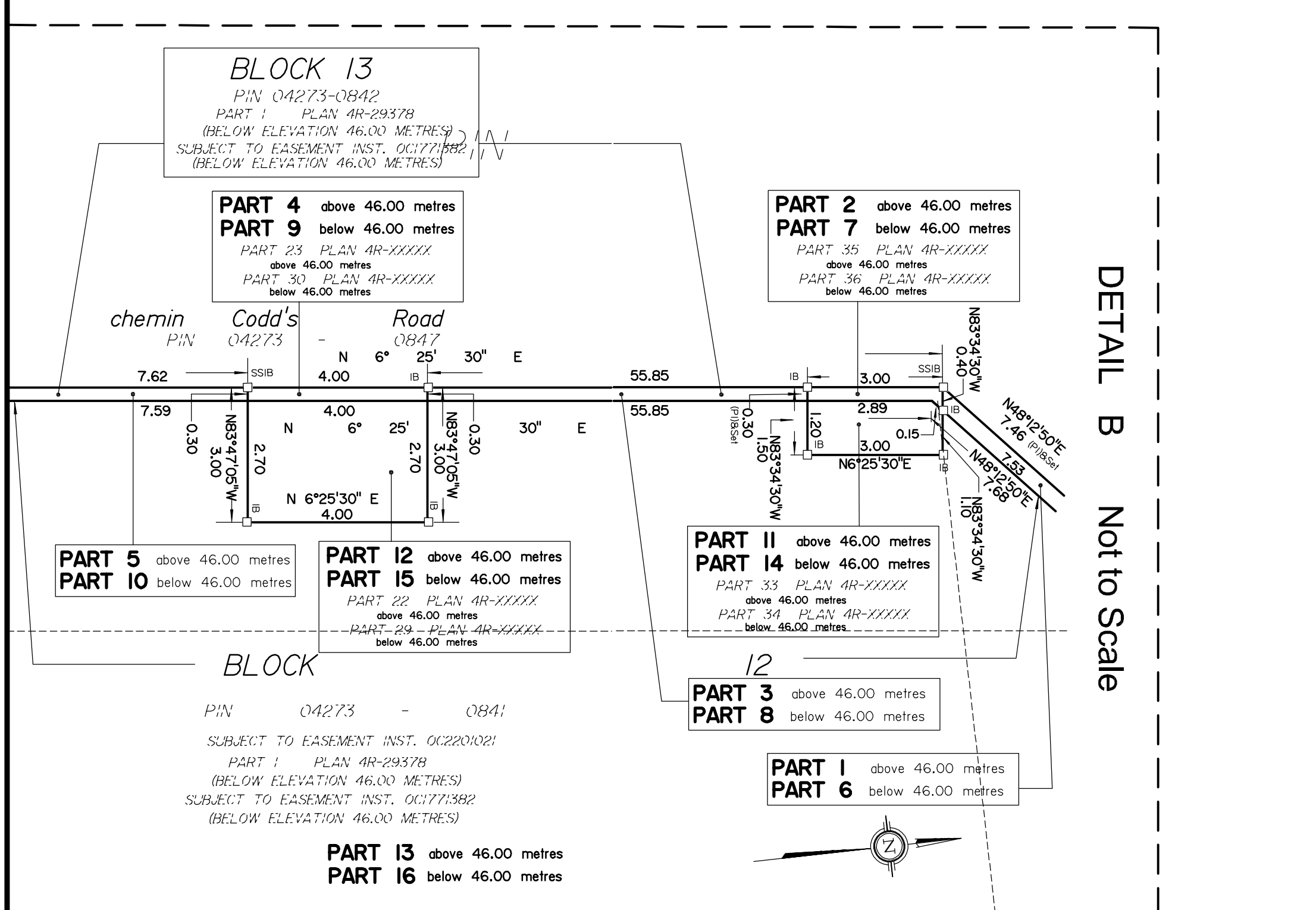
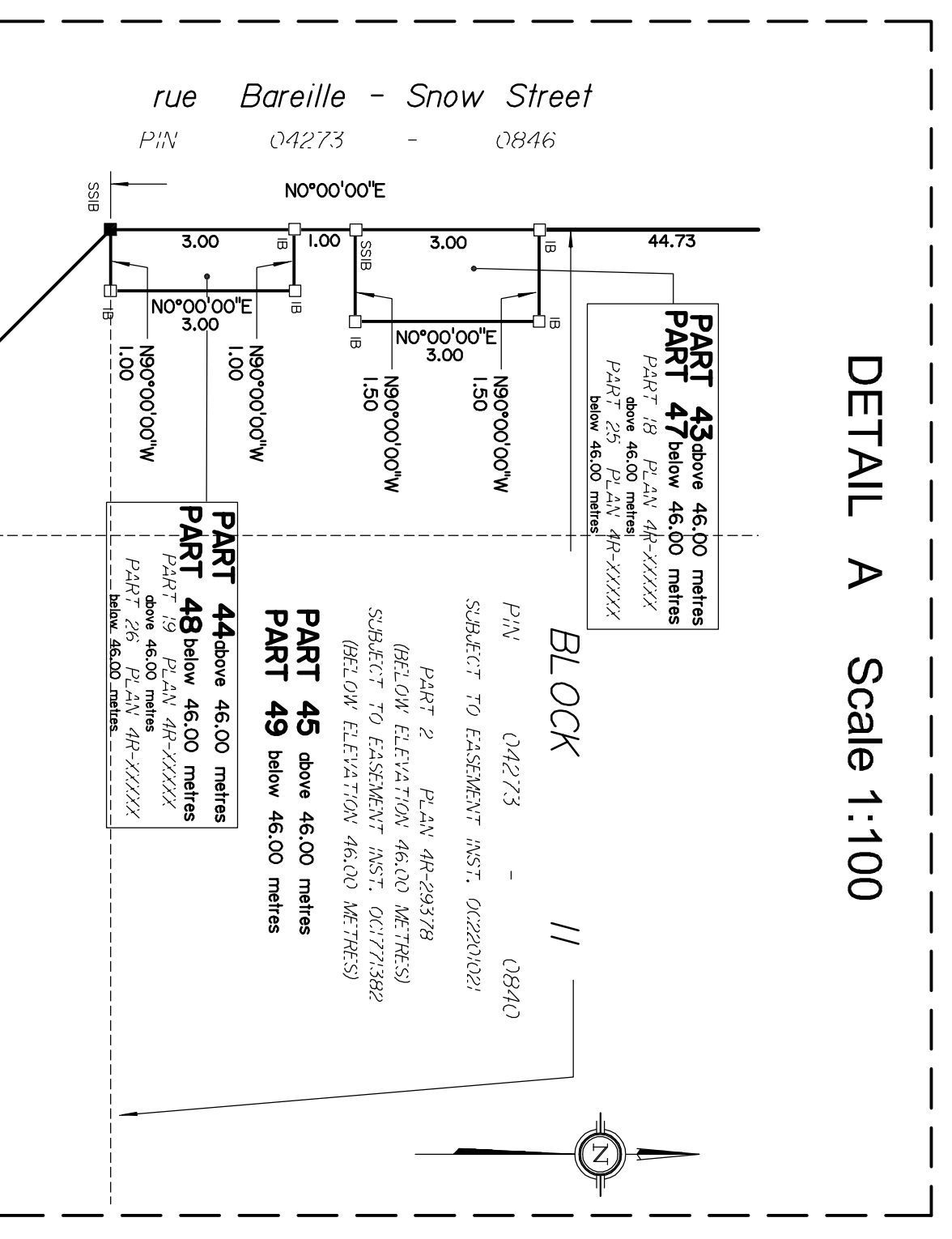
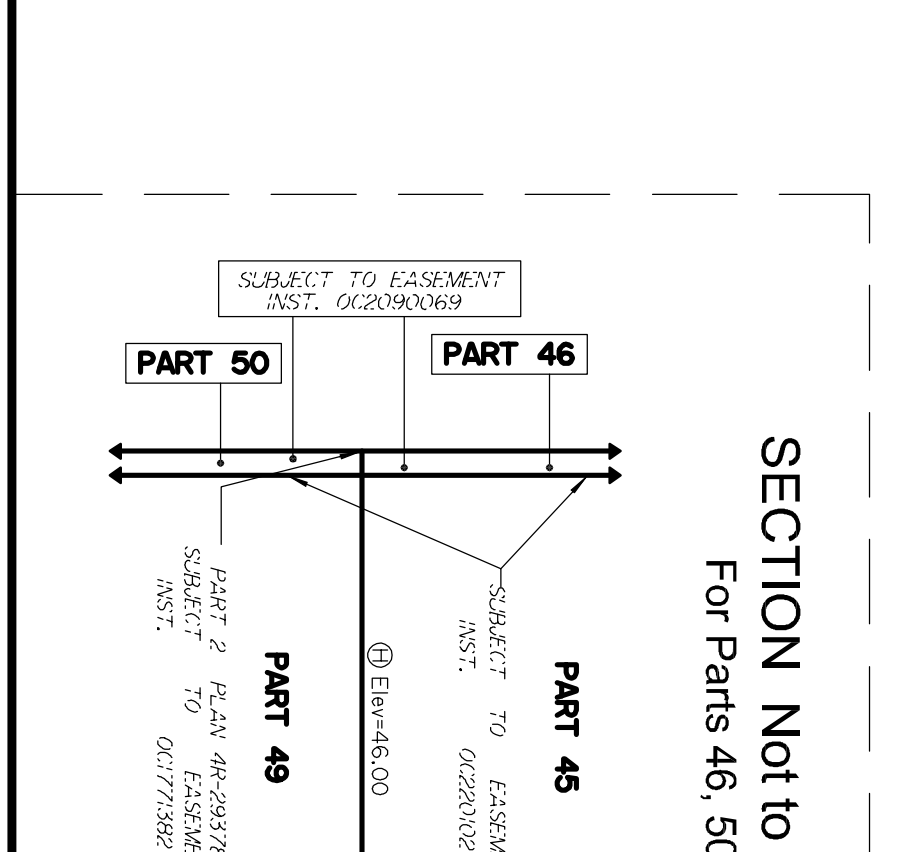
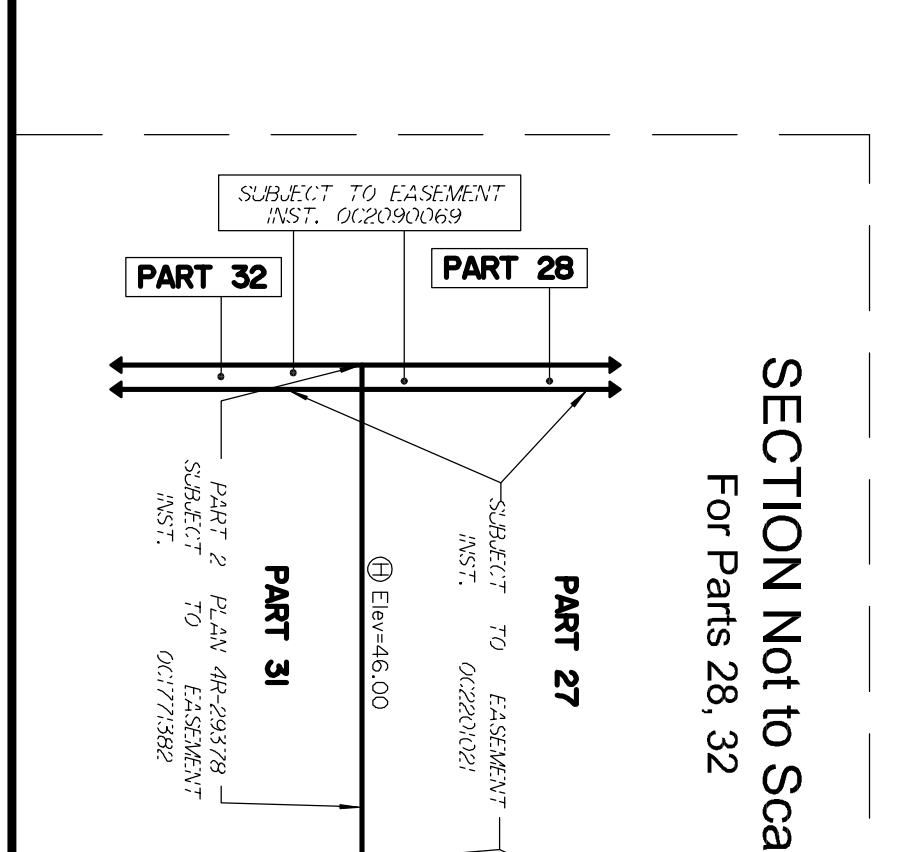
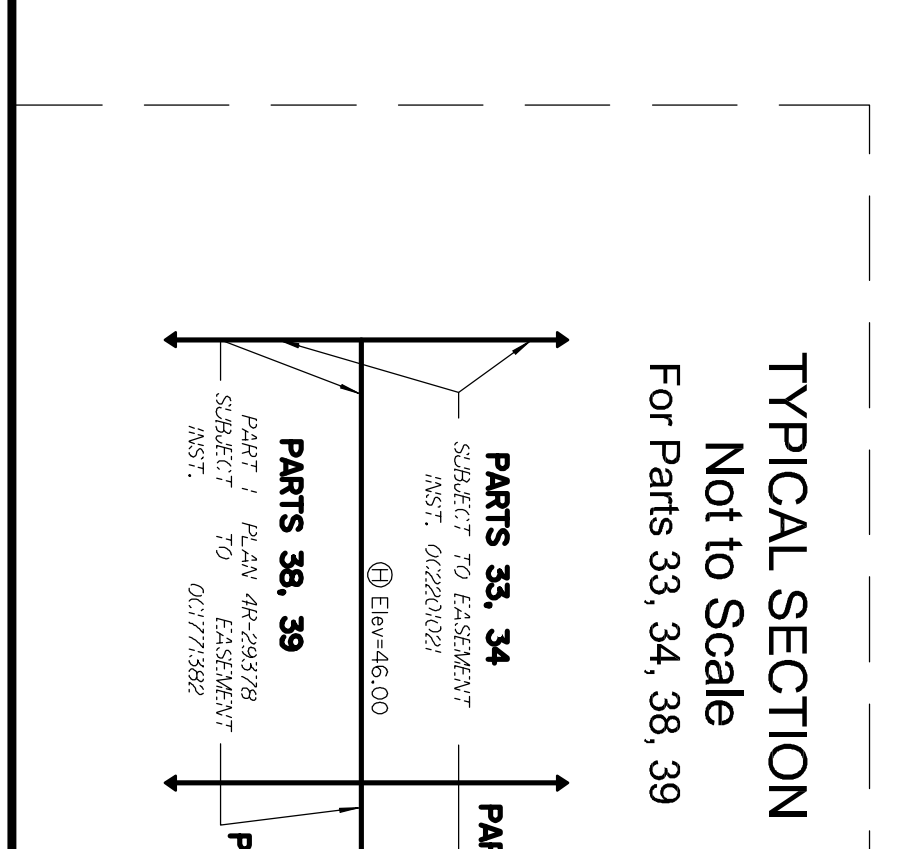
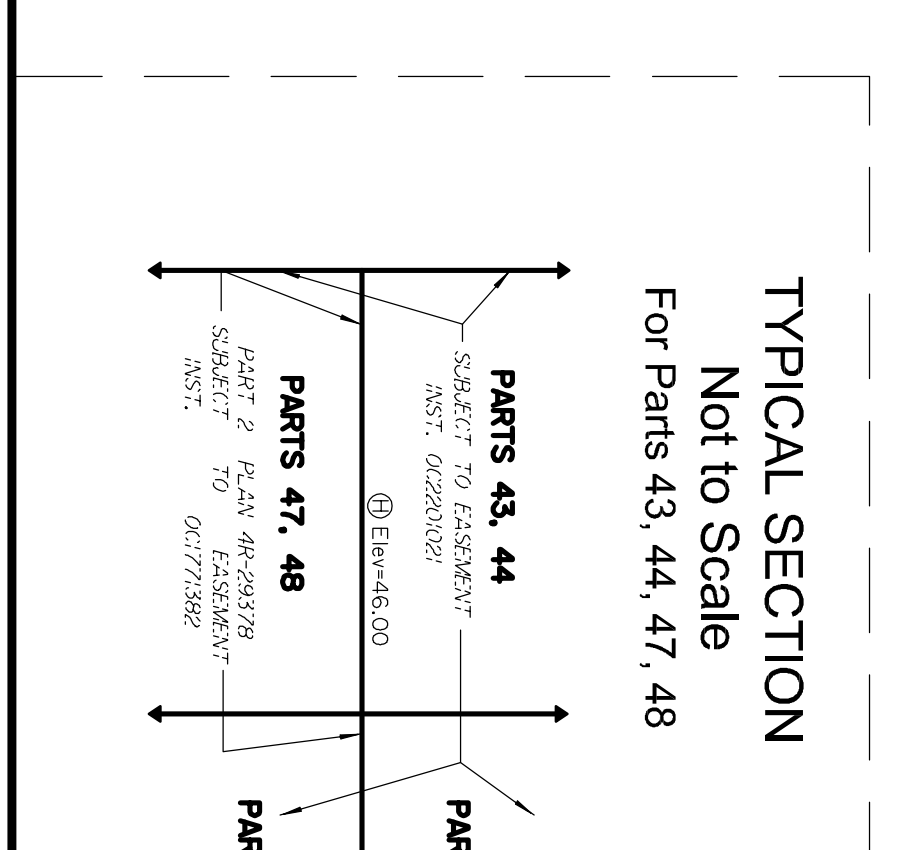
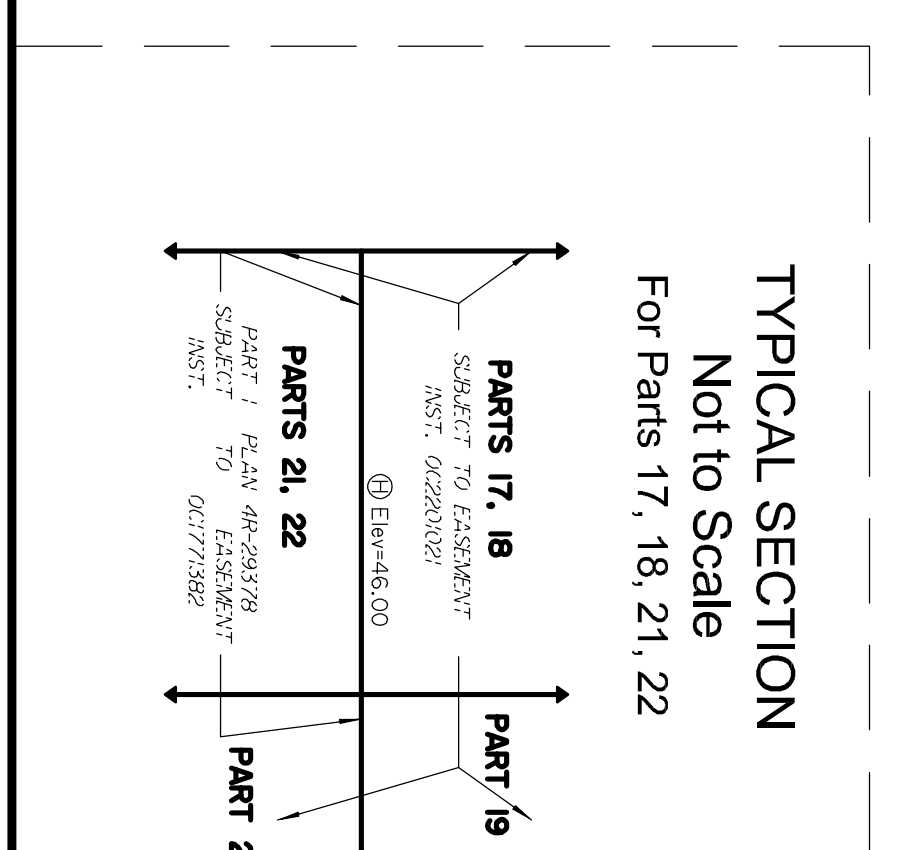
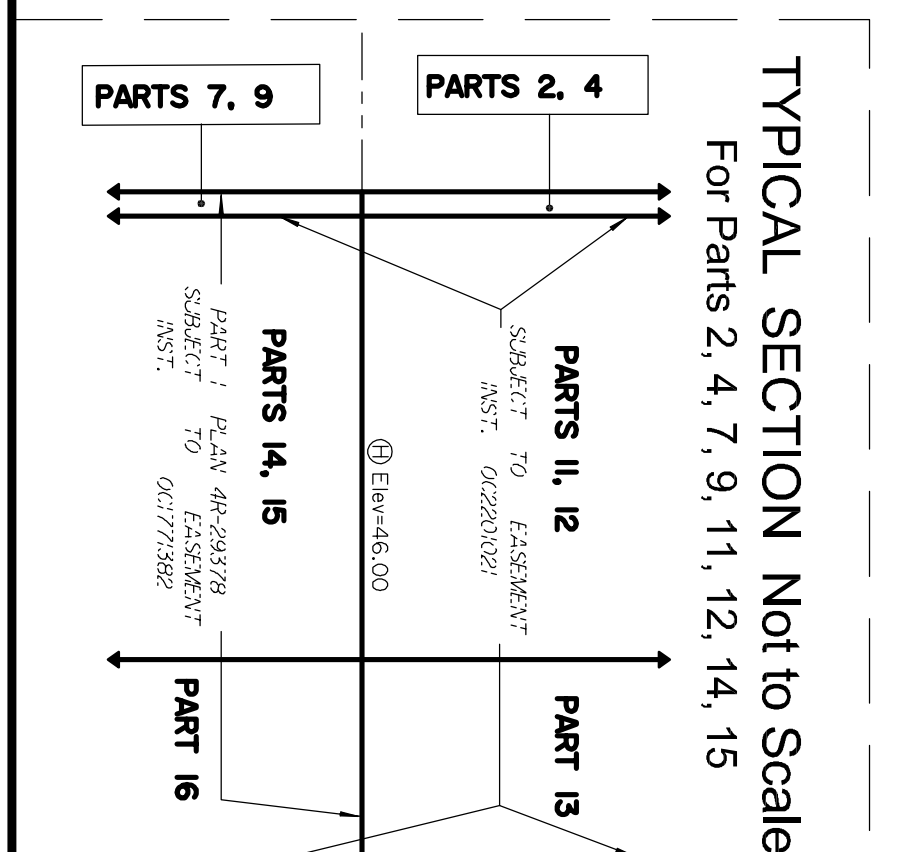
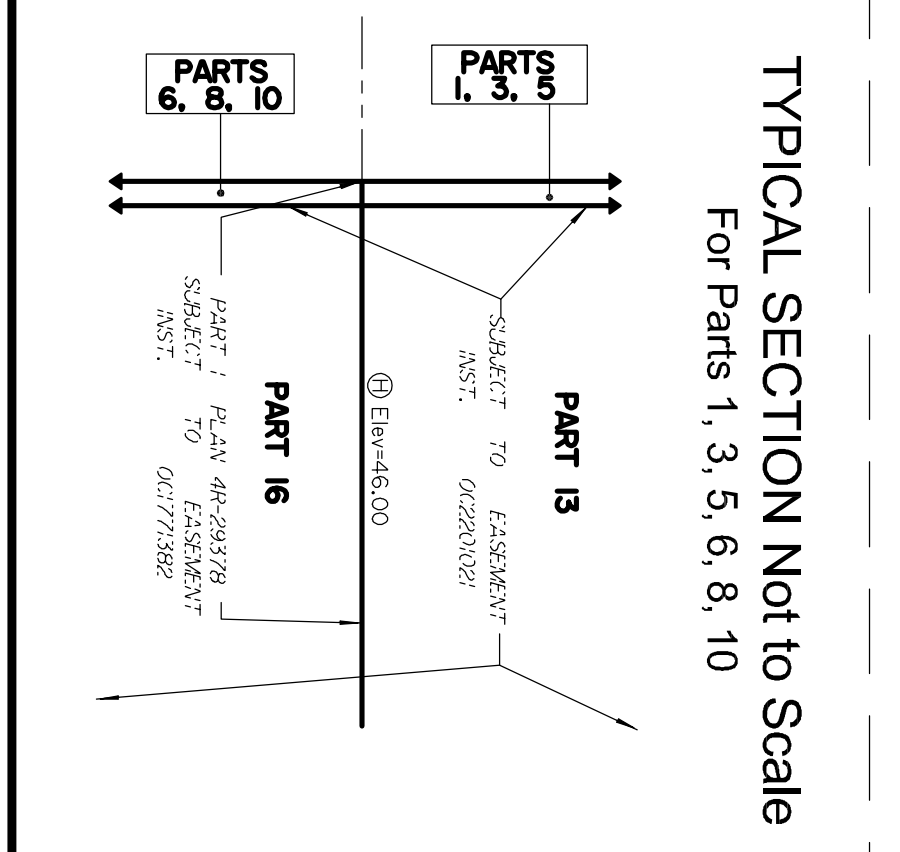
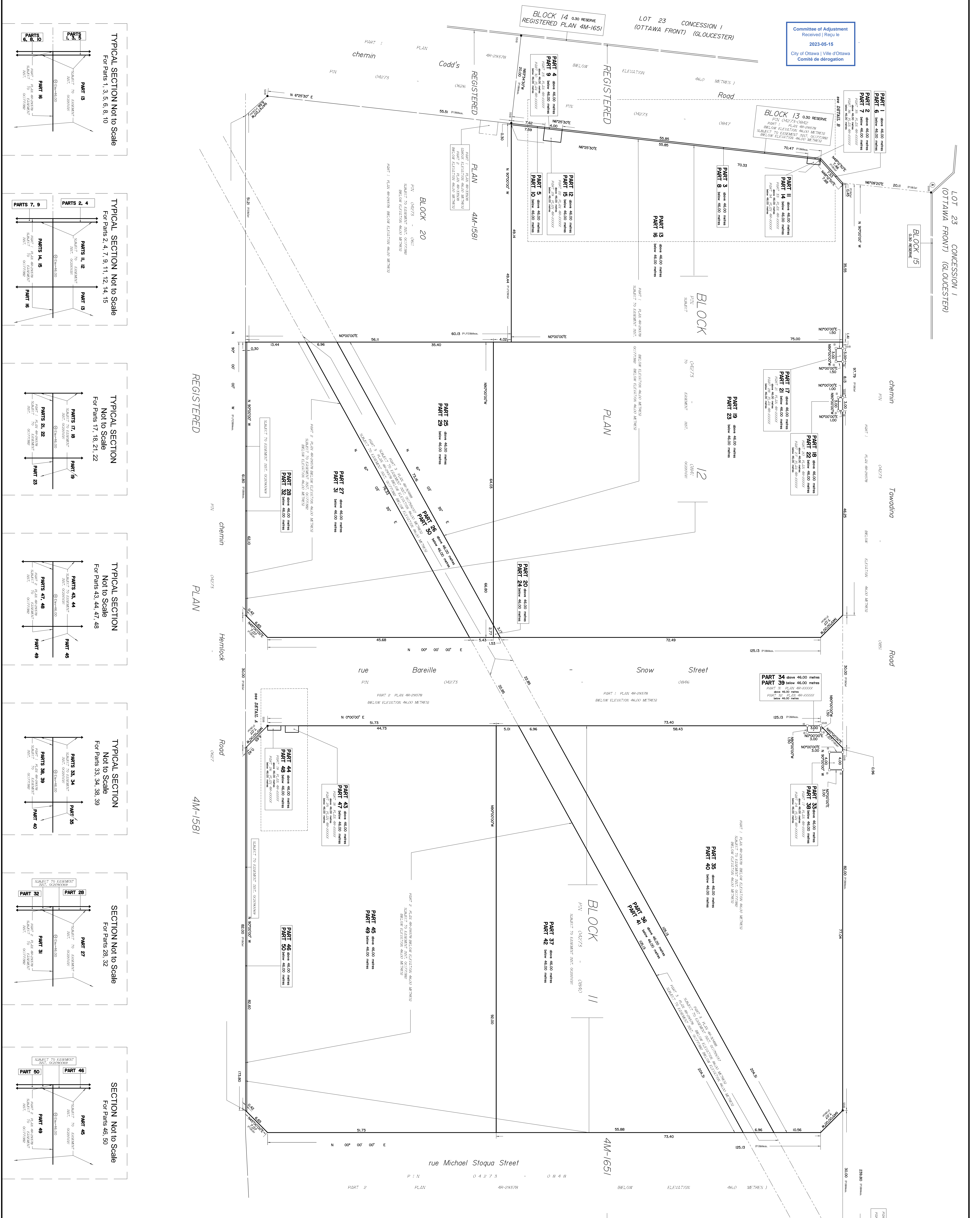


Committee of Adjustment
Received / Reçu le
2023-05-15
City of Ottawa / Ville d'Ottawa
Comité de dérogation



PART NO.	AREA (sqm)	BECK	CONCRETE/STAIN	FIN.
1	1000	1		
2	1000	2		
3	1000	3		
4	1000	4		
5	1000	5		
6	1000	6		
7	1000	7		
8	1000	8		
9	1000	9		
10	1000	10		
11	1000	11		
12	1000	12		
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44	1000	44		
45	1000	45		
46	1000	46		
47	1000	47		
48	1000	48		
49	1000	49		
50	1000	50		

PLAN 4R -
REGISTERED PLAN FOR THE
CONCRETE UNDERLAY
AND FINISHES.
DATE: 2023-05-15

**STRATA PLAN OF SURVEY OF
BLOCKS 11, 12, 13
REGISTERED PLAN 4M-1651
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebæk Ltd.

Scale: 1:250

NOTES & LEGEND

- 1. The survey and plan were conducted in accordance with the Survey Act and the Survey Regulations.
- 2. The survey was completed on May 10, 2023.
- 3. The survey was conducted by Annis, O'Sullivan, Vollebæk Ltd.
- 4. The survey was conducted in accordance with the Survey Act and the Survey Regulations.
- 5. The survey was conducted in accordance with the Survey Act and the Survey Regulations.

ELEVATION NOTES

- Elevations are provided as indicated by the City of Ottawa Vertical Datum (CVD) and are based on the CVD datum.
- Elevations are provided in metres above sea level.
- Elevations are provided to the nearest millimetre.
- Elevations are provided to the nearest millimetre.
- Elevations are provided to the nearest millimetre.

ANIS, O'SULLIVAN, VOLLEBÆK LTD.
1000 Avenue Road, Ottawa, Ontario K1R 7V8
Phone: 613-238-2828
www.anis-osullivan-vollebaek.com

SITE STATISTICS - Building 1. ZONING: GM31 GENERAL MIXED USE ZONE. COVERAGE CALCULATIONS: TOTAL SITE AREA 5,193.6 M², 55,903.4 ACRES. GLAZING CALCULATIONS: TOTAL GROUND FLOOR ELEVATION AREA - TO CEILING (3.6M) EXCLUDING RESIDENTIAL 348.5. SETBACKS: MINIMUM REAR YARD SETBACK 2.0, MINIMUM FRONT AND CORNER SIDE YARD 5.0, MINIMUM INTERIOR SIDE YARD 2.0. CONSTRUCTION AREA WITHOUT BALCONIES: GROUND FLOOR 2,183.0, 2ND FLOOR 2,173.0, 3RD FLOOR 2,173.0, 4TH FLOOR 2,173.0, 5TH FLOOR 1,967.0, 6TH FLOOR 1,967.0, 7TH FLOOR 1,470.0, 8TH FLOOR 1,470.0, 9TH FLOOR 1,470.0. PARKING LEVEL 1 3,533.0, PARKING LEVEL 2 3,534.0. GROSS FLOOR AREA - GFA: GROUND FLOOR 5,119.0, 2ND FLOOR 1,712.7, 3RD FLOOR 1,712.7, 4TH FLOOR 1,712.7, 5TH FLOOR 1,528.2, 6TH FLOOR 1,532.0, 7TH FLOOR 1,117.3, 8TH FLOOR 1,131.4, 9TH FLOOR 1,130.4. PARKING REQUIREMENTS: 0.5 PARKING/UNIT 108, REDUCED PARKING SPACES 41, VISITOR PARKING 21, RETAIL STORES PER 100 M² OVER 200 M² OF GROSS FLOOR AREA 10, 59. AMINITIES REQUIREMENTS: 4 sq m / UNIT 1,296.0, MIN OF 50% AS COMMUNAL AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) 648.0. ACCESSIBLE PARKING 5, 5. DRIVEWAYS AND AISLE REQUIREMENTS 6.0, 6.0. LOADING REQUIREMENTS 1, 1.

1 ASP-1 N.T.S. SITE STATISTICS - BUILDING 1

BUILDING 1 - ROOM MIX. 1ST FLOOR: 2 STUDIO, 4 1 BDRM, 2 1 BDRM+DEN, 1 1 BDRM+ACC, 2 2 BDRM, 2 2BDRM - ACC. SUBTOTAL: 10, 32, 32, 28, 28, 18, 18, 18, 3. ACC TOTALS: 2, 5, 5, 5, 4, 4, 3, 3, 3, 15.74%, 216, 216, 34.

4 ASP-1 N.T.S. ROOM MIX - BUILDING 1

ROOM MIX - ALL BUILDINGS. STUDIO: 2, 0.44%, 0.4%. 1 BDRM: 105, 51.97%. 1 BDRM+DEN: 21, 10.09%, 74.6%. 1 BDRM+ACC: 28, 12.50%. 2 BDRM: 54, 21.93%. 2BDRM - ACC: 6, 3.07%. SUBTOTAL: 216, 100.00%, 109, 100%.

7 ASP-1 N.T.S. ROOM MIX - ALL BUILDINGS

SITE STATISTICS - Building 2. ZONING: GM31 GENERAL MIXED USE ZONE. COVERAGE CALCULATIONS: TOTAL SITE AREA 3,737.6 M², 40,231.2 ACRES. GLAZING CALCULATIONS: TOTAL GROUND FLOOR ELEVATION AREA - TO CEILING (3.6M) EXCLUDING RESIDENTIAL 184.2. SETBACKS: MINIMUM REAR YARD SETBACK 7.5, MINIMUM FRONT AND CORNER SIDE YARD 5.0, MINIMUM INTERIOR SIDE YARD 3.0. CONSTRUCTION AREA WITHOUT BALCONIES: GROUND FLOOR 1,446.0, 2ND FLOOR 1,394.0, 3RD FLOOR 1,394.0, 4TH FLOOR 1,394.0, 5TH FLOOR 1,232.0, 6TH FLOOR 1,232.0, 7TH FLOOR 750.0, 8TH FLOOR 750.0, 9TH FLOOR 750.0. PARKING LEVEL 1 2,549.0, PARKING LEVEL 2 2,535.0. GROSS FLOOR AREA - GFA: GROUND FLOOR 448.8, 2ND FLOOR 1,118.3, 3RD FLOOR 1,118.3, 4TH FLOOR 1,118.3, 5TH FLOOR 965.0, 6TH FLOOR 965.0, 7TH FLOOR 578.9, 8TH FLOOR 578.9, 9TH FLOOR 578.9. PARKING REQUIREMENTS: 0.5 PARKING/UNIT 65.5, VISITOR PARKING 11.9, RETAIL STORES PER 100 M² OVER 200 M² OF GROSS FLOOR AREA N/A. AMINITIES REQUIREMENTS: 4 sq m / UNIT 786.0, MIN OF 50% AS COMMUNAL AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) 393.0. ACCESSIBLE PARKING 4, 4. DRIVEWAYS AND AISLE REQUIREMENTS 6.0, 6.0. LOADING REQUIREMENTS 1, 1.

2 ASP-1 N.T.S. SITE STATISTICS - BUILDING 2

BUILDING 2 - ROOM MIX. 1ST FLOOR: 0, 0, 0, 0, 0, 0, 0, 0, 0, 0, 0. 1ST BDRM: 3, 12, 12, 12, 12, 12, 2, 2, 2, 53%. 1 BDRM+DEN: 0, 3, 3, 3, 1, 1, 0, 0, 0, 8%. 1 BDRM+ACC: 3, 2, 2, 2, 2, 2, 1, 1, 1, 12%. 2 BDRM: 1, 2, 2, 2, 2, 3, 3, 6, 6, 6, 24%. 2BDRM - ACC: 1, 1, 1, 1, 0, 0, 0, 0, 0, 3%. SUBTOTAL: 8, 20, 20, 20, 18, 18, 9, 9, 9, 100%, 131, 131, 20. ACC TOTALS: 4, 3, 3, 3, 2, 2, 1, 1, 1, 15.27%.

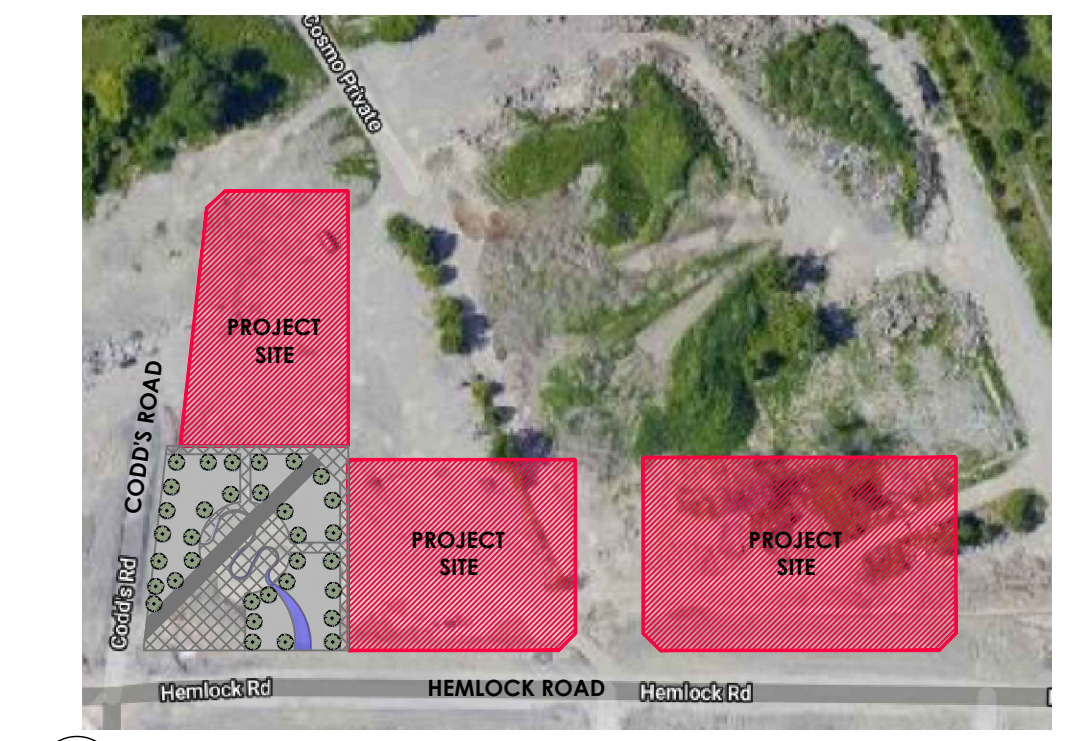
5 ASP-1 N.T.S. ROOM MIX - BUILDING 2

SITE STATISTICS - Building 3. ZONING: GM31 GENERAL MIXED USE ZONE. COVERAGE CALCULATIONS: TOTAL SITE AREA 3,737.6 M², 40,231.2 ACRES. GLAZING CALCULATIONS: TOTAL GROUND FLOOR ELEVATION AREA 184.2. SETBACKS: MINIMUM REAR YARD SETBACK 5.0, MINIMUM FRONT AND CORNER SIDE YARD 5.0, MINIMUM INTERIOR SIDE YARD 3.0. CONSTRUCTION AREA WITHOUT BALCONIES: GROUND FLOOR 1,408.0, 2ND FLOOR 1,330.0, 3RD FLOOR 1,330.0, 4TH FLOOR 1,330.0, 5TH FLOOR 1,222.0, 6TH FLOOR 1,222.0. PARKING LEVEL 1 2,511.0. GROSS FLOOR AREA - GFA: GROUND FLOOR 751.9, 2ND FLOOR 1,061.8, 3RD FLOOR 1,061.8, 4TH FLOOR 1,061.8, 5TH FLOOR 958.1, 6TH FLOOR 958.1. PARKING REQUIREMENTS: 0.5 PARKING/UNIT 53, REDUCED PARKING SPACES 8, VISITOR PARKING 10, RETAIL STORES PER 100 M² OVER 200 M² OF GROSS FLOOR AREA N/A. AMINITIES REQUIREMENTS: 4 sq m / UNIT 636.0, MIN OF 50% AS COMMUNAL AT LEAST 1 AGGREGATED AREA MIN. OF 54M2 (M2) 318.0. ACCESSIBLE PARKING 3, 3. DRIVEWAYS AND AISLE REQUIREMENTS 6.0, 6.0. LOADING REQUIREMENTS 1, 1.

3 ASP-1 N.T.S. SITE STATISTICS - BUILDING 3

BUILDING 3 - ROOM MIX. 1ST FLOOR: 0, 0, 0, 0, 0, 0, 0, 0, 0, 0%. 1ST BDRM: 6, 10, 10, 10, 11, 11, 55%. 1 BDRM+DEN: 3, 2, 2, 2, 1, 1, 10%. 1 BDRM+DEN ACC: 0, 1, 1, 1, 1, 1, 5%. 1 BDRM+ACC: 2, 1, 1, 1, 1, 1, 7%. 2 BDRM: 1, 4, 4, 4, 4, 4, 20%. 2BDRM - ACC: 1, 1, 1, 1, 1, 1, 4%. SUBTOTAL: 13, 19, 19, 19, 18, 18, 100%, 106, 106, 16. ACC TOTALS: 3, 3, 3, 3, 2, 2, 15%.

6 ASP-1 N.T.S. ROOM MIX - BUILDING 3



1 ASP-1 N.T.S. SITE LOCATION

Committee of Adjustment
Received | Reçu le
2023-05-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Key Plan:

Table with 4 columns: No., Date, Issue/Revision, By:

3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note: ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS...

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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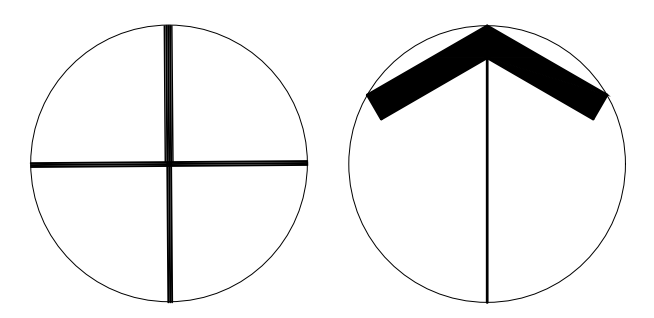
Architect's Stamp
MATAJ ARCHITECTS
INCORPORATED
206-418 Incauld Shore Rd
Oakville, Ontario
L6H 0X7
T.905.281.4444

Project:
**WATERIDGE
APARTMENT BUILDING**

Sheet Title:
**SITE STATS & ROOM MIX
ALL BUILDINGS**

Design By: EM Drawn By: SF Approved By: EM
Scale: N.T.S Date: 22-06-29 Project No.: 22-004
Drawing No.:
ASP-1

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWG	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BIB (REFER TO MECHANICAL DWG)	RECESSED EXTERIOR LIGHT FIXTURE @ SCOTT & PROTE COCHERE REFER TO ELECTRICAL DWG	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE SURVEY FOR THIS PROJECT. MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION.	TOP SURVEYORS INFO CHANDLER LAND SURVEYORS NAME: CHANDLER SURVEYORS LTD ADDRESS: 1000 BAYVIEW AVE #200 SCARBOROUGH, ONTARIO M1B 2Y5 PHONE: (416) 291-8888 EMAIL: info@chandler-surveyors.com	1. ALL EXISTING PAVEMENT CURBS, SIDEWALK DRIVEWAYS AND DRIVEWAYS ARE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5. THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIER FREE SIGNAGE SET OUT BY THE TOWN BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMAINDER OF HERE TO RECEIVE LIGHT EMITTING DIODES)	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-499 REFER TO 200-2042	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REQUIRE PLAN 4W-1181 CITY OF OTTAWA	1. ALL EXISTING PAVEMENT CURBS, SIDEWALK DRIVEWAYS AND DRIVEWAYS ARE TO BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	2. A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR PRIOR TO A SETBACK OF 1.0M. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	6. ALL UTILITY LOCATIONS TO BE IDENTIFIED AND MARKED AS WELL AS INWARD AND OUTWARD TO NEAREST ZERO CORNER LIGHT CORRECTION AT THE PROPERTY LINE.
CURB DEPRESSION	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	DECORATIVE MOUNT TOP SURFACE PAVING UNDER PORTA COCHERE (REFER TO LANDSCAPE DWG)	PROPOSED GRADING REFER TO CIVIL DWG		2. A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR PRIOR TO A SETBACK OF 1.0M. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DISTURBED DURING CONSTRUCTION.	7. ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY/EXIT ACCESS POINTS	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION	CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWG		3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DISTURBED DURING CONSTRUCTION.	4. ALL BARRIER FREE DRIVeways AND BARRIER FREE PARKS OF TRAVEL MUST COMPLY WITH O.C.G. 3.8.	8. ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.
EXISTING DOWN HYDRANT	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS		SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPACT)		4. ALL BARRIER FREE DRIVeways AND BARRIER FREE PARKS OF TRAVEL MUST COMPLY WITH O.C.G. 3.8.		9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWG	POD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS						10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
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USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



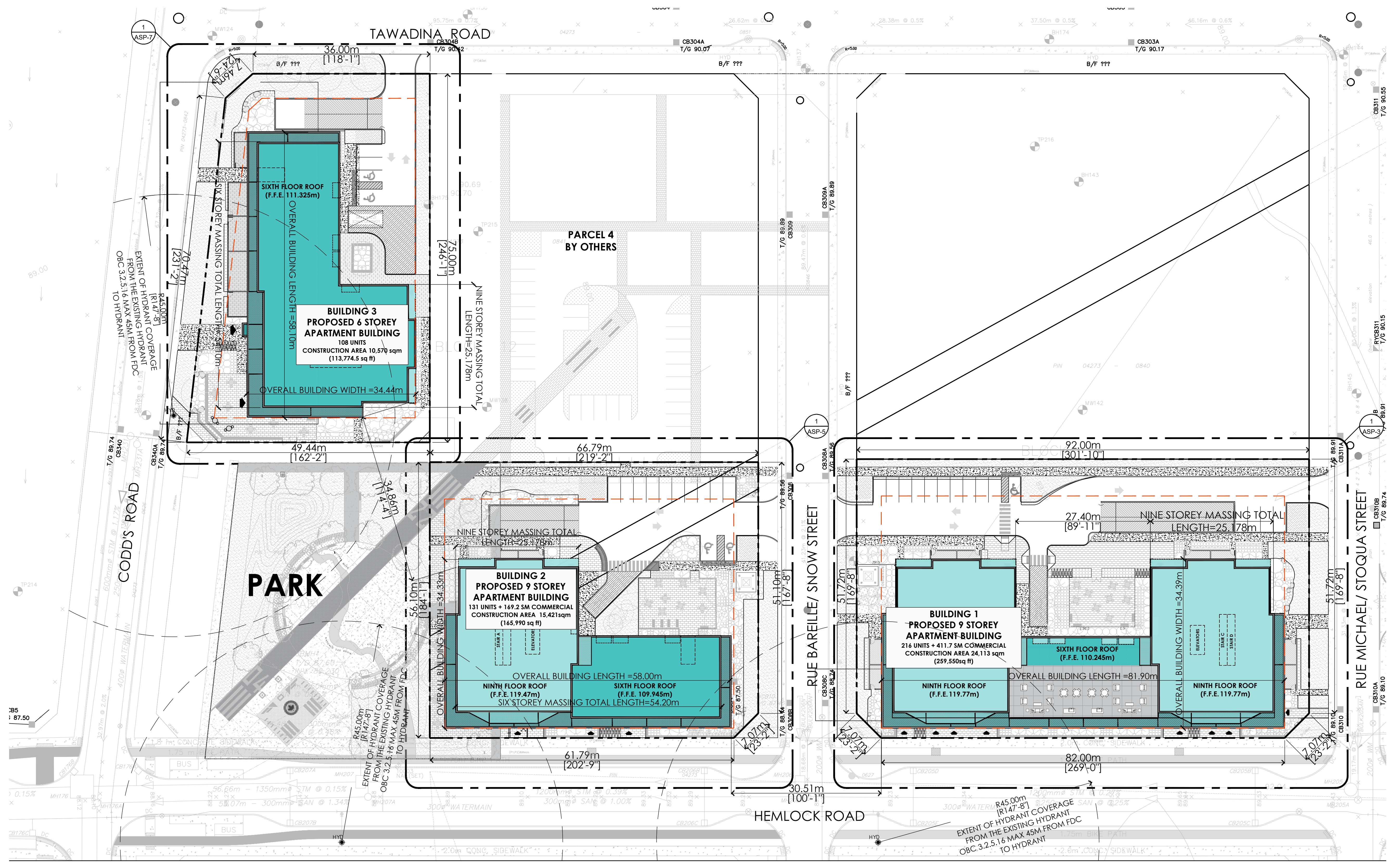
Architect's Stamp
MATAJ ARCHITECTS INCORPORATED
206-418 Incauld Shore Rd
Oakville Ontario
L6H 0X7
1.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING

Sheet Title:
SITE PLAN - OVERALL SITE PLAN

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:400	22-06-29	22-004

Drawing No:
ASP-2



TAWADINA ROAD

HEMLOCK ROAD

RUE BAILLE/ SNOW STREET

RUE MICHAEL/ STOQUA STREET

CODD'S ROAD

PARK

PARCEL 4 BY OTHERS

BUILDING 3 PROPOSED 6 STOREY APARTMENT BUILDING
108 UNITS
CONSTRUCTION AREA 10,570 sqm (113,774.5 sq ft)
OVERALL BUILDING LENGTH = 58.10m
OVERALL BUILDING WIDTH = 34.44m
SIX STOREY MASSING TOTAL LENGTH = 58.10m

BUILDING 2 PROPOSED 9 STOREY APARTMENT BUILDING
131 UNITS + 149.2 SM COMMERCIAL
CONSTRUCTION AREA 15,421 sqm (165,990 sq ft)
OVERALL BUILDING LENGTH = 58.00m
OVERALL BUILDING WIDTH = 34.33m
NINE STOREY MASSING TOTAL LENGTH = 25.178m
SIX STOREY MASSING TOTAL LENGTH = 54.20m
NINTH FLOOR ROOF (F.F.E. 119.47m)
SIXTH FLOOR ROOF (F.F.E. 109.945m)

BUILDING 1 PROPOSED 9 STOREY APARTMENT BUILDING
216 UNITS + 411.7 SM COMMERCIAL
CONSTRUCTION AREA 24,113 sqm (259,550 sq ft)
OVERALL BUILDING LENGTH = 81.90m
OVERALL BUILDING WIDTH = 34.39m
NINE STOREY MASSING TOTAL LENGTH = 25.178m
SIXTH FLOOR ROOF (F.F.E. 110.245m)
NINTH FLOOR ROOF (F.F.E. 119.77m)

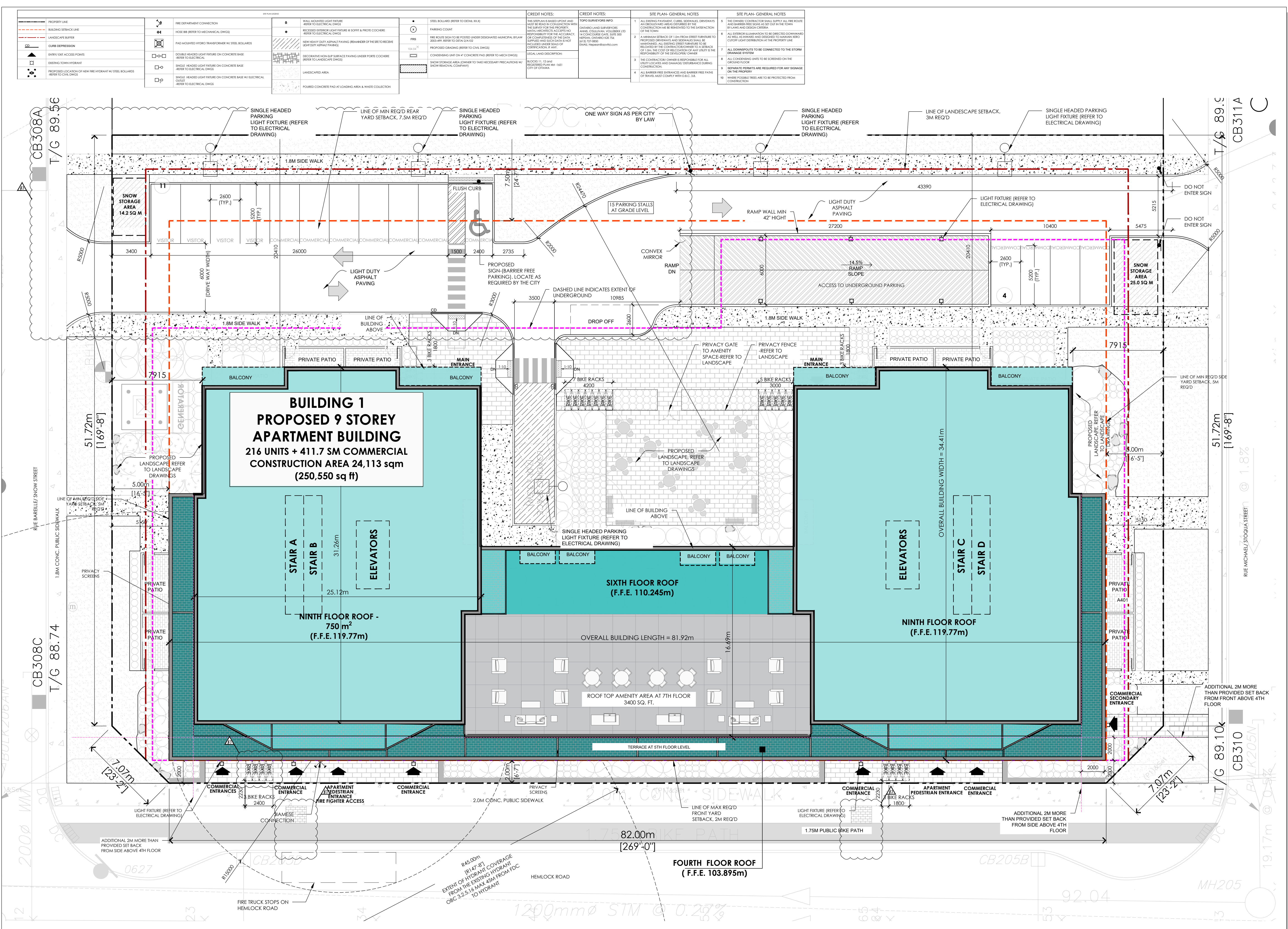
ASP-7, ASP-5, ASP-3

Extent of Hydrant Coverage from the Existing Hydrant to Hydrant: OBC 3.2.3.16 MAX 45M FROM FDC

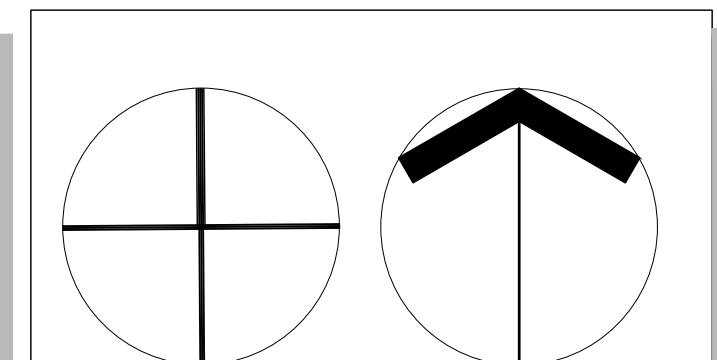
Extent of Hydrant Coverage from the Existing Hydrant to Hydrant: OBC 3.2.3.16 MAX 45M FROM FDC

Extent of Hydrant Coverage from the Existing Hydrant to Hydrant: OBC 3.2.3.16 MAX 45M FROM FDC

Extent of Hydrant Coverage from the Existing Hydrant to Hydrant: OBC 3.2.3.16 MAX 45M FROM FDC



PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE	STEEL BOLLARD (REFER TO DETAIL 3X.3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWG)	RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PROTE COCHERE	PARKING COYOT	THIS DRAWING IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SPECIFICATIONS FOR THE PROPERTY.	TORONTO SUBURBS INFO	1 ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BARBER FREE SIGNS AS SET OUT IN THE TOWN OF LAWY AND DESIGN CRITERIA.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL REBAR AND BARBER FREE SIGNS AS SET OUT IN THE TOWN OF LAWY AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING REMANDED IF REFER TO RECEIVE LIGHT DUTY ASPHALT PAVING	FRS	MATAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA, SURVEYING AND SUCH DATA AS NOTED ON THIS PLAN (SUCH AS CERTIFICATION, # ANY).	2 A MINIMUM SETBACK OF 0.9M FROM THE STREET FRONTAGE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING TREES TO BE REMOVED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0M, THE COST OF RELOCATION OF ANY TREE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	6 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS AWAY AND DESIGNED TO MINIMIZE LIGHT CURTAIN LIGHT DISTRIBUTION AT THE PROPERTY LINE.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE	100.00%	LEGAL LAND DESCRIPTION:	3 IF THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES/DISURBANCE DURING CONSTRUCTION.	8 ALL CONCRETE/URB TO BE SCREENED ON THE GROUND FLOOR.	9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
EXISTING TOWN HYDRANT	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWG	LANDSCAPED AREA	100.00%	BLOCKS 11, 12 AND REGISTERED PLAN 401-1451 CITY OF OTTAWA.	4 ALL BARBER FREE ENTRANCES AND BARBER FREE FANS OF TRAVEL MUST COMPLY WITH O.C.C. 3.8.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL REFER TO ELECTRICAL DWG	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note:
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WORK IN PROGRESS

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Architect's Stamp

MATAJ ARCHITECTS INCORPORATED
 206-418 Incauld Shore Rd
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 L6H 0K7
 T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
 1375 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

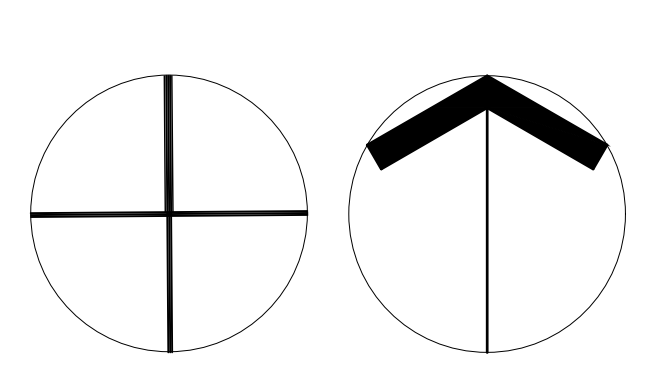
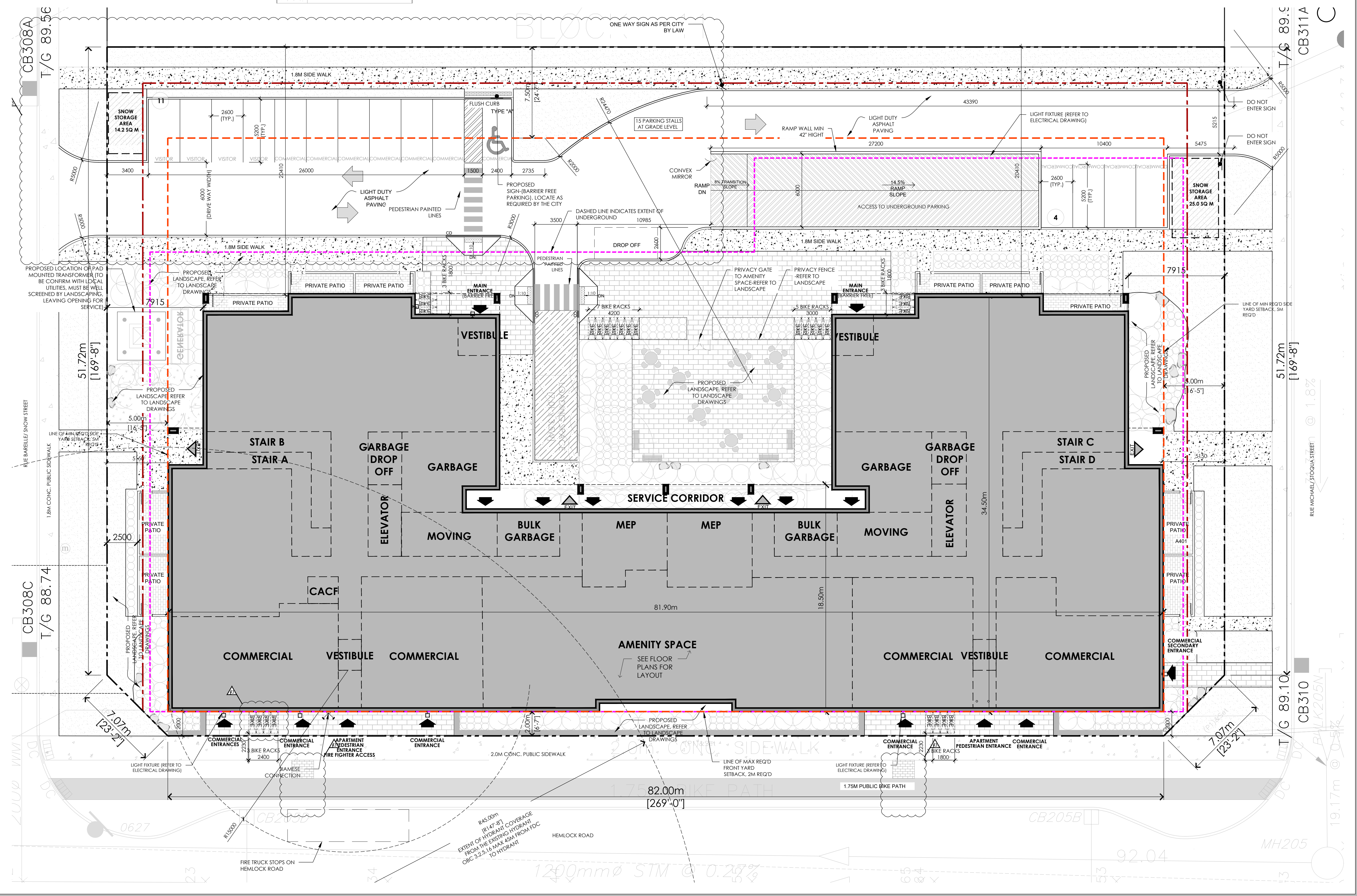
Sheet Title:
SITE PLAN - BLDG 1 ROOF LEVEL

Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:150	22-06-29	22-004
Drawing No.:		

ASP-3

City's Application Number : D07-12-22-0127
 City's Plan Number:

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE	STEEL BOLLARD (REFER TO DETAIL XL3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ 3000mm & PROTE COCHERE	PARKING COYOT	THIS SHEET IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SHEETS FOR THIS PROJECT.	TORONTO SUBMITTALS INFO	1 ALL EXISTING PAVEMENT CURBS, SIDEWALKS, DRIVEWAYS AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA	2 THE OWNER/CONTRACTOR SHALL SUPPLY ALL TREE ROUTE AND BARBER FREE SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING REMAINDER OF DRIVE TO RECEIVE LIGHT DUTY ASPHALT PAVING	FRS	MANAJ ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA, SURVEY AND SUCH DATA AS NOTED HEREON UNLESS SPECIFICALLY NOTED OTHERWISE.	2.1 A MINIMUM SETBACK OF 1.0M FROM STREET FRONTAGE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING TREES TO BE REMOVED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0M, THE COST OF RELOCATION OF ANY TREE IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.	3 ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS AWAY AND DESIGNED TO MINIMIZE VERTICALLY LIGHT DISTRIBUTION AT THE PROPERTY LINE.	4 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE	100.00%	LEGAL LAND DESCRIPTION:	3.1 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES/DISURBANCE DURING CONSTRUCTION.	5 ALL CONCRETE URNS TO BE SCREENED ON THE GROUND FLOOR.	6 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA	100.00%	BLOCKS 11, 12 AND REGISTERED PLAN #41-1451 CITY OF OTTAWA	4 ALL BARBER FREE ENTRANCES AND BARBER FREE FANS OF TRAVEL MUST COMPLY WITH O.C. 3.8.	7 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	
EXISTING TOWN HYDRANT	SHADE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note:
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MATAJ ARCHITECTS INC.

Architect's Stamp

MATAJ ARCHITECTS
 INCORPORATED

206-418 Incaulis Shore Rd
 Oakville, Ontario
 L6H 0X7
 T.905.281.4444

Project:

WATERIDGE APARTMENT BUILDING
 1375 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:

SITE PLAN - BLDG 1 GRADE LEVEL

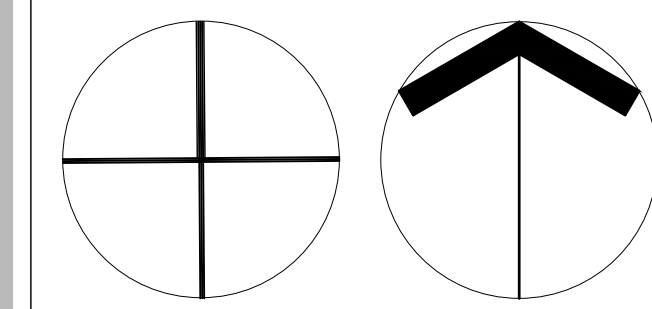
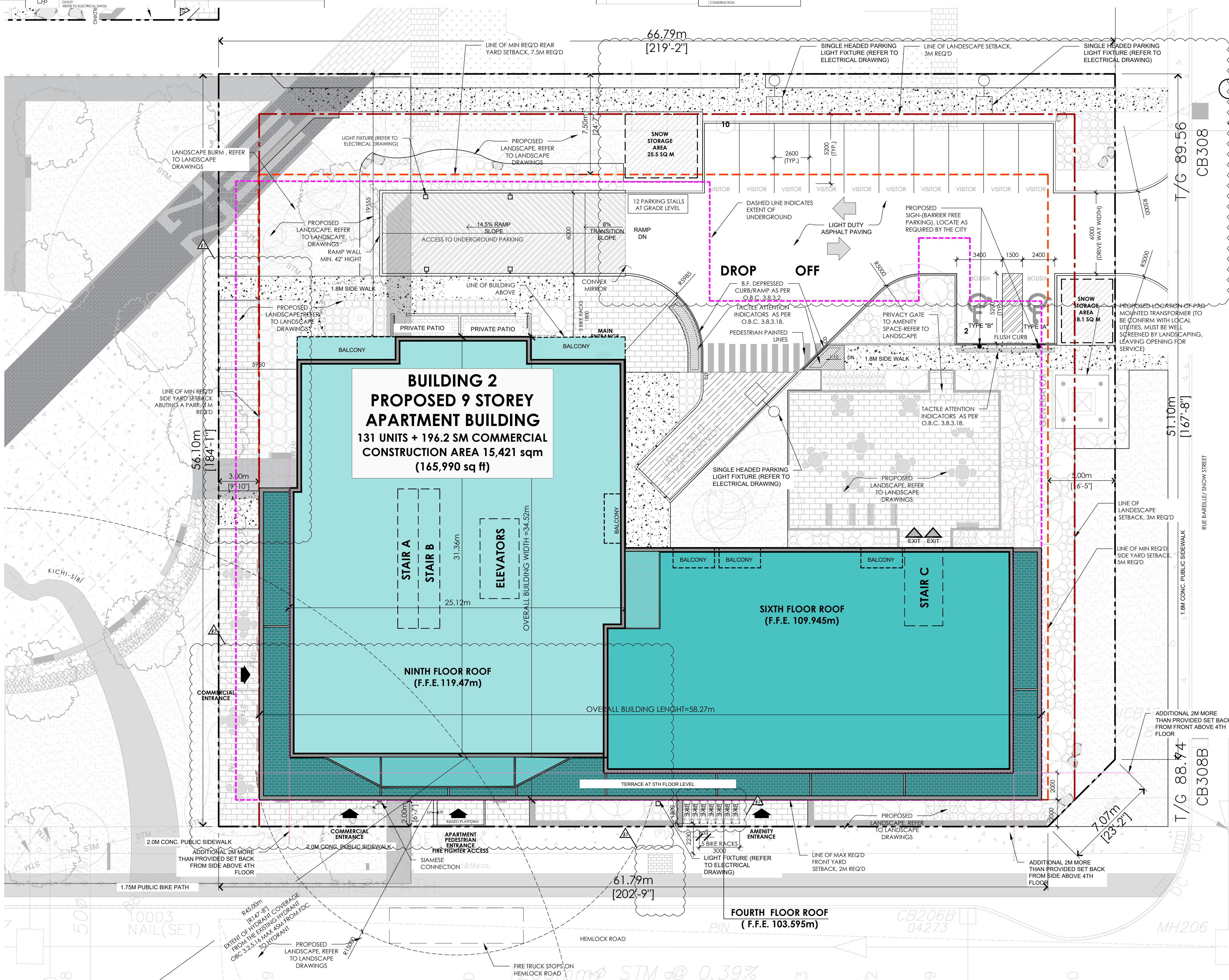
Design By:	Drawn By:	Approved By:
EM	SF	EM
Scale:	Date:	Project No.:
1:150	22-06-29	22-004

Drawing No:

ASP-4

City's Application Number : D07-12-22-0127
 City's Plan Number:

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL 3X.3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PORTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE SURVEY FOR THIS PROJECT. MATAJ ARCHITECTS HAS CONDUCTED SURVEYS AND OBTAINED ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.	TOPIC SURVEYORS INFO: CHOMAND LAND SURVEYERS INC. 1000 SHEPPARD AV. E. SUITE 200 MARKHAM, ONTARIO L3R 0Y4 TEL: 905.477.8888 EMAIL: info@chomand.com	1. ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND DRIVEWAYS ARE TO BE MAINTAINED TO THE SATISFACTION OF THE CITY.	5. THE OWNER/CONTRACTOR SHALL SUPPLY ALL THE IRON RODS AND BARRER FREE SINKS AS SET OUT IN THE DRAWINGS BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NEW HEAVY DUTY ASPHALT PAVING (REMANDER OF HEISE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-49Y REFER TO 2014-2016 ZONING BY-LAW	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 (REVISION PLAN 44-181) CITY OF OTTAWA	2. A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE MAINTAINED TO THE SATISFACTION OF THE CONTRACTOR/OWNER.	6. ALL EXISTING DRIVEWAYS TO BE MAINTAINED TO THE SATISFACTION OF THE CONTRACTOR/OWNER AS WELL AS INWARD AND OUTWARD TO NEIGHBORING DRIVEWAYS TO BE MAINTAINED TO THE SATISFACTION OF THE CONTRACTOR/OWNER.	7. ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	PROPOSED GRADING REFER TO CIVIL DWGS		3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISTURBANCE DURING CONSTRUCTION.	8. ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.	8. ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA	CONDENSING UNIT ON 4" CONCRETE PAD (REFER TO MECH DWGS)		4. ALL BARRER FREE DRIVEWAYS AND BARRER FREE PARKS OF TRAVEL SHALL COMPLY WITH O.C.S. 3.8.	9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.	9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.
EXISTING DOWNWALK			SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)			10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.	10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS							



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
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No.	Date:	Issue/Revision	By:
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Drawing Issues/Revisions:

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206-418 Incauld Shore Rd
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L6H 0X7
T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

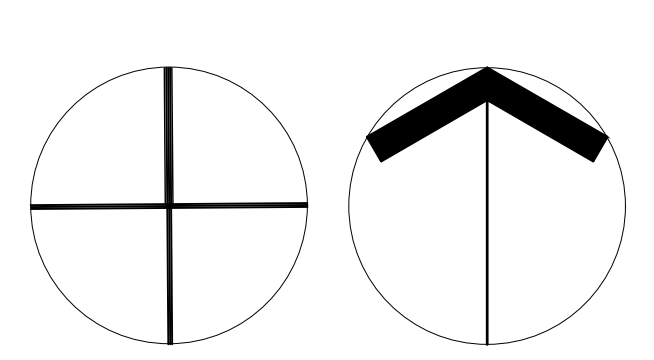
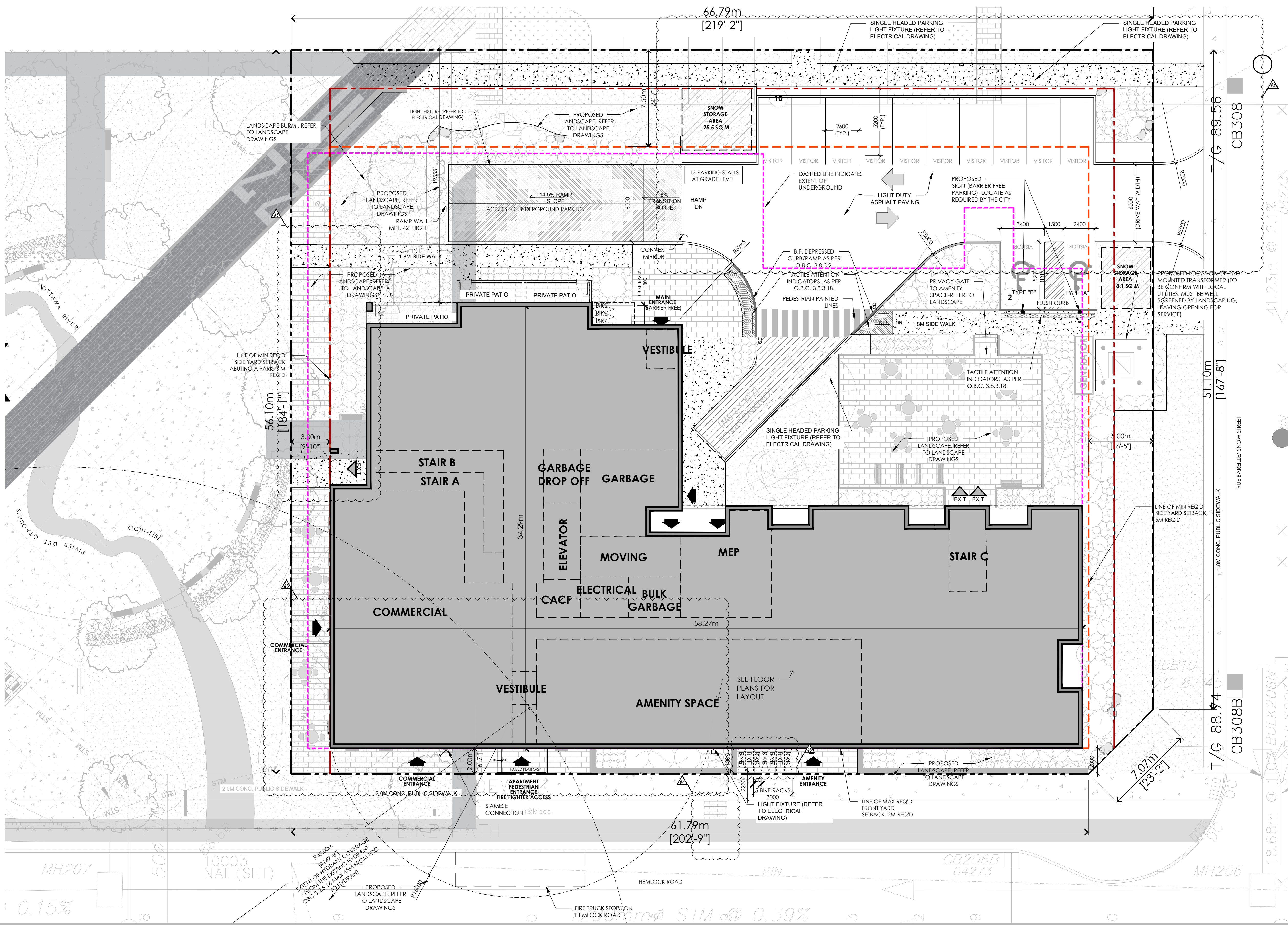
Sheet Title:
SITE PLAN - BLDG 2 ROOF LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No.: **ASP-5**

City's Application Number : D07-12-22-0122
City's Plan Number:

	PROPERTY LINE		FIRE DEPARTMENT CONNECTION		WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS		STEEL BOLLARD (REFER TO DETAIL XX3)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
	BUILDING SETBACK LINE		HOSE BIB (REFER TO MECHANICAL DWGS)		RECESSED EXTERIOR LIGHT FIXTURE @ SORTI & PORTE COCHERE REFER TO ELECTRICAL DWGS		PARKING COUNT	TOPIC SURVEYORS INFO:	TOPIC SURVEYORS INFO:	1 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL THE IRONWORK AND BARRIERS FREE OF CHARGE TO THE CONTRACTOR.
	LANDSCAPE BUFFER		PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS		HEAVY DUTY ASPHALT PAVING (REMANUVER OF HEISE TO RECEIVE LIGHT DUTY ASPHALT PAVING)		FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 2003-49 REFER TO 2004-2002	CONTRACTOR'S RESPONSIBILITY:	CONTRACTOR'S RESPONSIBILITY:	2 A MINIMUM SETBACK OF 1.0M FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND DRIVEWAYS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED OR RELOCATED TO THE SATISFACTION OF THE CONTRACTOR'S OWNER.	6 ALL EXISTING UNDERGROUND SERVICES SHALL BE IDENTIFIED AND PROTECTED TO THE SATISFACTION OF THE CONTRACTOR'S OWNER.
	CURB DEPRESSION		DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL		DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)		PROPOSED GRADING REFER TO CIVIL DWGS	LEGAL LAND DESCRIPTION:	LEGAL LAND DESCRIPTION:	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.	7 ALL DOWNSPUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
	ENTRY EXIT ACCESS POINTS		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS		LANDSCAPED AREA		SNOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SNOW REMOVAL COMPANY)	BLOCKS 11, 12 and 13 (REFER TO PLAN 44-1181 CITY OF OTTAWA)	BLOCKS 11, 12 and 13 (REFER TO PLAN 44-1181 CITY OF OTTAWA)	4 ALL EXISTING DRIVEWAYS, CURBS, SIDEWALKS, DRIVEWAYS AND BARRIERS SHALL BE MAINTAINED TO THE SATISFACTION OF THE CONTRACTOR'S OWNER.	8 ALL CONCRETE UNITS TO BE SCREENED ON THE LANDSCAPE SIDE.
	EXISTING DOWNSPOUT		SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS							9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE.	10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
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No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

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Project:
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 1345 Hemlock Road - WATERIDGE VILLAGE, OTTAWA, ON

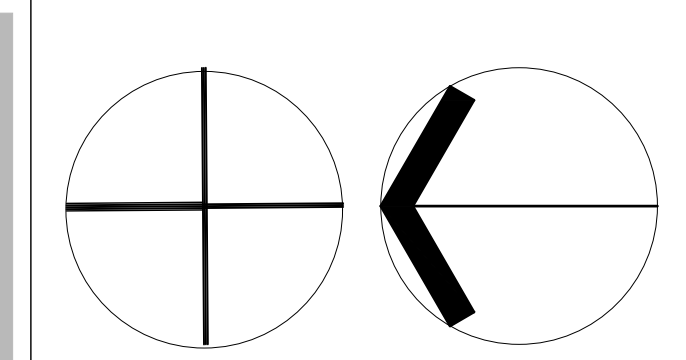
Sheet Title:
SITE PLAN - BLDG 2 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

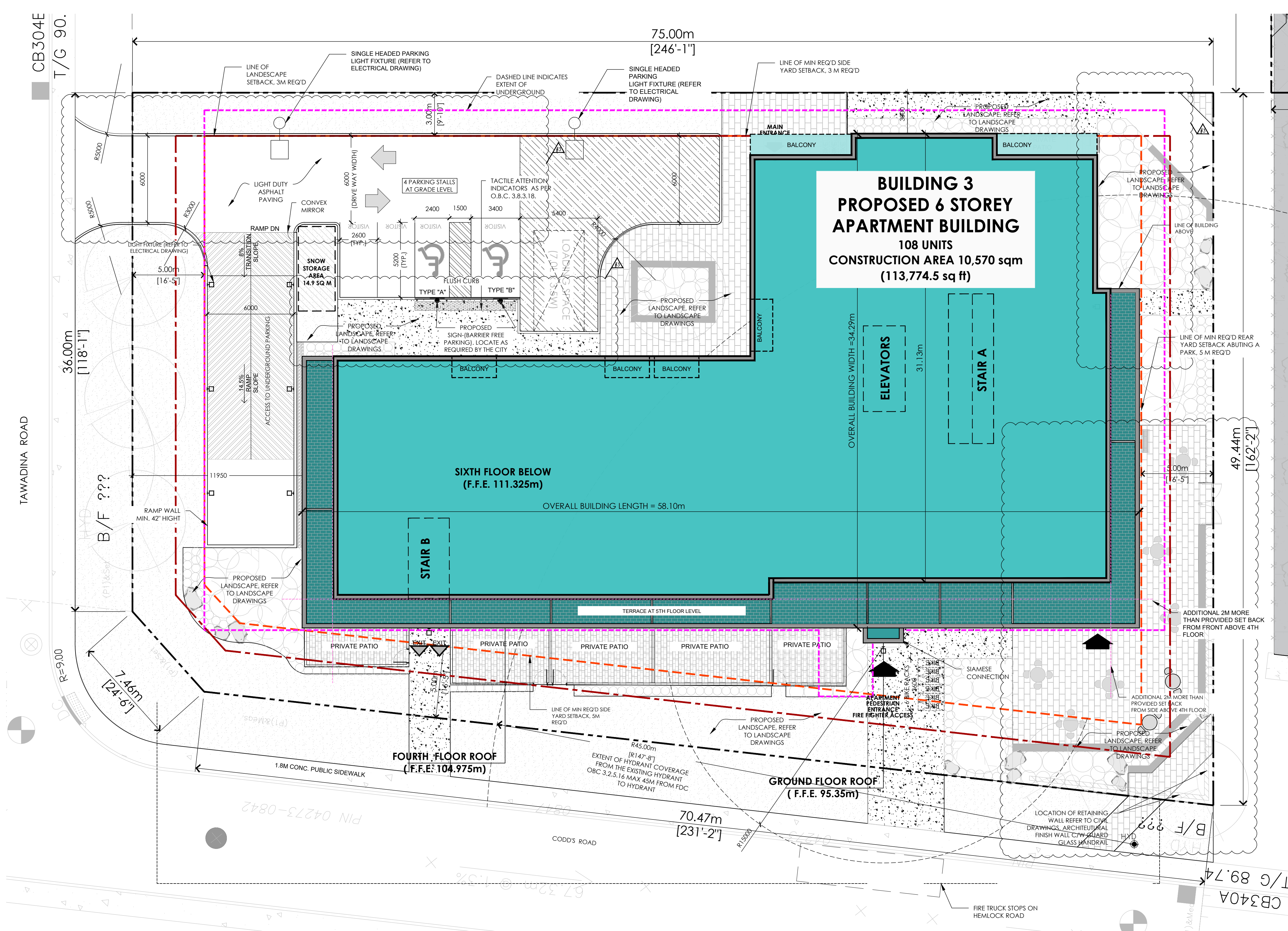
Drawing No:
ASP-6

City's Application Number : D07-12-22-0122
 City's Plan Number:

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SHEET IS BASED UPON AND MUST BE READ IN CONJUNCTION WITH THE SURVEY FOR THIS PROPERTY. MANA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND DESIGNER DOES NOT INCLUDE IN ASSESSMENT OF THE CONTRACTOR'S OBLIGATION.	TOP SURVEYORS INFO CHANDRA LAND SURVEYERS NAME: CHANDRA VOLKERS LTD ADDRESS: 1000 BAYVIEW AVE #204 MILLS, ONTARIO M1H 3B9 EMAIL: info@clm-survey.com	1 ALL EXISTING DRIVEWAYS, SIDEWALKS, DRIVEWAYS AND SIDEWALKS MUST BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIERS FREE OF CHARGE TO THE TOWN BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NON-HEAVY DUTY ASPHALT PAVING (REMANUER OF HEISE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	FREE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BY-LAW 200-49Y REFER TO 204-20402	PROPOSED GRADING REFER TO CIVIL DWGS	CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWGS	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR'S OBLIGATION.	6 ALL EXISTING DRIVEWAYS TO BE BROUGHT DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN VERO CROSS LIGHT DISTRIBUTION AT THE PROPERTY LINE.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTS COCHERE (REFER TO LANDSCAPE DWGS)	CONCRETE GRADING REFER TO CIVIL DWGS	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REGULATED PLAN 441-181 CITY OF OTTAWA	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGES DURING CONSTRUCTION.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA				4 ALL BARBER FREE ENTRANCES AND BARRIERS FREE PARTS OF DRIVEWAYS MUST COMPLY WITH O.B.C. 3.8	8 ALL CONDENSING UNITS TO BE SCREENED ON THE LEeward SIDE.
EXISTING DOWNWALK	SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS							10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:



3	23/03/17	Issued for SPA - 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC - Reply	EM
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No.	Date:	Issue/Revision	By:

Drawing Issues/Revisions:

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WORK IN PROGRESS

Architect's Stamp

MATAJ ARCHITECTS INCORPORATED

206-418 Incauld Shore Rd
Oakville, Ontario
L6H 0K7
T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

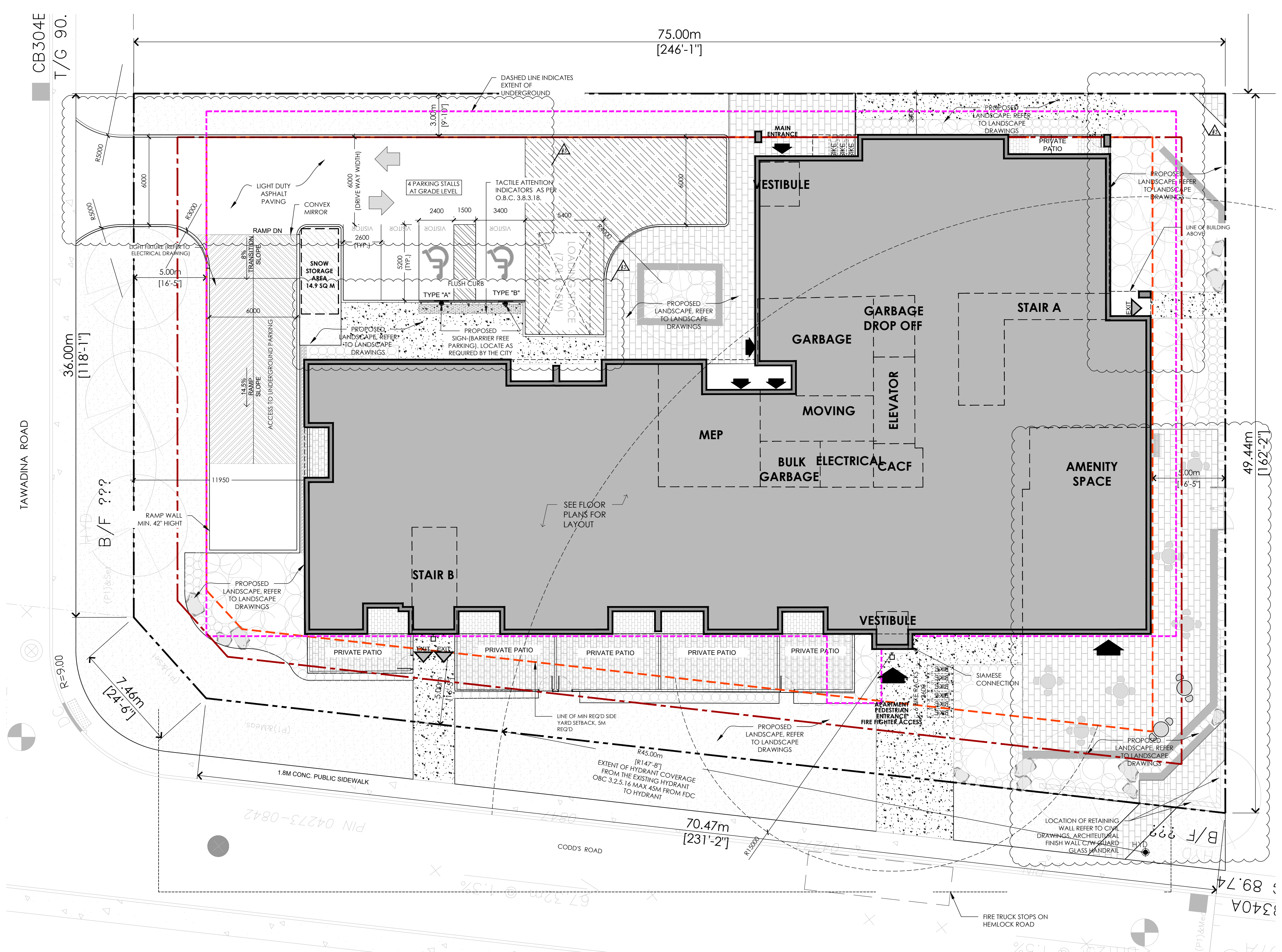
Sheet Title:
SITE PLAN - BLDG 3 ROOF LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No.:
ASP-7

City's Application Number : D07-12-22-0122
City's Plan Number:

PROPERTY LINE	FIRE DEPARTMENT CONNECTION	WALL MOUNTED LIGHT FIXTURE REFER TO ELECTRICAL DWGS	STEEL BOLLARD (REFER TO DETAIL XX)	CREDIT NOTES:	CREDIT NOTES:	SITE PLAN - GENERAL NOTES	SITE PLAN - GENERAL NOTES
BUILDING SETBACK LINE	HOSE BR (REFER TO MECHANICAL DWGS)	RECESSED EXTERIOR LIGHT FIXTURE @ SORT & PROTE COCHERE REFER TO ELECTRICAL DWGS	PARKING COUNT	THIS SITE PLAN IS BASED UPON THE MOST RECENT CONSTRUCTION AND THE SURVEY FOR THIS PROPERTY. MANUA ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA, SURVEY AND DESIGN INFORMATION INCLUDED IN THIS SET OF DRAWINGS.	TOP SURVEYORS INFO CHADWICK LAND SURVEYORS NAME: CHADWICK SURVEYORS LTD 14 CONCRETE GATE SUITE 200 1000 BAYVIEW AVE TORONTO ON M2H 3B9 EMAIL: HOFFER@chadwick.com	1 ALL EXISTING DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.	5 THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE HOSE AND BARRIER FREE SIGNS AS SET OUT IN THE TOWN BY LAWS AND DESIGN CRITERIA.
LANDSCAPE BUFFER	PAD MOUNTED HYDRO TRANSFORMER W/ STEEL BOLLARDS	NON-HEAVY DUTY ASPHALT PAVING (REMANUR OF HESE TO RECEIVE LIGHT DUTY ASPHALT PAVING)	FIRE ROUTE SIGN TO BE POSTED UNDER DESIGNATED MUNICIPAL BYLAW 200-49 REFER TO 204-24102	PROPOSED GRADING REFER TO CIVIL DWGS	CONCRETE LINE ON 4" CONCRETE PAD REFER TO MECH DWGS	2 A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE REMOVED BY THE CONTRACTOR/OWNER.	6 ALL EXTERIOR LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND ORIGINATED FROM AN INWARD CORNER LIGHT DISTRIBUTION AT THE PROPERTY LINE.
CURB DEPRESSION	DOUBLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	DECORATIVE NON-SLIP SURFACE PAVING UNDER PORTE COCHERE (REFER TO LANDSCAPE DWGS)	CONDENSING UNIT ON 4" CONCRETE PAD REFER TO MECH DWGS	LEGAL LAND DESCRIPTION: BLOCKS 11, 12 and 13 REQUIRE PLAN 441-181 CITY OF OTTAWA	SHOW STORAGE AREA (OWNER TO TAKE NECESSARY PRECAUTIONS W/ SHOW REMOVAL COMPANY)	3 THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATIONS AND DAMAGE/DISRUPTION DURING CONSTRUCTION.	7 ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
ENTRY EXIT ACCESS POINTS	SINGLE HEADED LIGHT FIXTURE ON CONCRETE BASE REFER TO ELECTRICAL DWGS	LANDSCAPED AREA				4 ALL BARBER FREE ENTRANCES AND BARBER FREE PARTS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.	8 ALL CONDENSING UNITS TO BE SCREENED ON THE EXTERIOR SIDE.
EXISTING DOWN WORK	SHIELD HEADED LIGHT FIXTURE ON CONCRETE BASE W/ ELECTRICAL OUTER REFER TO ELECTRICAL DWGS	POURED CONCRETE PAD AT LOADING AREA & WASTE COLLECTION					9 SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
PROPOSED LOCATION OF NEW FIRE HYDRANT W/ STEEL BOLLARDS REFER TO CIVIL DWGS							10 WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.



Key Plan:

No.	Date:	Issue/Revision	By:
3	23/03/17	Issued for SPA- 1ST REVIEW REPLY	EM
2	22/06/30	Issued for CLC- Reply	EM
1	22/05/20	Issued for CLC	EM

Drawing Issues/Revisions:

Note:
ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

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WORK IN PROGRESS

Architect's Stamp

MATAJ ARCHITECTS INCORPORATED

206-418 Incauld Shore Rd
Oakville Ontario
L6H 0K7
T.905.281.4444

Project:
WATERIDGE APARTMENT BUILDING
375 Codd's Road - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
SITE PLAN - BLDG 3 GRADE LEVEL

Design By: EM	Drawn By: SF	Approved By: EM
Scale: 1:150	Date: 22-06-29	Project No.: 22-004

Drawing No.:
ASP-8

City's Application Number : D07-12-22-0122
City's Plan Number:

Committee of Adjustment
Received | Reçu le
2023-05-15
City of Ottawa | Ville d'Ottawa
Comité de dérogation

NOTES:
1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
2 - CM AND/OR RELATED TRADE TO SUBMIT COLOR OPTIONS FOR ALL EXTERIOR MECHANICAL LOUVERS & CAPS BEFORE BEFORE WORK IS EXECUTED ON SITE SO THAT COLOR MATCHING TO ADJACENT FINISH IS OBTAINED.

TRANSPARENT GLAZING AREA OF THE 1ST STOREY ALONG HEMLOCK ROAD		
TRANSPARENT GLAZING AREA	TOTAL WALL AREA OF NON-RESIDENTIAL USE	PERCENTAGE (50% MIN. REQUIRED)
223.42 SM	368.53 SM	61%

HATCH DENOTES BIRD FRIENDLY GLAZING

EXTERIOR ELEVATION LEGEND	
E01	EFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EFS - GREY
E03	EFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-146
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

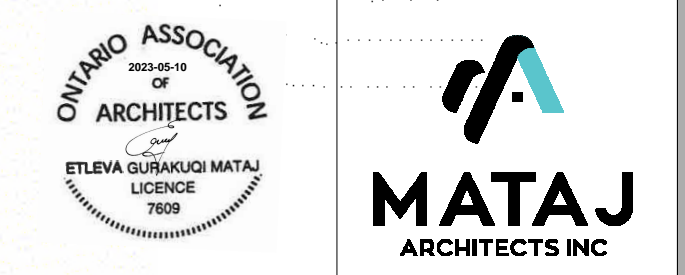


Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

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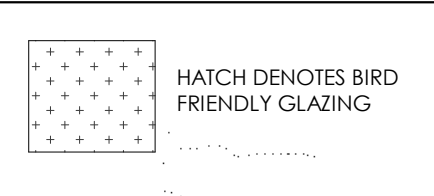
Architect's Stamp
MATAJ ARCHITECTS INCORPORATED
206-418 Incaquois Shore Rd
Oakville Ontario
L6H 0X7
1.905.281.1444

Project:
OTTAWA APARTMENTS - BLD 1
1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title: SOUTH (FRONT) ELEVATION		
Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004
Drawing No.: A301 Of:		
City's Application Number: D07-12-22-0127 City's		

1 BLD 1 - SOUTH ELEVATION (FRONT)
A301 1:125

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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EXTERIOR ELEVATION LEGEND	
E01	EFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EFS - GREY
E03	EFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-146
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

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Architect's Stamp

MATAJ ARCHITECTS
 INCORPORATED
 206-418 Iroquois Shore Rd
 Oakville, Ontario L6H 0X7
 1.905.281.1444

Project:
OTTAWA APARTMENTS - BLD 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
EAST & WEST ELEVATIONS

Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No.: **A302** Of:

City's Application Number: D07-12-22-0127
 City's



2 BLD 1 - EAST ELEVATION
 A302 1:125



1 BLD 1 - WEST ELEVATION
 A302 1:125

NOTES:
 1 - CM/BUILDER SHALL PROVIDE ACTUAL SAMPLE FINISHES ON EXTERIOR WALLS FOR OWNERSHIP APPROVAL BEFORE WORK COMMENCES ON FINAL EXTERIOR FINISHES REGARDLESS OF ARCHITECTS OR OWNERSHIPS EARLIER SAMPLE APPROVAL IN REGARDS, ESPECIALLY AS IT PERTAINS TO STUCCO COLOR SELECTIONS
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HATCH DENOTES BIRD FRIENDLY GLAZING

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRICRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

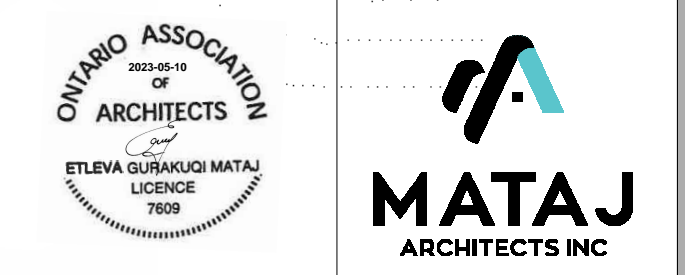
Project North:	True North:
SPA FILE NO. -	



REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - REPLY	2022/06/30

Drawing Issues/Revisions:

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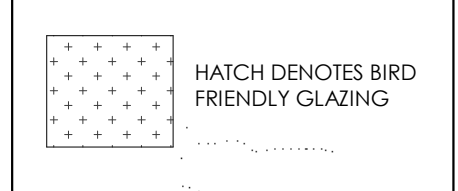
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MATAJ ARCHITECTS INCORPORATED
 204-418 Iroquois Shore Rd
 Oakville Ontario L6H 0X7
 1.905.281.1444

Project:
OTTAWA APARTMENTS - BLD 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title: NORTH (REAR) ELEVATION		
Design By: MAI	Drawn By: TV/BL	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004
Drawing No.: A303 Of:		
City's Application Number: D07-12-22-0127 City's:		

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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-146
E04A	ACM - KENDAL CHARCOAL BM HC-146
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E10	MECHANICAL SCREEN
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



Project North:	True North:
SPA FILE NO. -	



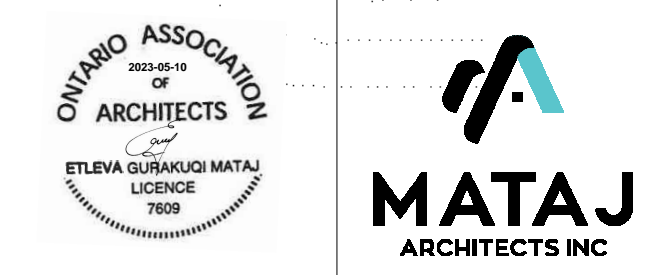
2 PARTIAL WEST ELEVATION
 A304 1:125



1 PARTIAL EAST ELEVATION
 A304 1:125

REV	DESCRIPTION	REV. DATE

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Project:
OTTAWA APARTMENTS - BLD 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
PARTIAL EAST & WEST ELEVATIONS

Design By: MAI	Drawn By:	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A304 Of:



2 PERSPECTIVE VIEW SE
A305



1 PERSPECTIVE VIEW SW
A305



3 PERSPECTIVE VIEW NW
A305

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - REPLY	2022/06/30

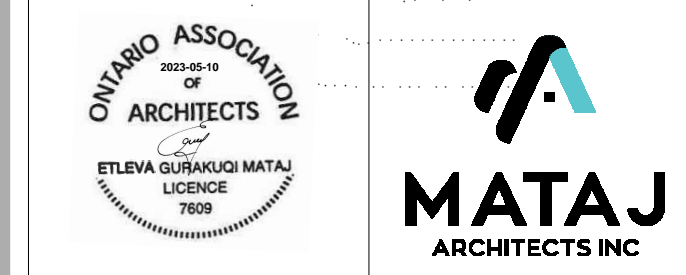
Drawing Issues/Revisions:

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MATAJ ARCHITECTS INCORPORATED
 206-418 Iroquois Shore Rd
 Oakville Ontario
 L6H 0X7
 T.905.231.1444

Project:
OTTAWA APARTMENTS - BLD 1
 1375 HEMLOCK ROAD - WATERIDGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS

Design By: EM	Drawn By: TV/BL	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

Drawing No.:
A305 Of:

City's Application Number: D07-12-22-0127
 City's

Project North:	True North:

SPA FILE NO. -

1	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
REV	DESCRIPTION	REV. DATE

Drawing Issues/Revisions:

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Project:
OTTAWA APARTMENTS - BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
SOUTH (FRONT) ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

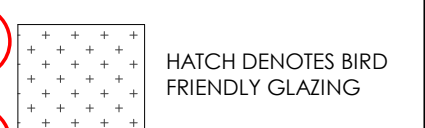
Drawing No:
A301 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

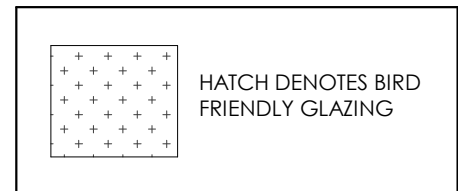
EXTERIOR ELEVATION LEGEND	
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E02	EIFS - GREY
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E13	RETAINING WALL

NOTES:
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TRANSPARENT GLAZING AREA OF THE 1ST STOREY ALONG HEMLOCK ROAD		
TRANSPARENT GLAZING AREA	TOTAL WALL AREA OF NON-RESIDENTIAL USE	PERCENTAGE (50% MIN. REQUIRED)
115.69 SM	184.237 SM	63%



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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



1 BLD 2 - WEST ELEVATION
 A302 1:125

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15

Drawing Issues/Revisions:

Note:
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 206-418 Iroquois Shore Rd
 Oakville Ontario
 L6H 0X7
 1.905.281.1444

Project:
OTTAWA APARTMENTS - BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

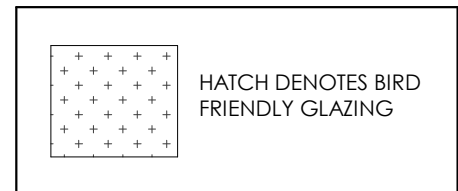
Sheet Title:
WEST ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A302 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:

NOTES:
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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



1 BLD 2 - NORTH ELEVATION (REAR)
 A303 1 : 125

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15

Drawing Issues/Revisions:

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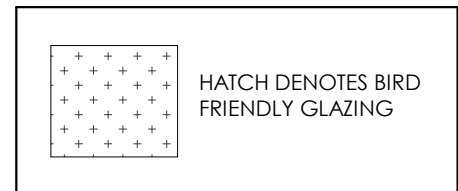
MATAJ ARCHITECTS INCORPORATED
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 Oakville Ontario L6H 0X7
 T.905.281.1444

Project:
OTTAWA APARTMENTS - BUILDING 2
 1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title: NORTH ELEVATION		
Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004
Drawing No.: A303 Of:		
City's Application Number: D07-12-22-0122 City's Plan Number:		

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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E09	REVEAL TYPICAL
E11	PRIVACY SCREEN
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
SPA FILE NO. -	



REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
OTTAWA APARTMENTS - BUILDING 2
1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
EAST ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No:
A304 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

1 BLD 2 - EAST ELEVATION
A304 1 : 125



2 3D VIEW - SOUTH WEST
A305



1 3D VIEW - SOUTH EAST
A305

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC-Reply	2022/06/30

Drawing Issues/Revisions:

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Oakville Ontario
L6H 0A7
T.905.231.4444

Project:
OTTAWA APARTMENTS - BUILDING 2

1345 HEMLOCK ROAD - WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
3D VIEWS

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

Drawing No:

A305 Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

- NOTES:
- 1 - CM/BUILDER SHALL PROVIDE ALL EXTERIOR SAMPLES TO ARCHITECT/BRAND FOR APPROVAL OF COLOR & TEXTURE. BEFORE COMMENCING WORK ON SITE CM/BUILDER SHALL SUBMIT ARCHITECTS & BRAND'S APPROVED EXTERIOR SAMPLES TO OWNER FOR FINAL APPROVAL.
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 - 3 - CM/GC TO PROVIDE SHOP DRAWING INDICATING ALL EXTERIOR MECHANICAL PENETRATION AS PERTAINS TO THEIR SIZE/LOCATION & FINISH/COLOR

EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	MAC LIGHTING (MS-W29118), 3000K, BLACK FINISH
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL



1 BLD 3 - WEST ELEVATION (FRONT)
A301 1 : 125

Project North:	True North:
SPA FILE NO. -	

REV	DESCRIPTION	REV. DATE
1	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15

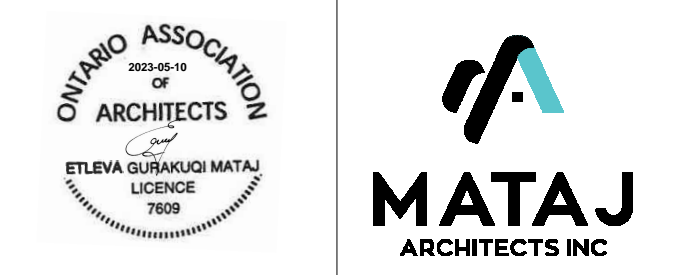
Drawing Issues/Revisions:

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1.905.281.1444

Project:
OTTAWA APARTMENTS - BUILDING 3
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
WEST ELEVATION (FRONT)

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No.: **A301** Of:

City's Application Number: D07-12-22-0122
City's Plan Number:

NOTES:
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EXTERIOR ELEVATION LEGEND	
E01	EIFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EIFS - GREY
E03	EIFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EIFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
E05	ACM - WHITE DOVE, BM OC 17
E06	STONE - 300X600 - ARRISCRRAFT - NUTMEG-CAMBRIDGE RENAISSANCE
E07	GLASS GUARD RAIL
E08	WAC LIGHTING (WS-W29118), 3000K, BLACK FINISH
E12	ELEVATOR WALL BEYOND
E13	RETAINING WALL

Project North:	True North:
----------------	-------------

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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 T.905.281.1444

Project:
OTTAWA APARTMENTS - BUILDING 3
 375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
EAST ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A302 Of:

City's Application Number: D07-12-22-0122
 City's Plan Number:



1 BLD 3 - EAST ELEVATION
 A302 1 : 125



1 BLD 3 - SOUTH ELEVATION
A303 1 : 125

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - Reply	2022/06/30

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Project:
OTTAWA APARTMENTS - BUILDING 3
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
SOUTH ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: 1 : 125	Date: Issue Date	Project No.: 22-004

Drawing No:
A303 Of:

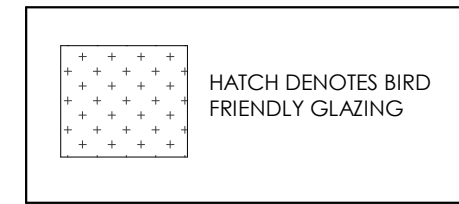
City's Application Number: D07-12-22-0122
City's Plan Number:

Project North:	True North:
SPA FILE NO. -	

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EXTERIOR ELEVATION LEGEND	
E01	EFS - BRICK PATTERN-KENDALL CHARCOAL
E02	EFS - GREY
E03	EFS - SANDSTONE FINISH WHITE DOVE BM OC-17
E04	EFS - KENDAL CHARCOAL BM HC-166
E04A	ACM - KENDAL CHARCOAL BM HC-166
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E13	RETAINING WALL

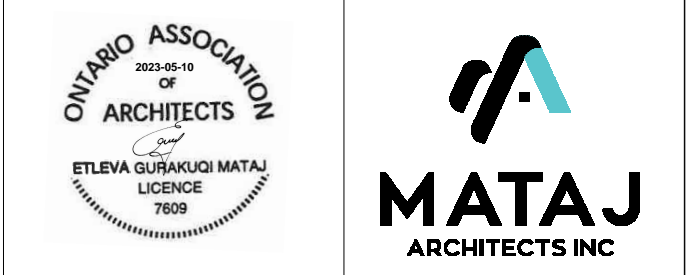


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Project:
OTTAWA APARTMENTS - BUILDING 3
375 CODD'S RD, WATERDIGE VILLAGE, OTTAWA, ON

Sheet Title:
NORTH ELEVATION

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale: As indicated	Date: Issue Date	Project No.: 22-004

Drawing No.: **A304** Of:

City's Application Number: D07-12-22-0122
City's Plan Number:



1 3D VIEW - SOUTH WEST
A305



2 3D VIEW - SOUTH EAST
A305



3 3D VIEW - NORTH EAST
A305

Project North:	True North:

SPA FILE NO. -

REV	DESCRIPTION	REV. DATE
2	ISSUED FOR SPA - 1ST REVIEW REPLY	2022/12/15
1	ISSUED FOR CLC - Reply	2022/06/30

Drawing Issues/Revisions:

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Project:
OTTAWA APARTMENTS - BUILDING 3

375 CODD'S RD, WATERDIGE VILLAGE,
OTTAWA, ON

Sheet Title:
3D VIEWS

Design By: MAI	Drawn By: BL/TV	Approved By: EM
Scale:	Date: Issue Date	Project No.: 22-004

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