

**LEGAL DESCRIPTION**

26 WILLIARD ST  
OTTAWA, ON  
K1S 1T5

**ZONING** R3P  
MATURE NEIGHBOURHOOD OVERLAY

**PROPERTY SETBACKS**

FRONT: 3m  
INT. SIDE: 1.8m TOTAL (0.6m MIN ONE SIDE)  
REAR: 7.5m

**Committee of Adjustment**  
Received | Reçu le  
  
2023-05-12  
  
City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**

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# 26 WILLIARD ST.

KRISTIN AND SCOTT MACRAE  
26 Willard St. Ottawa, ON K1S 1T5



DRAWN BY  
DREW MASON  
BCIN 104923

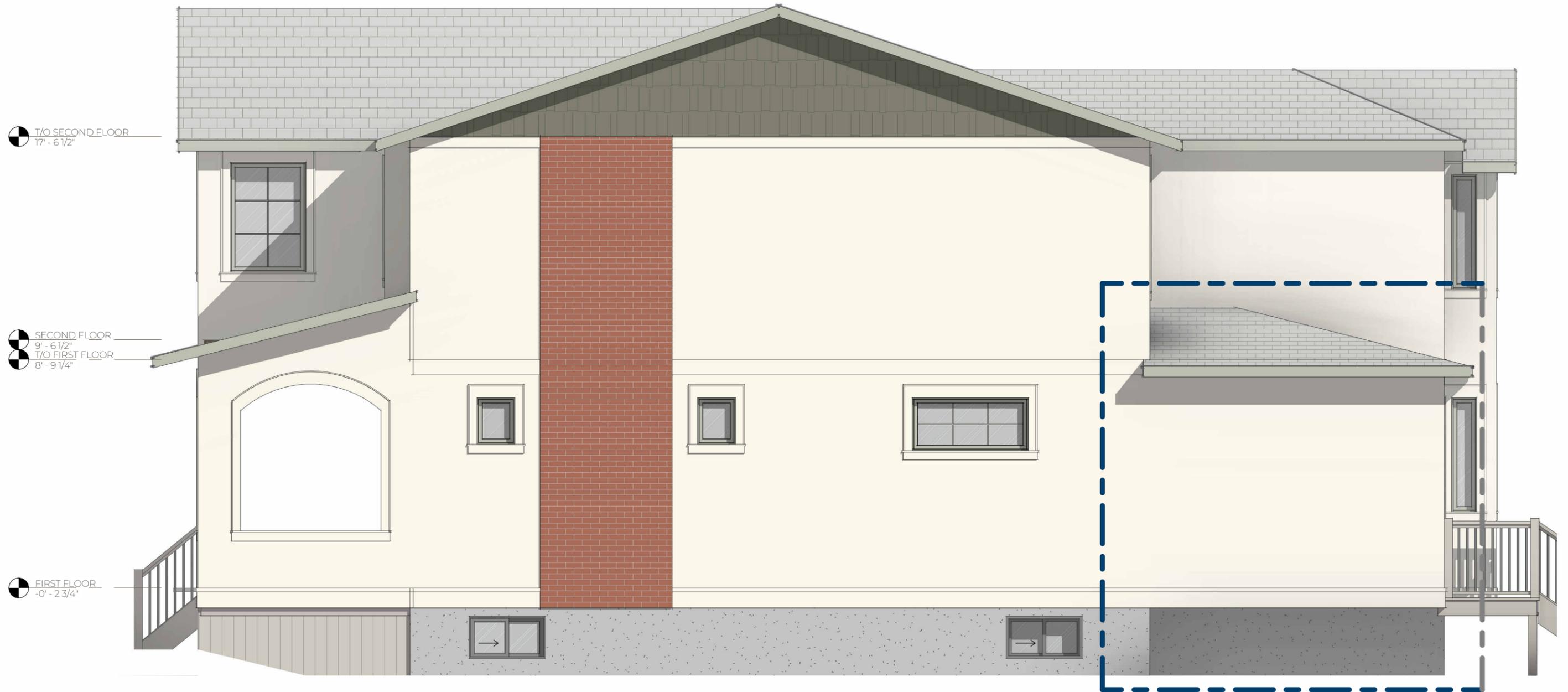
SHEET NAME  
SITE PLAN

**NOT FOR  
CONSTRUCTION**

**URBACITY DESIGN BUILD**  
FIRM BCIN: 117889  
#304, 411 ROOSEVELT AVENUE  
OTTAWA ON K2A 3X9  
(613) 800-6262  
INFO@UCDB.CA

SCALE 1:80  
DATE MAY 04, 2023

**MV1**



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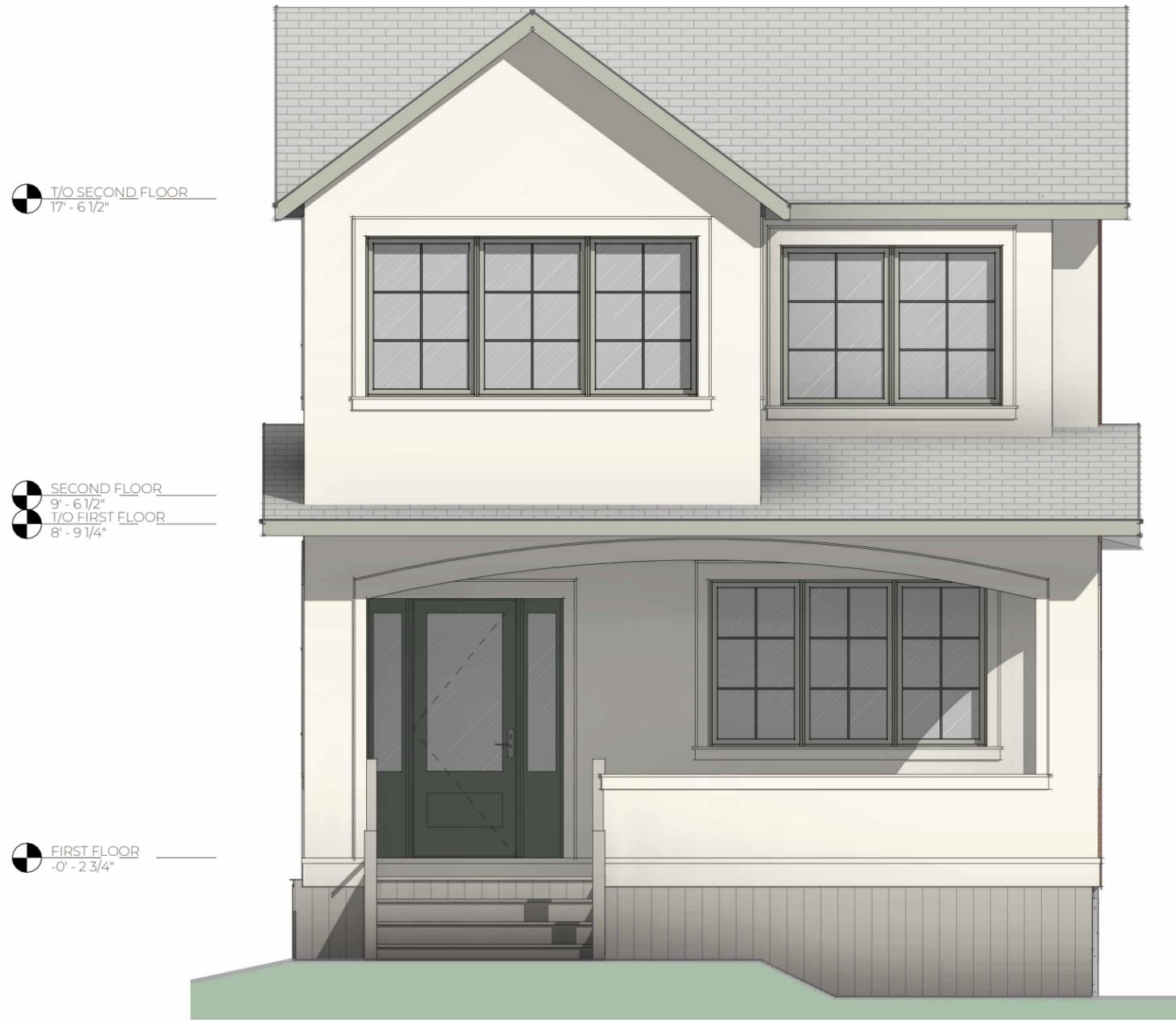
SHEET NAME  
RIGHT ELEVATION

**NOT FOR  
CONSTRUCTION**

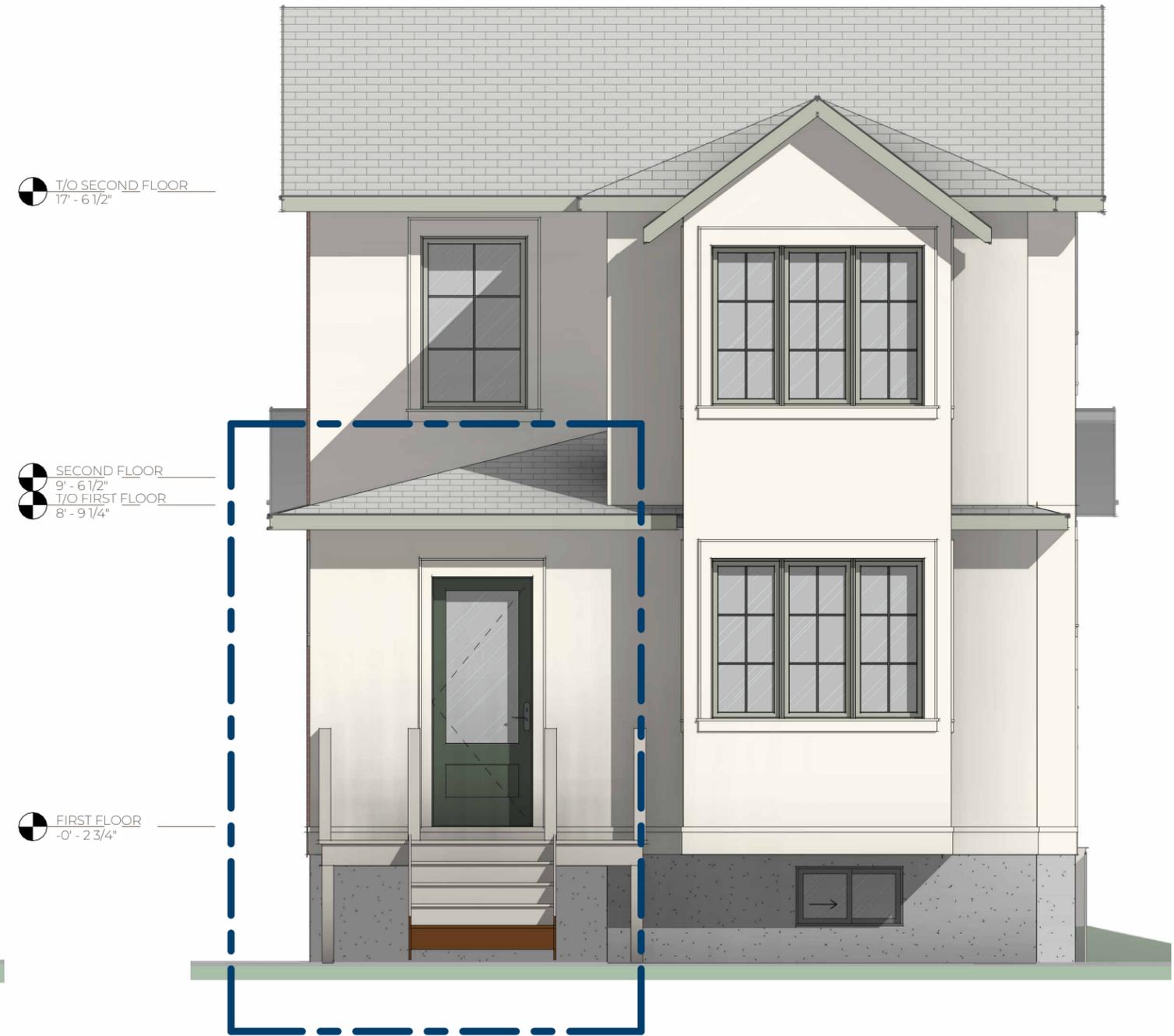
**URBACITY DESIGN BUILD**  
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INFO@UCDB.CA

SCALE  
1/4" = 1'-0"  
DATE  
MAY 04, 2023

**MV2**



1 FRONT ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"

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26 WILLIARD ST.

KRISTIN AND SCOTT MACRAE  
26 Willard St. Ottawa, ON K1S 1T5



DRAWN BY  
DREW MASON  
BCIN 104923

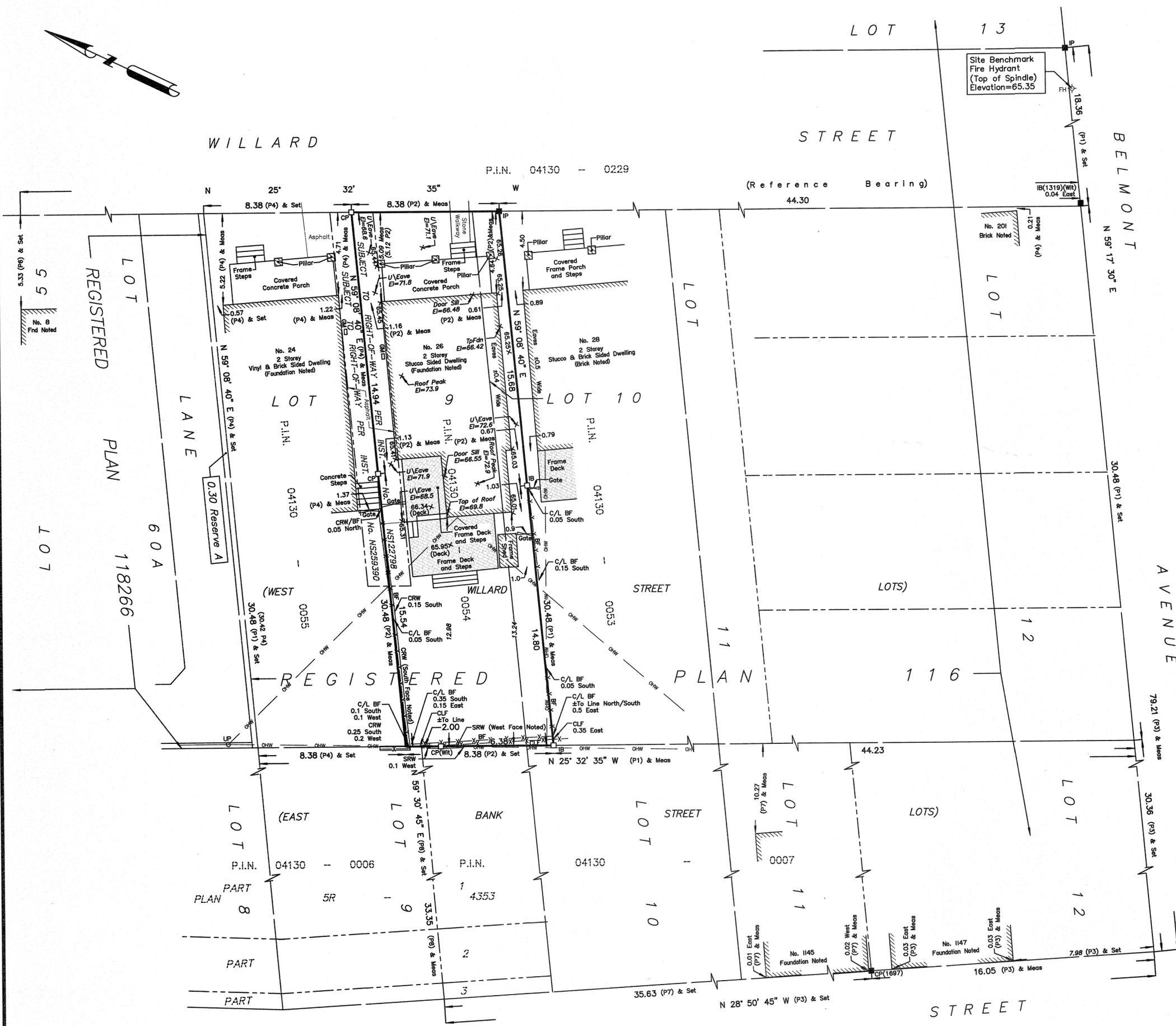
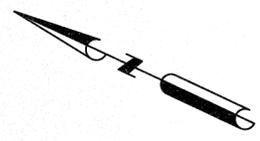
SHEET NAME  
FRONT AND REAR ELEVATION

**NOT FOR  
CONSTRUCTION**

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SCALE  
1/4" = 1'-0"  
DATE  
MAY 04, 2023

**MV3**



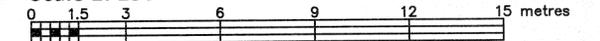
SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of

PART OF LOTS 9 AND 10  
WEST WILLARD STREET  
REGISTERED PLAN 116  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 150



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).  
For bearing comparisons, a rotation of 0°27'44" counter-clockwise was applied to bearings on P3.  
For bearing comparisons, a rotation of 0°34'49" counter-clockwise was applied to bearings on P4.  
For bearing comparisons, a rotation of 0°00'15" counter-clockwise was applied to bearings on P8.

Elevation Notes

- 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 197534238)
- 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
IB	"	Iron Bar
CP	"	Concrete Pin
IP	"	Iron Pipe
(Wit)	"	Witness
Meas	"	Measured
(P1)	"	Registered Plan 116
(P2)	"	Plan by (857) dated June 30, 1981 (Ref. No. 16-116)
(P3)	"	Plan by (725) dated June 11, 1985 (Ref. No. 282-85)
(P4)	"	Plan by (1175) dated May 24, 1985 (Job No. 85-1897)
(P5)	"	Plan by (1319) dated August 17, 1990 (Ref. No. 3-116)
(P6)	"	Plan by (1319) dated May 27, 1987 (Ref. No. 2-116)
(P7)	"	Plan by (1283) dated October 18, 1990 (Ref. No.0-116-3)
(P8)	"	Plan 5R-4353
OHW	"	Overhead Wires
OP	"	Utility Pole
⊙ FH	"	Fire Hydrant
⊙ GM	"	Gas Meter
CLF	"	Chain Link Fence
BF	"	Board Fence
CRW	"	Concrete Retaining Wall
SRW	"	Stone Retaining Wall
U/Eave	"	Underside of Eave
TopFdn	"	Top of Foundation
Fdn	"	Foundation
C/L	"	Centreline
+ 65.00	"	Location of Elevations
"	"	Property Line

PART 2

- 1. REGISTERED RIGHTS-OF-WAY/EASEMENTS  
Subject to rights-of-way per Inst. No. NS122798.
- 2. PROPERTY IMPROVEMENTS  
The location of the fences and retaining walls in relation to the property lines are noted on the plan.
- 3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS  
Compliance is not certified by this report.
- 4. ADDITIONAL REMARKS  
Area of the subject property is 254.3 square metres.

THIS REPORT WAS PREPARED FOR:  
URBACITY DESIGN BUILD ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

Surveyor's Certificate

- I certify that:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
- 2. The survey was completed on the 12th day of April, 2023.

April 26/2023

Date:   
Emad Alrefaai  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-48365

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL. (613) 727-8226 E-mail: fdsurveys@bellnet.ca

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