

# Minor Variance Applications:

## Lot 1:

- a) To permit a reduced minimum front yard setback of 2.5 metres; whereas the By-law requires a minimum front yard setback of 4.7 metres (Section 144(1)).
- b) To permit an increased front balcony projection of 1.3 metres; whereas the By-law permits a maximum front balcony projection of 0 metres (Section 65(1), Table 65(6)(b)(iii)).

## Lot 2:

- c) To permit a reduced minimum lot area of 118.2 square metres; whereas the By-law requires a minimum lot area of 180 square metres (Section 160(1), Table 160A(A)).
- d) To permit a reduced minimum front yard setback of 2.5 metres; whereas the By-law requires a minimum front yard setback of 4.7 metres (Section 144(1)).
- e) To permit an increased front balcony projection of 1.3 metres; whereas the By-law permits a maximum front balcony projection of 0 metres (Section 65(1), Table 65(6)(b)(iii)).

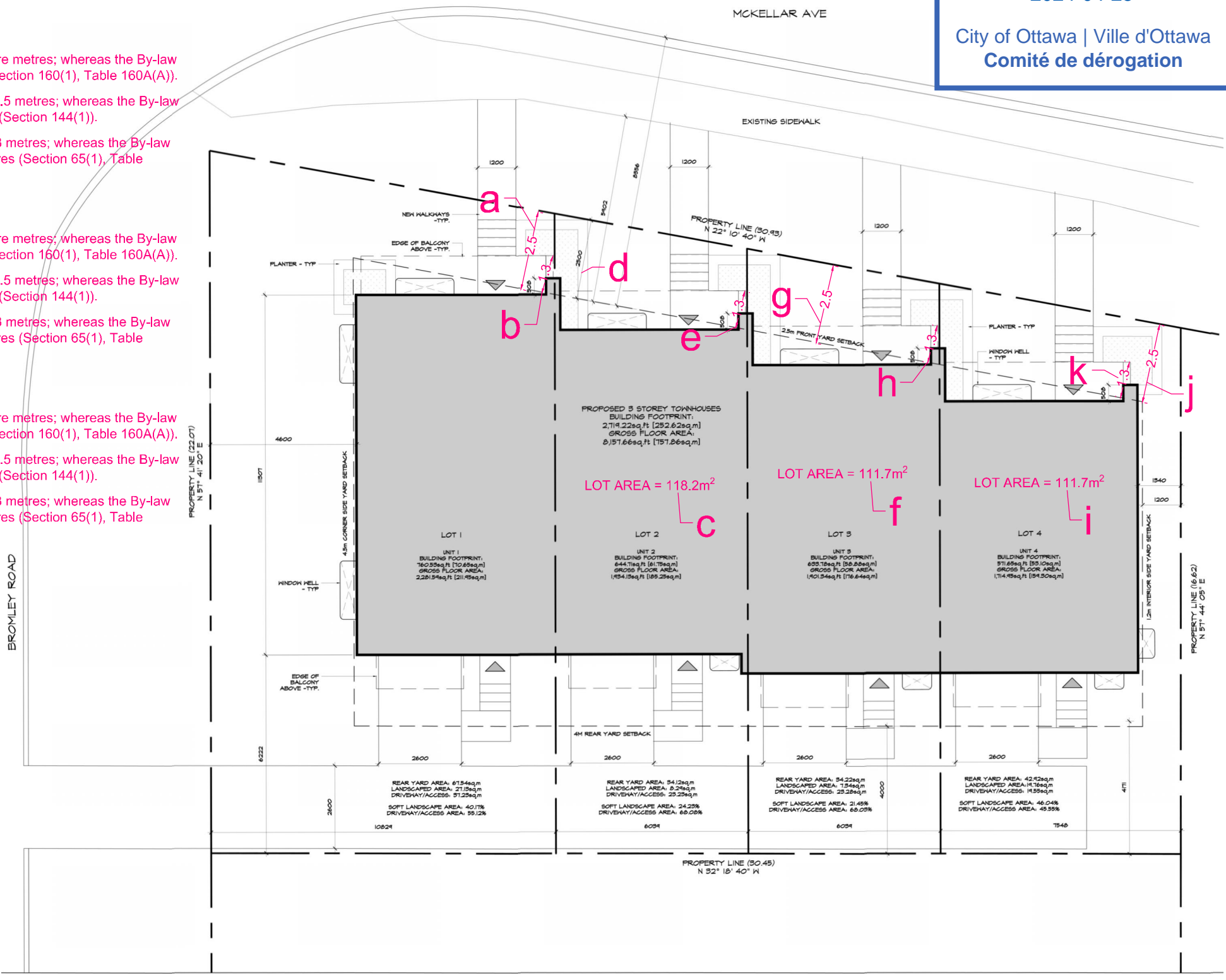
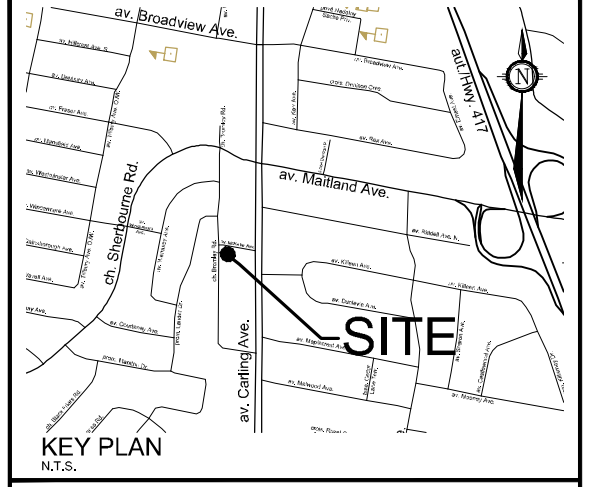
## Lot 3:

- f) To permit a reduced minimum lot area of 111.7 square metres; whereas the By-law requires a minimum lot area of 180 square metres (Section 160(1), Table 160A(A)).
- g) To permit a reduced minimum front yard setback of 2.5 metres; whereas the By-law requires a minimum front yard setback of 4.7 metres (Section 144(1)).
- h) To permit an increased front balcony projection of 1.3 metres; whereas the By-law permits a maximum front balcony projection of 0 metres (Section 65(1), Table 65(6)(b)(iii)).

## Lot 4:

- i) To permit a reduced minimum lot area of 130.6 square metres; whereas the By-law requires a minimum lot area of 180 square metres (Section 160(1), Table 160A(A)).
- j) To permit a reduced minimum front yard setback of 2.5 metres; whereas the By-law requires a minimum front yard setback of 4.7 metres (Section 144(1)).
- k) To permit an increased front balcony projection of 1.3 metres; whereas the By-law permits a maximum front balcony projection of 0 metres (Section 65(1), Table 65(6)(b)(iii)).

**Committee of Adjustment**  
Received | Reçu le  
**2024-04-25**  
City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**



# MINOR VARIANCE APPLICATION

786 MCKELLAR AVENUE

LOT 13  
REGISTERED PLAN M-98  
CITY OF OTTAWA



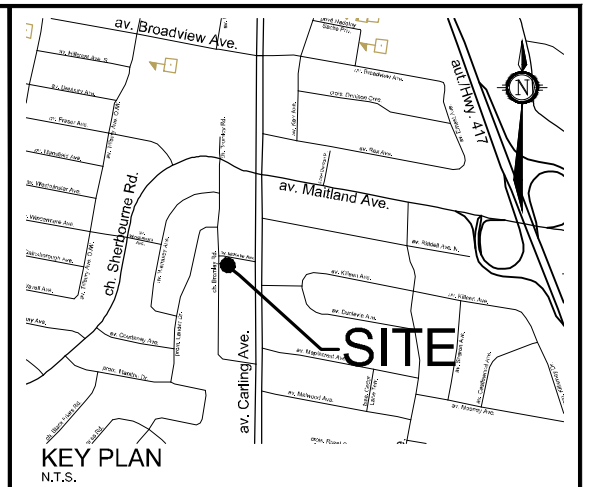
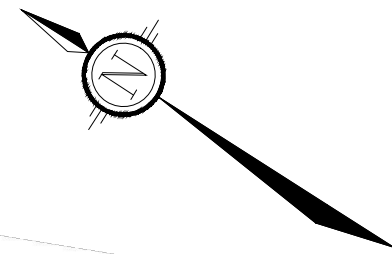
1.	ISSUED FOR MINOR VARIANCE APPLICATION	APR 24/24	SS
No.	REVISION	DATE	BY

<p>Engineers, Planners &amp; Landscape Architects Suite 200, 240 Mitchell Compound Drive Ottawa, Ontario, Canada K2M 1T5 Telephone: (613) 254-8643 Facsimile: (613) 254-5867 Website: www.novatech-eng.com</p>	ISSUED
	APRIL, 2024
	PROJECT No. 123129
DRAWING No. 123129-MV	

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Committee of Adjustment  
Received | Reçu le  
2024-04-25  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



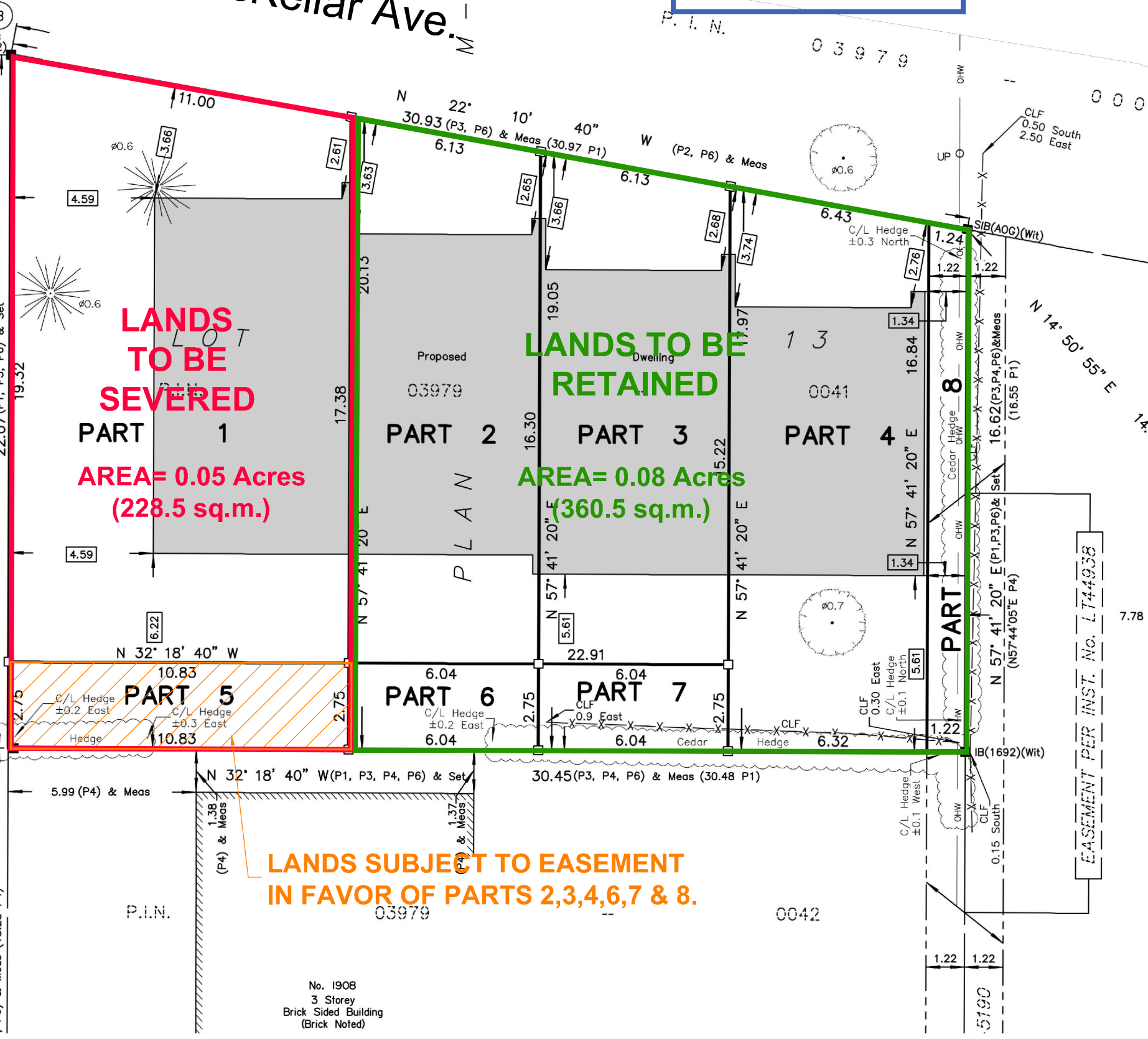
ch. Bromley Rd.

av. McKellar Ave.

SSIB (1692)

03979 (Reference Bearing)

N 57° 41' 20" E (P6) & Meas (18.28 P4)



**LANDS TO BE SEVERED**  
AREA= 0.05 Acres  
(228.5 sq.m.)

**LANDS TO BE RETAINED**  
AREA= 0.08 Acres  
(360.5 sq.m.)

**LANDS SUBJECT TO EASEMENT  
IN FAVOR OF PARTS 2,3,4,6,7 & 8.**

No. 1908  
3 Storey  
Brick Sided Building  
(Brick Noted)

# SEVERANCE APPLICATION #1

786 MCKELLAR AVENUE

LOT 13  
REGISTERED PLAN M-98  
CITY OF OTTAWA

1 : 150

No.	REVISION	DATE	BY
1.	ISSUED FOR CONSENT APPLICATION	APR 24/24	SS

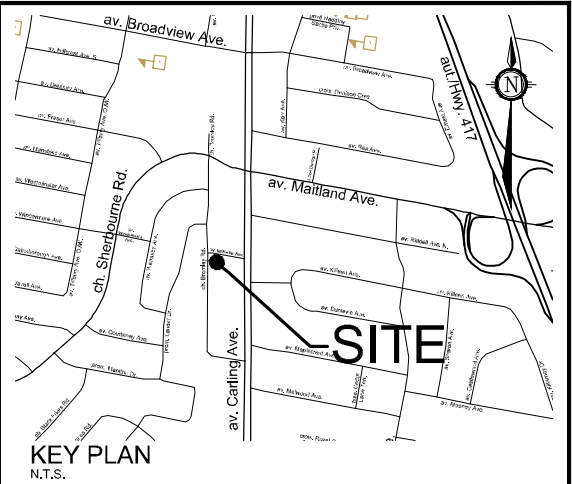
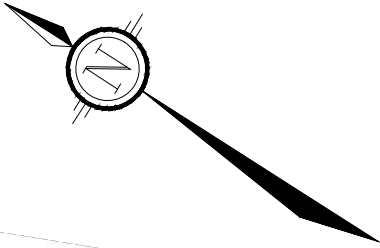
**NOVATECH**  
Engineers, Planners & Landscape Architects  
Suite 200, 240 Mitchell Cowpland Drive  
Ottawa, Ontario, Canada K2M 1R6  
Telephone: (613) 254-8643  
Facsimile: (613) 254-5867  
Website: www.novatech-eng.com

ISSUED  
APRIL, 2024  
PROJECT No.  
123129  
DRAWING No.  
123129-SEV



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Committee of Adjustment  
Received | Reçu le  
2024-04-25  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



# SEVERANCE APPLICATION #2

786 MCKELLAR AVENUE

LOT 13  
REGISTERED PLAN M-98  
CITY OF OTTAWA

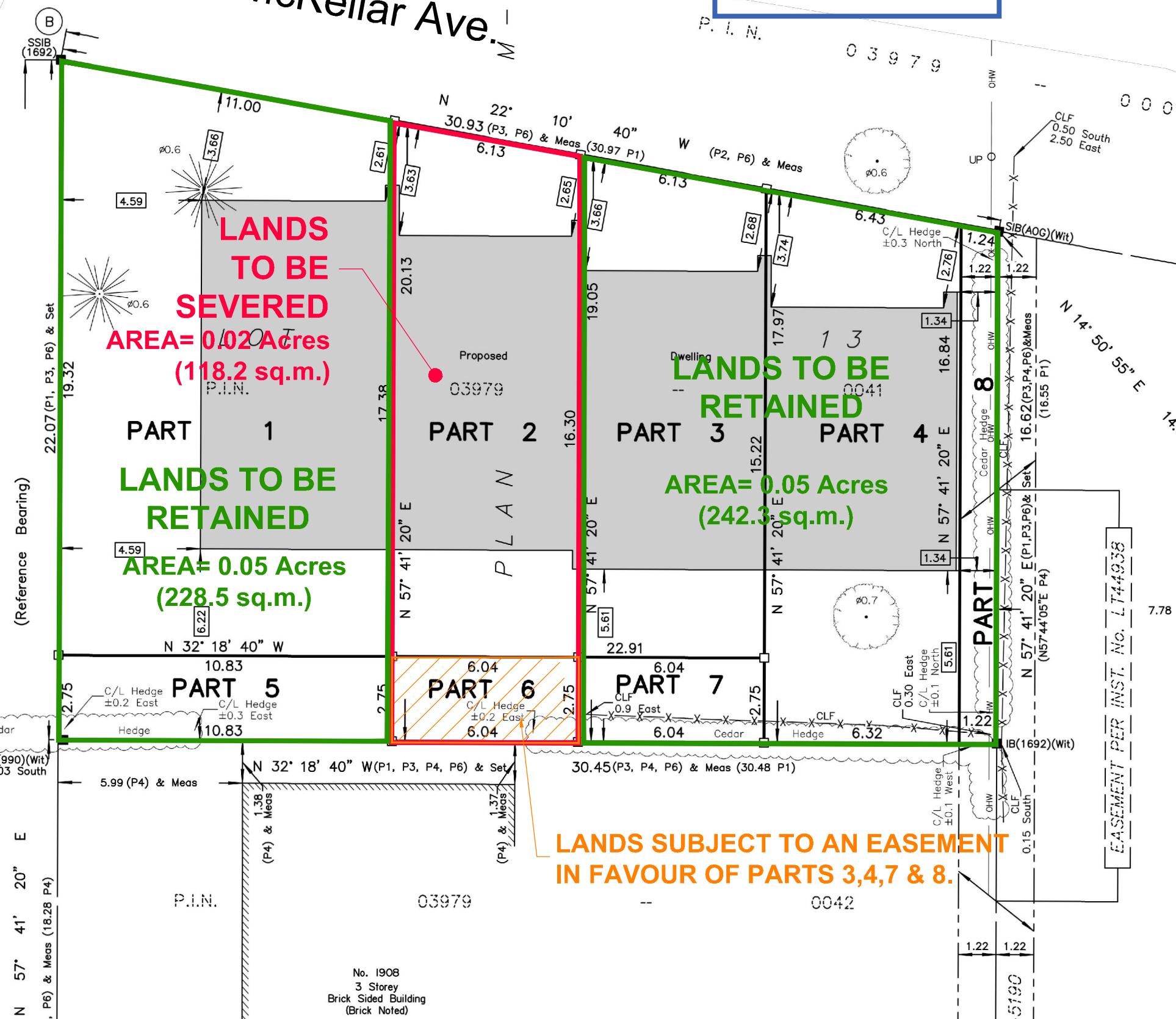
1 : 150

No.	REVISION	DATE	BY
1.	ISSUED FOR CONSENT APPLICATION	APR 24/24	SS

 Engineers, Planners & Landscape Architects Suite 200, 240 Mitchell Cowpland Drive Ottawa, Ontario, Canada K2M 1T6 Telephone: (613) 254-8643 Facsimile: (613) 254-5867 Website: www.novatech-eng.com	ISSUED	APRIL, 2024
	PROJECT No.	123129
	DRAWING No.	123129-SEV

ch. Bromley Rd.

av. McKellar Ave.



LANDS TO BE SEVERED  
AREA= 0.02 Acres  
(118.2 sq.m.)

LANDS TO BE RETAINED  
AREA= 0.05 Acres  
(228.5 sq.m.)

LANDS TO BE RETAINED  
AREA= 0.05 Acres  
(242.3 sq.m.)

LANDS SUBJECT TO AN EASEMENT  
IN FAVOUR OF PARTS 3,4,7 & 8.

No. 1908  
3 Storey  
Brick Sided Building  
(Brick Noted)

EASEMENT PER INST. No. L744938

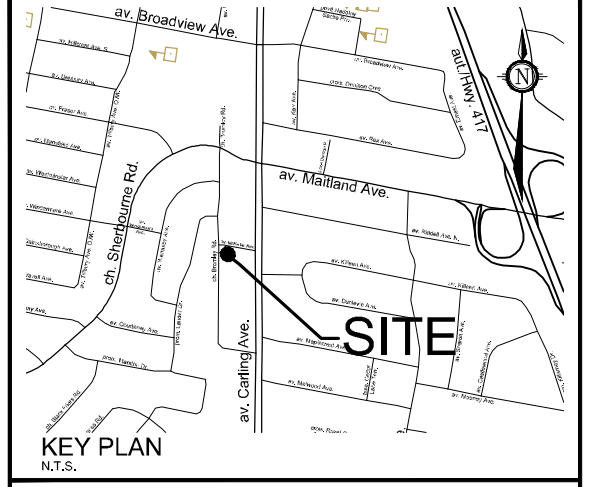
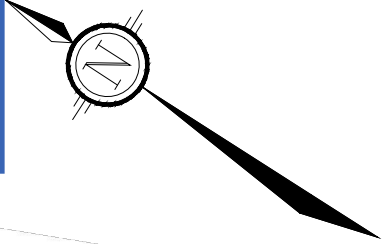
ARLETON CONDOMINIUM

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ch. Bromley Rd.

av. McKellar Ave.

Committee of Adjustment  
Received | Reçu le  
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City of Ottawa | Ville d'Ottawa  
Comité de dérogation

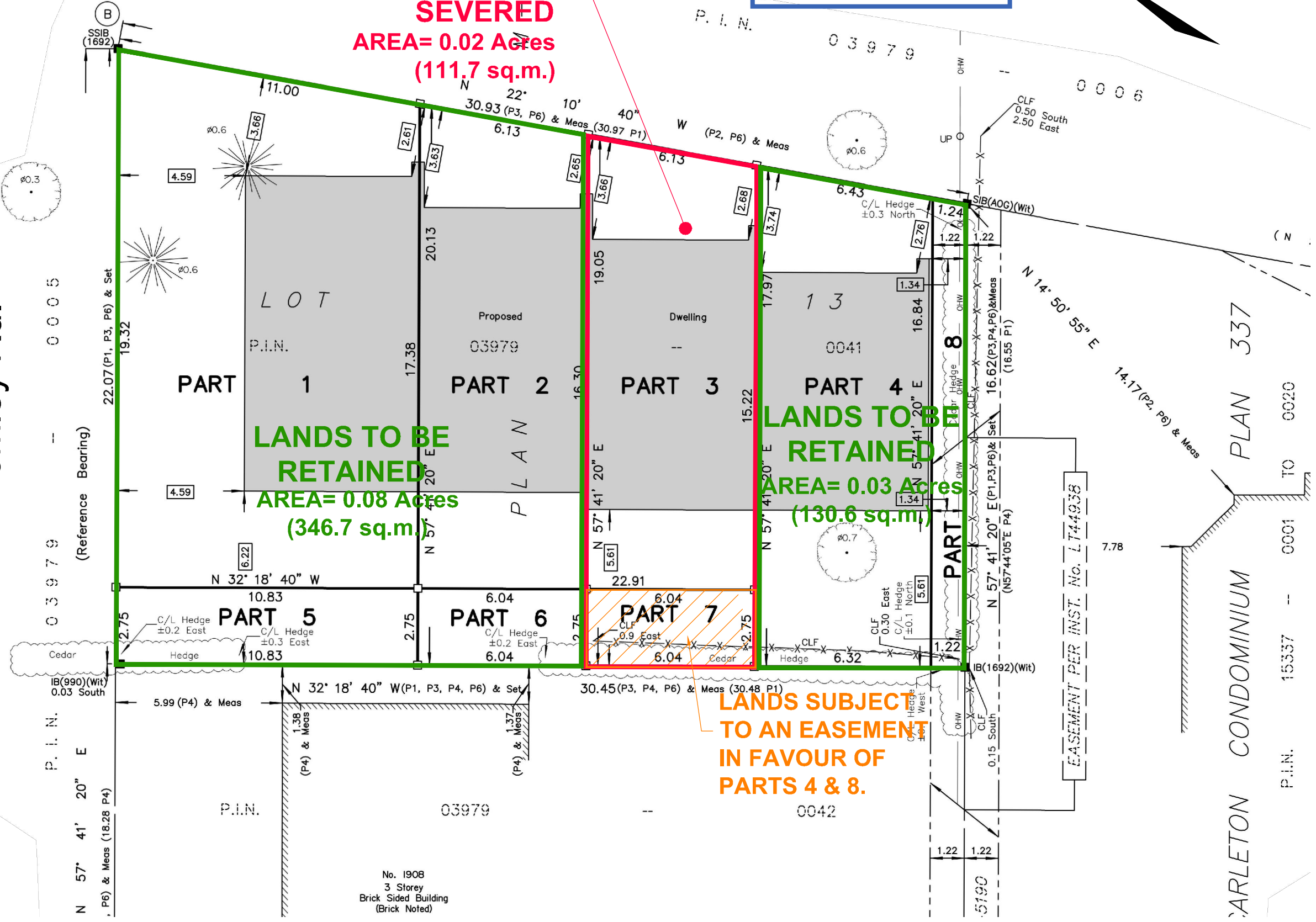


**LANDS TO BE SEVERED**  
**AREA= 0.02 Acres**  
**(111.7 sq.m.)**

**LANDS TO BE RETAINED**  
**AREA= 0.08 Acres**  
**(346.7 sq.m.)**

**LANDS TO BE RETAINED**  
**AREA= 0.03 Acres**  
**(130.6 sq.m.)**

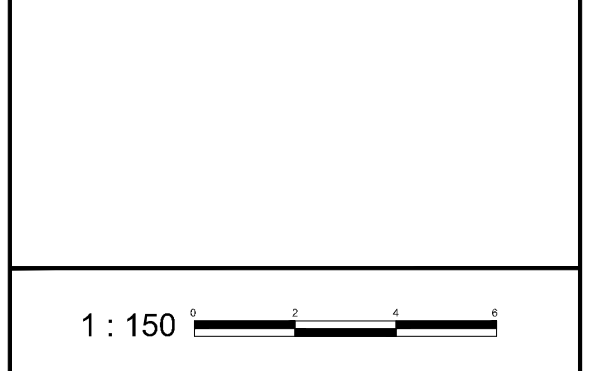
**LANDS SUBJECT TO AN EASEMENT IN FAVOUR OF PARTS 4 & 8.**



# SEVERANCE APPLICATION #3

786 MCKELLAR AVENUE

LOT 13  
REGISTERED PLAN M-98  
CITY OF OTTAWA



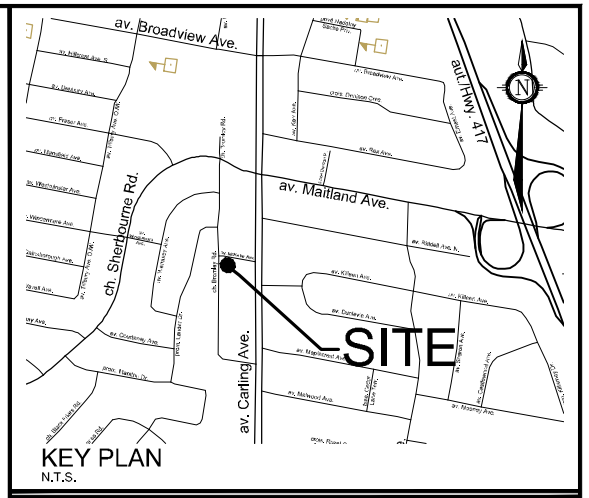
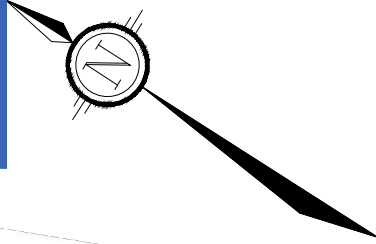
No.	REVISION	DATE	BY
1.	ISSUED FOR CONSENT APPLICATION	APR 24/24	SS

 Engineers, Planners & Landscape Architects Suite 200, 240 Mitchell Cowpland Drive Ottawa, Ontario, Canada K2M 1T6 Telephone: (613) 254-8643 Facsimile: (613) 254-5867 Website: www.novatech-eng.com	ISSUED
	APRIL, 2024
	PROJECT No. 123129
DRAWING No. 123129-SEV	



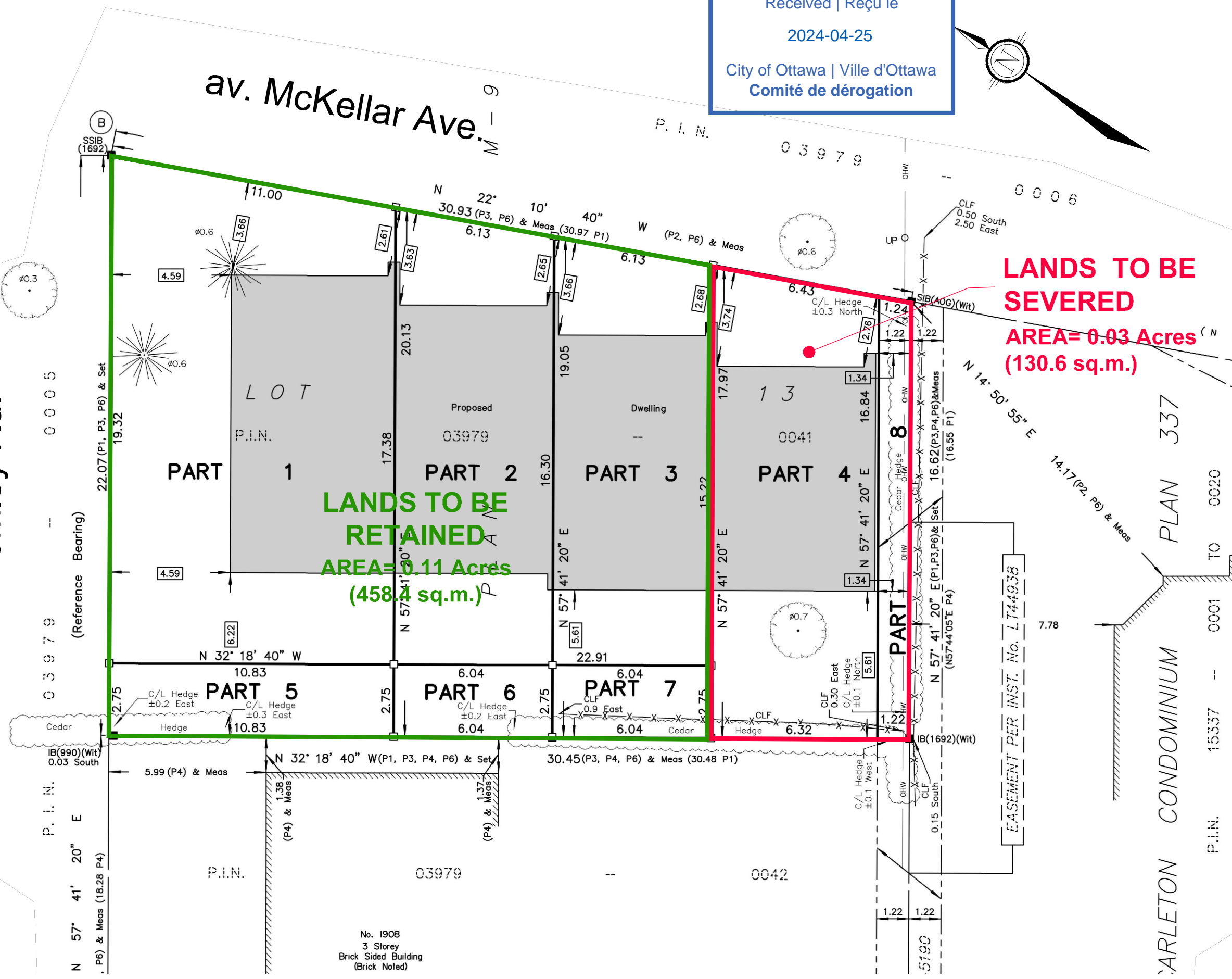
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Committee of Adjustment  
Received | Reçu le  
2024-04-25  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



av. McKellar Ave.

ch. Bromley Rd.



LANDS TO BE  
RETAINED  
AREA= 0.11 Acres  
(458.4 sq.m.)

LANDS TO BE  
SEVERED  
AREA= 0.03 Acres  
(130.6 sq.m.)

# SEVERANCE APPLICATION #4

786 MCKELLAR AVENUE

LOT 13  
REGISTERED PLAN M-98  
CITY OF OTTAWA

1 : 150

No.	REVISION	DATE	BY
1.	ISSUED FOR CONSENT APPLICATION	APR 24/24	SS

**NOVATECH**  
Engineers, Planners & Landscape Architects  
Suite 200, 240 Mitchell Cowpland Drive  
Ottawa, Ontario, Canada K2M 1R5  
Telephone: (613) 254-8643  
Facsimile: (613) 254-5867  
Website: www.novatech-eng.com

ISSUED  
APRIL, 2024  
PROJECT No.  
123129  
DRAWING No.  
123129-SEV

EASEMENT PER INST. No. L744938

ARLETON CONDOMINIUM

No. 1908  
3 Storey  
Brick Sided Building  
(Brick Noted)

Committee of Adjustment  
Received | Reçu le  
2024-04-25  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5026422.73	362694.46
(B)	5026444.30	362728.57
01919680005	5027191.26	361496.76
01919750705	5016816.93	360806.84
CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.  
DATE: \_\_\_\_\_

EMAD ALREFAAI  
ONTARIO LAND SURVEYOR

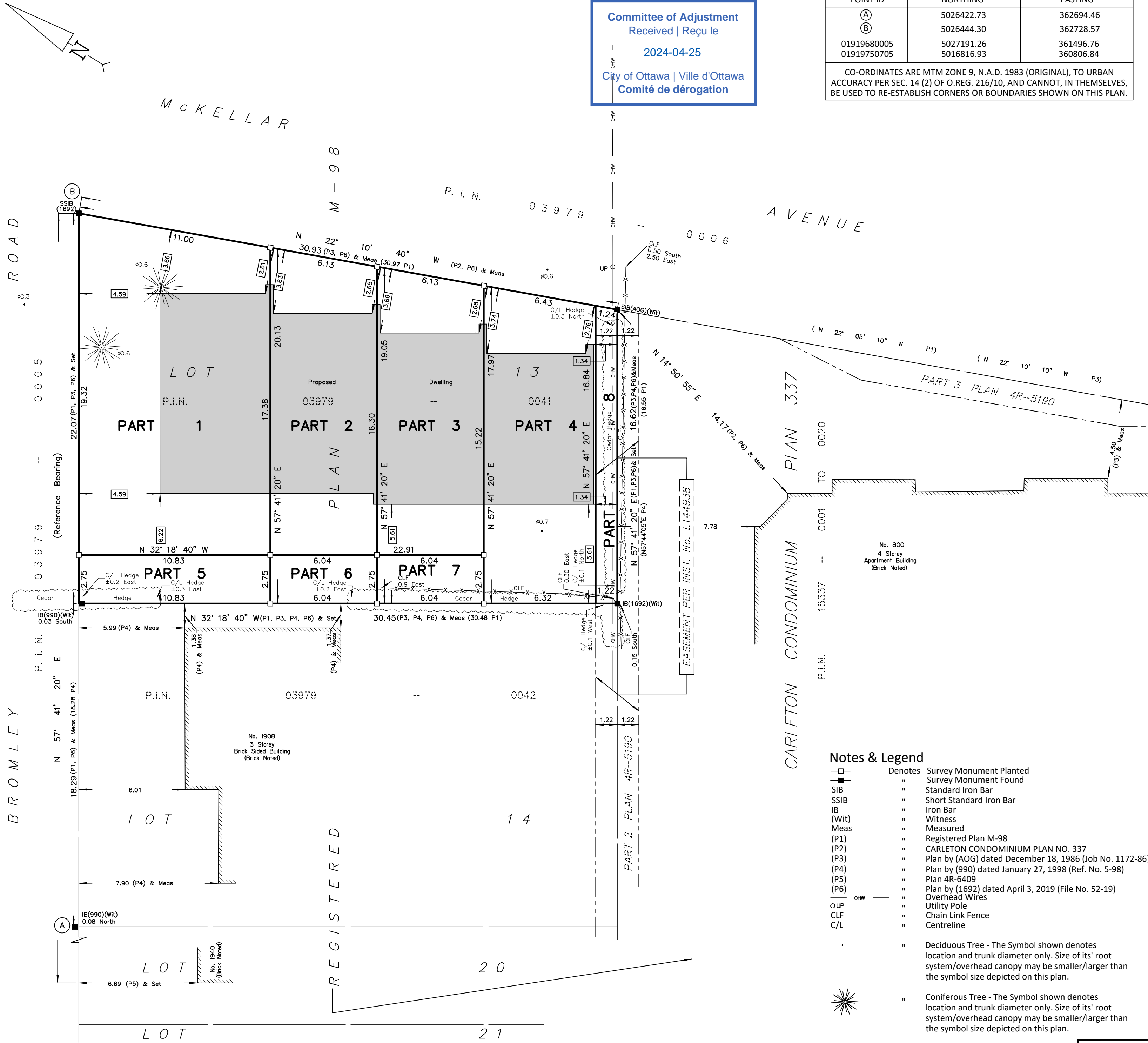
**PLAN 4R-**  
RECEIVED AND DEPOSITED  
DATE: \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF  
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	ALL OF 13	M-98	ALL OF 03979 - 0041	198.7
2				101.6
3				95.1
4				110.2
5				29.8
6				16.6
7				16.6
8				20.4

PART 8 SUBJECT TO EASEMENT PER INST. NO. LT44938

PLAN OF SURVEY OF  
**LOT 13**  
**REGISTERED PLAN M-98**  
**CITY OF OTTAWA**  
FARLEY, SMITH & DENIS SURVEYING LTD. 2024  
Scale 1: 150



**Metric Note**  
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

**Distance Note**  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99993.

**Bearing Note**  
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°22'45" counter-clockwise was applied to bearings on P1, P2, P3, P4 & P5.

**Surveyor's Certificate**

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
- The survey was completed on the \_\_\_ day of \_\_\_\_\_, 2024.

Date: \_\_\_\_\_  
Emad Alrefaai  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

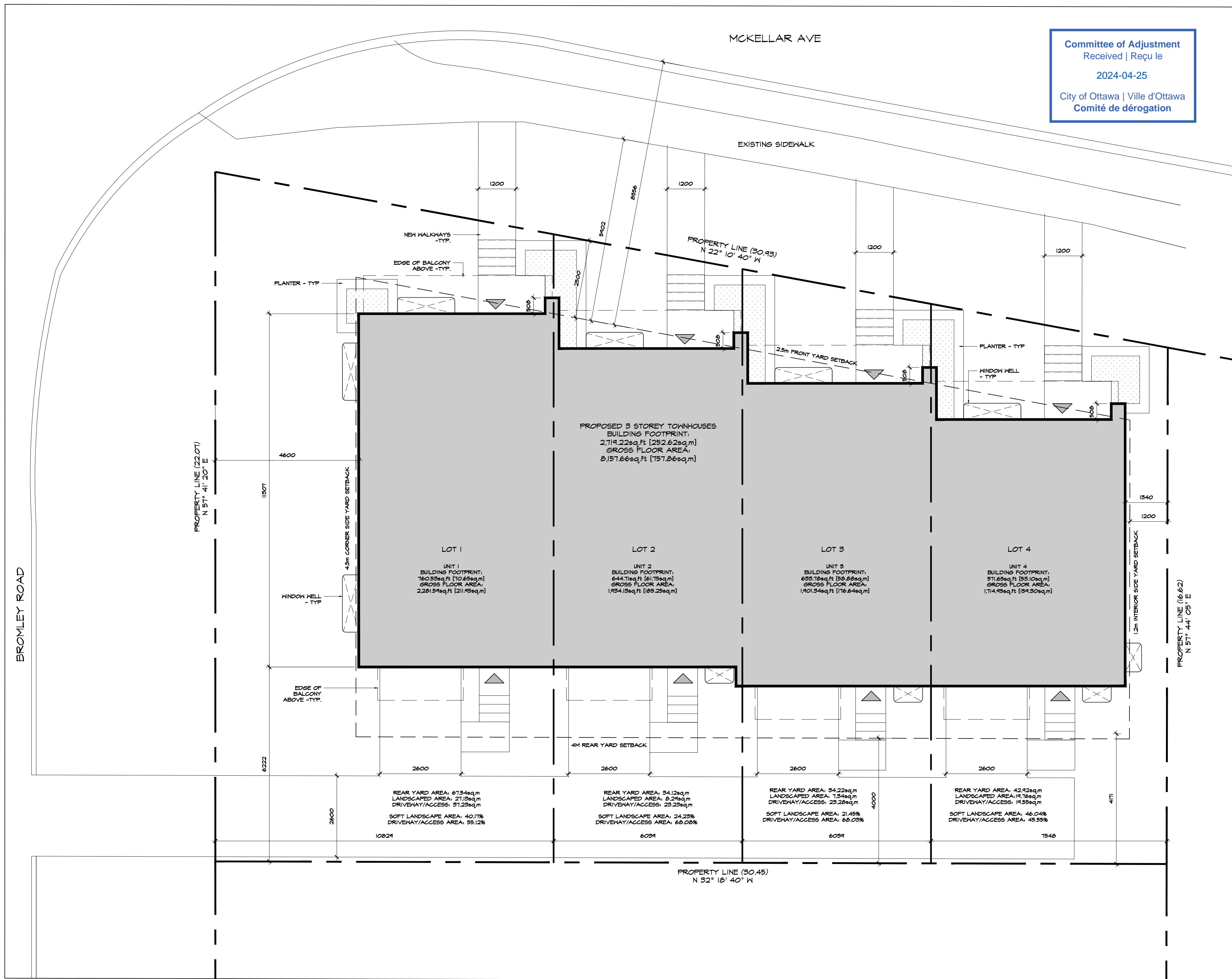
- Notes & Legend**
- Denotes Survey Monument Planted
  - Denotes Survey Monument Found
  - SIB Standard Iron Bar
  - SSIB Short Standard Iron Bar
  - IB Iron Bar
  - (Wit) Witness
  - Meas Measured
  - (P1) Registered Plan M-98
  - (P2) CARLETON CONDOMINIUM PLAN NO. 337
  - (P3) Plan by (AOG) dated December 18, 1986 (Job No. 1172-86)
  - (P4) Plan by (990) dated January 27, 1998 (Ref. No. 5-98)
  - (P5) Plan 4R-6409
  - (P6) Plan by (1692) dated April 3, 2019 (File No. 52-19)
  - OHW Overhead Wires
  - OP Utility Pole
  - CLF Chain Link Fence
  - C/L Centreline
  - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
  - Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

**FARLEY, SMITH & DENIS SURVEYING LTD.**

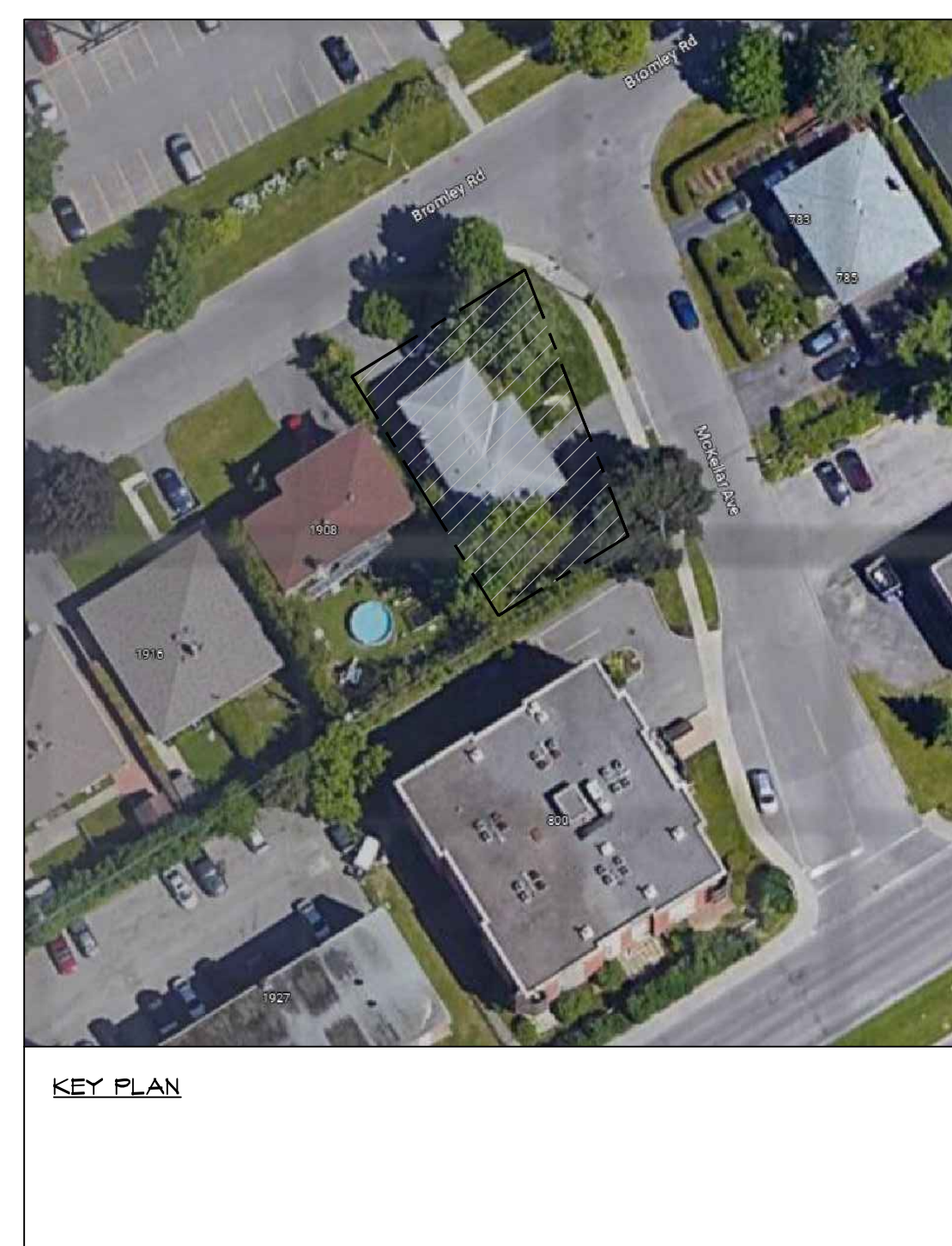
ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL. (613) 727-8226 E-mail: fsdsurveys@bellnet.ca





Committee of Adjustment  
Reçu le  
2024-04-25  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



**AUTOMOBILE PARKING SUMMARY**

REQUIRED PARKING	REQUIRED	PROPOSED
RESIDENT PARKING	NOT REQUIRED	4
VISITOR PARKING	0.1/UNIT (AFTER 12) = 0 REQUIRED	0
TOTAL PROVIDED	0 SPACES	4 SPACE
<b>PROVIDED PARKING</b>		ABOVE GROUND
REGULAR SPACE	MIN. 2.6m x 5.2m	4
TOTAL	= 4 PROVIDED PARKING SPACE	

**CITY OF OTTAWA ZONING BY-LAW**

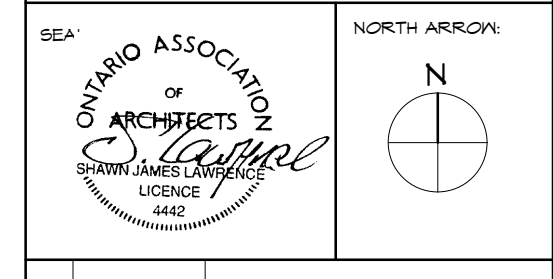
ZONING PROVISIONS	REQUIRED	LOT 1 PROPOSED	LOT 2 PROPOSED	LOT 3 PROPOSED	LOT 4 PROPOSED
<b>R3A, MATURE NEIGHBOURHOOD OVERLAY</b>					
MIN. LOT AREA	180m <sup>2</sup>	228.3m <sup>2</sup>	118.0m <sup>2</sup>	111.4m <sup>2</sup>	130.1m <sup>2</sup>
MIN. LOT WIDTH	6.0m	10.2m	6.0m	6.0m	7.5m
MIN. FRONT YARD SETBACK	4.5m	2.5m	2.5m	2.5m	2.5
MIN. INTERIOR CORNER SIDE YARD SETBACK	4.5m	4.6m	N/A	N/A	N/A
MIN. INTERIOR SIDE YARD SETBACK	1.2m	N/A	N/A	N/A	1.34m
MIN. REAR YARD SETBACK	4.0m	6.2m	6.2m	5.6m	5.6m
MAX. BUILDING HEIGHT	10m	9.9m (TBC)	9.9m (TBC)	9.9m (TBC)	9.9m (TBC)
ALL MEASUREMENTS TAKEN BASED ON GEOTAXA INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE VALUES					

**LEGEND**

- NEW OVERHEAD DOOR
- NEW DOOR/ENTRANCE
- PROPOSED RIVERSTONE MULCH
- EXISTING VEGETATION REFER TO LANDSCAPE DWGS
- BICYCLE PARKING SPACE (1.8mX0.6m)
- NO PARKING LINES
- PROPOSED PRECAST CONCRETE PAVERS
- PROPOSED SOD - REFER TO LANDSCAPE DWGS
- NEW SAWCUT CONCRETE SIDEWALK
- PARKING STALL COUNT PER ROW
- NEW SIGN, REFER TO SIGN LEGEND
- STREET LIGHT
- HYDRO POST
- DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
- TWO WAY TRAFFIC
- DEPRESSED CURB (DC)
- PROPERTY LINE
- EXISTING FENCE
- MINIMUM SETBACKS (ZONING)
- NEW CONSTRUCTION
- NEW CONSTRUCTION ABOVE
- EXISTING BUILDINGS
- \*REFER TO LANDSCAPE DWGS

CLIENT NAME  
**Durabuilt**

NOTES:  
1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS  
2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
3) DO NOT SCALE DRAWINGS.  
4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



01 PROPOSED SITE PLAN  
A1.0 SCALE: 1/16

NO.	DATE	REVISION
05	2024.04.05	ISSUED FOR MINOR VARIANCE
07	2024.02.22	ISSUED FOR COORDINATION
06	2024.01.11	ISSUED FOR REVIEW
05	2024.01.10	ISSUED FOR REVIEW
04	2023.12.06	ISSUED FOR REVIEW
03	2023.11.16	ISSUED FOR REVIEW
02	2023.10.11	ISSUED FOR REVIEW
01	2023.09.26	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED  
18 DEAKIN STREET SUITE 209 OTTAWA, ONTARIO K2E 8B7  
T: (613) 794-1110 F: (613) 794-1105 sjl@sjlarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**MCKELLAR AVE**  
706 MCKELLAR AVE, OTTAWA, ON

SHEET TITLE:  
**PROPOSED SITE PLAN**

DRAWN BY:  
D.T.

CHECKED BY:  
B.L., S.J.L.

PLOT DATE:  
2024.04.05

PROJECT DATE:  
2023.09.16

JOB NUMBER:  
BL-1107-23

SCALE:  
AS SHOWN

SHEET NUMBER:  
**A1.0**

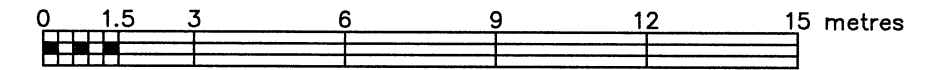


TOPOGRAPHIC PLAN OF SURVEY OF

LOT 13  
REGISTERED PLAN M-98  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2019

Scale 1: 150



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

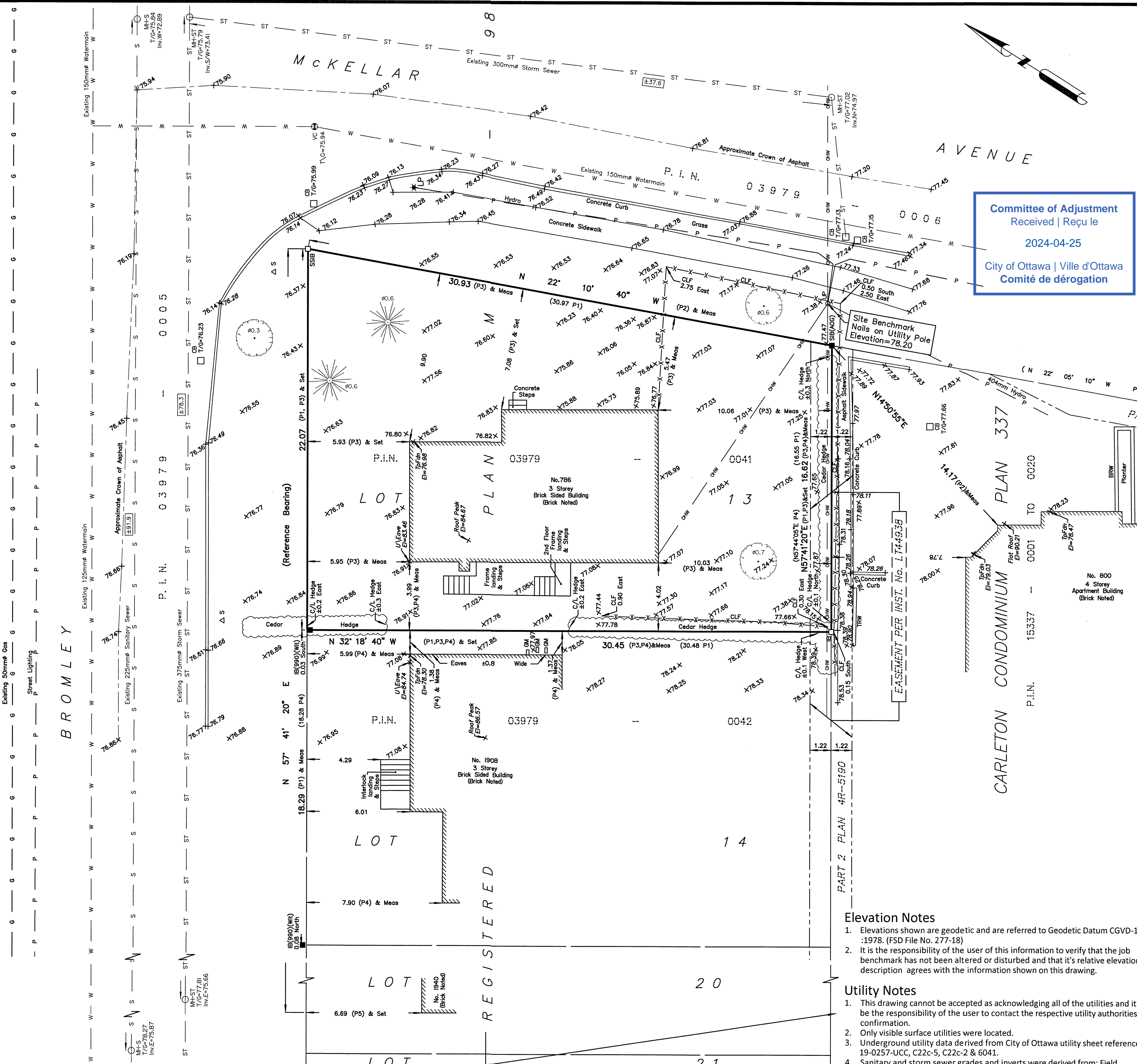
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99993.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°22'45" counter-clockwise was applied to bearings on P1, P2, P3, P4 & P5.

Committee of Adjustment  
Received | Reçu le  
2024-04-25  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
(Wit)	"	Witness
Meas	"	Measured
(P1)	"	Registered Plan M-98
(P2)	"	CARLETON CONDOMINIUM PLAN NO. 337
(P3)	"	Plan by (AOG) dated December 18, 1986 (Job No. 1172-86)
(P4)	"	Plan by (990) dated January 27, 1998 (Ref. No. 5-98)
(P5)	"	Plan 4R-6409
+ 65.00	"	Location of Elevations
+ 65.00	"	Top of Concrete Curb/Retaining Wall Elevation
○ MH-ST	"	Maintenance Hole (Storm)
○ MH-S	"	Maintenance Hole (Sanitary)
○ VC	"	Valve Chamber (Watermain)
— ST	"	Underground Storm Sewer
— S	"	Underground Sanitary Sewer
— W	"	Underground Water
— P	"	Underground Power
— G	"	Underground Gas
— OHW	"	Overhead Wires
○ UP	"	Utility Pole
□ CB	"	Catch Basin
□ GM	"	Gas Meter
△ S	"	Sign
CLF	"	Chain Link Fence
BRW	"	Brick Retaining Wall
TRW	"	Timber Retaining Wall
U/Eave	"	Underside of Eave
TpFdn	"	Top of Foundation
C/L	"	Centreline
○	"	Deciduous Tree
★	"	Coniferous Tree

Elevation Notes

- Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (FSD File No. 277-18)
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- Underground utility data derived from City of Ottawa utility sheet reference: 19-0257-UCC, C22c-5, C22c-2 & 6041.
- Sanitary and storm sewer grades and inverts were derived from: Field measurement.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
- The survey was completed on the 27th day of March, 2019.

April 3/19  
Date

Jamie Leslie  
Ontario Land Surveyor

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5  
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FILE No.: 52-19

TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

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ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM

2081208



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Regulation 1026, Section 29 (3).



NOTES:  
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
 3) DO NOT SCALE DRAWINGS.  
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

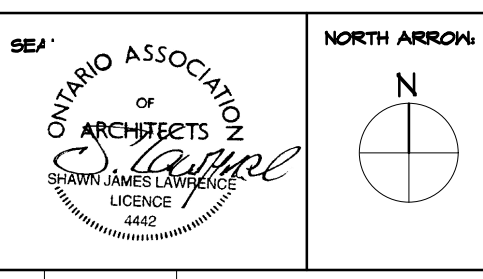
Committee of Adjustment  
 Received | Reçu le  
 2024-04-25  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



01 EAST [FRONT] ELEVATION  
 A4.0 SCALE: 3/16"=1'-0"



02 EAST [FRONT] PERSPECTIVE  
 A4.0 SCALE: N/A



No.	DATE	REVISION
07	2024.04.08	ISSUED FOR MINOR VARIANCE
06	2024.01.17	ISSUED FOR REVIEW
05	2024.01.10	ISSUED FOR REVIEW
04	2023.12.07	ISSUED FOR REVIEW
03	2023.11.16	ISSUED FOR REVIEW
02	2023.10.17	ISSUED FOR REVIEW
01	2023.04.26	ISSUED FOR REVIEW

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PROJECT:  
 MCKELLAR AVE  
 786 MCKELLAR AVE, OTTAWA, ON

SHEET TITLE:  
 ELEVATIONS  
 DRAWN BY:  
 D.T., B.L.  
 CHECKED BY:  
 B.L., S.J.L.  
 PROJECT DATE:  
 2024.04.08  
 PLOT DATE:  
 2024.04.08  
 JOB NUMBER:  
 SL-1107-23  
 SHEET NUMBER:

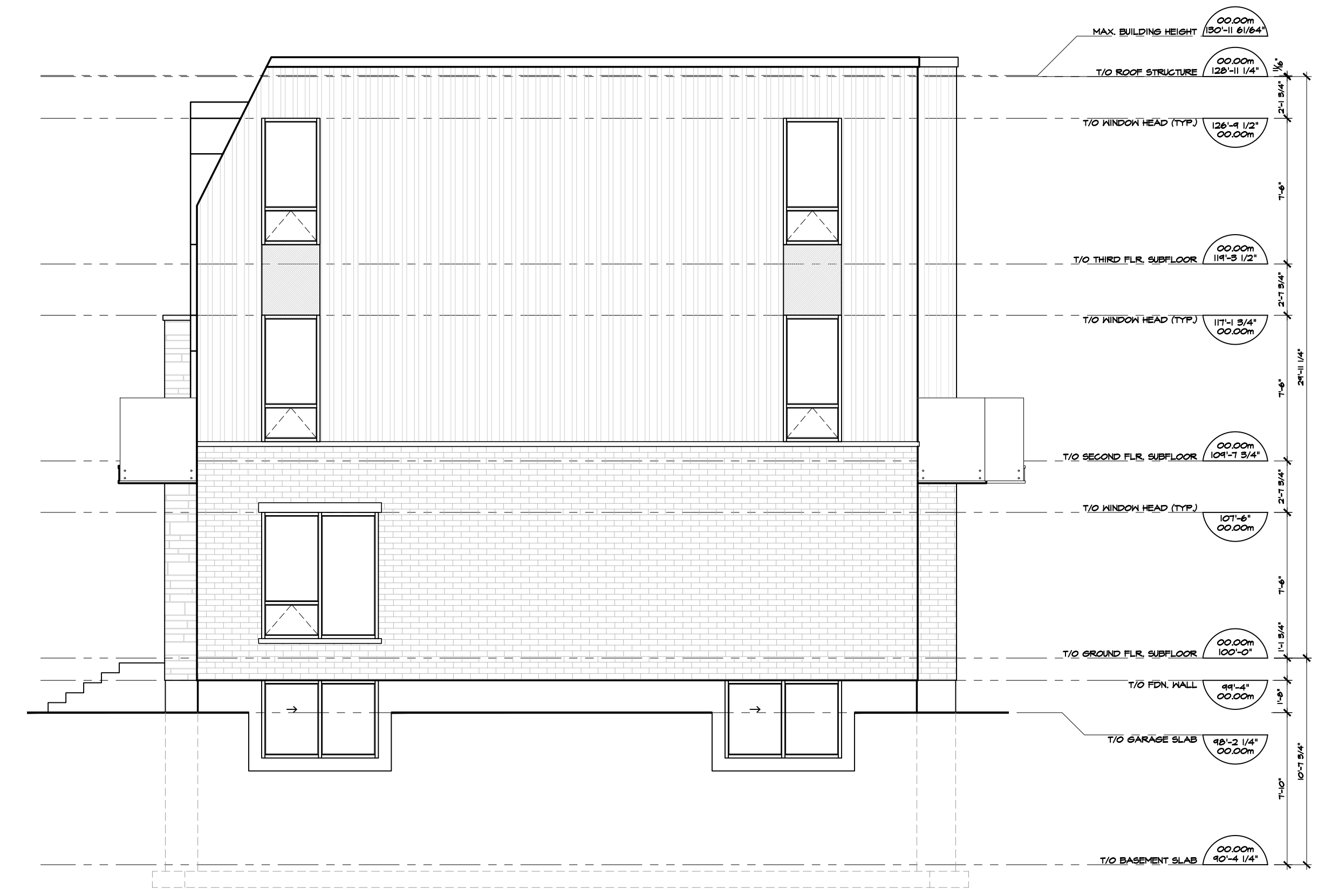


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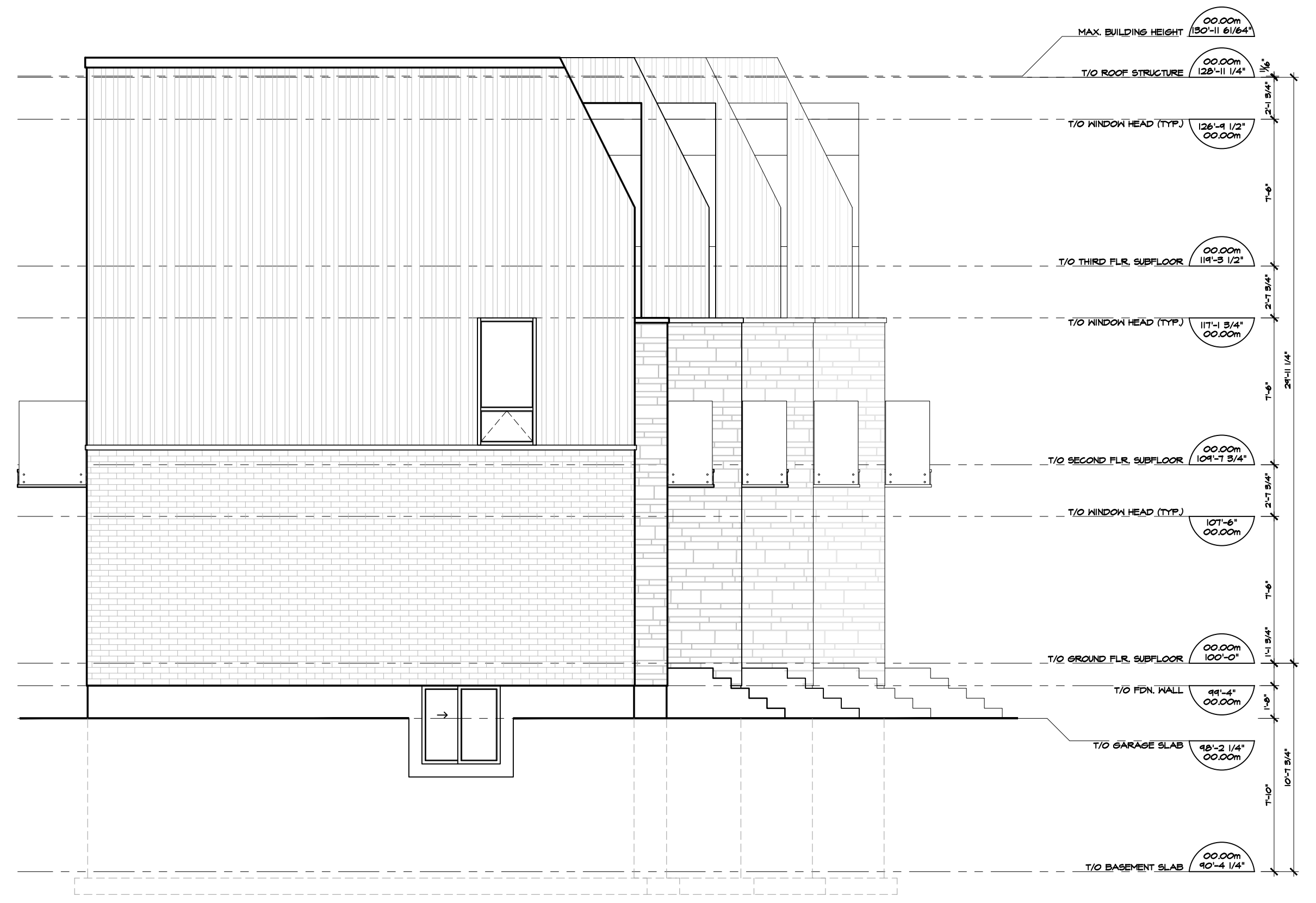
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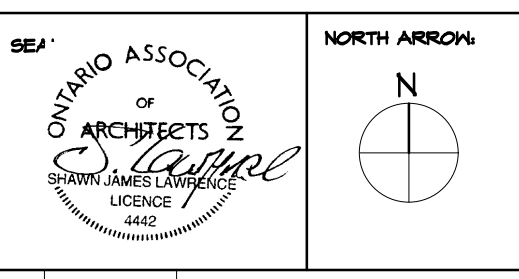
01 WEST [REAR] ELEVATION  
 A4.1 SCALE: 3/16"=1'-0"



02 NORTH [RIGHT] ELEVATION  
 A4.1 SCALE: 3/16"=1'-0"



03 SOUTH [LEFT] ELEVATION  
 A4.1 SCALE: 3/16"=1'-0"



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01	2023.09.26	ISSUED FOR REVIEW

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SHEET TITLE:  
 ELEVATIONS

DRAWN BY: D.T., B.L.	CHECKED BY: B.L., S.J.L.
PLOT DATE: 2024.04.08	PROJECT DATE: 2023.09.16
JOB NUMBER: SL-1107-23	SCALE: AS SHOWN
SHEET NUMBER:	