

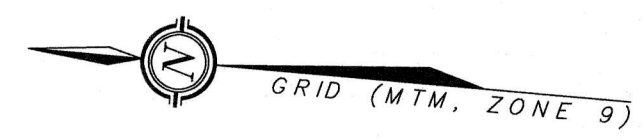
**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (sqm)
1	PART OF LOTS I & J	381	ALL OF 04240-0016	358
2				357

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.  
DATE \_\_\_\_\_  
\_\_\_\_\_  
JOHN H. GUTRI, O.L.S.

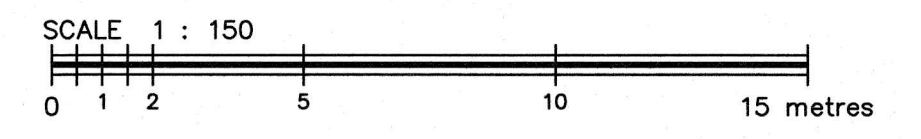
**PLAN 4R-**  
RECEIVED AND DEPOSITED  
DATE \_\_\_\_\_  
\_\_\_\_\_  
REPRESENTATIVE FOR  
LAND REGISTRAR FOR THE  
LAND TITLES DIVISION OF  
OTTAWA - CARLETON (N° 4)

PLAN PREPARED FOR COMMITTEE OF ADJUSTMENT PURPOSES  
APRIL 04, 2023



LACASSE AVENUE (PER BY-LAW 891, INST. N11796)  
PIN 04240-0023

PLAN OF SURVEY OF  
PART OF LOTS I & J  
REGISTERED PLAN 381  
CITY OF OTTAWA



FAIRHALL, MOFFATT & WOODLAND LIMITED  
ONTARIO LAND SURVEYORS

COORDINATES WERE DERIVED FROM REAL TIME NETWORK OBSERVATIONS (SMARTNET) MTM ZONE 9, NAD83 ORIGINAL.  
COORDINATES HAVE BEEN DETERMINED TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10.

POINT ID	NORTHING	EASTING
17	5032814.413	370807.383
70	5032926.956	370797.141

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

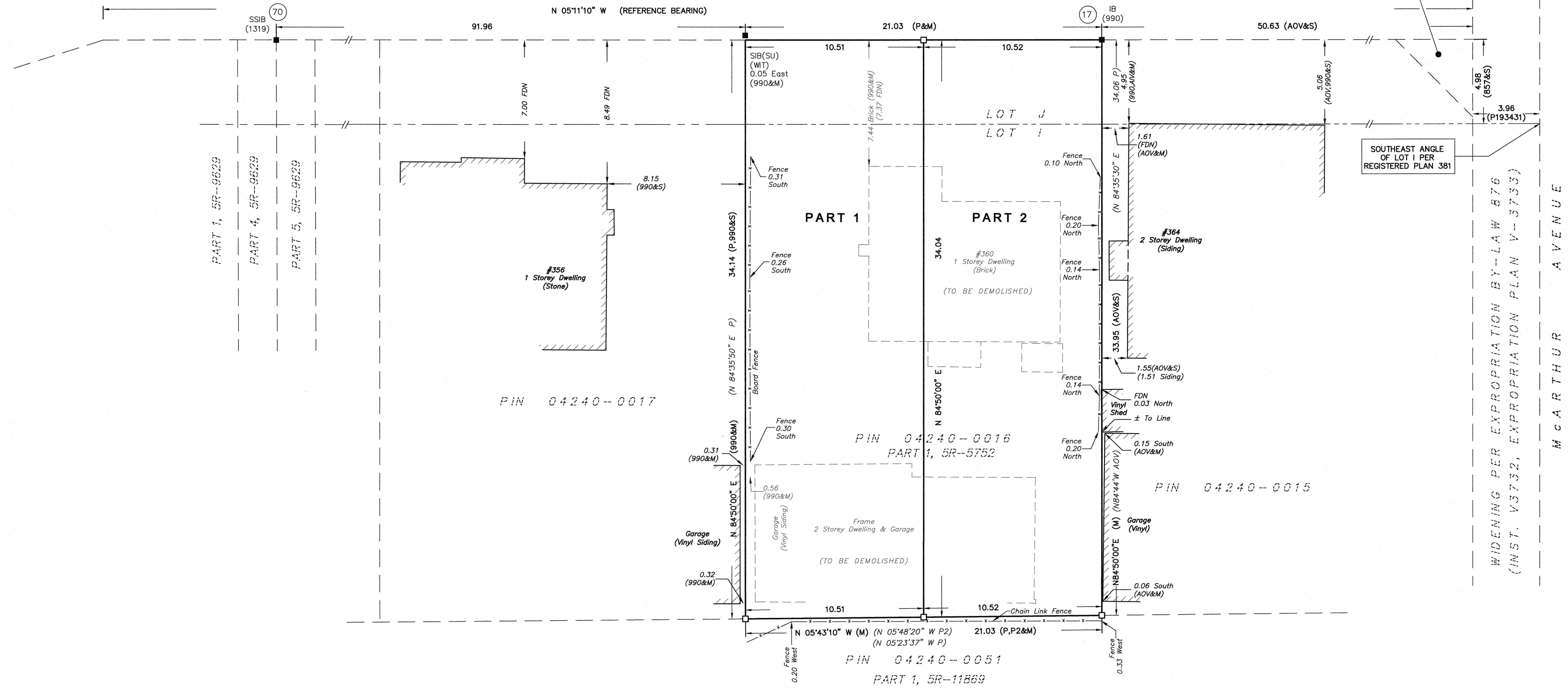
**NOTE**  
BEARINGS ARE GRID DERIVED FROM THE WESTERLY LIMIT OF LACASSE AVENUE AS SHOWN ON A PLAN 5R-5752 HAVING A BEARING OF N 05°11'10" W AND ARE REFERRED TO THE CENTRAL MERIDIAN 76°30' W LONGITUDE, MTM ZONE 9 (NAD27)

- LEGEND**
- - SURVEY MONUMENT SET
  - - SURVEY MONUMENT FOUND
  - IB - IRON BAR
  - SIB - STANDARD IRON BAR
  - (P) - 5R-5752
  - (P1) - 5R-9629
  - (P2) - 5R-11869
  - (M) - MEASURED
  - (S) - SET
  - PIN - PROPERTY IDENTIFIER NUMBER
  - (SU) - SOURCE UNKNOWN
  - (WIT) - WITNESS
  - (857) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S., (REF 5-381 GR)
  - (990) - PAYETTE, HIMMA, DELORME LTD., O.L.S. (REF. 05-069)
  - (AOV) - ANNIS, O'SULLIVAN, VOLLEBEKK LTD., O.L.S., (REF. 0-171-90)
  - (SG) - STANTEC GEOMATICS LTD., O.L.S.
  - (1319) - WEBSTER & SIMMONS SURVEYING LTD., O.L.S.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON  
2023/04/04  
DATE  
\_\_\_\_\_  
JOHN H. GUTRI  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-xxxx

<b>Fairhall Moffatt &amp; Woodland</b> LIMITED ONTARIO LAND SURVEYORS Surveying and Land Information Services 100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6 TEL: (613) 591-2590 FAX: (613) 591-1495 www.fmw.on.ca	JOB No. A D 1 3 1 0 0
	REFERENCE No. 14-381 GR





**DRAWING LIST:**

**A1 - SITE PLAN DEMOLITION**

**A2 - PROPOSED SITE PLAN**

**A3 - PROPOSED BASEMENT PLAN**

**A4 - PROPOSED GROUND FLOOR PLAN**

**A5 - PROPOSED SECOND FLOOR PLAN**

**A6 - PROPOSED THIRD FLOOR PLAN**

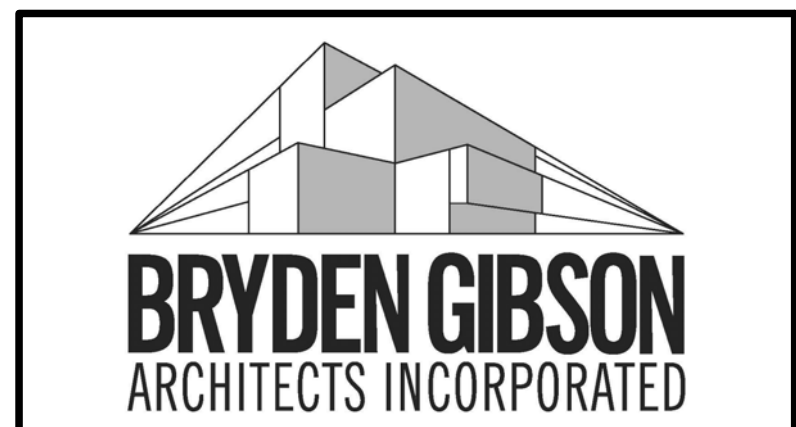
**A7 - PROPOSED ELEVATIONS**

**A8 - PROPOSED ELEVATIONS**



G:\Projects\758-23 360 Lacasse\Drawings\01\_20\_Design\360 Lacasse Ave - Design Option.rvt  
2023-04-19 5:14:51 PM

No	ISSUE/REVISION ÉMISSION/RÉVISION	DATE
1	ISSUED FOR PRE-CONSULTATION	31/03/23



PROJECT NAME / NOM DU PROJET  
**360 Lacasse Ave.  
Multi Family Building**  
360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN  
**Cover Page**

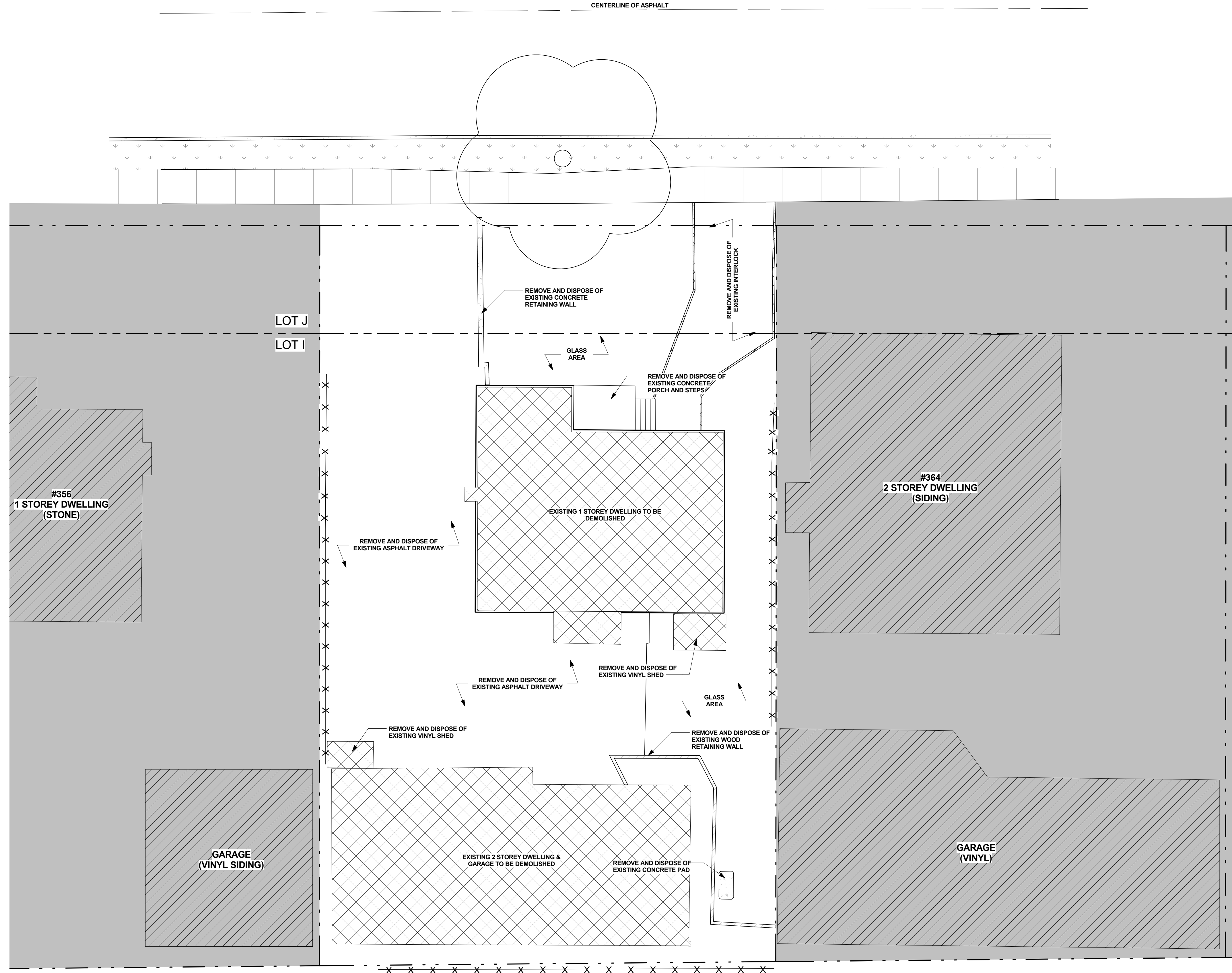
SCALE	ECHELLE	JOB No	N° DE PROJET
		758-23	
DATE	DATE	CONCEPTION BY	CONÇUS PAR
March 2023		Designer	
DRAWN BY	DESSINÉ PAR	CHECKED BY	VÉRIFIÉ PAR
Author		Checker	

DRAWING No / DESSIN N°  
**A0**  
REVISION No / RÉVISION N°



LACASSE AVENUE (PER BY-LAW 891, INST. N11796)

CENTERLINE OF ASPHALT



1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



PROJECT NAME / NOM DU PROJET  
**360 Lacasse Ave.  
 Multi Family Building**  
 360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN  
**Site Plan - Demolition**

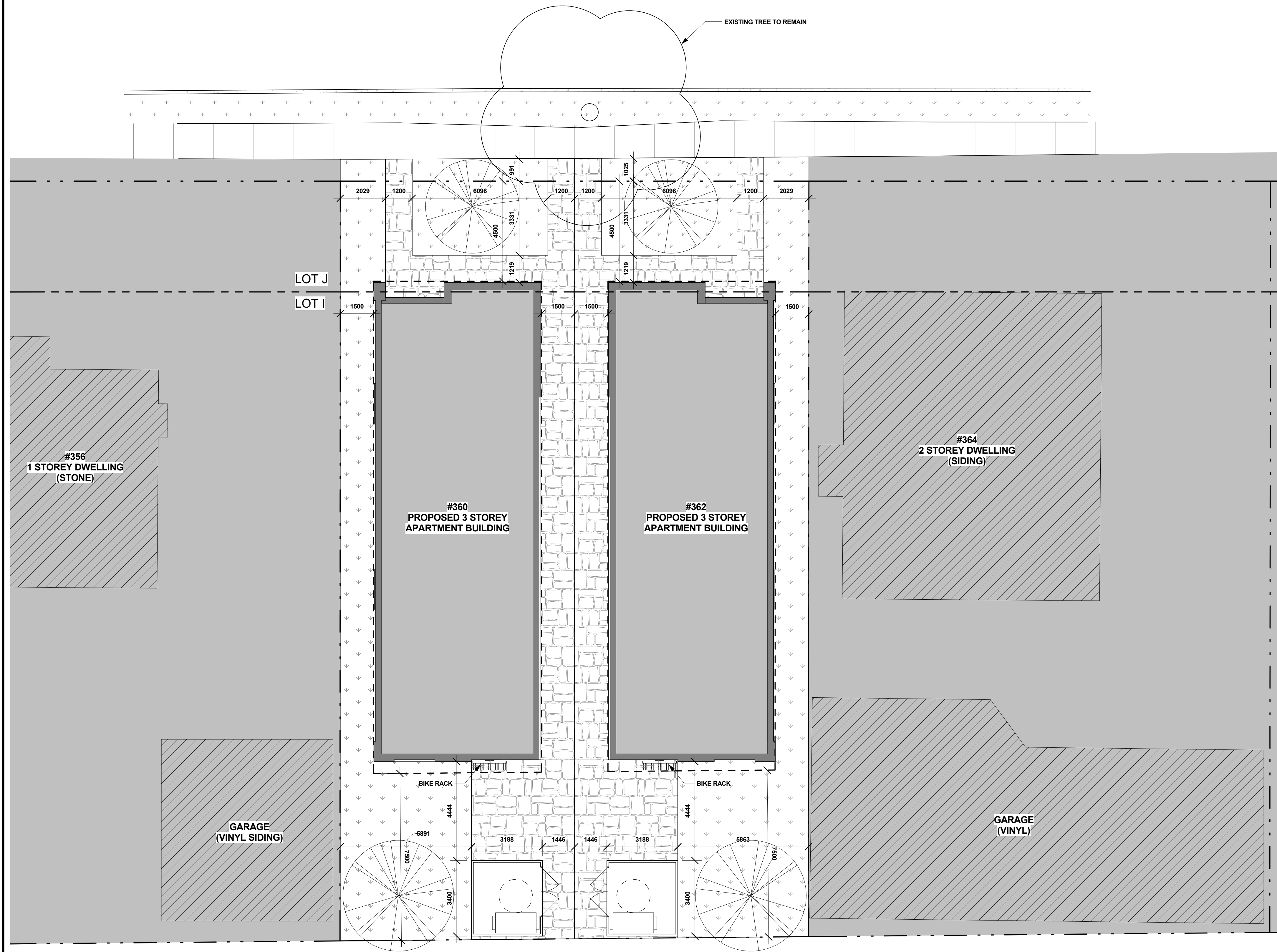
SCALE / ECHELLE	JOB No / N° DE PROJET
1 : 100	758-23
DATE	CONCEPTION BY / CONÇUS PAR
March 2023	EM
DRAWN BY / DESSINÉ PAR	CHECKED BY / VÉRIFIÉ PAR
WKW	SG

DRAWING No / DESSIN N°  
**A1**  
 REVISION No / RÉVISION N°

LACASSE AVENUE (PER BY-LAW 891, INST. N11796)

CENTERLINE OF ASPHALT

EXISTING TREE TO REMAIN



LEGEND FOR DRAWING A2:

--- PROPERTY LINE

--- SETBACK

--- LOTLINE

PROPOSED SOD

PROPOSED HARD LANDSCAPING

PROPOSED TREE

#360 LACASSE AVE.

PROJECT INFORMATION	
PROPOSED ADDRESS	360 LACASSE AVE.
ZONING BY-LAY 2008-250	R4-UA
SITE AREA	359,067 SQ.M.
GROSS FLOOR AREA	
BELOW GRADE	158,347 SQ.M.
GROUND FLOOR	156,525 SQ.M.
SECOND FLOOR	156,091 SQ.M.
THIRD FLOOR	156,091 SQ.M.
TOTAL GROSS FLOOR AREA	627,054 SQ.M.

UNIT STATISTICS	
STUDIO	2
1 BEDROOM UNITS	4
2 BEDROOM UNITS	2
TOTAL UNITS	8
BARRIER FREE UNIT	1

PROJECT STATISTICS		
	REQUIRED	PROVIDE
BUILDING HEIGHT	11M	11M
FRONT YARD SETBACK	4.5M	4.5M
REAR YARD SETBACK	7.5M	7.5M
INTERIOR YARD SETBACK	1.5M	1.5M

CAR PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	N/A	0
VISITOR	N/A	0

BICYCLE PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	4	4

WASTE MANAGEMENT REQUIREMENT		
	REQUIRED	PROVIDE
GARBAGE	0.231 CUBIC YARDS / UNIT	1 - 2 YARD
RECYCLING	360L BLUE CART / 6 UNITS 360L BLACK CART / 6 UNITS	1 - 360L BLUE CART 1 - 360L BLACK CART
ORGANICS	1 KITCHEN CATCHER / UNIT & 240L GREEN CONTAINER / 50 UNITS	1 KITCHEN CATCHER / UNIT 1 - 240L GREEN CONTAINER
AREA	8.15 SQ.M.	9.697 SQ.M.

#362 LACASSE AVE.

PROJECT INFORMATION	
PROPOSED ADDRESS	362 LACASSE AVE.
ZONING BY-LAY 2008-250	R4-UA
SITE AREA	357,336 SQ.M.
GROSS FLOOR AREA	
BELOW GRADE	158,347 SQ.M.
GROUND FLOOR	156,525 SQ.M.
SECOND FLOOR	156,091 SQ.M.
THIRD FLOOR	156,091 SQ.M.
TOTAL GROSS FLOOR AREA	627,054 SQ.M.

UNIT STATISTICS	
STUDIO	2
1 BEDROOM UNITS	4
2 BEDROOM UNITS	2
TOTAL UNITS	8
BARRIER FREE UNIT	1

PROJECT STATISTICS		
	REQUIRED	PROVIDE
BUILDING HEIGHT	11M	11M
FRONT YARD SETBACK	4.5M	4.5M
REAR YARD SETBACK	7.5M	7.5M
INTERIOR YARD SETBACK	1.5M	1.5M

CAR PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	N/A	0
VISITOR	N/A	0

BICYCLE PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	4	4

WASTE MANAGEMENT REQUIREMENT		
	REQUIRED	PROVIDE
GARBAGE	0.231 CUBIC YARDS / UNIT	1 - 2 YARD
RECYCLING	360L BLUE CART / 6 UNITS 360L BLACK CART / 6 UNITS	1 - 360L BLUE CART 1 - 360L BLACK CART
ORGANICS	1 KITCHEN CATCHER / UNIT & 240L GREEN CONTAINER / 50 UNITS	1 KITCHEN CATCHER / UNIT 1 - 240L GREEN CONTAINER
AREA	8.15 SQ.M.	9.697 SQ.M.

1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



PROJECT NAME NOM DU PROJET

360 Lacasse Ave.  
Multi Family Building  
360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE TITRE DU DESSIN

Proposed Site Plan

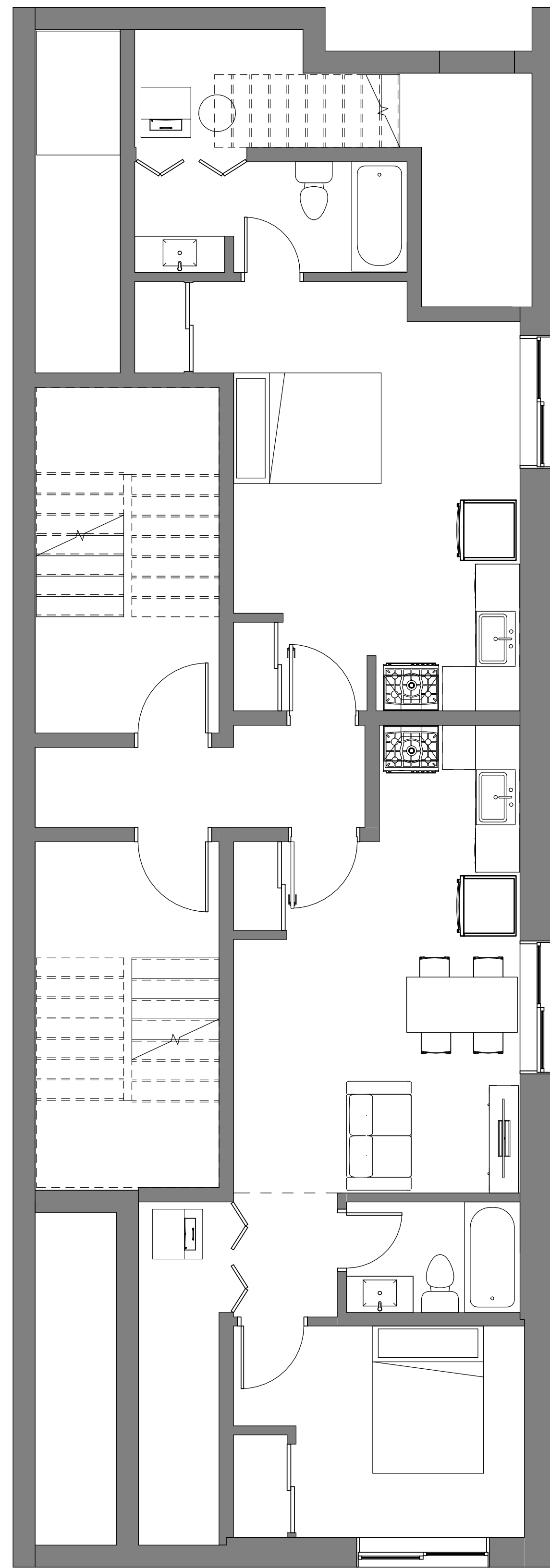
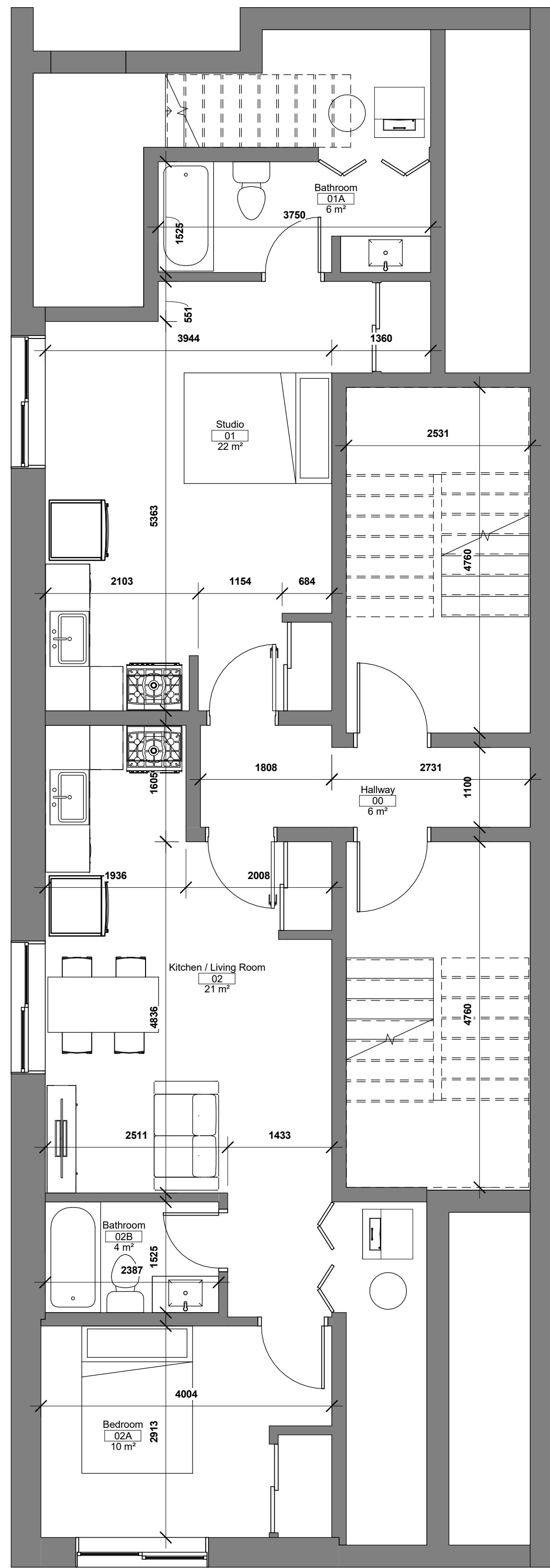
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As indicated		758-23	
DATE	DATE	CONCEPTION BY	CONÇUS PAR
March 2023		EM	
DRAWN BY	DESSINÉ PAR	CHECKED BY	VÉRIFIÉ PAR
WKW		SG	

DRAWING No DESSIN N°

A2

REVISION No  
RÉVISION N°





1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



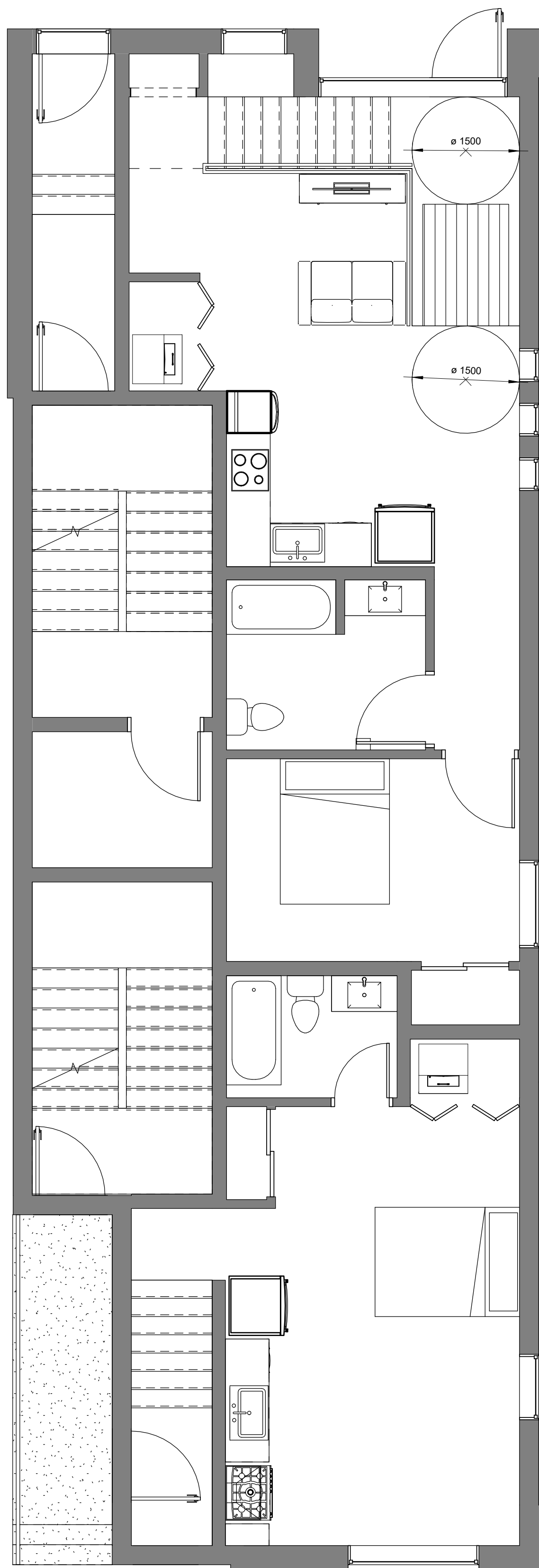
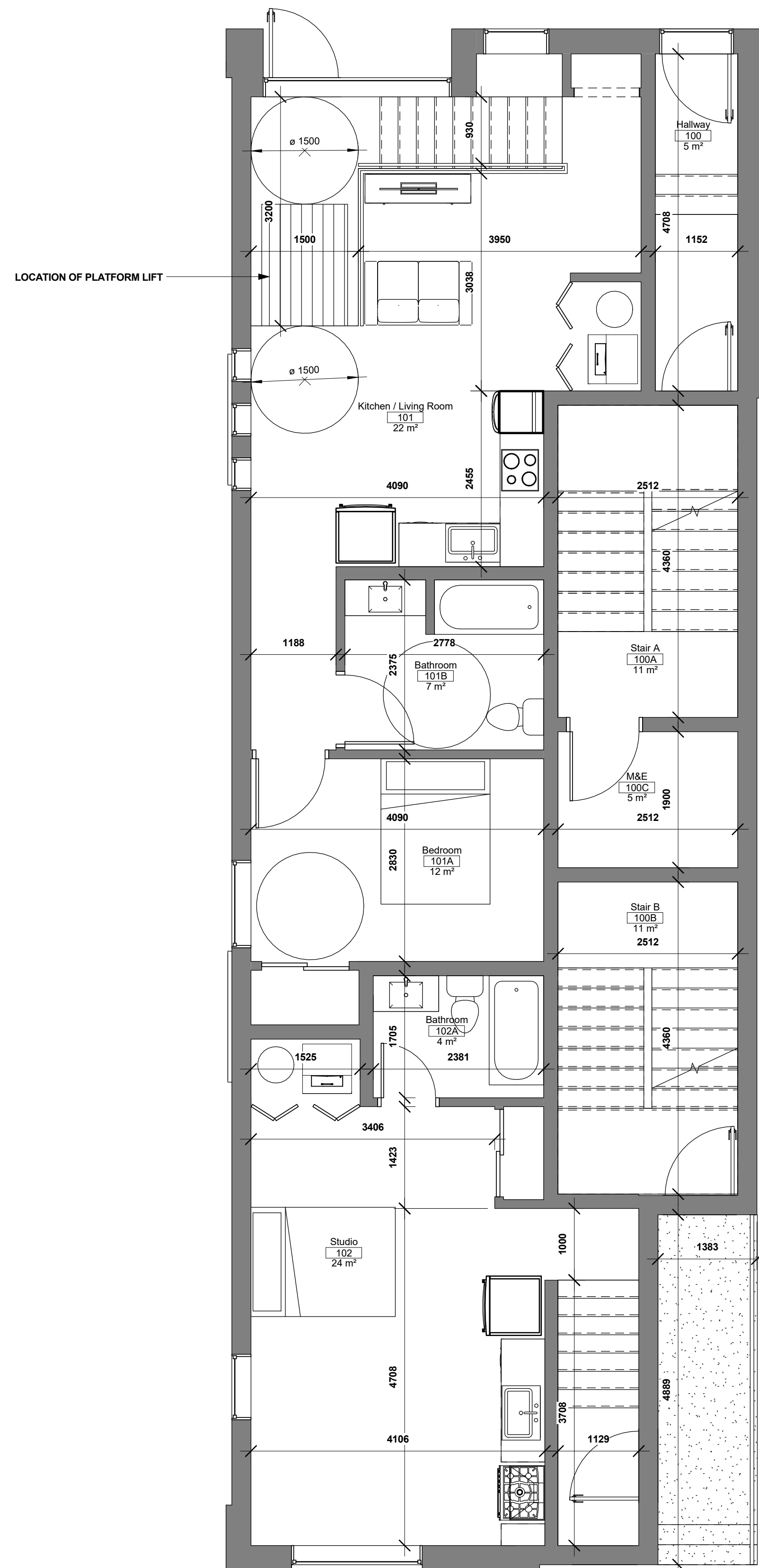
PROJECT NAME / NOM DU PROJET  
**360 Lacasse Ave.  
 Multi Family Building**  
 360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN  
**Proposed Basement  
 Plan**

SCALE / ECHELLE	JOB No / N° DE PROJET
1 : 50	758-23
DATE	CONCEPTION BY / CONÇUS PAR
March 2023	EM
DRAWN BY / DESSINÉ PAR	CHECKED BY / VÉRIFIÉ PAR
WKW	SG

DRAWING No / DESSIN N°  
**A3**  
 REVISION No / RÉVISION N°





1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



PROJECT NAME / NOM DU PROJET

**360 Lacasse Ave.  
Multi Family Building**

360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN

**Proposed Ground  
Floor Plan**

SCALE / ECHELLE    JOB No / N° DE PROJET

1 : 50    758-23

DATE / DATE    CONCEPTION BY / CONÇUS PAR

March 2023    EM

DRAWN BY / DESSINÉ PAR    CHECKED BY / VÉRIFIÉ PAR

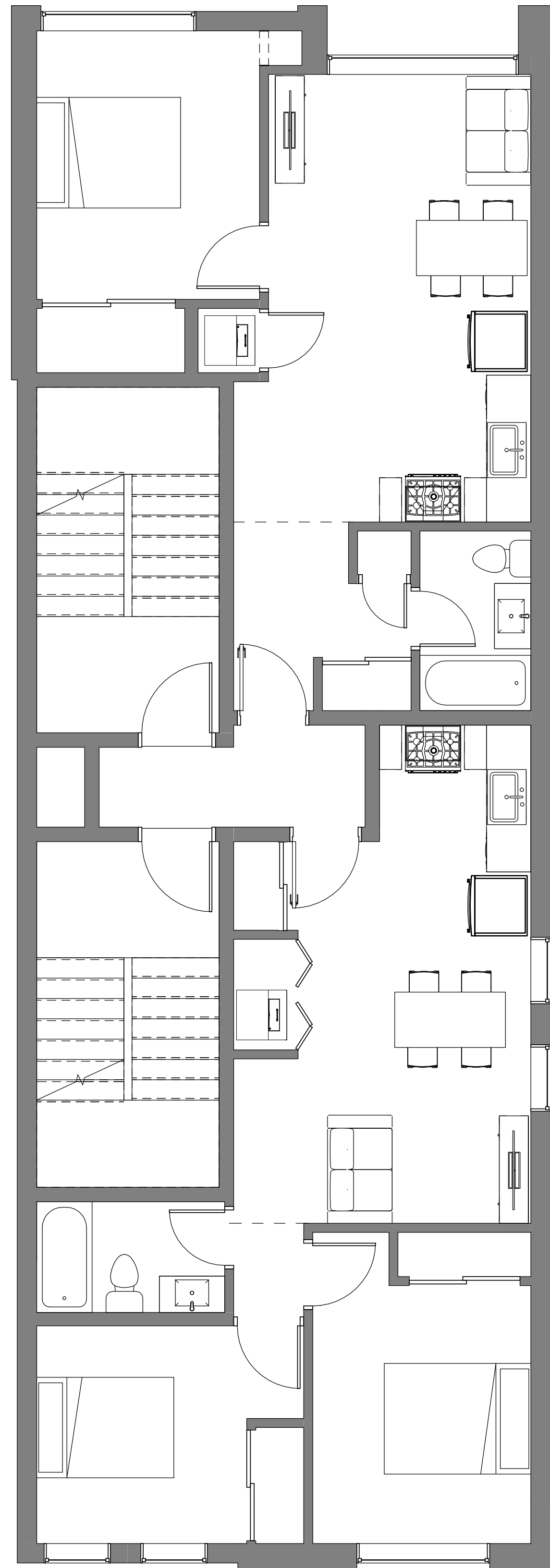
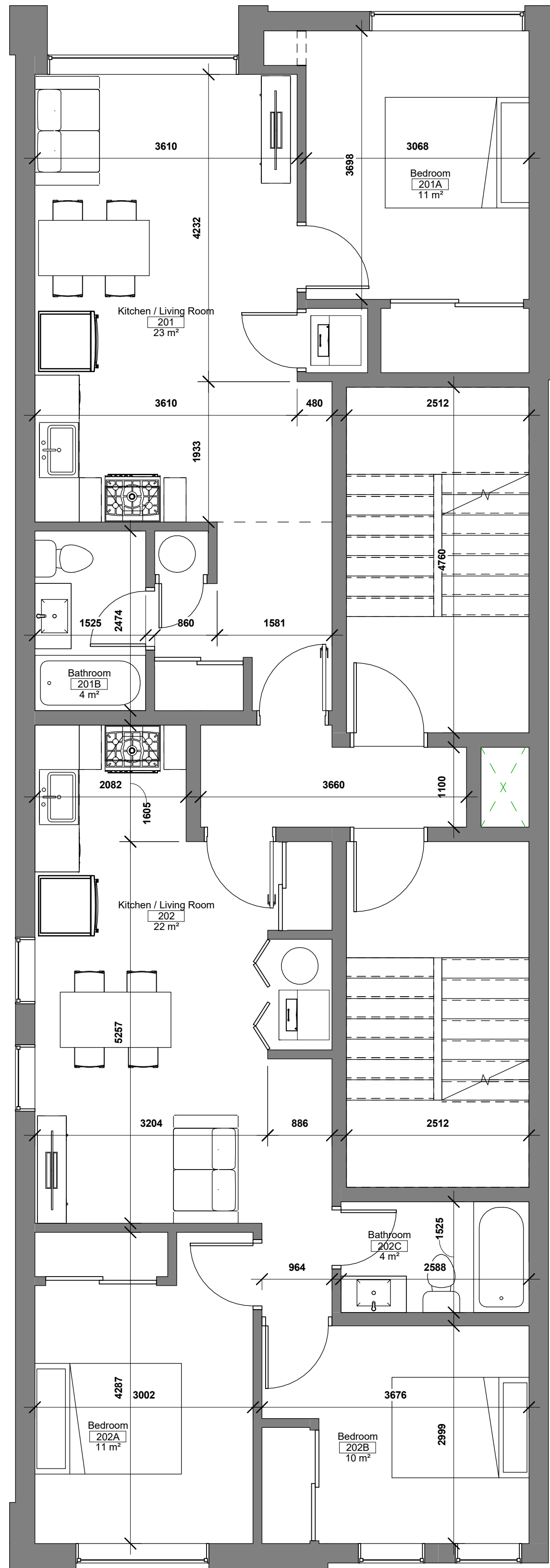
WKW    SG

DRAWING No / DESSIN N°

**A4**

REVISION No / RÉVISION N°





1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



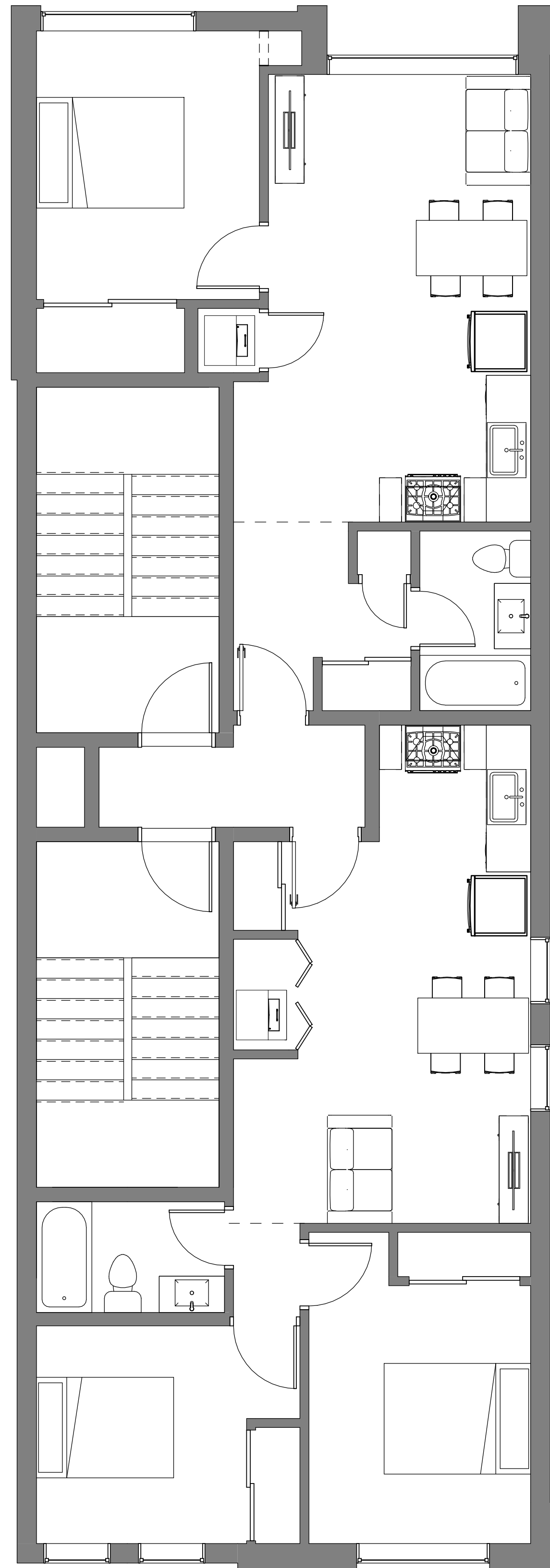
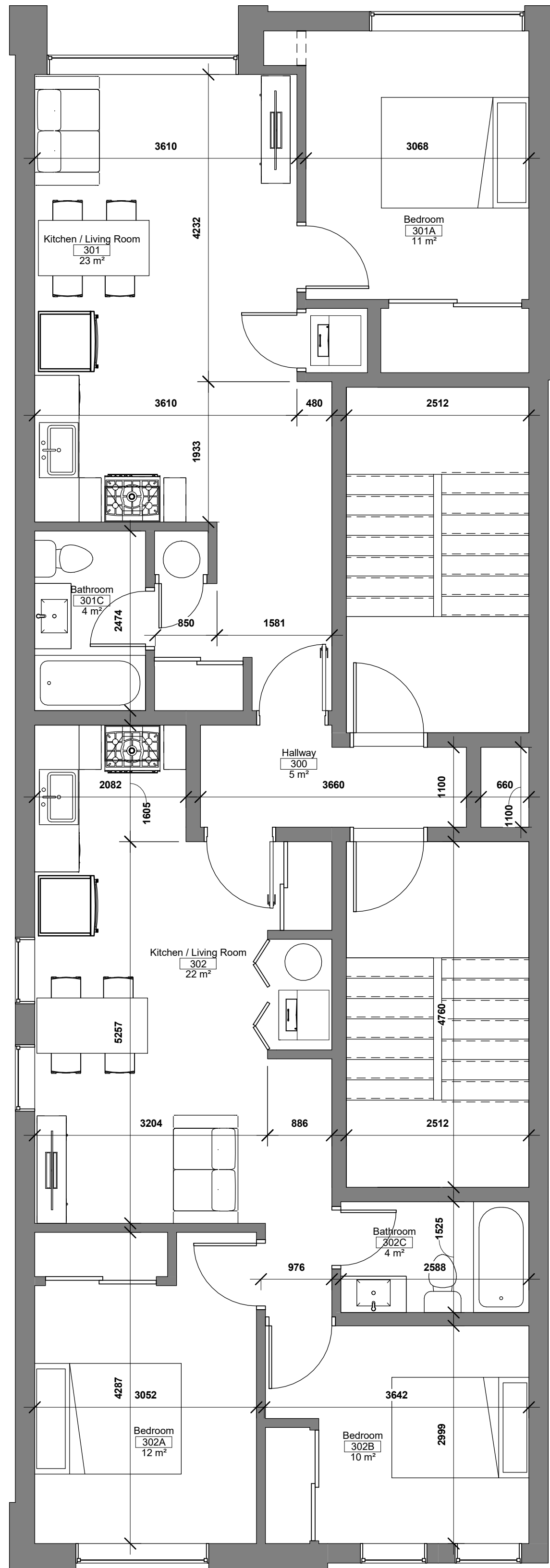
PROJECT NAME / NOM DU PROJET  
**360 Lacasse Ave.  
 Multi Family Building**  
 360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN  
**Proposed Second  
 Floor Plan**

SCALE / ECHELLE	JOB No / N° DE PROJET
1 : 50	758-23
DATE	CONCEPTION BY / CONÇUS PAR
March 2023	EM
DRAWN BY / DESSINÉ PAR	CHECKED BY / VÉRIFIÉ PAR
WKW	SG

DRAWING No / DESSIN N°  
**A5**  
 REVISION No / RÉVISION N°





1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



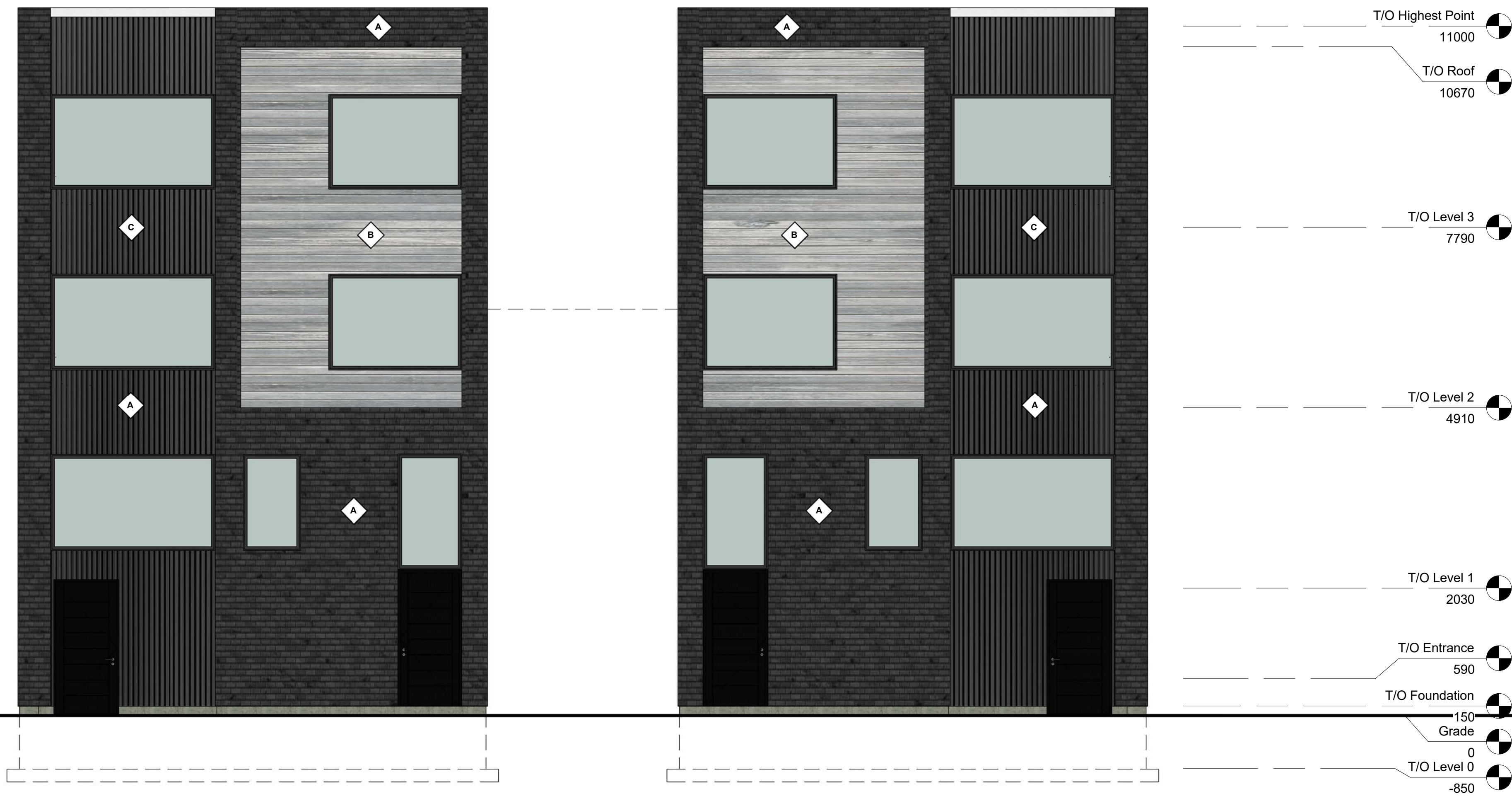
PROJECT NAME / NOM DU PROJET  
**360 Lacasse Ave.  
 Multi Family Building**  
 360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN  
**Proposed Third Floor  
 Plan**

SCALE / ECHELLE	JOB No	N° DE PROJET
1 : 50	758-23	
DATE	CONCEPTION BY	CONÇUS PAR
March 2023	EM	
DRAWN BY / DESSINÉ PAR	CHECKED BY / VÉRIFIÉ PAR	
WKW	SG	

DRAWING No / DESSIN N°  
**A6**  
 REVISION No / RÉVISION N°





**LEGEND FOR DRAWING A7 & A8:**

- A BRICK
- B SIDING
- C CORRUGATED STEEL PANEL

**1** Front Elevation  
1 : 50



**2** Rear Elevation  
1 : 50

1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



PROJECT NAME / NOM DU PROJET

**360 Lacasse Ave.  
Multi Family Building**

360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN

**Proposed Elevations**

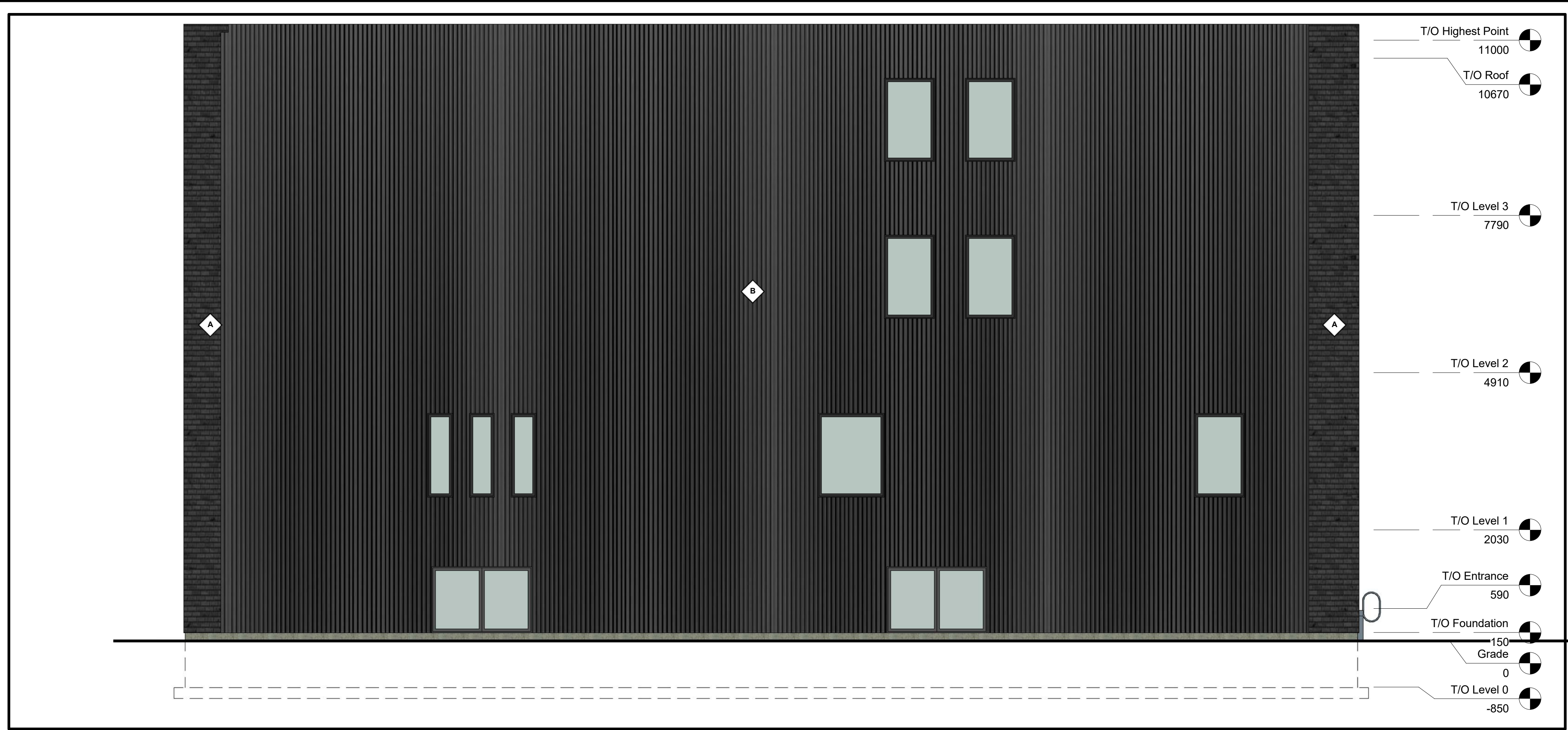
SCALE / ECHELLE	JOB No / N° DE PROJET
1 : 50	758-23
DATE	CONCEPTION BY / CONÇUS PAR
March 2023	Designer
DRAWN BY / DESSINÉ PAR	CHECKED BY / VÉRIFIÉ PAR
Author	Checker

DRAWING No / DESSIN N°

**A7**

REVISION No / RÉVISION N°

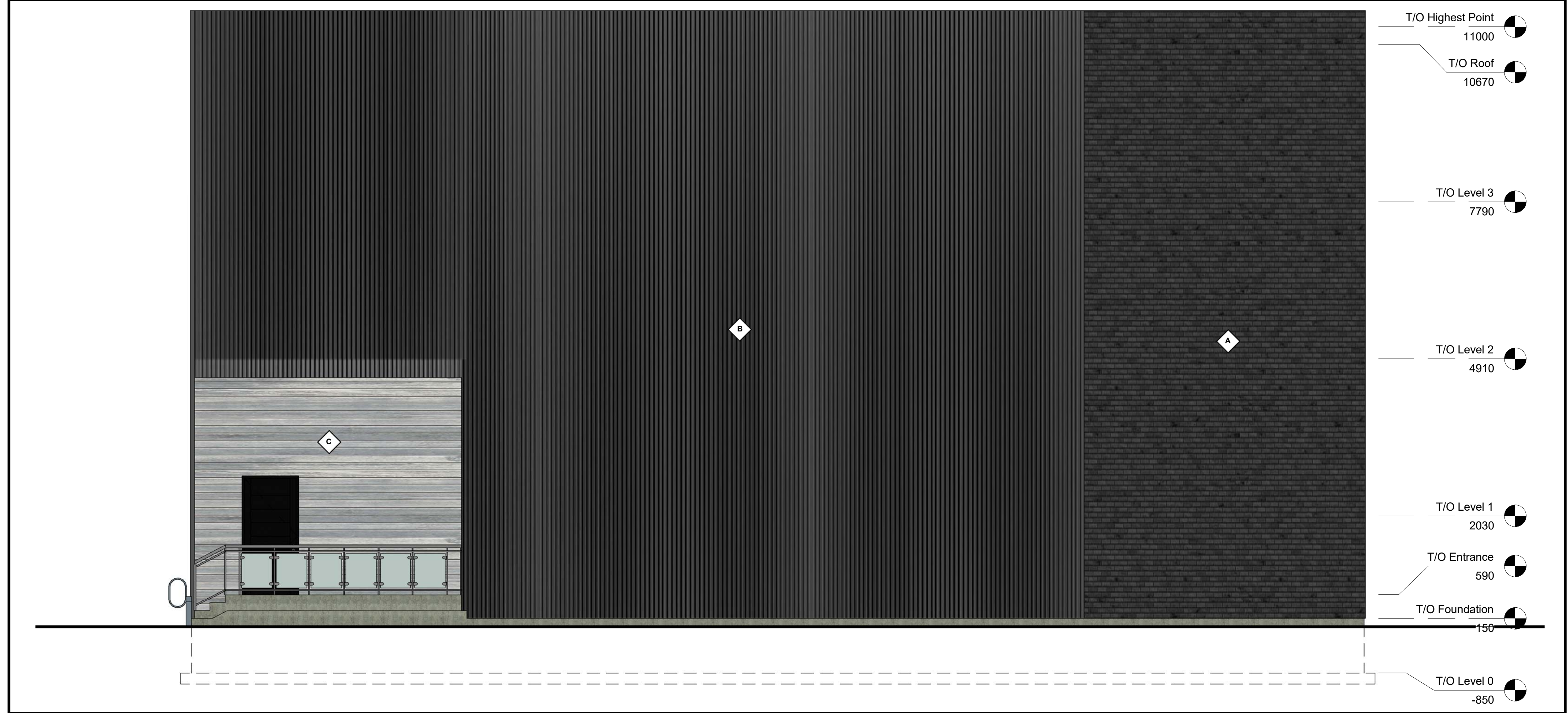




**LEGEND FOR DRAWING A7 & A8:**

- A BRICK
- B SIDING
- C CORRUGATED STEEL PANEL

**1** Side Elevation  
1 : 50



**2** Interior Side Elevation  
1 : 50

1	ISSUED FOR PRE-CONSULTATION	31/03/23
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	



PROJECT NAME / NOM DU PROJET

**360 Lacasse Ave.  
Multi Family Building**

360 Lacasse Ave, Vanier, ON K1L 7A9

DRAWING TITLE / TITRE DU DESSIN

**Proposed Elevations**

SCALE / ECHELLE	JOB No	N° DE PROJET
1 : 50	758-23	
DATE	CONCEPTION BY	CONÇUS PAR
March 2023	EM	
DRAWN BY / DESSINÉ PAR	CHECKED BY	VÉRIFIÉ PAR
WKW	SG	

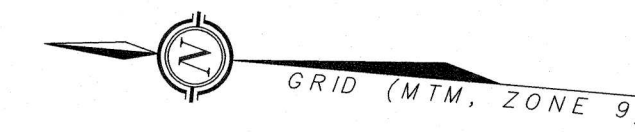
DRAWING No / DESSIN N°

A8

REVISION No / RÉVISION N°



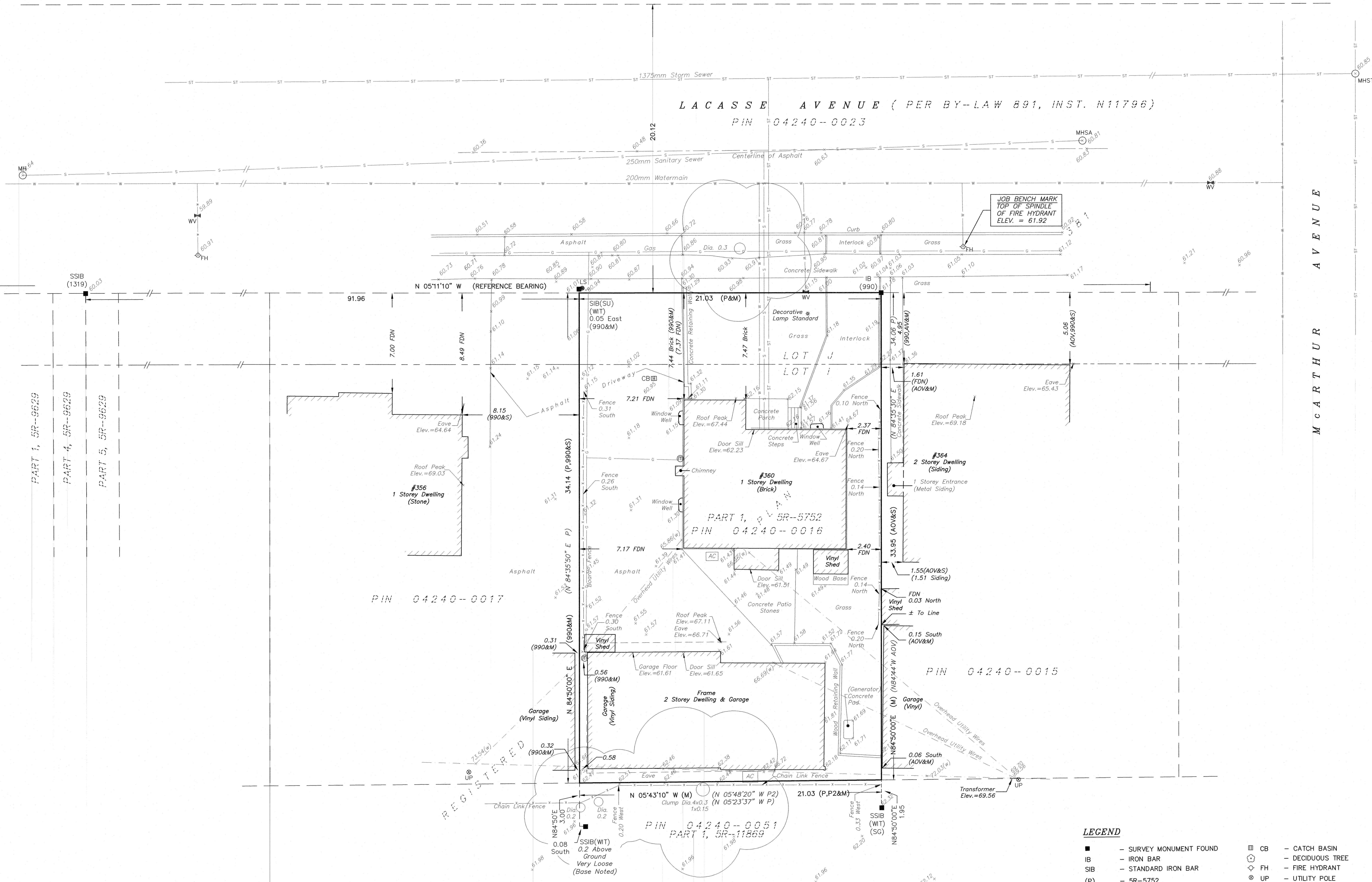
**METRIC**  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



**SURVEYOR'S REAL PROPERTY REPORT - PART 1**  
TOPOGRAPHIC PLAN OF SURVEY OF  
PART OF LOTS I & J  
REGISTERED PLAN 381  
CITY OF OTTAWA

SCALE 1 : 150  
0 1 2 5 10 15 metres

**FAIRHALL, MOFFATT & WOODLAND LIMITED**  
ONTARIO LAND SURVEYORS



**ELEVATION NOTES**

- ELEVATIONS SHOWN HEREON ARE REFERRED TO GEODETIC DATUM (CGVD28).
- ELEVATIONS FOR MANHOLE COVERS AND CATCH BASINS HAVE TO BE INDEPENDENTLY CONFIRMED BEFORE THEY CAN BE ACCEPTED FOR FINAL DESIGN OR CONSTRUCTION PURPOSES.
- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.

**UTILITY NOTES**

- THIS DRAWING CANNOT BE ACCEPTED AS ACKNOWLEDGING ALL OF THE UNDERGROUND UTILITIES AND IT WILL BE THE RESPONSIBILITY OF THE USER TO CONTACT THE RESPECTIVE UTILITY AUTHORITIES FOR CONFIRMATION OR LOCATION.
- UNDERGROUND UTILITIES, AS REPORTED ON THIS DRAWING, ARE NOT BASED ON AN ACTUAL 'FIELD LOCATE' BY THE RESPECTIVE UTILITY AGENCIES AND HAVE BEEN COMPILED FROM DATA OBTAINED FROM THE FOLLOWING SOURCE:  
a) CITY OF OTTAWA PUBLIC UTILITIES REGISTRY
- BEFORE ANY WORK INVOLVING PROBING, EXCAVATING, ETC., A FIELD LOCATION OF UNDERGROUND PLANT BY THE PERTINENT UTILITY AUTHORITY IS MANDATORY.

**NOTE**

BEARINGS ARE GRID DERIVED FROM THE WESTERLY LIMIT OF LACASSE AVENUE AS SHOWN ON A PLAN SR-5752 HAVING A BEARING OF N 05°11'10" W AND ARE REFERRED TO THE CENTRAL MERIDIAN 76°30' W LONGITUDE, MTM ZONE 9 (NAD27)

**SURVEYOR'S REAL PROPERTY REPORT - PART 2**  
**REPORT SUMMARY**

**DESCRIPTION OF LAND**  
PART OF LOTS I AND J, REGISTERED PLAN 381, CITY OF OTTAWA DESIGNATED AS PART 1, PLAN SR-5752 AS IN ALL OF PIN 04240-0016.

**REGISTERED EASEMENTS**  
NONE REGISTERED.

**REMARKS**  
NOTE LOCATION OF FENCES AND OVERHEAD UTILITY WIRES AS SHOWN IN PART 1 THE PLAN.

**ZONING**  
COMPLIANCE WITH ZONING, LAND USE, ENVIRONMENTAL AND BUILDING REGULATIONS NOT CERTIFIED BY THIS REPORT.

THIS REPORT WAS PREPARED FOR ZENITH SOLUTIONS INC. THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON APRIL 10, 2023
- DATE: 2023/04/14  
JOHN H. GUTHRIE  
ONTARIO LAND SURVEYOR

<b>Fairhall Moffatt &amp; Woodland</b> ONTARIO LAND SURVEYORS Surveying and Land Information Services 100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6 TEL: (613) 591-2580 FAX: (613) 591-1495 www.fmw.com	ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-44302 
	JOB No. AD13100 E 370794, N 5032821 REFERENCE No. 14-381 GR S:\005\AD13100\DWG\13APR2023 TP_SR_AD131.dwg (ss)

**LEGEND**

- |  |                              |
|--|------------------------------|
| ■ - SURVEY MONUMENT FOUND  | ▣ CB - CATCH BASIN           |
| IB - IRON BAR  | ○ - DECIDUOUS TREE           |
| SIB - STANDARD IRON BAR  | ⊙ FH - FIRE HYDRANT          |
| (P) - SR-5752  | ⊕ UP - UTILITY POLE          |
| (P1) - SR-9629   | ⊕ WV - WATER VALVE           |
| (P2) - SR-11869  | ○ MH - MANHOLE               |
| (M) - MEASURED   | — W — WATERMAIN              |
| (S) - SET  | — — — OVERHEAD UTILITY WIRES |
| DIA. - DIAMETER  | — G — GAS MAIN               |
| FDN - FOUNDATION   | — ST — STORM SEWER           |
| PIN - PROPERTY IDENTIFIER NUMBER                                   | — S — SANITARY SEWER         |
| (SU) - SOURCE UNKNOWN  |                              |
| (WT) - WITNESS   |                              |
| DUW - OVERHEAD UTILITY WIRES                                       |                              |
| CLF - CHAIN LINK FENCE   |                              |
| (990) - PAYETTE, HIMMA, DELORME LTD., O.L.S. (REF. 05-069)         |                              |
| (ADV) - ANNS, O'SULLIVAN, VOLLEBEKK LTD., O.L.S. (REF. 0-171-90)   |                              |
| (SG) - STANTEC GEOMATICS LTD., O.L.S. (REF. PROJECT 161614449-110) |                              |
| (1319) - WEBSTER & SIMMONS SURVEYING LTD., O.L.S.                  |                              |