

PART SCHEDULE				
PART	LOT	CONCESSION	GEOGRAPHIC TOWNSHIP OF	INST. N°
1	W/2 13	8	HUNTLEY	NS 48300

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE REGISTRY ACT.

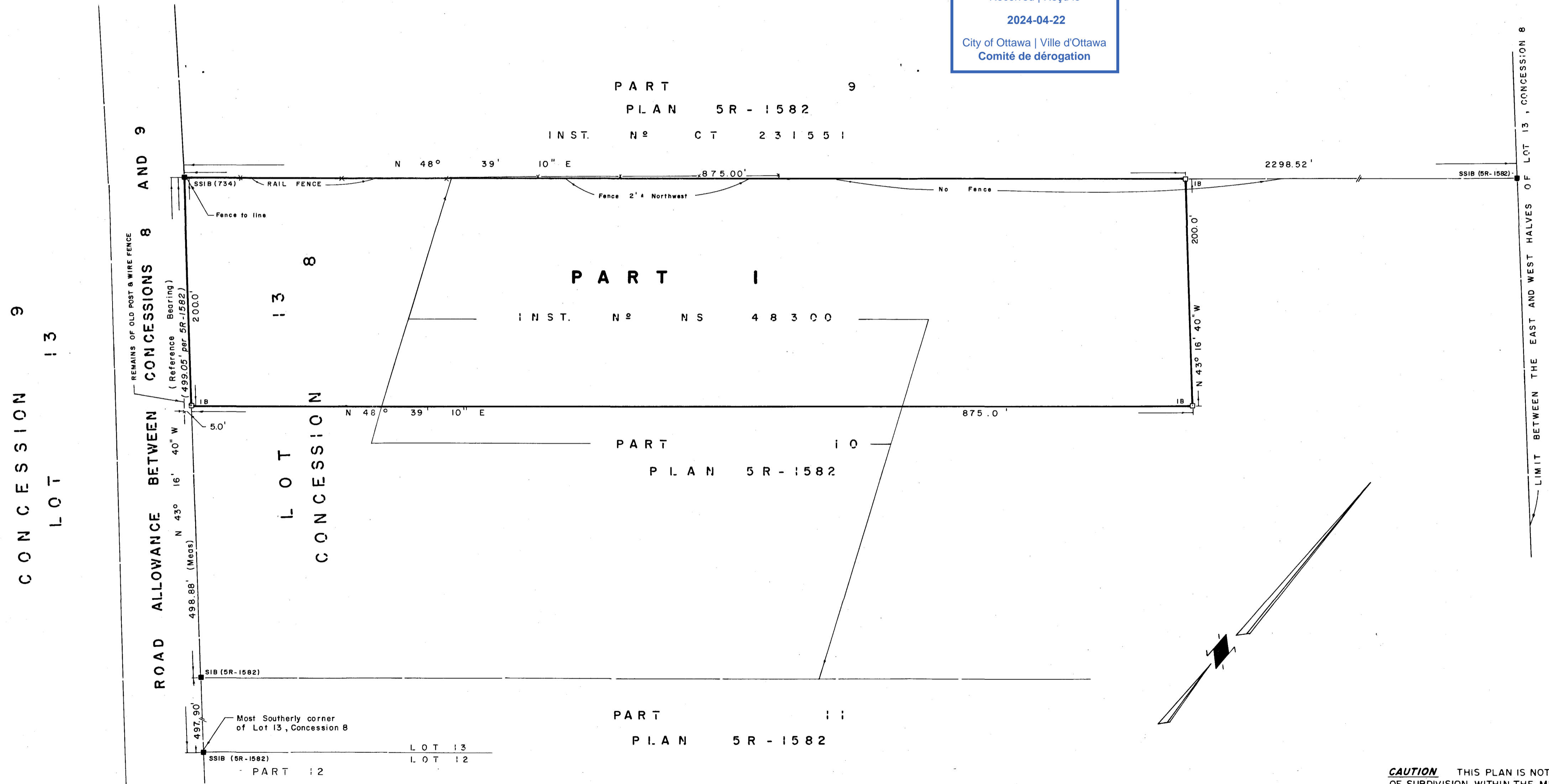
PLAN 5R-9315  
RECEIVED AND DEPOSITED  
DATE 19 SEPT. 1985

DATE SEPTEMBER 19, 1985

ASST. DEP. *J. Richichi*  
LAND REGISTRAR FOR THE REGISTRY DIVISION OF OTTAWA - CARLETON (N°5)

*D. Woodland*  
DAVID W. WOODLAND

Committee of Adjustment  
Received | Reçu le  
2024-04-22  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



PLAN OF SURVEY OF  
**PART OF THE WEST HALF OF LOT 13, CONCESSION 8**  
GEOGRAPHIC TOWNSHIP OF HUNTLEY  
TOWNSHIP OF WEST CARLETON  
REGIONAL MUNICIPALITY OF OTTAWA-CARLETON  
SCALE 1 Inch = 60 Feet

DAVID W. WOODLAND O.L.S.  
1985

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE REGISTRY ACT AND THE REGULATIONS MADE THEREUNDER  
2. THE SURVEY WAS COMPLETED ON THE 4th DAY OF SEPTEMBER 1985

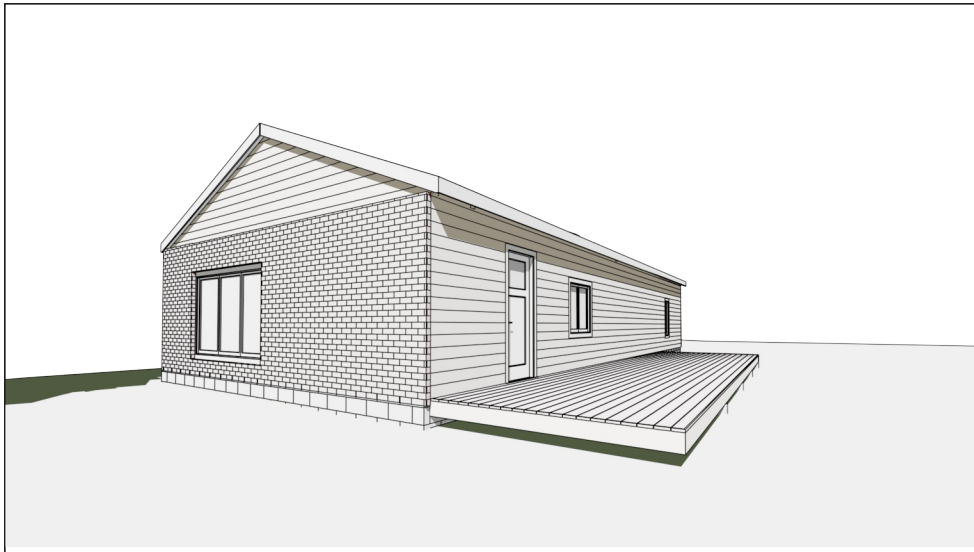
September 19, 1985  
DATE *D. Woodland*  
DAVID W. WOODLAND  
ONTARIO LAND SURVEYOR

**NOTES**  
1. BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO SOUTH-WESTERLY LIMIT OF PARTS 10BII, PLAN 5R-1582 HAVING A BEARING OF N 43° 16' 40" W

**LEGEND**  
 \* - DENOTES SURVEY MONUMENT, FOUND.  
 O - DENOTES SURVEY MONUMENT, SET.  
 S.I.B. - DENOTES STANDARD IRON BAR.  
 S.S.I.B. - DENOTES SHORT STANDARD IRON BAR.  
 I.B. - DENOTES IRON BAR.  
 R - DENOTES ROUND.  
 WIT - DENOTES WITNESS.  
 (734) - DENOTES J.D. BARNES O.L.S.

**CAUTION** THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

FAIRHALL, MOFFATT & WOODLAND LIMITED ONTARIO LAND SURVEYORS OTTAWA KANATA		
FILE	JOB N° 1433	REF. N° 57-8-HUNTLEY



PROPOSED COACH HOUSE FACADE

# PROUD RESIDENCE

1342 CORKERY ROAD

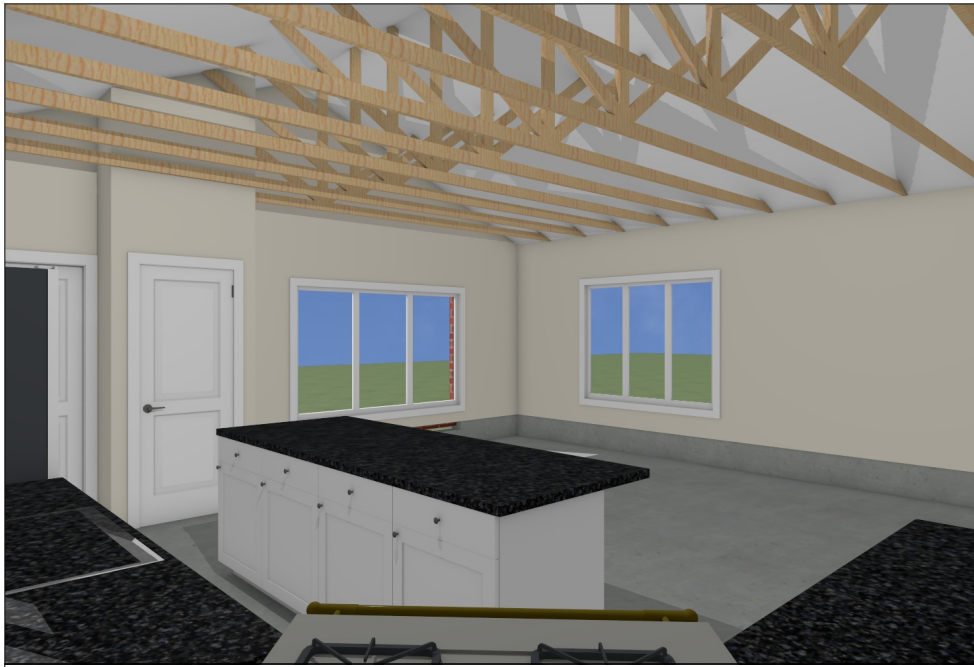
PROPOSED COACH HOUSE FIT UP IN  
EXISTING DET. GARAGE

## PERMIT SET

Committee of Adjustment  
Received | Reçu le

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PROPOSED INTERIOR

### DRAWING LEGEND

LABEL	TITLE
A1	SCOPE & LEGEND
A2	SITE PLAN
A3	DOOR SCHEDULE
A4	DOOR SCHEDULE (CONT'D)
A5	WINDOW SCHEDULE
A6	EXISTING FOUNDATION PLAN
A7	EXISTING GROUND FLOOR
A8	PROPOSED FOUNDATION PLAN
A9	PROPOSED GROUND FLOOR
A10	FRONT & REAR ELEVATIONS
A11	SIDE ELEVATIONS
A12	CROSS SECTION & DETAILS
A13	CONSTRUCTION ASSEMBLIES
A14	GENERAL NOTES

### SCOPE OF WORK

- NEW WOOD FRAMING
- NEW ENGINEERED FROST PROTECTION
- NEW MILLWORK
- NEW WINDOWS & DOORS
- PLUMBING & ELECTRICAL TO SUIT
- NEW INTERIOR FINISHES



I BASSAM ELSARAJ REVIEW AND TAKE RESPONSIBILITIES FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE 2012 O.B.C. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATAGORIES.

DESIGNER BCIN: 37385  
FIRM BCIN: 40889

SIGNATURE OF MEMBER:

SQURE FTG:	EXISTING	NEW
BSMNT/FDN:	--- ft <sup>2</sup>	--- ft <sup>2</sup>
GRND FLR:	1,233 ft <sup>2</sup>	--- ft <sup>2</sup>
2ND FLOOR:	--- ft <sup>2</sup>	--- ft <sup>2</sup>
2ND FLOOR:	--- ft <sup>2</sup>	--- ft <sup>2</sup>

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SCALE: AS SHOWN

DRAWING TITLE:

SCOPE & LEGEND

REVISION TABLE		
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-02-28

DATE: APRIL 6, 2024

PROJECT NUMBER:

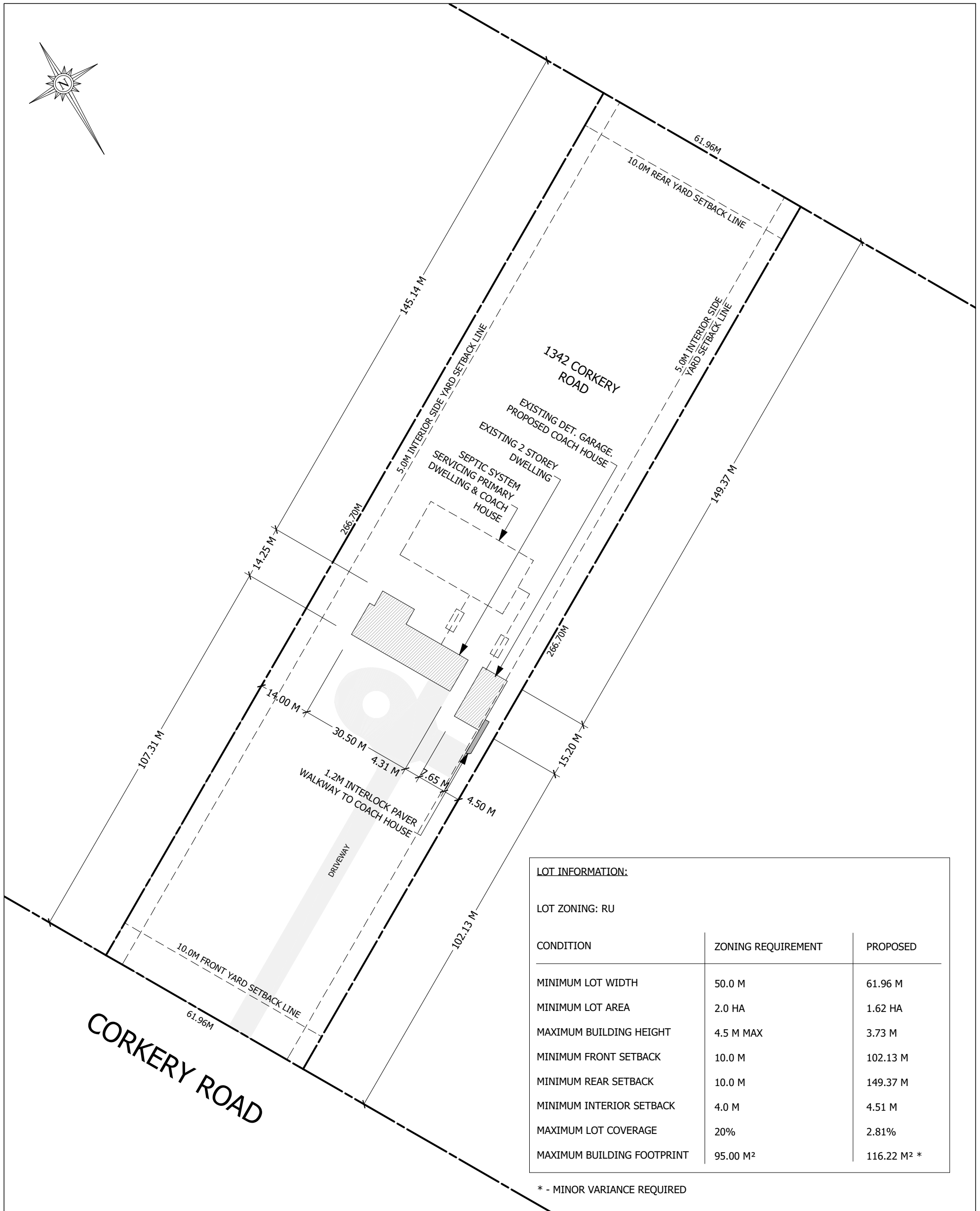
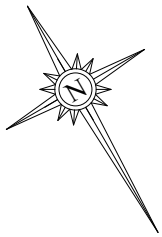
2348

DRAWN BY:

B.E.

SHEET:

A1



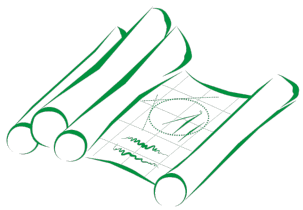
**LOT INFORMATION:**

LOT ZONING: RU

CONDITION	ZONING REQUIREMENT	PROPOSED
MINIMUM LOT WIDTH	50.0 M	61.96 M
MINIMUM LOT AREA	2.0 HA	1.62 HA
MAXIMUM BUILDING HEIGHT	4.5 M MAX	3.73 M
MINIMUM FRONT SETBACK	10.0 M	102.13 M
MINIMUM REAR SETBACK	10.0 M	149.37 M
MINIMUM INTERIOR SETBACK	4.0 M	4.51 M
MAXIMUM LOT COVERAGE	20%	2.81%
MAXIMUM BUILDING FOOTPRINT	95.00 M <sup>2</sup>	116.22 M <sup>2</sup> *

\* - MINOR VARIANCE REQUIRED

**1** SITE PLAN  
**A2** 1 M = 1000 M



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 OTTAWA, ONTARIO K2C 3N6  
 613-255-3425 | SERVICES@CLEARDRAFTING.COM

PROJECT TITLE:  
**PROUD RESIDENCE**  
 1342 CORKERY ROAD CARP, ONTARIO

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**SITE PLAN**

REVISION TABLE		
NO.	DESCRIPTION	DATE
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2	SITE PLAN REVISIONS	2024-04-06

DATE: APRIL 6, 2024

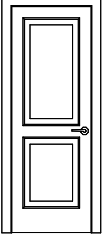
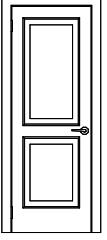
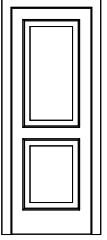
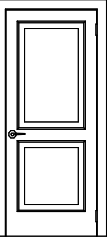
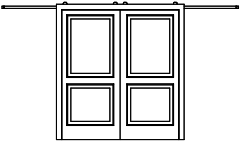
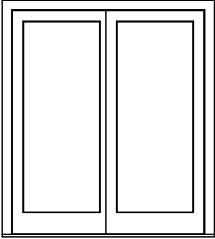
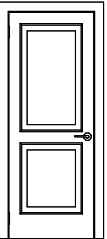
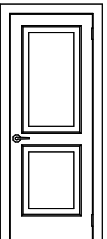
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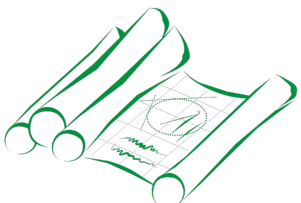
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**B.E.**

SHEET:

**A2**

# DOOR SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	ROOM NAME	3D EXTERIOR ELEVATION
D01	1	1	28"	80"	30"X82 1/2"	HINGED-DOOR P04	CLOSET/PRIMARY BEDROOM	
D02	1	1	28"	80"	30"X82 1/2"	HINGED-DOOR P04	HALL/BATH	
D03	1	1	28"	80"	57 1/4"X82 1/2"	POCKET-DOOR P04	ENSUITE/PRIMARY BEDROOM	
D04	1	1	32"	80"	34"X82 1/2"	HINGED-DOOR P04	HALL/LAUNDRY/UTILITY	
D05	1	1	72"	80"	74"X82 1/2"	DOUBLE BARN-DOOR P04	HALL/BEDROOM 2	
D06	1	1	72"	84"	74"X87"	EXT. SLIDER-GLASS PANEL	PRIMARY BEDROOM	
D07	1	1	30"	80"	32"X82 1/2"	HINGED-DOOR P04	HALL/PRIMARY BEDROOM	
D08	1	1	29"	80"	31"X82 1/2"	HINGED-DOOR P04	PANTRY/ENTRY	



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**DOOR SCHEDULE**

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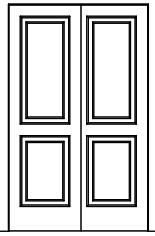
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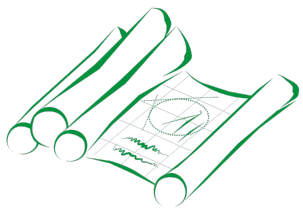
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**B.E.**

SHEET:

**A3**

# DOOR SCHEDULE (CONT'D)

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	ROOM NAME	3D EXTERIOR ELEVATION
D09	1	1	49"	80"	51"X82 1/2"	SLIDER-DOOR P04	CLOSET/ENTRY	



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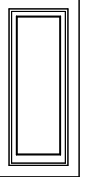
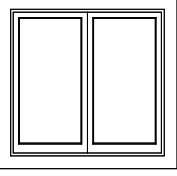

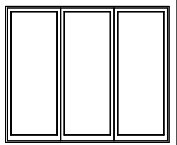
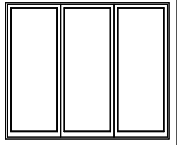
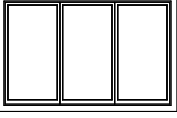
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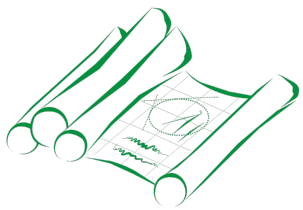
DRAWN BY:  
**B.E.**

SHEET:

**A4**

# WINDOW SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	ARCH	DESCRIPTION	ROOM NAME	3D EXTERIOR ELEVATION
W01	1	1	18"	48"	19"X49"		SINGLE CASEMENT-HL	ENSUITE	
W02	1	1	42"	40"	43"X41"		DOUBLE CASEMENT-RHL	KITCHEN/DECK	
W03	1	1	72"	18"	73"X19"		SINGLE AWNING	PRIMARY BEDROOM	
W04	1	1	72"	60"	73"X61"		TRIPLE CASEMENT-CHL/RHL	BEDROOM 2	
W05	1	1	72"	60"	73"X61"		TRIPLE CASEMENT-CHL/RHL	LIVING/DINING	
W06	1	1	96"	60"	97"X61"		TRIPLE CASEMENT-CHL/RHL	LIVING/DINING	



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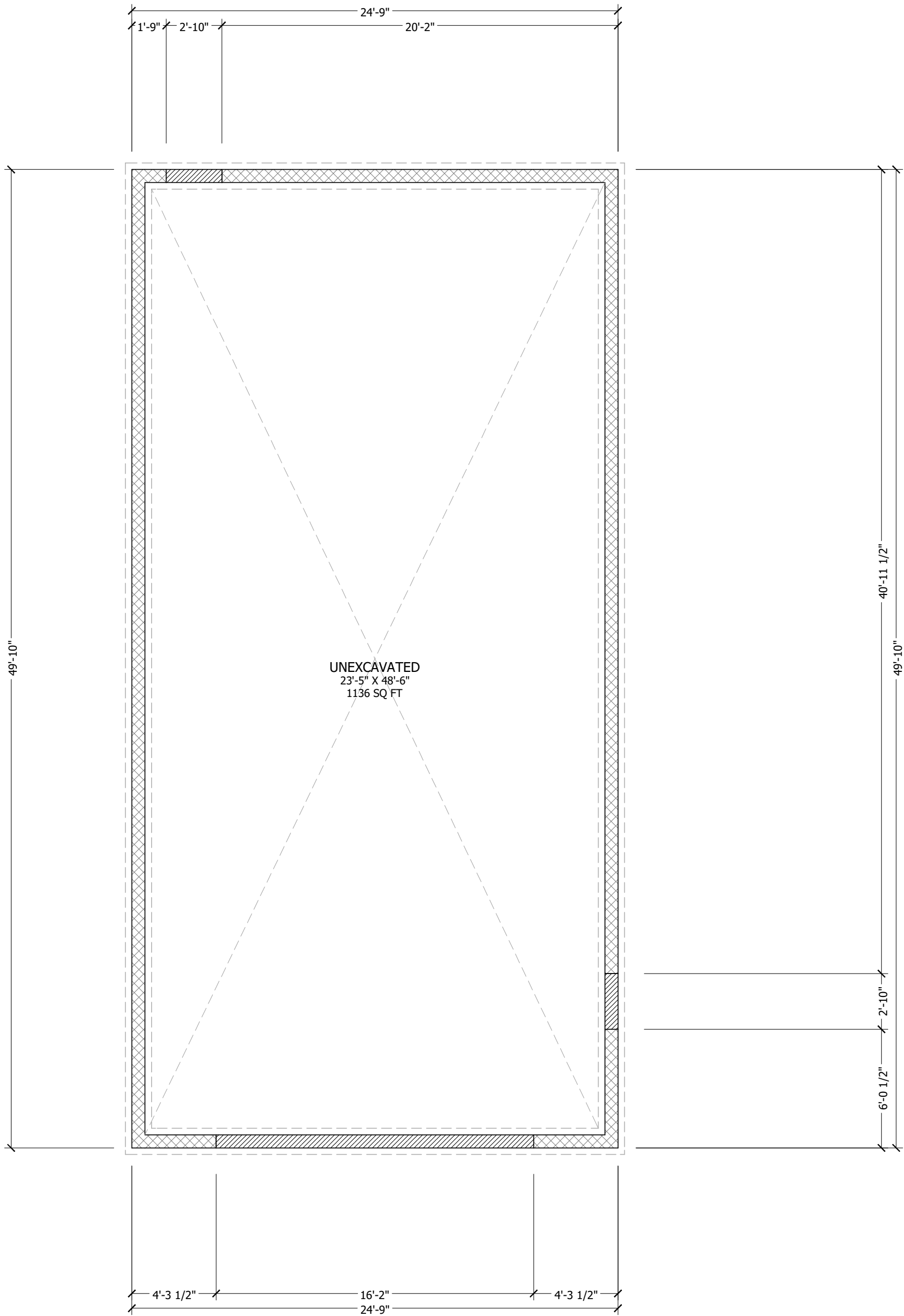
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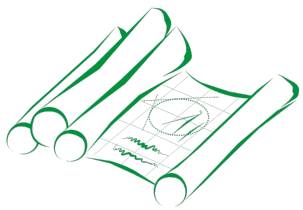
**B.E.**

SHEET:

**A5**



**1** EXISTING FOUNDATION  
**A6** 3/16 IN = 1 FT



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SCALE: AS SHOWN

DRAWING TITLE:

**EXISTING FOUNDATION PLAN**

REVISION TABLE		
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-02-28
2	FDN & ASSEM. REVS	2024-04-06

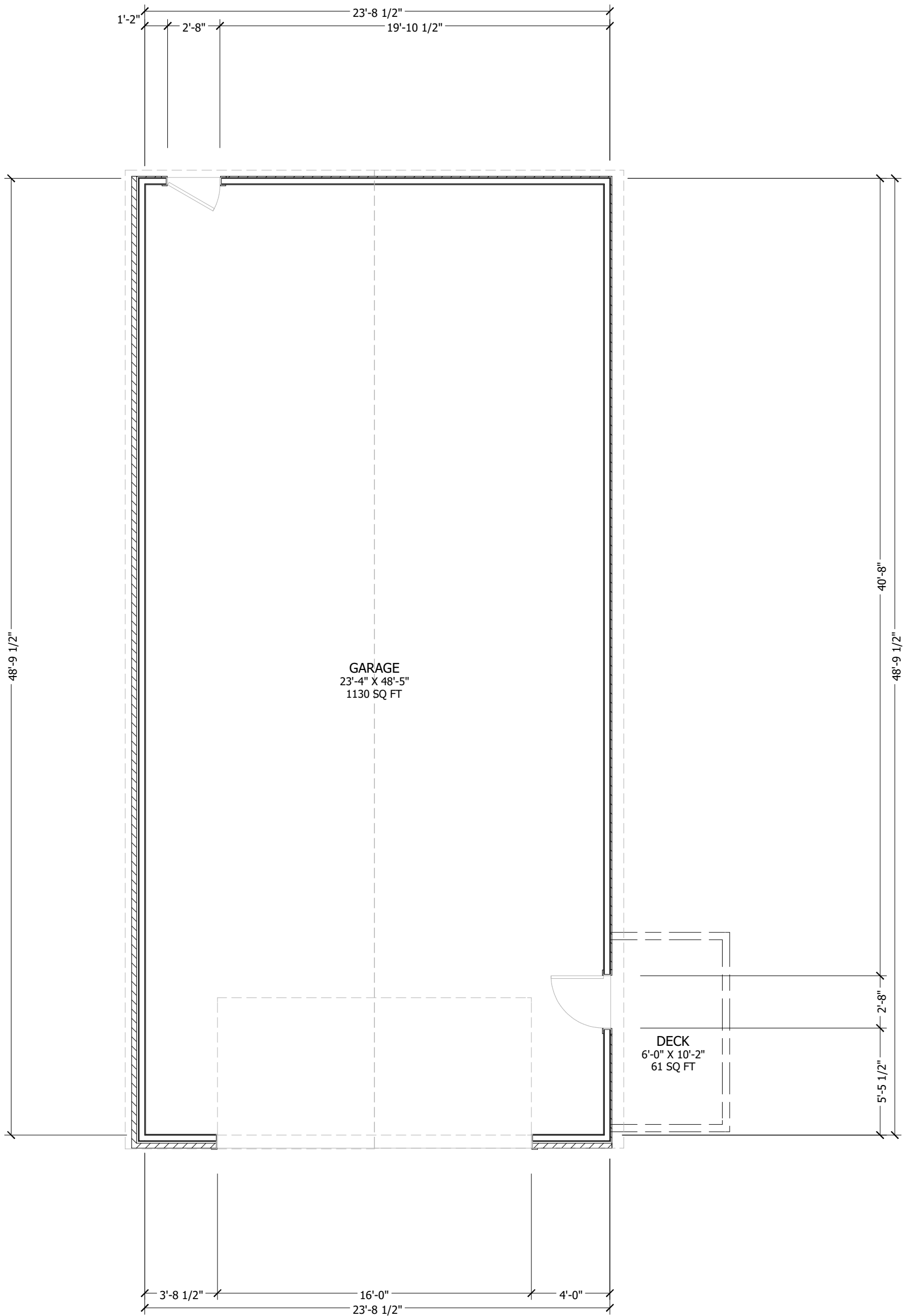
DATE: APRIL 6, 2024

PROJECT NUMBER:  
**2348**

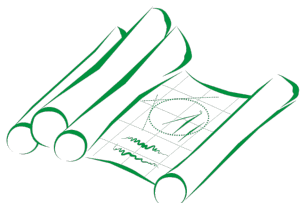
DRAWN BY:  
**B.E.**

SHEET:

**A6**



**1** EXISTING GROUND FLOOR  
**A7** 3/16 IN = 1 FT



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 613-255-3425 | SERVICES@CLEARDRAFTING.COM

PROJECT TITLE:  
**PROUD RESIDENCE**  
 1342 CORKERY ROAD CARP, ONTARIO

I BASSAM ELSARAJ REVIEW AND TAKE RESPONSIBILITIES FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE 2012 O.B.C. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

DESIGNER BCIN: 37385  
 FIRM BCIN: 40889

SIGNATURE OF MEMBER:

SQURE FTG:	EXISTING	NEW
BSMNT/FDN:	--- ft <sup>2</sup>	--- ft <sup>2</sup>
GRND FLR:	1,233 ft <sup>2</sup>	--- ft <sup>2</sup>
2ND FLOOR:	--- ft <sup>2</sup>	--- ft <sup>2</sup>
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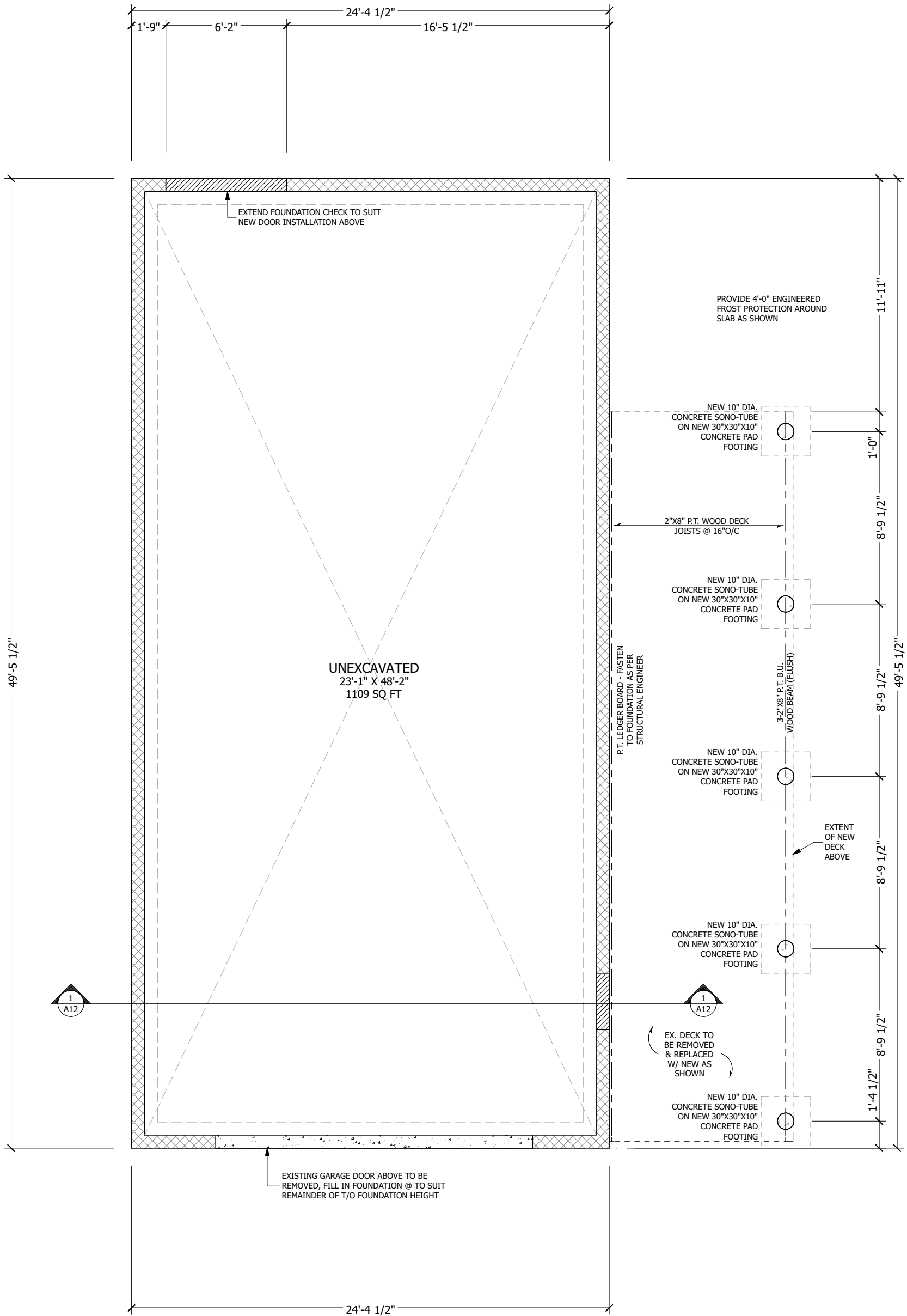
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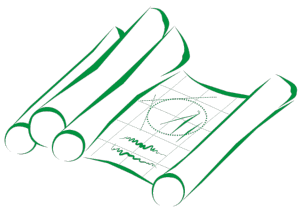
SHEET:

**A7**





**1** PROPOSED FOUNDATION  
**A8** 3/16 IN = 1 FT



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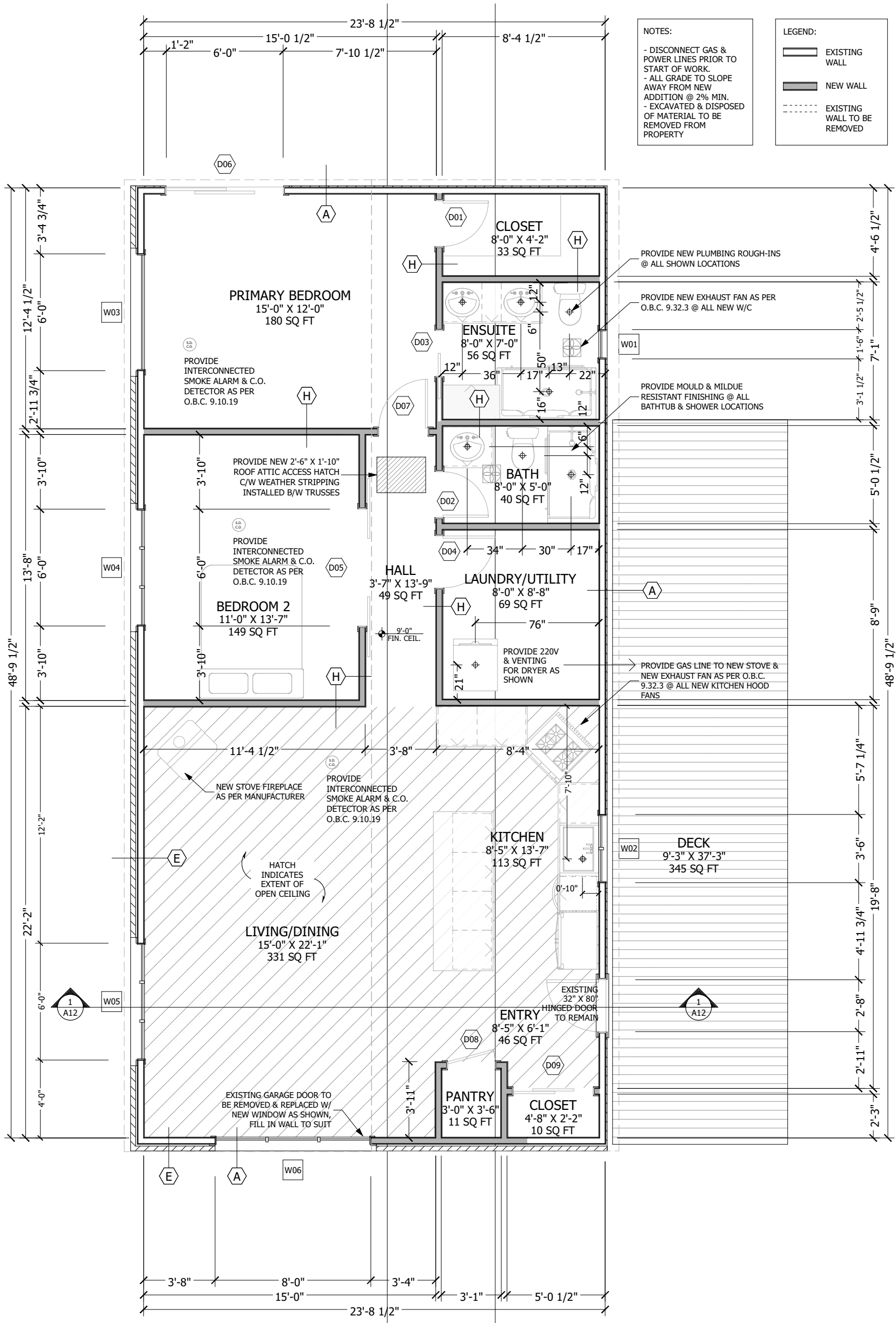
PROJECT NUMBER:  
**2348**

DRAWN BY:  
**B.E.**

SHEET:

**A8**

PROJECT TITLE:  
**PROUD RESIDENCE**  
 1342 CORKERY ROAD CARP, ONTARIO



**NOTES:**

- DISCONNECT GAS & POWER LINES PRIOR TO START OF WORK.
- ALL GRADE TO SLOPE AWAY FROM NEW ADDITION @ 2% MIN.
- EXCAVATED & DISPOSED OF MATERIAL TO BE REMOVED FROM PROPERTY

**LEGEND:**

- EXISTING WALL
- NEW WALL
- EXISTING WALL TO BE REMOVED

**1** PROPOSED GROUND FLOOR  
**A9** 3/16 IN = 1 FT



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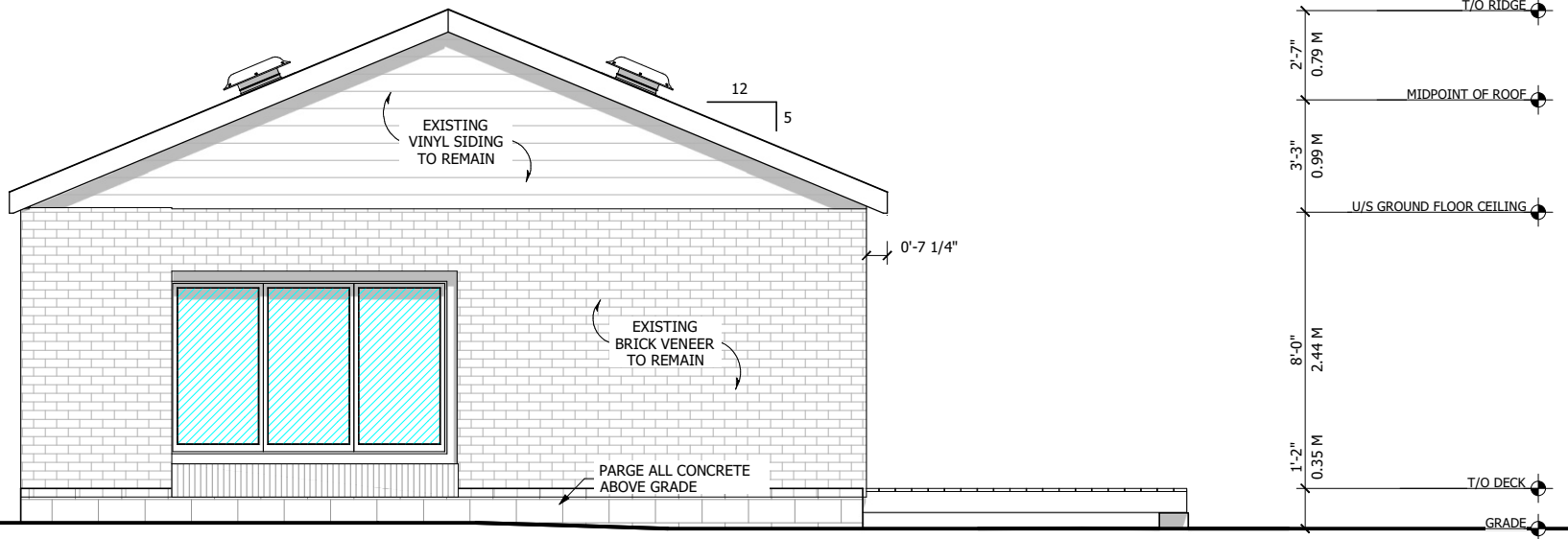
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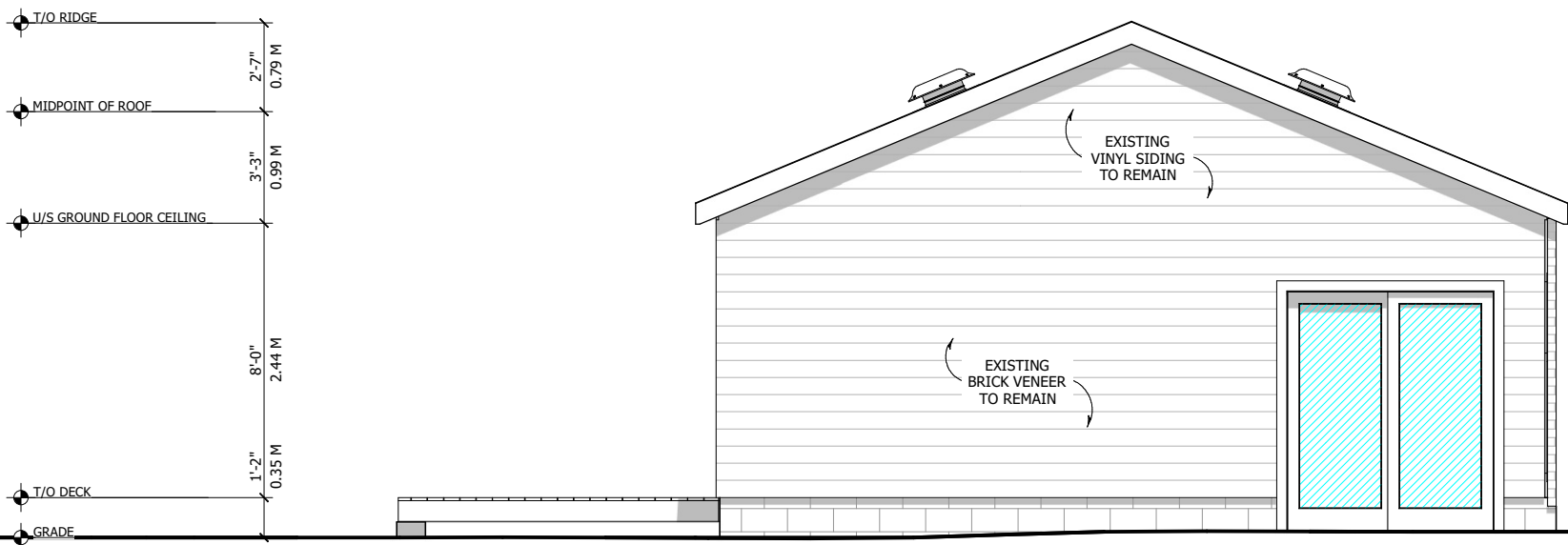
SHEET:

**A9**

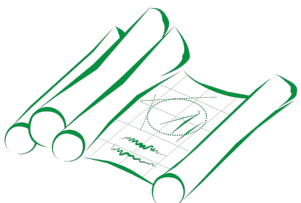
PROJECT TITLE:  
**PROUD RESIDENCE**  
 1342 CORKERY ROAD CARP, ONTARIO



**1** FRONT ELEVATION  
A10 3/16 IN = 1 FT



**2** REAR ELEVATION  
A10 3/16 IN = 1 FT



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**FRONT & REAR ELEVATIONS**

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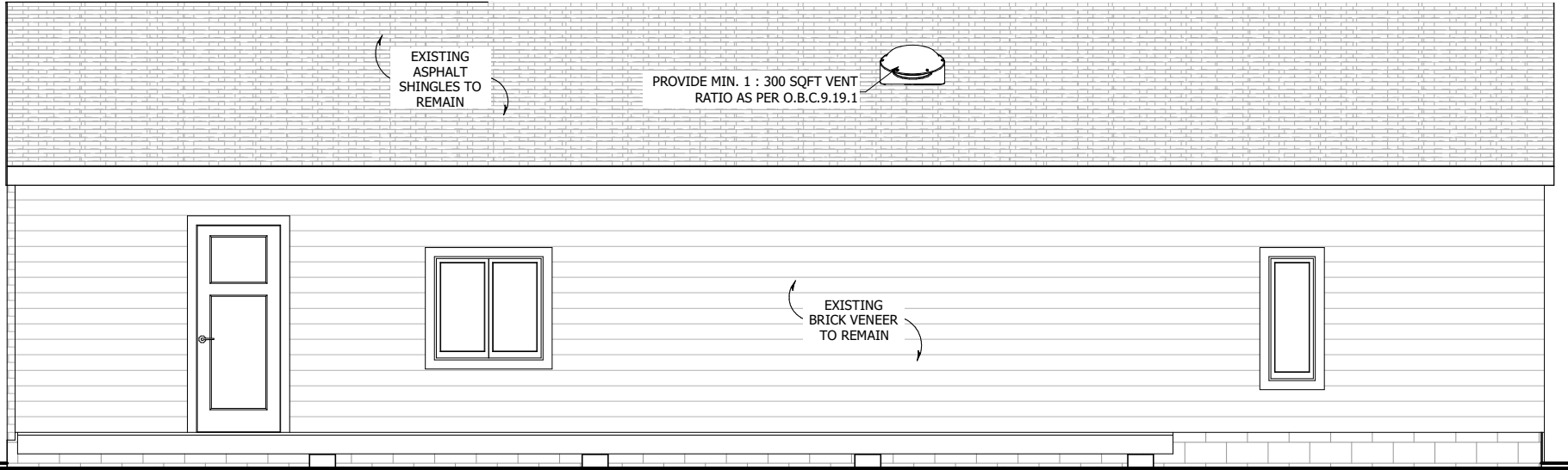
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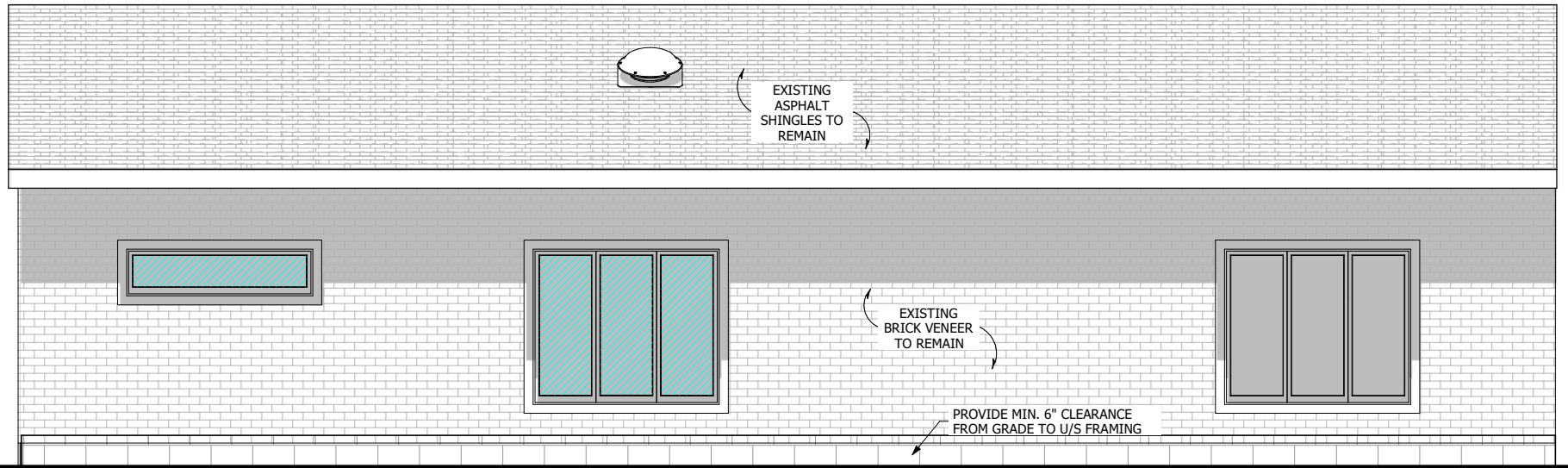
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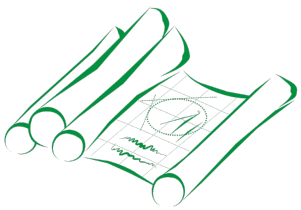
**A10**



1 RIGHT ELEVATION  
A11 3/16 IN = 1 FT



2 LEFT ELEVATION  
A11 3/16 IN = 1 FT



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DRAWING TITLE:

**SIDE ELEVATIONS**

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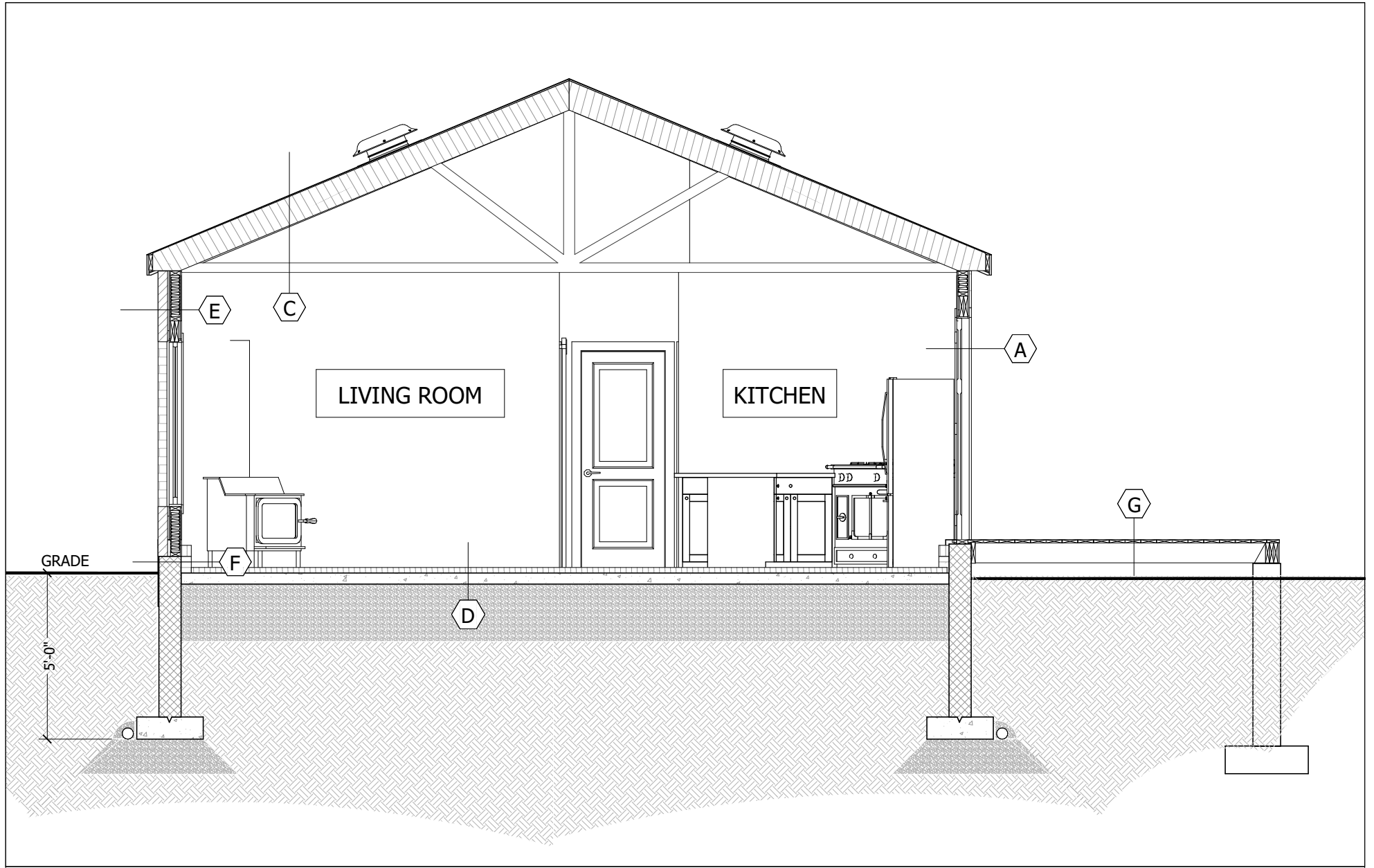
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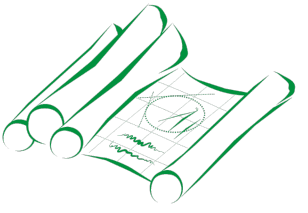
DRAWN BY:  
**B.E.**

SHEET:

**A11**



**1**  
A12 CROSS SECTION  
1/4 IN = 1 FT



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DRAWING TITLE:  
**CROSS SECTION & DETAILS**

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DRAWN BY:  
**B.E.**

SHEET:

**A12**

PROJECT TITLE:  
**PROUD RESIDENCE**  
1342 CORKERY ROAD CARP, ONTARIO

# CONSTRUCTION ASSEMBLIES

## A EXISTING EXTERIOR WALL ASSEMBLY @ VINYL SIDING

- EXISTING VINYL SIDING AS PER MANUFACTURER
- SBPOF WEATHER BARRIER, ALL JOINTS SEALED W/ TAPE
- EXISTING 7/16" O.S.B. SHEATHING
- EXISTING 2X4 STUD WALL @ 16" O/C C/W 4" FIBER GLASS INSULATION (R12)
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 2" RIGID INSULATION (R10 CI)
- 1/2" GYPSUM BOARD- TAPED & SANDED
- PAINT FINISH

## B EXISTING ROOF CONSTRUCTION ASSEMBLY @ 9'-0" FLAT INTERIOR CEILING

- 25 OR 30 YR. SELF SEALING ARCHITECTURAL ASPHALT SHINGLES
- 15 LBS ASPHALT ROOF FELT
- ICE & WATER SHIELD 60" UP FROM FASCIA BOARD
- 7/16" OSB SHEATHING W/ 'H' CLIPS
- EXISTING PRE-ENGINEERED- ROOF TRUSSES @ 24" O/C
- NEW FIBERGLASS BATT INSULATION CELLULOSE R60 MIN.
- INSULATION DEPRESSORS TO PROVIDE 2 1/2" OF CLEAR AIR FLOW ON ROOF SLOPES
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 1X3 STRAPPING @ 16" O/C
- 1/2" GYPSUM BOARD - TAPED & SANDED
- PAINT FINISH

## C EXISTING ROOF CONSTRUCTION ASSEMBLY @ OPEN INTERIOR CEILING

- 25 OR 30 YR. SELF SEALING ARCHITECTURAL ASPHALT SHINGLES
- 15 LBS ASPHALT ROOF FELT
- ICE & WATER SHIELD 60" UP FROM FASCIA BOARD
- 7/16" OSB SHEATHING W/ 'H' CLIPS
- EXISTING PRE-ENGINEERED ROOF TRUSSES @ 24" O/C
- 6" RIGID INSULATION (R31 MIN.), FASTEND TO U/S ROOF SHEATHING W/ 6" CLIMATECK R4 SCREWS @ 16" O/C, MECHANICAL INSTALLATION
- 1X3 STRAPPING @ 16" O/C
- 1/2" GYPSUM BOARD - TAPED & SANDED
- PAINT FINISH

## D NEW BASEMENT SLAB CONSTRUCTION

- FLOOR FINISH, NOT SHOWN
- NEW 1/2" PLYWOOD SHEATHING
- NEW 2" R10 RIGID INSULATION PANELS (R10 CI)
- EXISTING 4" POURED CONCRETE SLAB, SEALED
- 8" CRUSHED STONE COMPACTED TO 95 MPD
- THERMOFOIL
- UNDISTURBED SOIL

## E EXISTING BRICK VENEER WALL ASSEMBLY

- 3 1/2" BRICK VENEER
- 1" AIR SPACE
- SBPOF WEATHER BARRIER, ALL JOINTS SEALED W/ TAPE
- EXISTING SHEATHING
- 2X4 STUD WALL @ 16" O/C C/W 8" INSULATION
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- PAINT FINISH

## F NEW 8" FOUNDATION WALL ASSEMBLY @ FOUNDATION CURB

- AIR GAP MEMBRANE DRAINAGE LAYER
- CEMENT PARGING ABOVE GRADE TO MIN. 3" BELOW GRADE
- MIN. 1 COAT, BELOW GRADE BITUMINOUS DAMPROOFING
- 8" POURED CONCRETE WALL, 20 MPA (2900 PSI) MIN. STRENGTH AFTER 28 DAYS
- 2-15M CONTINUOUS REBARS (W/ 16" LAPS) - TOP & BOTTOM
- 2-15M L-BARS (24"X24") - TOP & BOTTOM OF ALL WALL CORNERS/JUNCTIONS
- 2-15M REBARS BELOW WINDOW OPENINGS (EXTEND 12" PAST EITHER SIDE OF OPENING)
- 15 LBS BUILDING PAPER FROM SLAB TO GRADE (WRAP AROUND 2X4 STUD WALL AT BOTTOM)
- 4" RIGID INSULATION (R20 CI)

## G DECK FLOOR CONSTRUCTION ASSEMBLY @ REAR LANDINGS

- 2"X4" P.T. WOOD SLEEPER PLANKS
- 2"X8" P.T. FLOOR JOISTS @ 16" O/C

## H NEW OR EXISTING 4" INTERIOR NON-LOAD BEARING WALL ASSEMBLY

- PAINT FINISH
- 1/2" GYPSUM BOARD
- 2X4 STUD WALL @ 16" O/C
- 1/2" GYPSUM BOARD
- PAINT FINISH

# NATURAL LIGHT CALCULATION

## LIVING/DINING ROOM

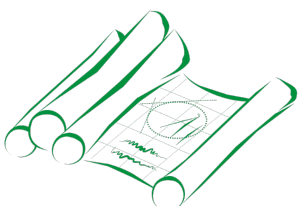
ROOM AREA: 331 SQFT  
 PROPOSED GLAZING: 31.37 SQFT  
 REQUIRED GLAZING (10%): 9.47%

## PRIMARY BEDROOM

ROOM AREA: 180 SQFT  
 PROPOSED GLAZING: 33.85 SQFT  
 REQUIRED GLAZING (5%): 18.80%

## BEDROOM 2

ROOM AREA: 149 SQFT  
 PROPOSED GLAZING: 22.73 SQFT  
 REQUIRED GLAZING (5%): 15.25%



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- TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER SUBMISSION ARE MADE AT THE OWNER'S AND/ OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.

SCALE: AS SHOWN

DRAWING TITLE:

**CONSTRUCTION ASSEMBLIES**

REVISION TABLE		
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-02-28

DATE: APRIL 6, 2024

PROJECT NUMBER:  
**2348**

DRAWN BY:  
**B.E.**

SHEET:

**A13**

# GENERAL NOTES

## NATURAL VENTILATION

INSULATION SHALL BE INSTALLED & OTHER CONSTRUCTION WORK UNDERTAKEN IN A MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH VENTS OR THROUGH ANY PORTION OF THE ROOF SPACE OR ATTIC WHERE NECESSARY TO ENSURE EFFECTIVE AIR CIRCULATION, SPECIAL VENTING DEVICES SUCH AS DUCTS OR BAFFLES SHALL BE INSTALLED.

PROVIDE HEAT RECOVERY VENTILATOR.

INSTALL SMOKE ALARMS AS PER O.B.C. 9.10.18.

## FLASHING

FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERHEAD OF WINDOWS & DOORS IN EXTERIOR WALLS IF DISTANCE BELOW EAVES IS MORE THAN 1/4 OF ROOF OVERHANG.

FLASHING IS REQUIRED @ INTERSECTIONS OF ROOFS & WALLS, VALLEY, & OVER PARAPET WALLS.

FLASHING IS REQUIRED BETWEEN ROOF AND SHINGLES AND WALL SIDING 0.8MM (20 GA) GALVANIZED METAL 75MM (3") UP BEHIND SHEATHING & EXTENDS 75MM (3") HORIZONTALTALLY.

FLASHING IS REQUIRED @ BRICK VENEER & SHALL BE INSTALLED UP TO 200M (8") BEHIND THE BUILDING FELT & BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RAKED CLEAN WEEPHOLES @ 600MM (24") O.C.

## WOOD FRAMING

ALL FRAMING LUMBER MUST CONFORM TO O.B.C. STANDARDS OF SIZES FOR JOISTS, LINTELS, BEAMS, ETC... AS INDICATED ON PLANS UNLESS OTHERWISE NOTED.

ALL WINDOW LINTELS TO BE 2-2X10 UNLESS OTHERWISE NOTED.

ALL LUMBER TO BE SPF #2 OR BETTER, LUMBER EXPOSED TO THE EXTERIOR TO BE SPF #2 OR BETTER, PRESSURE TREATED UNLESS OTHERWISE NOTED.

BEAMS TO HAVE A COLLECTIVE BEARING SIZE OF 89MM (3 1/2") BEARING SIZE. MINIMUM BEARING SIZE FOR LVLS (NORDIC LAM OR EQUIVELANT) TO BE 1 3/4".

LATERAL SUPPORT (WALLS SUPPORTING JOISTS): ANCHOR SILL PLATE @ 2400MM (8'-0") O.C. WITH 13MM (1/2") DIAMETER ANCHOR BOLTS EMBEDDED 100MM (4") INTO CONCRETE OR ANCHORED EVERY 4TH JOIST NOT RESTING ON A PLATE WITH A 4.8MM X 38MM (3/16 X 1 1/2") STEEL JOIST ANCHORS N.B.

LATERAL SUPPORT (WALLS PARALLEL TO JOISTS): BEND 4.8MM X 38MM (3/16 X 1 1/2") STEEL TRAP 75MM (3") INTO CONCRETE AND FIX TO 3 PARALLEL JOISTS OR FIX TO SILL PLATE (ANCHORED) TO 3 RIGIDLY CONNECTED FLOOR JOISTS @ A MAXIMUM 2030MM (6'-8") O.C.

ALL TRADITIONAL LUMBER & WOOD-I JOISTS TO HAVE BLOCKING OVER INTERIOR L-B WALLS & BEAMS.

OPEN-WEB JOIST 12'-0" & OVER TO HAVE CONTINOUS STRONGBACK THROUGH CHASE (IF POSSIBLE).

PROVIDE BLOCKING BETWEEN WOOD-I JOISTS OR CROSS-BRIDGING BETWEEN TRADITIONAL LUMBER FLOOR JOISTS WHEN NECESSARY (AS PER FLOOR JOIST MANUFACTURER LAYOUTS).

ALL BEAMS TO BE FLUSH OR DROPPED AS NOTED.

HEADER LUMBER JOISTS OVER OPENINGS TO BE DOUBLED IF OPENING IS OVER 1200MM (4'-0").

ALL LVLS OVER WINDOWS, DOORS, AND ALL OTHER OPENINGS INDICATED ARE TO BE PROPERLY SIZED BY FLOOR MANUFACTURER ACCORDING TO LOAD APPLIED.

TRIMMER JOISTS TO BE DOUBLED IF OVER 800MM (2'-8").

DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS.

PROVIDE HANGERS FOR ALL JOISTS TO SUPPORT JOIST FRAMING INTO SIDES OF BEAMS, TRIMMERS, HEADERS, & ALL OTHER JOISTS FLUSH @ LEVEL OF HANGING JOISTS.

WOOD STUD PARTITION TO BE MADE OF 38MM X 89MM (2" X 4") SPR 400 @ 400MM (16") O.C. 38MM X 89MM (2" X 4") TOP AND BOTTOM PLATES. DOUBLE TOP STUDS AROUND OPENINGS & TRIPLE STUDS IN CORNERS IN BEARING STUD PARTITIONS.

CERAMIC TILES APPLIED WITH ADHESIVE SHALL BE SET ON NO LESS THAN 5/8" PLYWOOD/WAFERBOARD WITH OFFSETTING JOISTS AND A 5/32" GAP BETWEEN THE SHEETS.

PROVIDE SOLID BLOCKING BEHIND TOWEL BARS, RODS, ETC...

PROVIDE DOUBLE STUDS ON EACH END OF WALL OPENINGS.

## THERMAL INSULATION & VAPOUR BARRIERS

PROVIDE RIGID PERIMETER INSULATION FOR CONCRETE ON GRADE FOR HABITABLE AREAS.

THE UPPER PART OF FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT LESS THAN 610MM (24") BELOW THE ADJACENT FINISHED GROUND LEVEL, COVER THE INSULATION WITH C.G.S.B. APPROVED VAPOUR BARRIER ON WARM SIDE OF INSULATION. PROVIDE A MOISTURE BARRIER BETWEEN FOUNDATION WALL & WOOD STUD FRAMING, BELOW GRADE ONLY.

ACCESS TO HATCHES INTO ATTICS SHALL BE WEATHERSTRIPPED AROUND THE PERIMETER OF THE HATCH & INSULATED.

DUCTWORK IN THE ATTIC OR ROOF SPACES SHALL HAVE ALL JOINTS TAPED OR BE OTHERWISE SEALED TO ENSURE THE DUCTS ARE AIR-TIGHT THROUGHOUT THEIR LENGTH.

CLEARANCES BETWEEN CHIMNEYS OR GAS VENTS & THE SURROUNDING CONSTRUCTION THAT BUILDS INTO AN ATTIC OR A ROOF SHALL BE SEALED BY NON-COMBUSTIBLE MATERIAL TO PREVENT ANY LEAKAGE.

INSULATION INSTALLED IN CEILING AND EXTERIOR WALLS SHALL BE PROTECTED BY TYPE "1" VAPOUR BARRIERS TO C.A.N./C.G.S.B.-51.34M INSTALLED SO THAT ALL JOINTS OCCUR @ FRAMING MEMBERS FURRING OR BLOCKING & LAPPED @ LEAST 100MM (4") AT ALL JOINTS (CAULKED).

HOLES FOR VAPOUR BARRIERS INSTALLED IN CEILINGS FOR THE INSTALLATION OF ELECTRICAL WIRING, ELECTRICAL BOXES, PIPING, OR DUCTWORK SHALL BE EFFECTIVELY SEALED WITH CAULKING TAPE OR OTHER APPROVED MATERIAL TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE CEILING.

## FOOTING & SLABS

CONCRETE FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 75 KPA

FOOTINGS TO CONFORM TO O.B.C. SECTION 9.15 OR AS PER STRUCTURAL ENGINEER

## PLUMBING SPECIFICATIONS

PLUMBING & FIXTURES AS INDICATED ON PLANS ACCORDING TO LOCAL PLUMBING CODES.

PROVIDE CONNECTIONS FOR DISHWASHER, CLOTHES WASHER, AND DRYER.

## MECHANICAL SPECIFICATIONS

MECHANICAL VENTILATIONS IS REQUIRED TO PROVIDE 0.3 AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS. SEE MECHANICAL DRAWINGS.

MECHANICAL EXHAUST FANS, VENTED TO EXTERIOR TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

MECHANICAL VENTILATION SHALL CONFORM TO O.B.C. 9.32.

## ELECTRICAL SPECIFICATIONS

ELECTRICAL INSTALLATIONS INCLUDE THE NUMBER OF DISTRIBUTION PANELS, ELECTRICAL FIXTURES AND OUTLETS SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE PROVINCIAL CODE AND ONTARIO HYDRO. ALL WIRING SHALL BE COPPER.

PROVIDE ELECTRICAL CONNECTIONS FOR DISHWASHER, CLOTHES WASHER, & DRYER.

## ROOF CONSTRUCTION

START STRIP NO. 85; 4.2KG/SQ.M. ROLL ROOFING OR ROOFING SHINGLES OF SAME WEIGHT AND QUALITY AS USED ON ROOF, LAID WITH TABS FACING UP.

HIP & VALLEY RAFTERS TO BE 50MM (2") DEEPER THAN COMMON RAFTERS.

ROOF EDGE SUPPORTS TO BE 38MM X 38MM (2" X 2") BLOCKING MINIMUM.

PROVIDE TRUSS BRIDGING 19MM X 89MM (3/4" X 4") CONTINUOUS @ EACH 2135MM (7'-0") O.C.

PROVIDE 38MM X 89MM (2" X 4") WALL TIES ACROSS JOINTS OR BOTTOM TRUSS CHORD, MINIMUM 1220MM (4'-0") O.C. FOR ROOF SLOPES 4/12 OR GREATER.

PROVIDE ICE & SNOW GUARD IN ALL VALLEY & ROOF INTERSECTION.

## HEATING

HEATING DUCTS & RETURN AIR HAVE BEEN LOCATED AS A SUGGESTED GUIDE ONLY. INSTALLATION IS TO SUIT BUILDING CONDITIONS & LOCAL BY-LAWS, SUBMIT HEATING LAYOUTS BEFORE COMMENCEMENT OF CONSTRUCTION.

AIR DUCTS IN EXTERIOR WALLS TO HAVE A MINIMUM R.S.I. 7 (R4) THERMAL INSULATION R.S.I. 1.23 (R7) IN UNHEATED SPACE. SPACE DUCTS & STUDS, ETC... TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL @ EACH END. PIPE INSULATION TO BE NON-COMBUSTIBLE MAXIMUM FLAME SPREAD RATING FOR PIPES & DUCTS 75 IN SERVICE SPACE 150 OTHERWISE.

## CONCRETE FOUNDATION WALLS

FOR BASEMENT WINDOWS OVER 1220MM (4'-0") WIDE, REINFORCE WITH 10M REINFORCEMENT RODS EXTENDING 300MM (12") EACH SIDE.

SEAL EXTERIOR JOINTS BETWEEN FOUNDATION WALLS AND FOOTINGS, CONCRETE FLOOR SLAB, AND FOUNDATION WITH SEALING COMPOUND.

APPLY BITUMINOUS DAMP PROOFING ON EXTERIOR FACE OF CONCRETE FOUNDATION WALL WITH 100MM (4") FREE DRAINING BACKFILL (GRANULAR 'B') OR EQUIVALENT.

CONCRETE WALLS TO BE 200MM (8") THICK UNLESS OTHERWISE NOTED.

TOP OF ALL FOUNDATION WALLS TO BE MINIMUM 150MM (6") ABOVE FINAL GRADE.

DAMPROOFING COURSE TO BE PLACED BETWEEN CONTACT OF WOOD & CONCRETE.

MINIMUM STRENGTH FOR WALLS TO BE MINIMUM 20MPA (2900 PSI) AT 28 DAYS CURING.

FOUNDATION WALLS SHOULD NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRAIGHT & STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS IS COMPLETE AND FULLY NAILED & ANCHORED.

STEEL, TIMBER, & BUILT-UP TIMBER COLUMNS FROM ALL LEVELS SHALL BE CARRIED DOWN TO THE FOUNDATION OR TO SUPPORTING BEAMS. PROVIDE BLOCKING WHERE REQUIRED, STEEL COLUMN PLATES TO BE ANCHORED TO FOOTINGS AND BEAM FLANGES.

## WINDOWS & DOORS

10% FLOOR AREA OF HABITABLE ROOMS TO EQUAL TRANSPARENT OPENINGS IN WINDOWS

5% FLOOR AREA OF BEDROOMS TO EQUAL TRANSPARENT OPENINGS IN WINDOWS, (ACCEPTABLE TO C.M.H.C. PROJECTS PROVIDING LOCAL AUTHORITIES APPROVE).

EXTERIOR DOORS TO HAVE THERMAL RESISTANCE OF R.S.I. 1.23 (R7).



211-1390 PRINCE OF WALES DRIVE  
OTTAWA, ONTARIO K2C 3N6  
613-255-3425 | SERVICES@CLEARDRAFTING.COM

I BASSAM ELSARAJ REVIEW AND TAKE RESPONSIBILITIES FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE 2012 O.B.C. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATAGORIES.

DESIGNER BCIN: 37385  
FIRM BCIN: 40889

SIGNATURE OF MEMBER:

SQURE FTG:	EXISTING	NEW
BSMNT/FDN:	--- ft <sup>2</sup>	--- ft <sup>2</sup>
GRND FLR:	1,233 ft <sup>2</sup>	--- ft <sup>2</sup>
2ND FLOOR:	--- ft <sup>2</sup>	--- ft <sup>2</sup>
2ND FLOOR:	--- ft <sup>2</sup>	--- ft <sup>2</sup>

GENERAL NOTES:

- DO NOT SCALE DIMENISONS. READ DIMENSIONS ONLY.
- GENERAL CONTRACTORS SHALL CONSTRUCT ALL WORK IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE, MUNICIPAL BYLAWS, AND ALL OTHER APPLICABLE BUILDING CODES.
- THE OWNER/BUILDER MAY NEED TO PROVIDE AN ENGINEER'S REPORT AT HIS/HER EXPENSE. CONSULT YOUR LOCAL BUILDING AUTHORITIES.
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GENERAL NOTES

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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-02-28

DATE: APRIL 6, 2024

PROJECT NUMBER:

2348

DRAWN BY:

B.E.

SHEET:

A14

PROJECT TITLE:

PROUD RESIDENCE

1342 CORKERY ROAD

CARP, ONTARIO