKS 11, 12 AND REGISTERED PLAN #R-1461 CITY OF OTTAWA   | 4 ALL BARBER FREE ENTRANCES AND BARBER FREE FANS OF TRAVEL MUST COMPLY WITH O.C. 3.8.  | 7 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.   |  |
| EXISTING TOWN HYDRANT    | SHADE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL REFER TO ELECTRICAL DWGS | POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION                                |                                     |  |  |   |  |



| No. | Date:    | Issue/Revision                   | By: |
|-----|----------|----------------------------------|-----|
| 3   | 23/03/17 | Issued for SPA- 1ST REVIEW REPLY | EM  |
| 2   | 22/06/30 | Issued for CLC- Reply            | EM  |
| 1   | 22/05/20 | Issued for CLC                   | EM  |

Drawing Issues/Revisions:

Note:  
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FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

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 USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

**WORK IN PROGRESS**

Architect's Stamp

**MATAJ ARCHITECTS INCORPORATED**

206-418 Incaulis Shore Rd  
 Oakville, Ontario  
 L6H 0X7  
 T.905.281.4444

Project:  
**WATERIDGE APARTMENT BUILDING**  
 1375 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

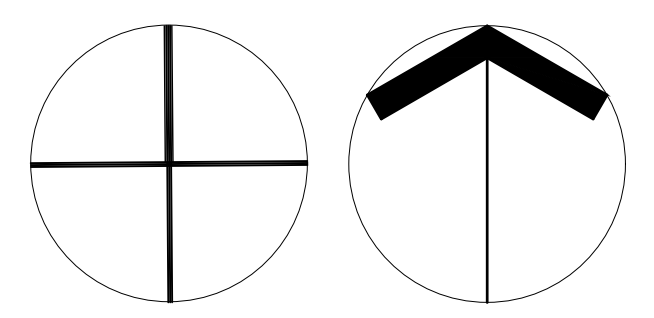
Sheet Title:  
**SITE PLAN - BLDG 1 GRADE LEVEL**

|                  |                   |                        |
|------------------|-------------------|------------------------|
| Design By:<br>EM | Drawn By:<br>SF   | Approved By:<br>EM     |
| Scale:<br>1:150  | Date:<br>22-06-29 | Project No.:<br>22-004 |

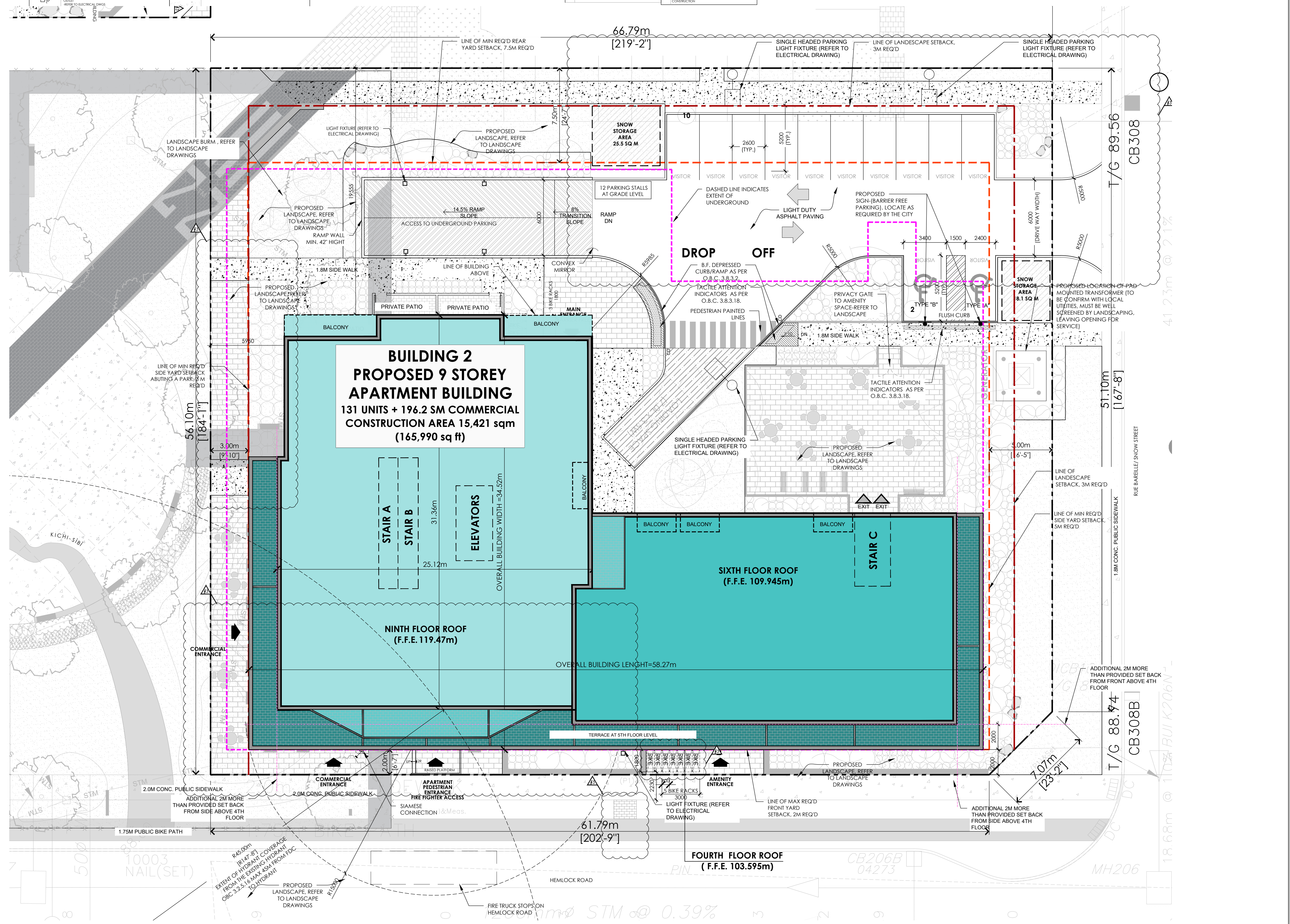
Drawing No.:  
**ASP-4**

City's Application Number : D07-12-22-0127  
 City's Plan Number:

| PROPERTY LINE |  | FIRE DEPARTMENT CONNECTION |  | WALL MOUNTED LIGHT FIXTURE |  | STEEL BOLLARD (REFER TO DETAIL XX) |  | CREDIT NOTES:   |  | CREDIT NOTES:   |  | SITE PLAN - GENERAL NOTES  |  | SITE PLAN - GENERAL NOTES   |  |
|---------------|--|----------------------------|--|----------------------------|--|------------------------------------|--|---|--|---|--|--|--|---|--|
| ---           |  | ---                        |  | ---                        |  | ---                                |  | THIS SHEET IS BASED UPON THE SURVEY FOR THIS PROPERTY. MATAJ ARCHITECTS HAS CONDUCTED A SURVEY OF THE PROPERTY AND THE ADJACENT PLOTS TO VERIFY THE BOUNDARIES AND THE LOCATION OF ALL EXISTING AND PROPOSED UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13, REGISTRATION PLAN 44-181 OF 07/2004. |  | TOP SURVEYORS INFO: ONTARIO LAND SURVEYORS: NAME: CASSIDIAN VOLPES INC. 140 CONNOR ROAD SUITE 200 MISSISSAUGA ON L4W 5K4 EMAIL: HQ@CASSIDIAN.COM  |  | 1. ALL EXISTING DRIVEWAYS, CUL-DE-SACS, SIDEWALKS, DRIVEWAYS AND OTHER AREAS TO BE REMOVED OR RECONSTRUCTED SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ARCHITECT PRIOR TO CONSTRUCTION. |  | 5. THE OWNER/CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF OTTAWA PRIOR TO CONSTRUCTION. |  |
| ---           |  | ---                        |  | ---                        |  | ---                                |  | FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-49 REFER TO 200-49/2002  |  | 2. A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED PRIOR TO CONSTRUCTION. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE CONTRACTOR'S OWNER. |  | 6. ALL EXISTING UTILITIES TO BE IDENTIFIED AND LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF OTTAWA PRIOR TO CONSTRUCTION.             |  | 7. ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.  |  |
| ---           |  | ---                        |  | ---                        |  | ---                                |  | CONCRETE FINISH REFER TO MECH DWG   |  | 3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE DURING CONSTRUCTION.  |  | 8. ALL CONCRETE UNITS TO BE SCREENED ON THE EXTERIOR SURFACE.  |  | 8. ALL CONCRETE UNITS TO BE SCREENED ON THE EXTERIOR SURFACE.   |  |
| ---           |  | ---                        |  | ---                        |  | ---                                |  | SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)   |  | 4. ALL BARBER FREE STAIRS AND BARBER FREE PARKS OF TRAVEL MUST COMPLY WITH O.C. 3.8.3   |  | 9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.  |  | 9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.   |  |
| ---           |  | ---                        |  | ---                        |  | ---                                |  | ---   |  | ---   |  | 10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.  |  | 10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.   |  |



Key Plan:



| No. | Date:    | Issue/Revision                   | By: |
|-----|----------|----------------------------------|-----|
| 3   | 23/03/17 | Issued for SPA- 1ST REVIEW REPLY | EM  |
| 2   | 22/06/30 | Issued for CLC- Reply            | EM  |
| 1   | 22/05/20 | Issued for CLC                   | EM  |

Drawing Issues/Revisions:

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**WORK IN PROGRESS**

Architect's Stamp

**MATAJ ARCHITECTS INCORPORATED**  
 206-418 Incauld Shore Rd  
 Oakville Ontario  
 L6H 0K7  
 T.905.281.4444

**Project:**  
**WATERIDGE APARTMENT BUILDING**  
 1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

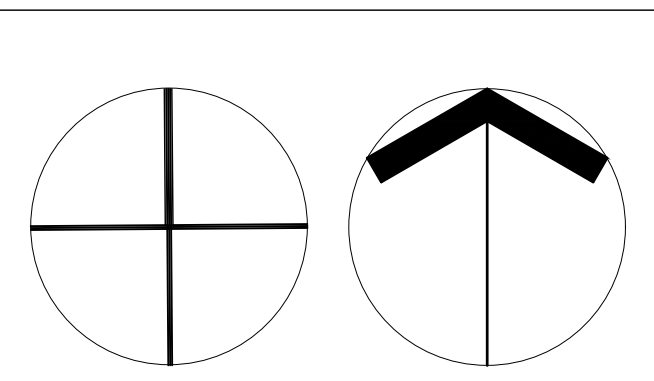
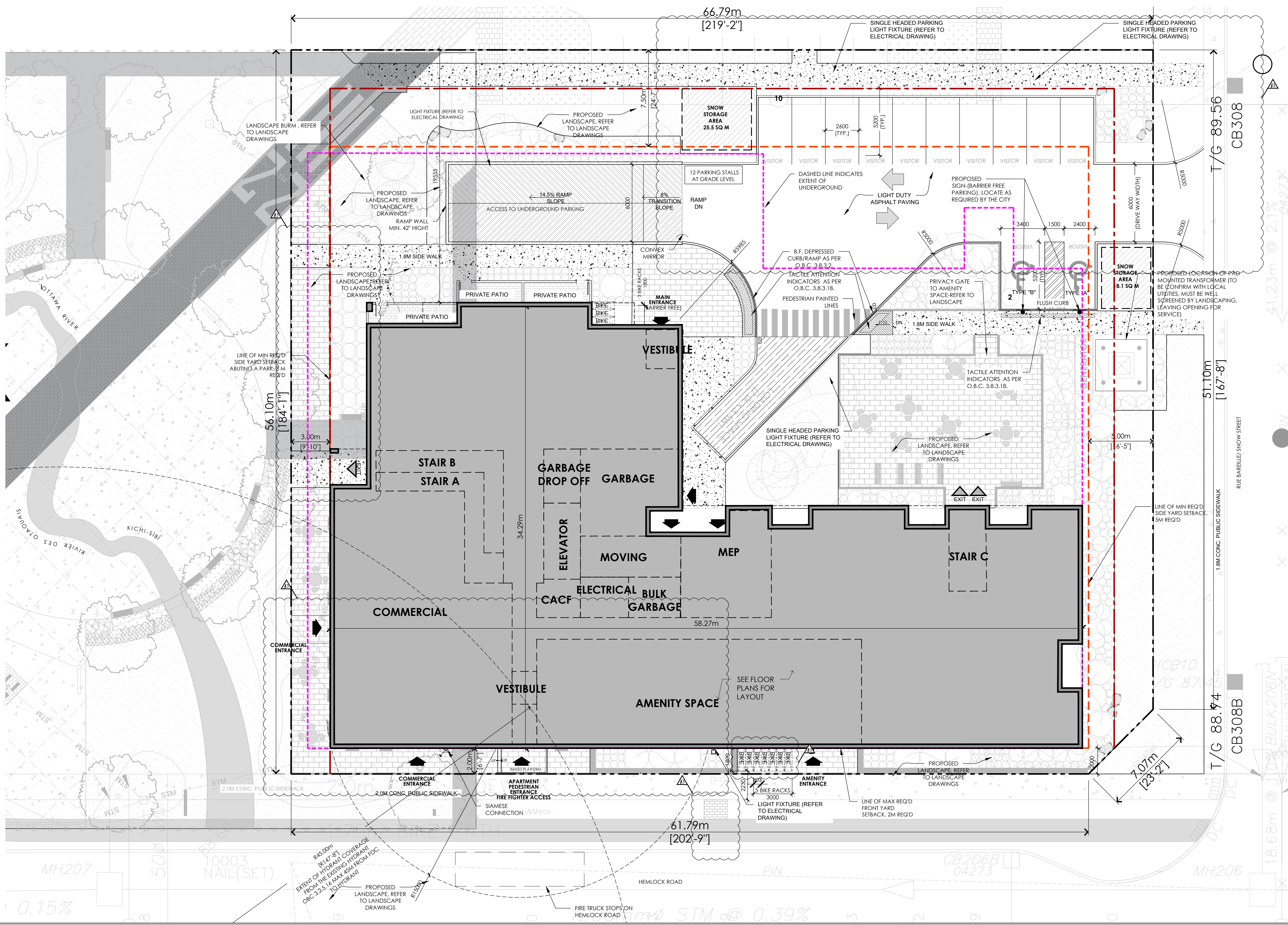
Sheet Title:  
**SITE PLAN - BLDG 2 ROOF LEVEL**

|                  |                   |                        |
|------------------|-------------------|------------------------|
| Design By:<br>EM | Drawn By:<br>SF   | Approved By:<br>EM     |
| Scale:<br>1:150  | Date:<br>22-06-29 | Project No.:<br>22-004 |
| Drawing No.:     |                   |                        |

**ASP-5**

City's Application Number : D07-12-22-0122  
 City's Plan Number:

|  |   |  |   |  |  |  |  |                                     |                                     |   |   |
|--|---|--|---|--|--|--|--|-------------------------------------|-------------------------------------|---|---|
|  | PROPERTY LINE   |  | FIRE DEPARTMENT CONNECTION  |  | WALL MOUNTED LIGHT FIXTURE<br>REFER TO ELECTRICAL DWG'S                              |  | STEEL BOLLARD (REFER TO DETAIL XX.X)   | <b>CREDIT NOTES:</b>                | <b>CREDIT NOTES:</b>                | <b>SITE PLAN - GENERAL NOTES</b>  | <b>SITE PLAN - GENERAL NOTES</b>  |
|  | BUILDING SETBACK LINE   |  | HOSE BIB (REFER TO MECHANICAL DWG'S)  |  | RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PORTE COCHERE<br>REFER TO ELECTRICAL DWG'S |  | PARKING COUNT  | <b>TOPIC SURVEYORS INFO:</b>        | <b>TOPIC SURVEYORS INFO:</b>        | 1 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.   | 5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL THE IRONWORK AND BARRIERS FREE OF CHARGE TO THE CONTRACTOR.   |
|  | LANDSCAPE BUFFER  |  | PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS<br>REFER TO ELECTRICAL DWG'S                  |  | DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE<br>(REFER TO LANDSCAPE DWG'S) |  | FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 2003-49. REFER TO 2004-2012 | <b>LEGAL LAND DESCRIPTION:</b>      | <b>LEGAL LAND DESCRIPTION:</b>      | 2 A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED AT THE COST OF RELOCATION OF ANY UTILITY BY THE RESPONSIBILITY OF THE DEVELOPER/OWNER. | 6 ALL EXISTING UTILITY LINES TO BE IDENTIFIED AND MARKED AS WELL AS INWARD AND OUTWARD TO NEAREST VERTICALLY CORRECT LIGHT CORRECTION AT THE PROPERTY LINE. |
|  | CURB DEPRESSION   |  | DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE<br>REFER TO ELECTRICAL DWG'S                     |  | LANDSCAPED AREA  |  | PROPOSED GRADING REFER TO CIVIL DWG'S  | <b>CONTRACTOR'S RESPONSIBILITY:</b> | <b>CONTRACTOR'S RESPONSIBILITY:</b> | 3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.  | 7 ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.   |
|  | ENTRY EXIT ACCESS POINTS  |  | SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE<br>REFER TO ELECTRICAL DWG'S                     |  |  |  | SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL CONTRACT)           | <b>CONCRETE FINISH:</b>             | <b>CONCRETE FINISH:</b>             | 4 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.   | 8 ALL CONCRETE UNITS TO BE SCREENED ON THE EXTERIOR SIDE.   |
|  | EXISTING DOWNSPOUT  |  | SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER<br>REFER TO ELECTRICAL DWG'S |  |  |  |  | <b>CONCRETE FINISH:</b>             | <b>CONCRETE FINISH:</b>             | 5 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.  | 9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.  |
|  | PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS<br>REFER TO CIVIL DWG'S |  |   |  |  |  |  | <b>CONCRETE FINISH:</b>             | <b>CONCRETE FINISH:</b>             | 6 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.   | 10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.  |



|   |          |                                  |    |
|---|----------|----------------------------------|----|
| 3 | 23/03/17 | Issued for SPA- 1ST REVIEW REPLY | EM |
| 2 | 22/06/30 | Issued for CLC- Reply            | EM |
| 1 | 22/05/20 | Issued for CLC                   | EM |

|                           |       |                |     |
|---------------------------|-------|----------------|-----|
| No.                       | Date: | Issue/Revision | By: |
| Drawing Issues/Revisions: |       |                |     |

**Note:**  
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.  
 FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.  
 ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF MATAJ ARCHITECTS INC.  
 USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

**WORK IN PROGRESS**

Architect's Stamp

**MATAJ ARCHITECTS INCORPORATED**  
 206-418 Incaquid Shore Rd  
 Oakville, Ontario  
 L6H 0X7  
 T.905.281.4444

**Project:**  
**WATERIDGE APARTMENT BUILDING**  
 1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

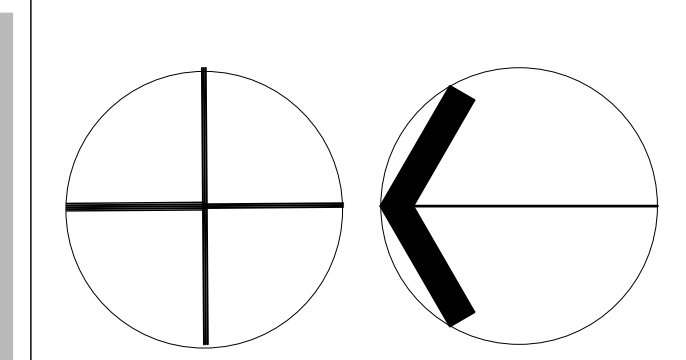
**Sheet Title:**  
**SITE PLAN - BLDG 2 GRADE LEVEL**

|            |           |              |
|------------|-----------|--------------|
| Design By: | Drawn By: | Approved By: |
| EM         | SF        | EM           |
| Scale:     | Date:     | Project No.: |
| 1:150      | 22-06-29  | 22-004       |

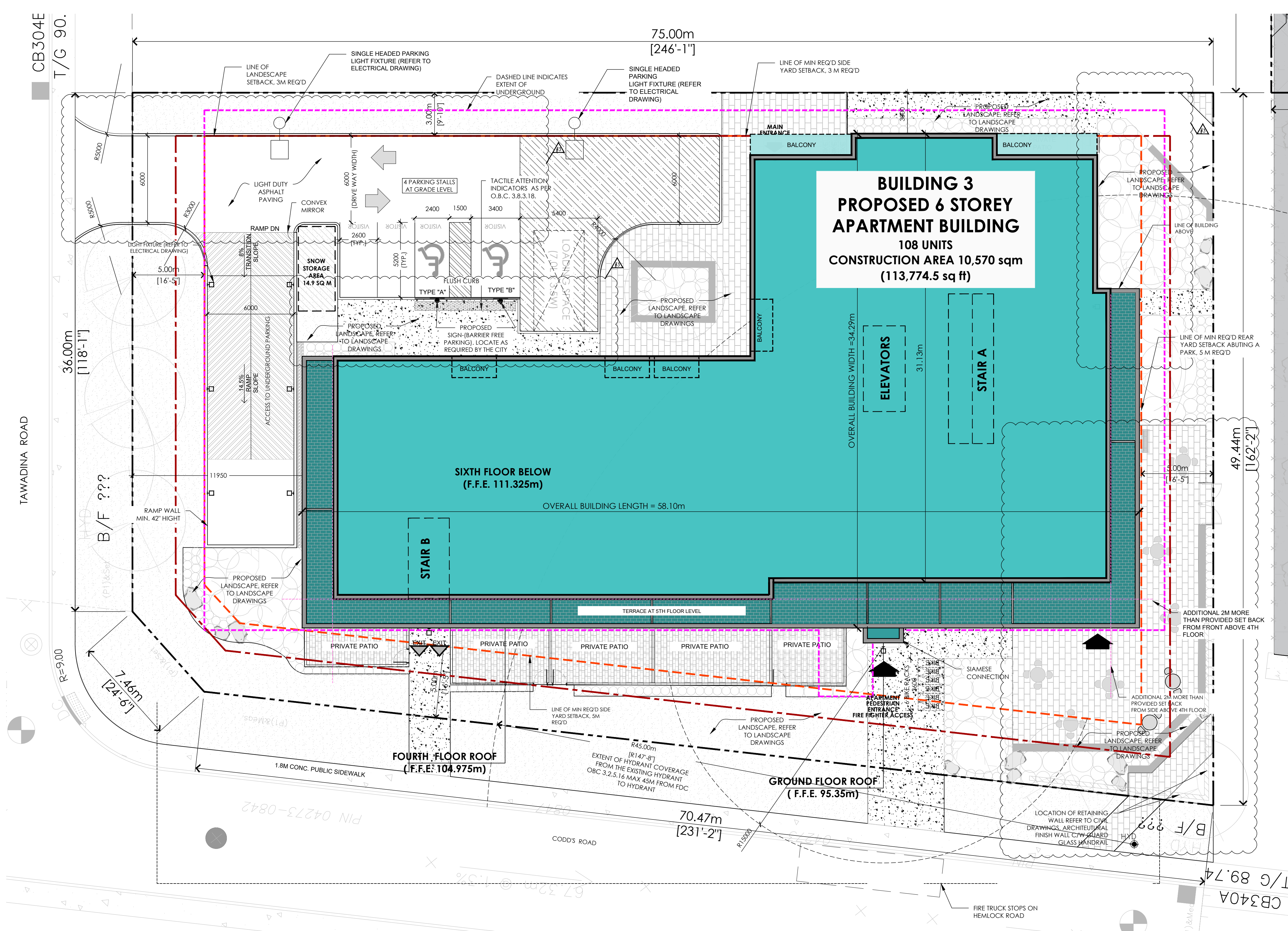
Drawing No:  
**ASP-6**

City's Application Number : D07-12-22-0122  
 City's Plan Number:

|   |   |   |   |   |   |   |   |
|---|---|---|---|---|---|---|---|
| PROPERTY LINE   | FIRE DEPARTMENT CONNECTION  | WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS                                   | STEEL BOLLARD (REFER TO DETAIL XX.X)  | CREDIT NOTES:   | CREDIT NOTES:   | SITE PLAN - GENERAL NOTES   | SITE PLAN - GENERAL NOTES   |
| BUILDING SETBACK LINE   | HOSE BR (REFER TO MECHANICAL DWGS)  | RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS       | PARKING COUNT   | THIS SHEET IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MANA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DESIGNER DOES NOT INCLUDE IN THESE SETS OF DRAWINGS ANY | TOP SURVEYORS INFO<br>CHANDRA LAND SURVEYERS<br>NAME: CHANDRA VOLKERS LTD<br>14 CONCORDE GATE SUITE 200<br>1000 BAYVIEW AVE TORONTO ON M2H 3P9<br>TEL: 416-491-7888<br>EMAIL: info@clc-ri.com | 1 ALL EXISTING DRIVEWAYS AND SIDEWALKS MUST BE MAINTAINED TO THE SATISFACTION OF THE TOWN.  | 5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE OF CHARGE TO THE TOWN BY LAWS AND DESIGN CRITERIA.                              |
| LANDSCAPE BUFFER  | PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS   | NON-HEAVY DUTY ASPHALT PAVING (REMANUER OF HESE TO RECEIVE LIGHT DUTY ASPHALT PAVING) | FREE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-49Y REFER TO 204-24-02 | PROPOSED GRADING REFER TO CIVIL DWGS  | CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWGS   | 2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR'S OWNER. | 6 ALL EXISTING UTILITIES TO BE IDENTIFIED AND MARKED AS WELL AS INWARD AND OUTWARD TO NEAREST VERTICAL CURB LIGHT CORRELATION AT THE PROPERTY LINE. |
| CURB DEPRESSION   | DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL                          | DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)      | PROPOSED GRADING REFER TO CIVIL DWGS  | LEGAL LAND DESCRIPTION:<br>BLOCKS 11, 12 and 13<br>REGULATED PLAN 441-181<br>CITY OF OTTAWA   | SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)   | 3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.  | 7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.   |
| ENTRY EXIT ACCESS POINTS  | SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS                     | LANDSCAPED AREA   |   |   |   | 4 ALL BARBER FREE ENTRANCES AND BARRIERS FREE PARTS OF DRIVEWAYS MUST COMPLY WITH O.B.C. 3.8  | 8 ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.  |
| EXISTING DOWNWALK   | SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS | POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION                                |   |   |   |   | 9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.  |
| PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS |   |   |   |   |   |   | 10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.  |



Key Plan:



|     |          |                                   |     |
|-----|----------|-----------------------------------|-----|
| No. | Date:    | Issue/Revision                    | By: |
| 3   | 23/03/17 | Issued for SPA - 1ST REVIEW REPLY | EM  |
| 2   | 22/06/30 | Issued for CLC - Reply            | EM  |
| 1   | 22/05/20 | Issued for CLC                    | EM  |

Drawing Issues/Revisions:

Note:  
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

**WORK IN PROGRESS**

Architect's Stamp

**MATAJ ARCHITECTS INCORPORATED**

206-418 Incauld Shore Rd  
Oakville Ontario  
L6H 0K7  
T.905.281.4444

Project:  
**WATERIDGE APARTMENT BUILDING**  
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:  
**SITE PLAN - BLDG 3 ROOF LEVEL**

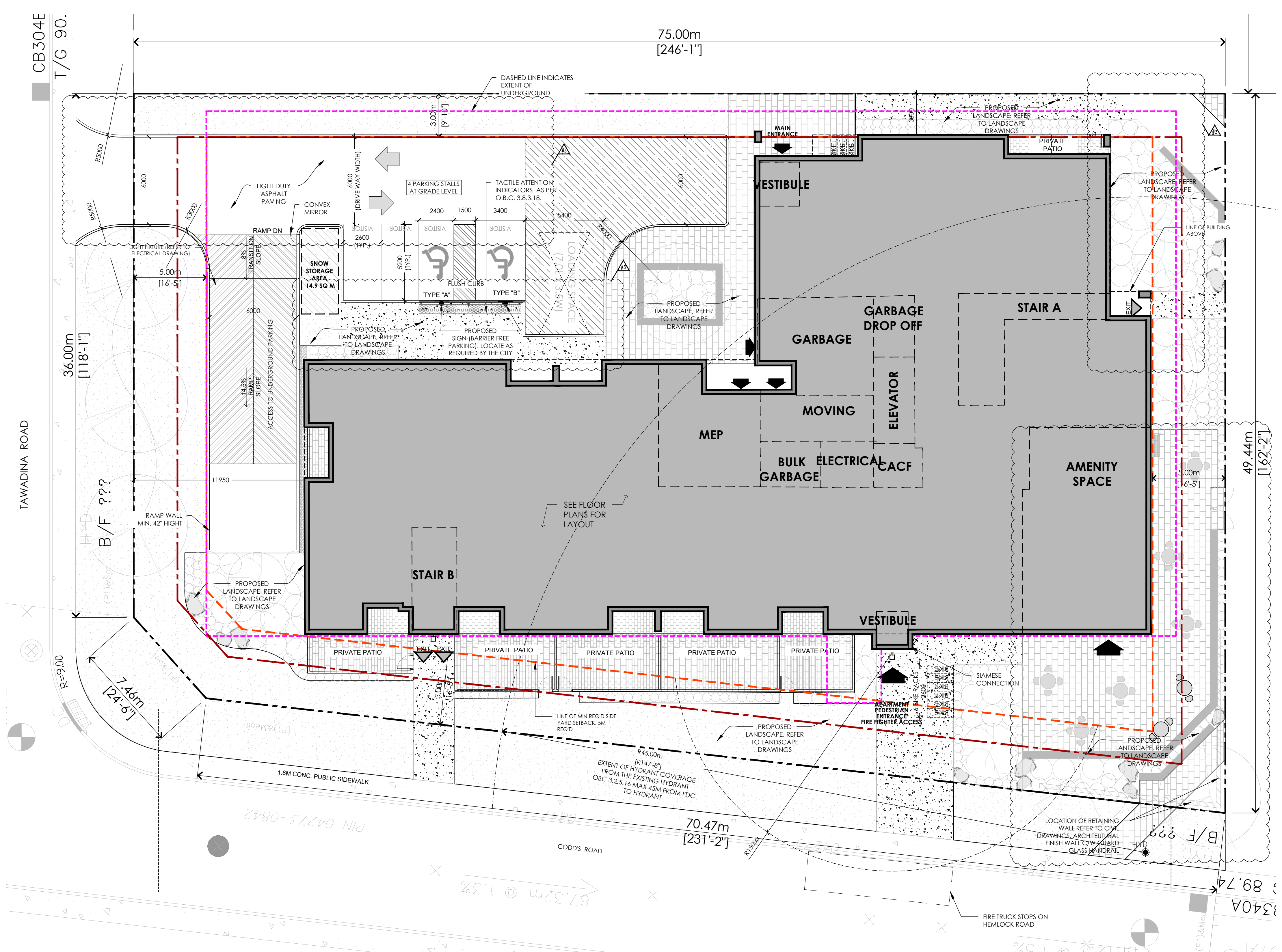
|                  |                   |                        |
|------------------|-------------------|------------------------|
| Design By:<br>EM | Drawn By:<br>SF   | Approved By:<br>EM     |
| Scale:<br>1:150  | Date:<br>22-06-29 | Project No.:<br>22-004 |

Drawing No.:  
**ASP-7**

City's Application Number : D07-12-22-0122  
City's Plan Number:



|   |   |  |  |  |  |   |  |
|---|---|--|--|--|--|---|--|
| PROPERTY LINE   | FIRE DEPARTMENT CONNECTION  | WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS                                  | STEEL BOLLARD (REFER TO DETAIL XX)   | CREDIT NOTES:  | CREDIT NOTES:  | SITE PLAN - GENERAL NOTES   | SITE PLAN - GENERAL NOTES  |
| BUILDING SETBACK LINE   | HOSE BR (REFER TO MECHANICAL DWGS)  | RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS      | PARKING COUNT  | THIS SITE PLAN IS BASED UPON THE MOST RECENT CONSTRUCTION AND THE SURVEY FOR THIS PROPERTY. MANUA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DOES NOT GUARANTEE THE ACCURACY OF THE DATA INCLUDED IN THIS SET OF DRAWINGS. | TOP SURVEYORS INFO<br>CHADWICK LAND SURVEYORS<br>NAME: CHADWICK SURVEYORS LTD<br>14 CONCRETE GATE SUITE 200<br>1000 BAYVIEW AVE TORONTO ONT M2H 1P9<br>TEL: 416-491-1111<br>EMAIL: HOFFER@chadwick.com | 1 ALL EXISTING PAVEMENT CURBS, SIDEWALK DRIVEWAYS AND DRIVEWAYS SHALL BE RECONSTRUCTED TO THE SATISFACTION OF THE TOWN.   | 5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIER FREE SIGNS AS SET OUT IN THE TOWN BY LAWS AND DESIGN CRITERIA.                                 |
| LANDSCAPE BUFFER  | PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS   | NON-HEAVY DUTY ASPHALT PAVING (REMANUR OF HESE TO RECEIVE LIGHT DUTY ASPHALT PAVING) | FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 200-49Y REFER TO 204-24142 | PROPOSED GRADING REFER TO CIVIL DWGS   | CONCRETE LINE ON 4" CONCRETE PAD REFER TO MECH DWGS  | 2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR/OWNER. | 6 ALL EXISTING UNDERGROUND UTILITIES TO BE IDENTIFIED AND MARKED AS WELL AS INWARD AND OUTWARD TO NEAREST ZERO COROT LIGHT DISTRICTION AT THE PROPERTY LINE. |
| CURB DEPRESSION   | DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL                          | DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)     | CONCRETE STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)      | LEGAL LAND DESCRIPTION:<br>BLOCKS 11, 12 and 13<br>REQUIRE PLAN 441-181<br>CITY OF OTTAWA  |  | 3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.   | 7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.  |
| ENTRY EXIT ACCESS POINTS  | SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS                     | LANDSCAPED AREA  |  |  |  | 4 ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.  | 8 ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.   |
| EXISTING DOWN WORK  | SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS | POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION                               |  |  |  |   | 9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.   |
| PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS |   |  |  |  |  |   | 10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.   |



Key Plan:

| No. | Date:    | Issue/Revision                   | By: |
|-----|----------|----------------------------------|-----|
| 3   | 23/03/17 | Issued for SPA- 1ST REVIEW REPLY | EM  |
| 2   | 22/06/30 | Issued for CLC- Reply            | EM  |
| 1   | 22/05/20 | Issued for CLC                   | EM  |

Drawing Issues/Revisions:

Note:  
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WORK IN PROGRESS

Architect's Stamp

MATAJ ARCHITECTS INCORPORATED

206-418 Incauld Shore Rd  
Oakville Ontario L6H 0K7  
T.905.281.4444

Project:  
**WATERIDGE APARTMENT BUILDING**  
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:  
**SITE PLAN - BLDG 3 GRADE LEVEL**

|                  |                   |                        |
|------------------|-------------------|------------------------|
| Design By:<br>EM | Drawn By:<br>SF   | Approved By:<br>EM     |
| Scale:<br>1:150  | Date:<br>22-06-29 | Project No.:<br>22-004 |

Drawing No.:  
**ASP-8**

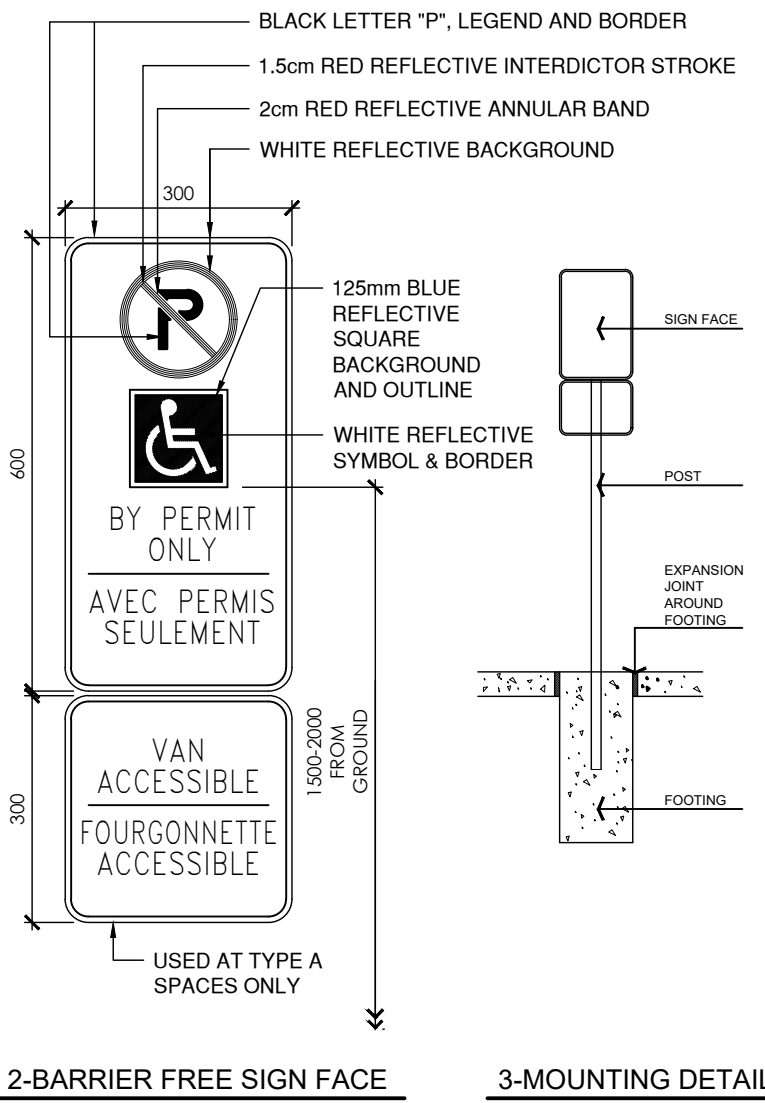
City's Application Number : D07-12-22-0122  
City's Plan Number:

ALL ACCESSIBLE PARKING STALLS SHALL BE DESIGNATED BY ONE SIGN PER BAY MEETING ACCESSIBILITY DESIGN STANDARDS:

- MARK WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY;
- ENSURE SIZE OF 300 MM WIDE BY 600 MM HIGH (MINIMUM);
- MOUNT AT HEIGHT OF 1500 MM TO 2000 MM (CENTRE) (E.G. WALL OR POST-MOUNTED) FROM GROUND/FLOOR;
- ENSURE A HIGH TONAL CONTRAST IS PROVIDED BETWEEN SIGN AND BACKGROUND ENVIRONMENT;
- PROVIDE INFORMATION TEXT, COMPLIANT WITH CITY BY-LAW REQUIREMENTS; AND
- PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE A SPACES AS 'VAN ACCESSIBLE / FOURGONNETE ACCESSIBLE'.

SIGNAGE FACE:  
0.064mm GAUGE ALUMINUM SIGN BLANK, WHITE BACKGROUND WITH TOP AND BOTTOM MOUNT HOLES

MOUNTING:  
THE SIGN FACE MUST BE SECURED TO A POST WITH TWO GALVANIZED 12mm HEX. HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES



1 ASP-3 1:10  
DETAIL - BF PARKING SIGN



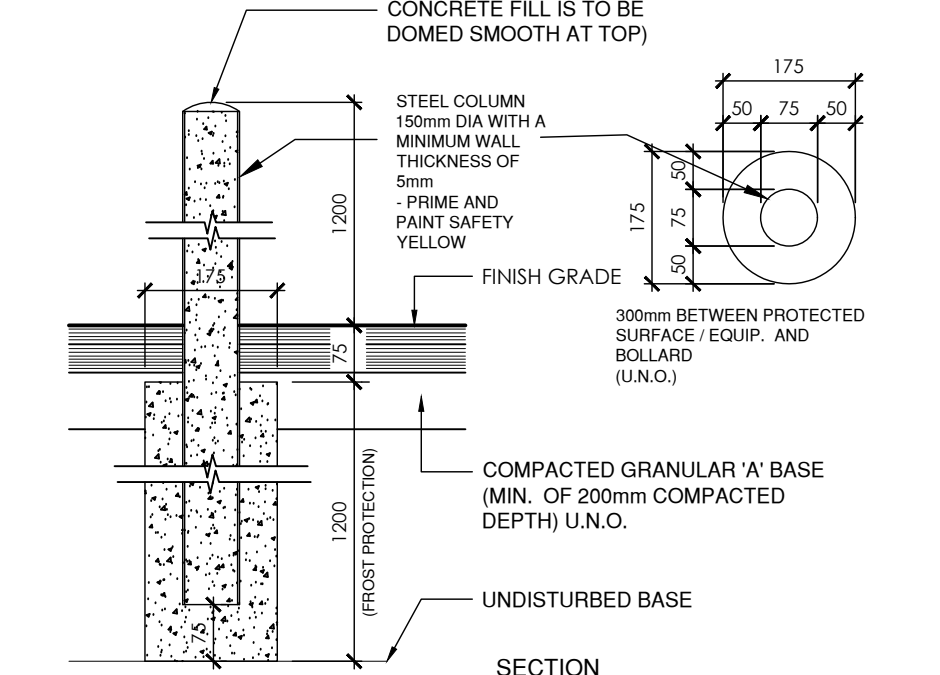
COMPACT CAR PARKING (RIGHT ARROW)    COMPACT CAR PARKING (BIDIRECTIONAL ARROW)    COMPACT CAR PARKING (LEFT ARROW)

COMPACT CAR PARKING SIGNS LOCATED AS PER SITE PLAN

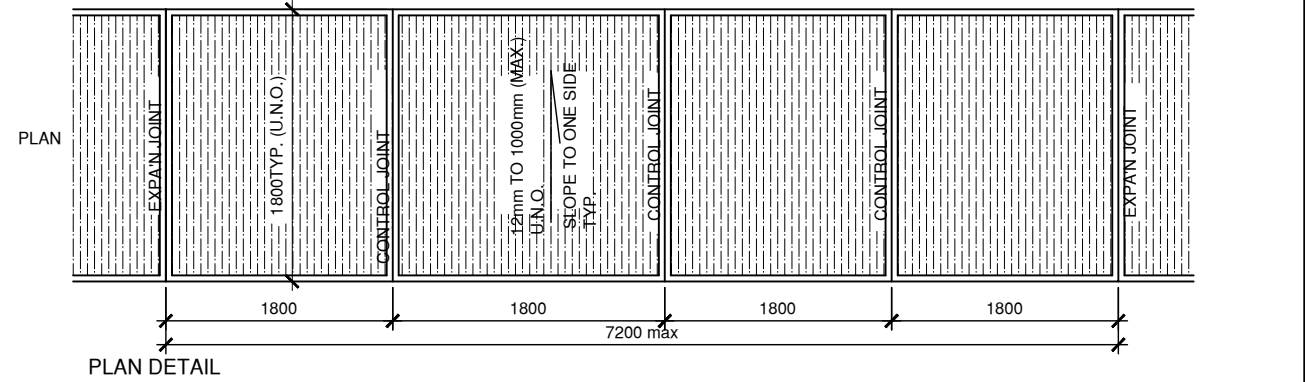
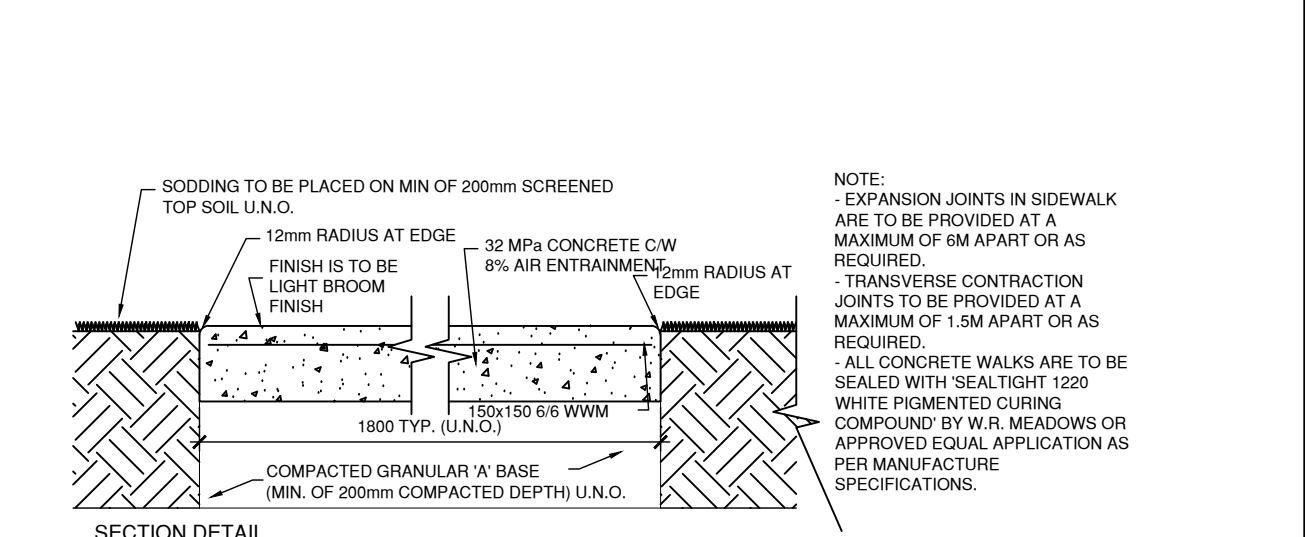
SIGNAGE FACE:  
REFLECTIVE ALUMINUM, WHITE BACKGROUND WITH TOP AND BOTTOM MOUNTING HOLES

MOUNTING:  
THE SIGN FACE MUST BE SECURED TO A POST WITH TWO GALVANIZED 12mm HEX. HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES

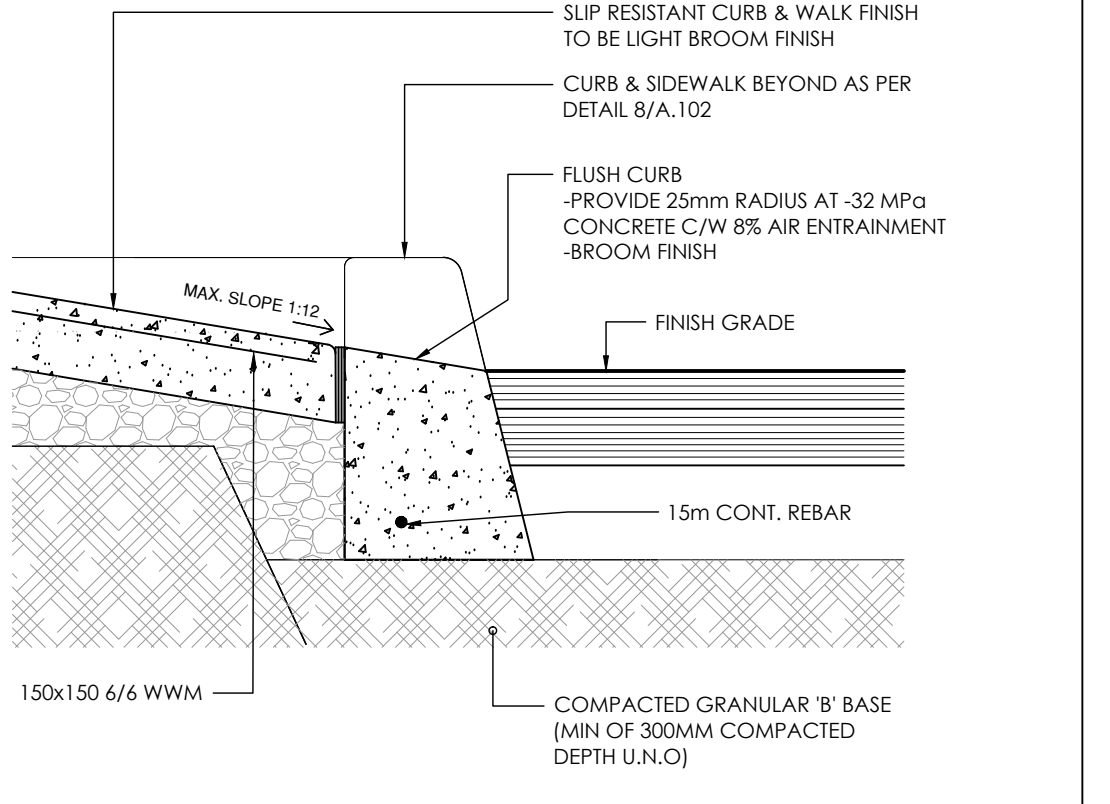
2 ASP-3 1:10  
DETAIL - COMPACT CAR PARKING SIGN



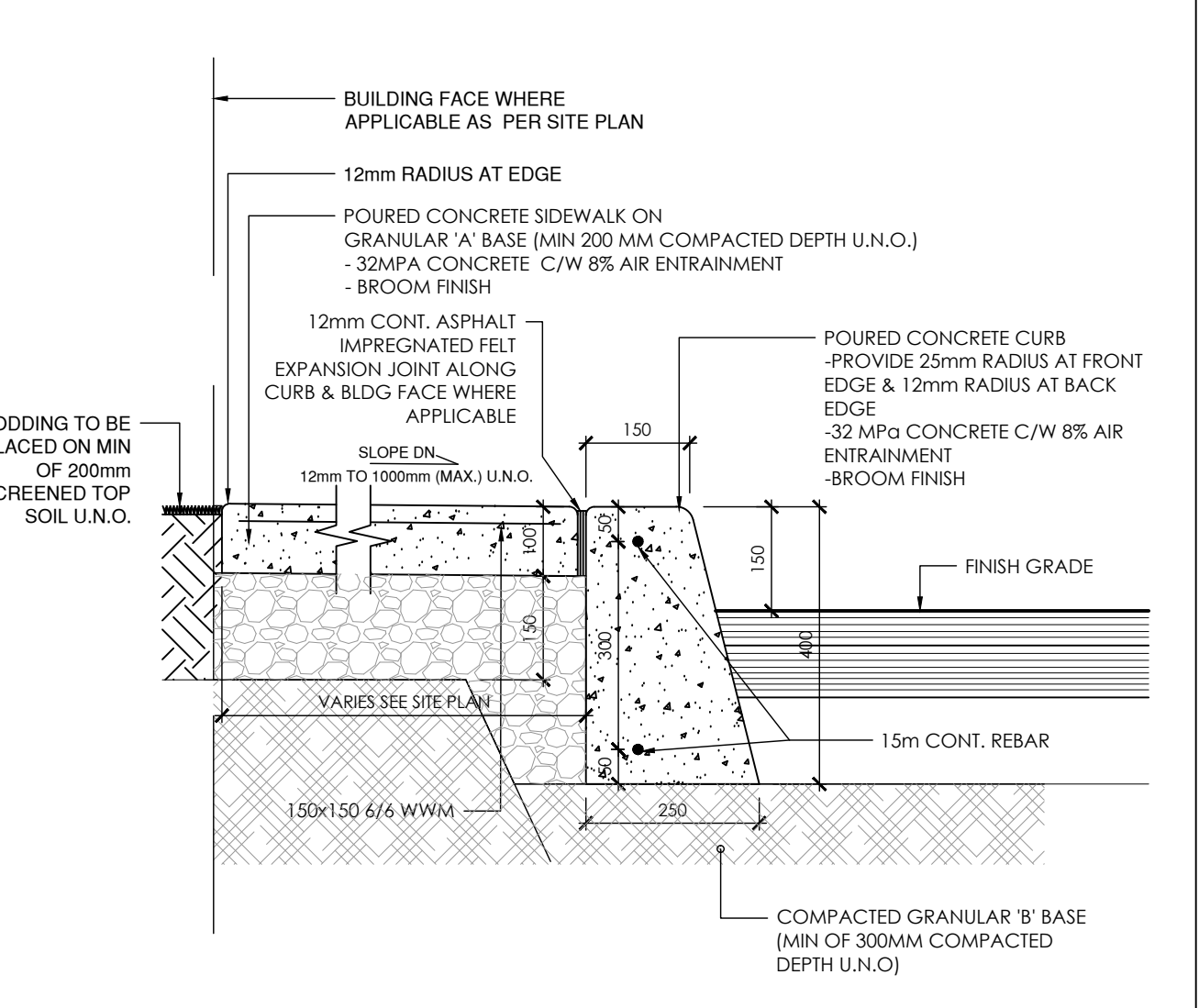
3 ASP-3 1:10  
DETAIL - TYP BOLLARD



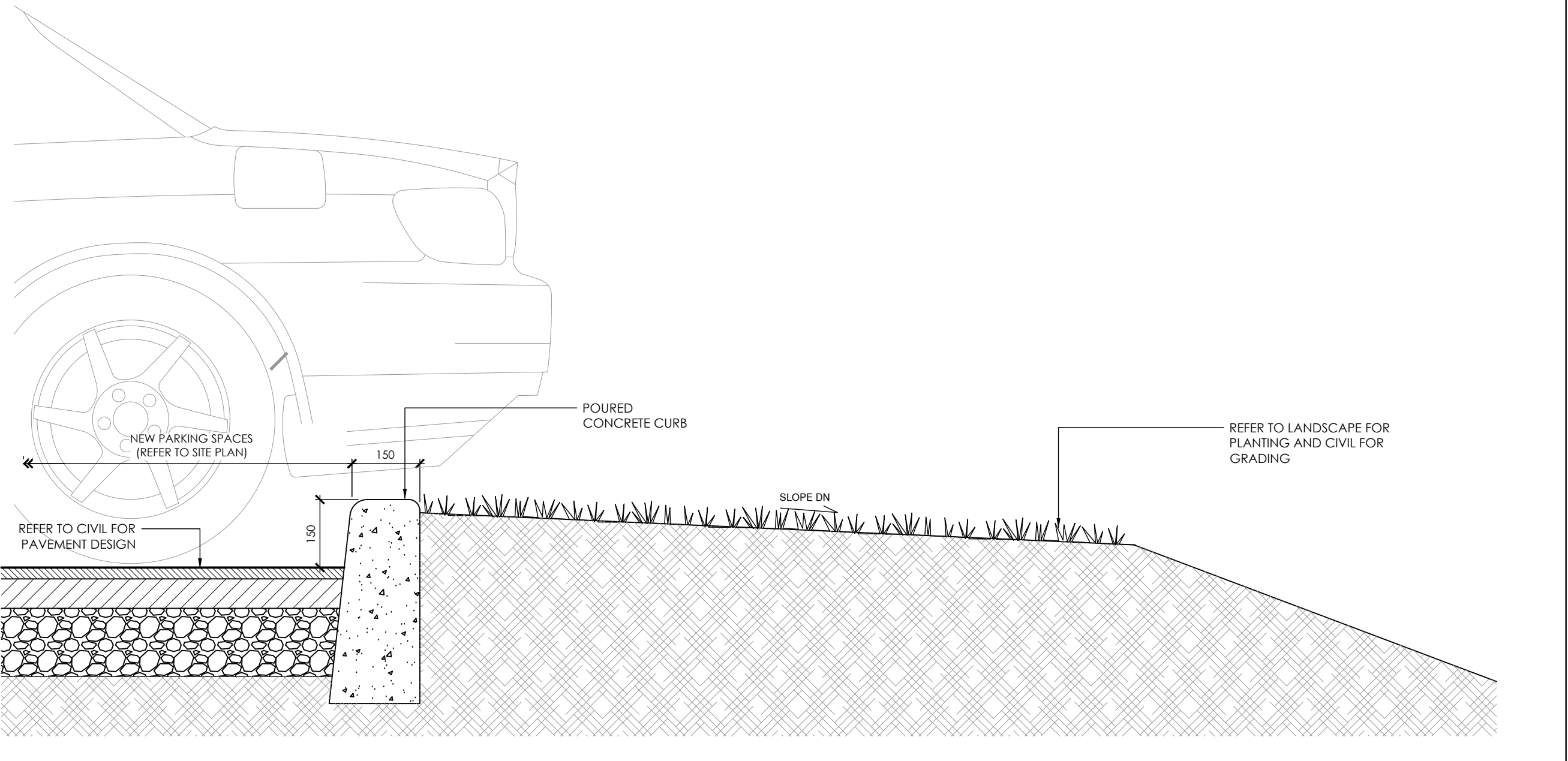
4 ASP-3 1:10  
DETAIL - CONC SIDEWALK



5 ASP-3 1:10  
SECTION DETAIL - FLUSH CURB @ SIDEWALK



6 ASP-3 1:10  
SECTION DETAIL - CONC CURB @ SIDEWALK



7 ASP-3 1:10  
DETAIL - CURB AT PARKING

Key Plan:

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| No. | Date:    | Issue/Revision                   | By: |
|-----|----------|----------------------------------|-----|
| 3   | 23/03/17 | Issued for SPA- 1ST REVIEW REPLY | EM  |
| 2   | 22/06/30 | Issued for CLC- Reply            | EM  |
| 1   | 22/05/20 | Issued for CLC                   | EM  |

Drawing Issues/Revisions:

Note:  
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WORK IN PROGRESS

MATAJ ARCHITECTS INC

Architect's Stamp

**MATAJ ARCHITECTS INCORPORATED**

206-418 Inaquis Shore Rd  
Oakville Ontario  
L6H 0X7  
T.905.281.4444

Project:  
**WATERIDGE APARTMENT BUILDING**

Sheet Title:  
**SITE PLAN-DETAILS**

|                  |                   |                        |
|------------------|-------------------|------------------------|
| Design By:<br>EM | Drawn By:<br>SF   | Approved By:<br>EM     |
| Scale:<br>1:10   | Date:<br>22-06-29 | Project No.:<br>22-004 |

Drawing No.:

**ASP-9**

Committee of Adjustment  
Received | Reçu le  
2023-05-15  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

NOTES:  
1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS  
2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.

| TRANSPARENT GLAZING AREA OF THE 1ST STOREY ALONG HEMLOCK ROAD |  |                                |
|---|--|--------------------------------|
| TRANSPARENT GLAZING AREA                                      | TOTAL WALL AREA OF NON-RESIDENTIAL USE | PERCENTAGE (50% MIN. REQUIRED) |
| 223.42 SM   | 368.53 SM                              | 61%                            |

HATCH DENOTES BIRD FRIENDLY GLAZING

| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EFS - BRICK PATTERN-KENDALL CHARCOAL                        |
| E02                       | EFS - GREY  |
| E03                       | EFS - SANDSTONE FINISH WHITE DOVE BM OC-17                  |
| E04                       | EFS - KENDAL CHARCOAL BM HC-146                             |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E09                       | REVEAL TYPICAL  |
| E10                       | MECHANICAL SCREEN   |
| E11                       | PRIVACY SCREEN  |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |

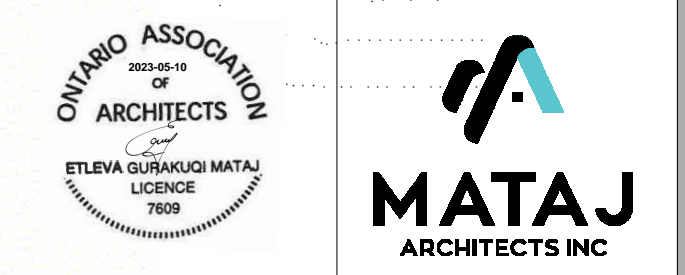


|                |             |
|----------------|-------------|
| Project North: | True North: |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - REPLY            | 2022/06/30 |

Drawing Issues/Revisions:

Note:  
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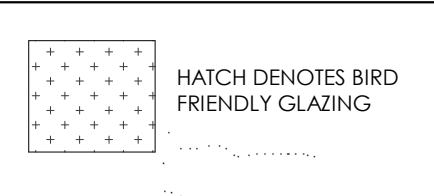
Architect's Stamp  
**MATAJ ARCHITECTS INCORPORATED**  
206-418 Incaquois Shore Rd  
Oakville Ontario  
L6H 0X7  
1.905.281.1444

Project:  
**OTTAWA APARTMENTS - BLD 1**  
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

|   |                     |                        |
|---|---------------------|------------------------|
| Sheet Title:<br><b>SOUTH ( FRONT ) ELEVATION</b>    |                     |                        |
| Design By:<br>MAI                                   | Drawn By:<br>TV/BL  | Approved By:<br>EM     |
| Scale:<br>As indicated                              | Date:<br>Issue Date | Project No.:<br>22-004 |
| Drawing No.:<br><b>A301</b> Of:                     |                     |                        |
| City's Application Number: D07-12-22-0127<br>City's |                     |                        |

1 BLD 1 - SOUTH ELEVATION (FRONT)  
A301 1:125

NOTES:  
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS  
 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.



| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                       |
| E02                       | EIFS - GREY   |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                 |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-146                            |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-146                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E09                       | REVEAL TYPICAL  |
| E10                       | MECHANICAL SCREEN   |
| E11                       | PRIVACY SCREEN  |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |

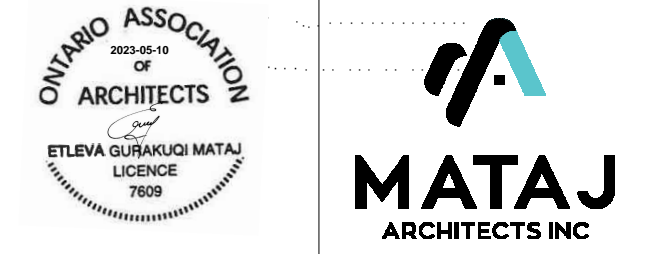
SPA FILE NO. -

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - REPLY            | 2022/06/30 |

Drawing Issues/Revisions:

Note:  
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 INCORPORATED  
 206-418 Iroquois Shore Rd  
 Oakville, Ontario L6H 0X7  
 1.905.281.1444

Project:  
**OTTAWA APARTMENTS - BLD 1**  
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:  
**EAST & WEST ELEVATIONS**

|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:<br>TV/BL  | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No.: **A302** Of:

City's Application Number: D07-12-22-0127  
 City's:



2 BLD 1 - EAST ELEVATION  
 A302 1:125



1 BLD 1 - WEST ELEVATION  
 A302 1:125

NOTES:  
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS  
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HATCH DENOTES BIRD FRIENDLY GLAZING

| EXTERIOR ELEVATION LEGEND |  |
|---------------------------|--|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                      |
| E02                       | EIFS - GREY  |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-146                           |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                            |
| E05                       | ACM - WHITE DOVE, BM OC 17                                 |
| E06                       | STONE - 300X600 - ARRICRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL   |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH              |
| E09                       | REVEAL TYPICAL   |
| E10                       | MECHANICAL SCREEN  |
| E11                       | PRIVACY SCREEN   |
| E12                       | ELEVATOR WALL BEYOND                                       |
| E13                       | RETAINING WALL   |

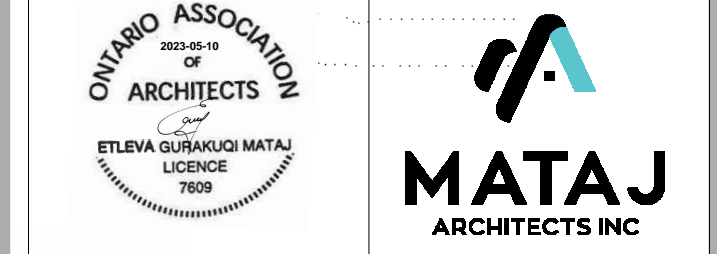
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| Project North: | True North: |
| SPA FILE NO. - |             |



| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - REPLY            | 2022/06/30 |

Drawing Issues/Revisions:

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 204-418 Iroquois Shore Rd  
 Oakville Ontario L6H 0X7  
 1.905.281.1444

Project:  
**OTTAWA APARTMENTS - BLD 1**  
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

|   |                     |                        |
|---|---------------------|------------------------|
| Sheet Title:<br><b>NORTH (REAR) ELEVATION</b>       |                     |                        |
| Design By:<br>MAI                                   | Drawn By:<br>TV/BL  | Approved By:<br>EM     |
| Scale:<br>As indicated                              | Date:<br>Issue Date | Project No.:<br>22-004 |
| Drawing No.:<br><b>A303</b> Of:                     |                     |                        |
| City's Application Number: D07-12-22-0127<br>City's |                     |                        |

NOTES:  
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS  
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HATCH DENOTES BIRD FRIENDLY GLAZING

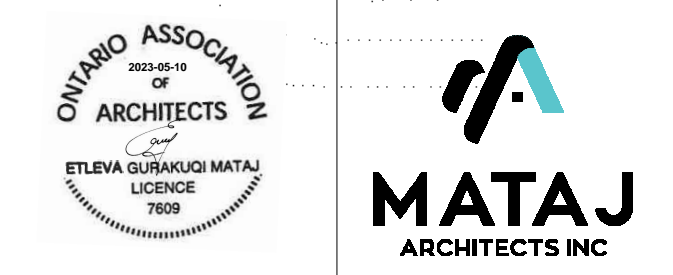
| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EFS - BRICK PATTERN-KENDALL CHARCOAL                        |
| E02                       | EFS - GREY  |
| E03                       | EFS - SANDSTONE FINISH WHITE DOVE BM OC-17                  |
| E04                       | EFS - KENDAL CHARCOAL BM HC-146                             |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-146                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E09                       | REVEAL TYPICAL  |
| E10                       | MECHANICAL SCREEN   |
| E11                       | PRIVACY SCREEN  |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |

|                |             |
|----------------|-------------|
| Project North: | True North: |
| SPA FILE NO. - |             |



| REV | DESCRIPTION | REV. DATE |
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 INCORPORATED  
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 Oakville Ontario  
 L6H 0X7  
 1.905.281.4444

Project:  
**OTTAWA APARTMENTS - BLD 1**  
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:  
**PARTIAL EAST & WEST ELEVATIONS**

|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:           | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A304** Of:

City's Application Number: D07-12-22-0127  
 City's:

2 PARTIAL WEST ELEVATION  
 A304 1:125

1 PARTIAL EAST ELEVATION  
 A304 1:125



2 PERSPECTIVE VIEW SE  
A305



1 PERSPECTIVE VIEW SW  
A305



3 PERSPECTIVE VIEW NW  
A305

|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - REPLY            | 2022/06/30 |

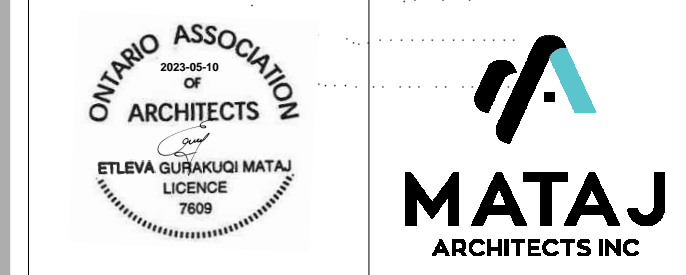
Drawing Issues/Revisions:

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**MATAJ ARCHITECTS INCORPORATED**  
206-418 Iroquois Shore Rd  
Oakville Ontario  
L6H 0X7  
1.905.231.4444

Project:  
**OTTAWA APARTMENTS - BLD 1**  
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:  
**3D VIEWS**

|                  |                     |                        |
|------------------|---------------------|------------------------|
| Design By:<br>EM | Drawn By:<br>TV/BL  | Approved By:<br>EM     |
| Scale:           | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No.:  
**A305** Of:

City's Application Number: D07-12-22-0127  
City's

|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |

SPA FILE NO. -

| 1   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
|-----|-----------------------------------|------------|
| REV | DESCRIPTION                       | REV. DATE  |

Drawing Issues/Revisions:

**Note:**  
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Project:  
**OTTAWA APARTMENTS - BUILDING 2**  
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:  
**SOUTH ( FRONT ) ELEVATION**

|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

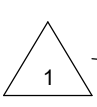
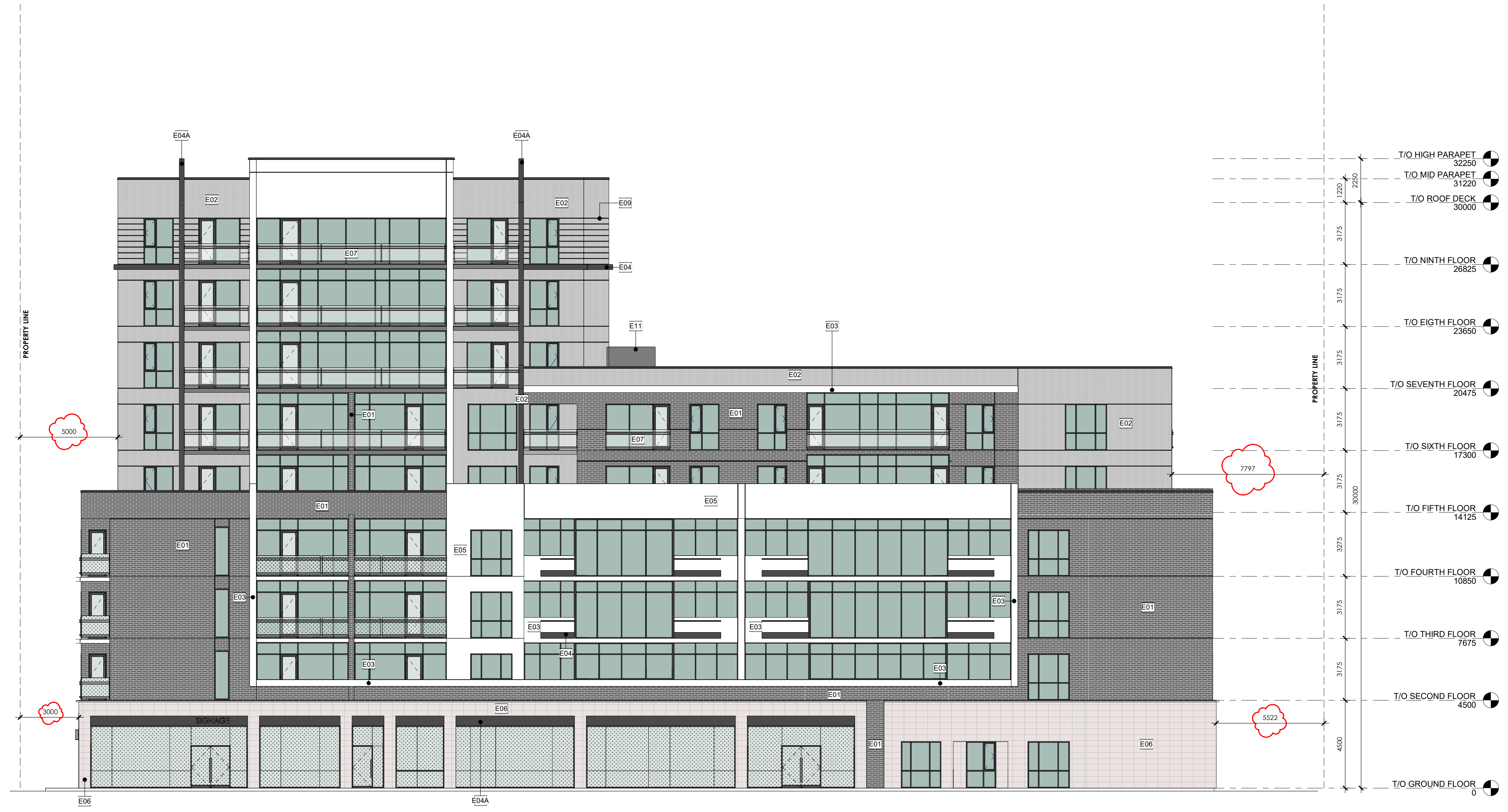
Drawing No:  
**A301** Of:

City's Application Number: D07-12-22-0122  
City's Plan Number:

| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                       |
| E02                       | EIFS - GREY   |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                 |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-166                            |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E09                       | REVEAL TYPICAL  |
| E11                       | PRIVACY SCREEN  |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |

NOTES:  
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| TRANSPARENT GLAZING AREA OF THE 1ST STOREY ALONG HEMLOCK ROAD |  |                                |
|---|--|--------------------------------|
| TRANSPARENT GLAZING AREA                                      | TOTAL WALL AREA OF NON-RESIDENTIAL USE | PERCENTAGE (50% MIN. REQUIRED) |
| 115.69 SM   | 184.237 SM                             | 63%                            |





NOTES:  
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS  
 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.

HATCH DENOTES BIRD FRIENDLY GLAZING

| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                       |
| E02                       | EIFS - GREY   |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                 |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-166                            |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E09                       | REVEAL TYPICAL  |
| E11                       | PRIVACY SCREEN  |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |



1 BLD 2 - WEST ELEVATION  
 A302 1:125

|                |             |
|----------------|-------------|
| Project North: | True North: |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 1   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |

Drawing Issues/Revisions:

**Note:**  
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**MATAJ ARCHITECTS**  
 INCORPORATED  
 206-418 Iroquois Shore Rd  
 Oakville Ontario  
 L6H 0X7  
 1.905.281.1444

Project:  
**OTTAWA APARTMENTS - BUILDING 2**  
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:  
**WEST ELEVATION**

|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A302** Of:

City's Application Number: D07-12-22-0122  
 City's Plan Number:

NOTES:  
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HATCH DENOTES BIRD FRIENDLY GLAZING

| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                       |
| E02                       | EIFS - GREY   |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                 |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-166                            |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E09                       | REVEAL TYPICAL  |
| E11                       | PRIVACY SCREEN  |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |



1 BLD 2 - NORTH ELEVATION (REAR)  
 A303 1 : 125

|                |             |
|----------------|-------------|
| Project North: | True North: |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 1   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |

Drawing Issues/Revisions:

**Note:**  
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 204-418 Incaquois Shore Rd  
 Oakville Ontario  
 L6H 0X7  
 T.905.281.1444

Project:  
**OTTAWA APARTMENTS - BUILDING 2**  
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:  
**NORTH ELEVATION**

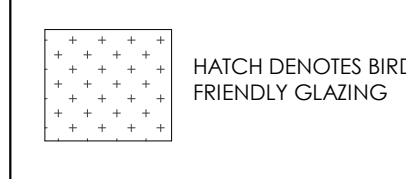
|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No.:  
**A303** Of:

City's Application Number: D07-12-22-0122  
 City's Plan Number:

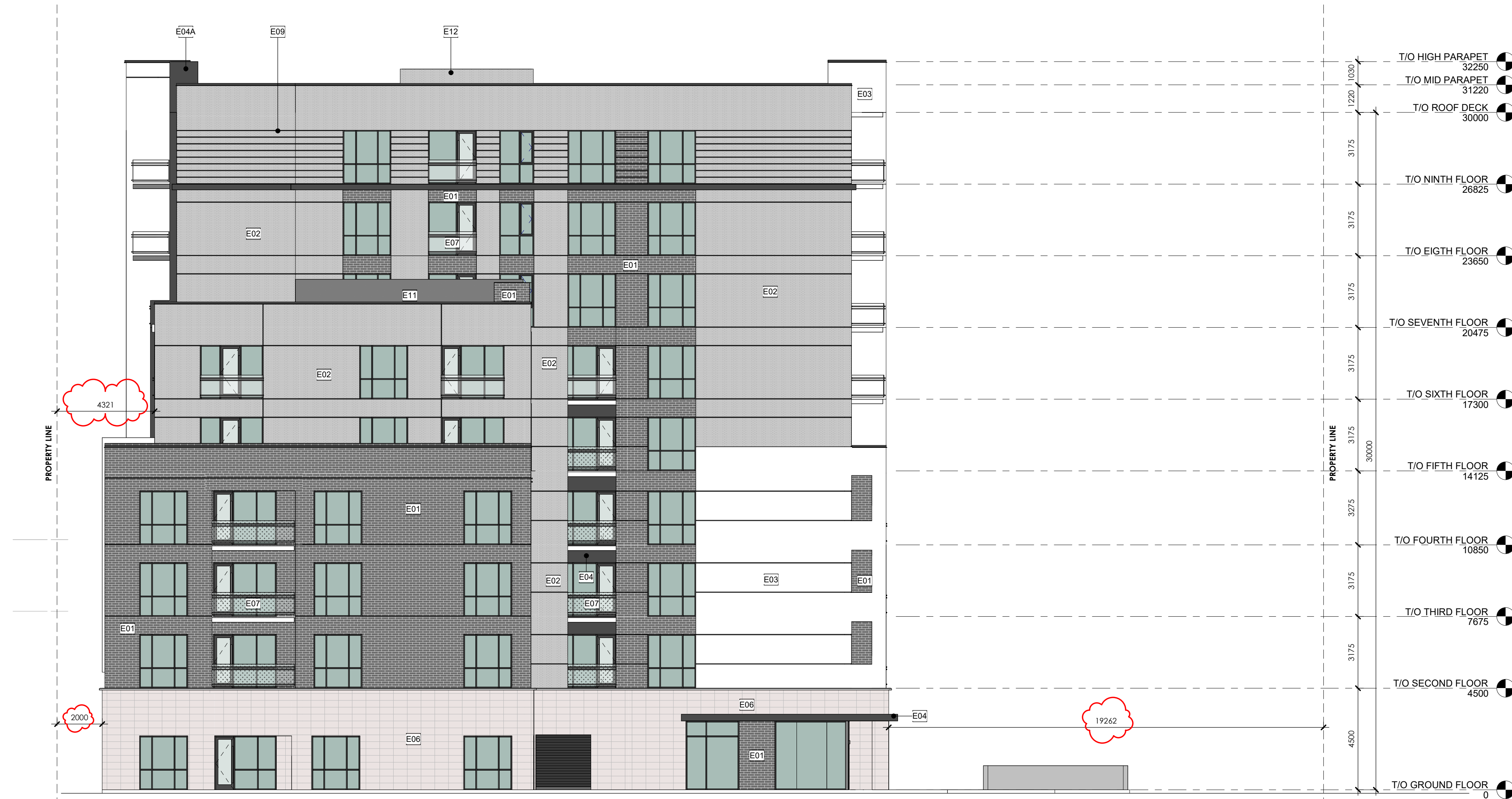
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EXTERIOR ELEVATION LEGEND

|      |  |
|------|--|
| E01  | EIFS - BRICK PATTERN-KENDALL CHARCOAL                        |
| E02  | EIFS - GREY  |
| E03  | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                  |
| E04  | EIFS - KENDAL CHARCOAL BM HC-166                             |
| E04A | ACM - KENDAL CHARCOAL BM HC-166                              |
| E05  | ACM - WHITE DOVE, BM OC 17                                   |
| E06  | STONE - 300X600 - ARRIS-CRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07  | GLASS GUARD RAIL   |
| E08  | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH                |
| E09  | REVEAL TYPICAL   |
| E11  | PRIVACY SCREEN   |
| E12  | ELEVATOR WALL BEYOND   |
| E13  | RETAINING WALL   |



|                |             |
|----------------|-------------|
| Project North: | True North: |
|----------------|-------------|

SPA FILE NO. -

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC-Reply              | 2022/06/30 |

Drawing Issues/Revisions:

**Note:**  
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INCORPORATED  
204-418 Incoquois Shore Rd  
Oakville, Ontario  
L6H 0X7  
T. 905.231.1444

Project:  
**OTTAWA APARTMENTS - BUILDING 2**

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:  
**EAST ELEVATION**

|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:

**A304** Of:

City's Application Number: D07-12-22-0122  
City's Plan Number:

1 BLD 2 - EAST ELEVATION  
A304 1:125



2 3D VIEW - SOUTH WEST  
A305



1 3D VIEW - SOUTH EAST  
A305

|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |

SPA FILE NO. -

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC-Reply              | 2022/06/30 |

Drawing Issues/Revisions:

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**MATAJ ARCHITECTS**  
INCORPORATED  
206-418 Iroquois Shore Rd  
Oakville Ontario  
L6H 0W7  
T.905.231.4444

Project:  
**OTTAWA APARTMENTS - BUILDING 2**

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:

**3D VIEWS**

|                   |                     |                        |
|-------------------|---------------------|------------------------|
| Design By:<br>MAI | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:            | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:

**A305** Of:

City's Application Number: D07-12-22-0122  
City's Plan Number:

- NOTES:
- 1 - CM/BUILDER SHALL PROVIDE ALL EXTERIOR SAMPLES TO ARCHITECT/BRAND FOR APPROVAL OF COLOR & TEXTURE. BEFORE COMMENCING WORK ON SITE CM/BUILDER SHALL SUBMIT ARCHITECTS & BRAND'S APPROVED EXTERIOR SAMPLES TO OWNER FOR FINAL APPROVAL.
  - 2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.
  - 3 - CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR

| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                       |
| E02                       | EIFS - GREY   |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                 |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-166                            |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | MAC LIGHTING (MS-W29118), 3000K, BLACK FINISH               |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |

|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
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| 1   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |

Drawing Issues/Revisions:

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**MATAJ ARCHITECTS INCORPORATED**  
 206-418 Iroquois Shore Rd  
 Oakville Ontario L6H 0X7  
 T.905.281.1444

Project:  
**OTTAWA APARTMENTS - BUILDING 3**  
 375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:  
**WEST ELEVATION (FRONT)**

|                   |                     |                        |
|-------------------|---------------------|------------------------|
| Design By:<br>MAI | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>1 : 125 | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A301** Of:

City's Application Number: D07-12-22-0122  
 City's Plan Number:



1 BLD 3 - WEST ELEVATION (FRONT)  
 A301 1 : 125

NOTES:

- 1 - CM/BUILDER SHALL PROVIDE ALL EXTERIOR SAMPLES TO ARCHITECT/BRAND FOR APPROVAL OF COLOR & TEXTURE. BEFORE COMMENCING WORK ON SITE CM/BUILDER SHALL SUBMIT ARCHITECT'S & BRAND'S APPROVED EXTERIOR SAMPLES TO OWNER FOR FINAL APPROVAL.
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- 3 - CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR

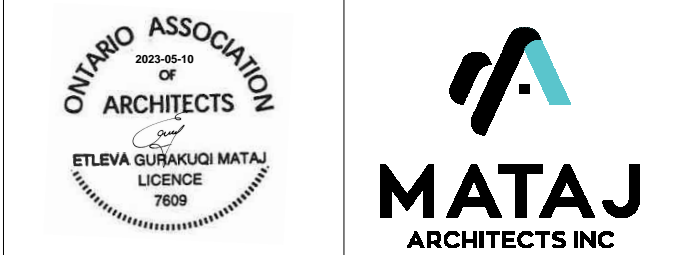
| EXTERIOR ELEVATION LEGEND |  |
|---------------------------|--|
| E01                       | EIFS - BRICK PATTERN-KENDALL CHARCOAL                        |
| E02                       | EIFS - GREY  |
| E03                       | EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17                  |
| E04                       | EIFS - KENDAL CHARCOAL BM HC-166                             |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                              |
| E05                       | ACM - WHITE DOVE, BM OC 17                                   |
| E06                       | STONE - 300X600 - ARRISCRRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL   |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH                |
| E12                       | ELEVATOR WALL BEYOND   |
| E13                       | RETAINING WALL   |

|                |             |
|----------------|-------------|
| Project North: | True North: |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - Reply            | 2022/06/30 |

Drawing Issues/Revisions:

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**MATAJ ARCHITECTS INCORPORATED**  
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 Oakville Ontario  
 L6H 0X7  
 T.905.281.1444

Project:  
**OTTAWA APARTMENTS - BUILDING 3**  
 375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:  
**EAST ELEVATION**

|                   |                     |                        |
|-------------------|---------------------|------------------------|
| Design By:<br>MAI | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>1 : 125 | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A302** Of:

City's Application Number: D07-12-22-0122  
 City's Plan Number:



**1** BLD 3 - EAST ELEVATION  
 A302 1 : 125



1 BLD 3 - SOUTH ELEVATION  
A303 1 : 125

|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |

SPA FILE NO. -

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - Reply            | 2022/06/30 |

Drawing Issues/Revisions:

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Project:  
**OTTAWA APARTMENTS - BUILDING 3**  
375 CODD'S RD, WATERDIGE VILLAGE,  
OTTAWA, ON

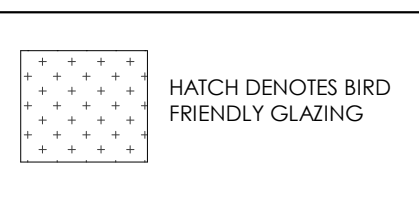
Sheet Title:  
**SOUTH ELEVATION**

|                   |                     |                        |
|-------------------|---------------------|------------------------|
| Design By:<br>MAI | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>1 : 125 | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A303** Of:

City's Application Number: D07-12-22-0122  
City's Plan Number:

NOTES:  
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIP'S EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS  
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| EXTERIOR ELEVATION LEGEND |   |
|---------------------------|---|
| E01                       | EFS - BRICK PATTERN-KENDALL CHARCOAL                        |
| E02                       | EFS - GREY  |
| E03                       | EFS - SANDSTONE FINISH WHITE DOVE BM OC-17                  |
| E04                       | EFS - KENDAL CHARCOAL BM HC-166                             |
| E04A                      | ACM - KENDAL CHARCOAL BM HC-166                             |
| E05                       | ACM - WHITE DOVE, BM OC 17                                  |
| E06                       | STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE |
| E07                       | GLASS GUARD RAIL  |
| E08                       | WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH               |
| E12                       | ELEVATOR WALL BEYOND  |
| E13                       | RETAINING WALL  |



|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |
| SPA FILE NO. - |             |

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 1   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |

Note:  
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 206-418 Iroquois Shore Rd  
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Project:  
**OTTAWA APARTMENTS - BUILDING 3**  
 375 CODD'S RD, WATERDIGE VILLAGE,  
 OTTAWA, ON

Sheet Title:  
**NORTH ELEVATION**

|                        |                     |                        |
|------------------------|---------------------|------------------------|
| Design By:<br>MAI      | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:<br>As indicated | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A304** Of:

City's Application Number: D07-12-22-0122  
 City's Plan Number:





1 3D VIEW - SOUTH WEST  
A305



2 3D VIEW - SOUTH EAST  
A305



3 3D VIEW - NORTH EAST  
A305

|                |             |
|----------------|-------------|
| Project North: | True North: |
|                |             |

SPA FILE NO. -

| REV | DESCRIPTION                       | REV. DATE  |
|-----|-----------------------------------|------------|
| 2   | ISSUED FOR SPA - 1ST REVIEW REPLY | 2022/12/15 |
| 1   | ISSUED FOR CLC - Reply            | 2022/06/30 |

Drawing Issues/Revisions:

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Project:  
**OTTAWA APARTMENTS - BUILDING 3**

375 CODD'S RD, WATERDIGE VILLAGE,  
OTTAWA, ON

Sheet Title:  
**3D VIEWS**

|                   |                     |                        |
|-------------------|---------------------|------------------------|
| Design By:<br>MAI | Drawn By:<br>BL/TV  | Approved By:<br>EM     |
| Scale:            | Date:<br>Issue Date | Project No.:<br>22-004 |

Drawing No:  
**A305** Of:

City's Application Number: D07-12-22-0122  
City's Plan Number: