

PART OF LOT 33 CONCESSION 5 (RIDEAU FRONT) Geographic Township of Nepean CITY OF OTTAWA Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1:150



Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT: 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them. 2. The survey was completed on the 27th day of November, 2023.

Feb. 7, 2024

Date

Mirel Aradu Ontario Land Surveyor

Notes & Legend

Table with 2 columns: Denotes and Description. Includes symbols for Survey Monument Planted, Standard Iron Bar, Measured, Anis, O'Sullivan, Vollebakk Ltd., Deciduous Tree, Coniferous Tree, Maintenance Hole, etc.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 0191968005 and 01919750705, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°02'30" clockwise was applied to bearings on plan P1. A rotation of 0°01'20" clockwise was applied to bearings on plan P2 & P3.

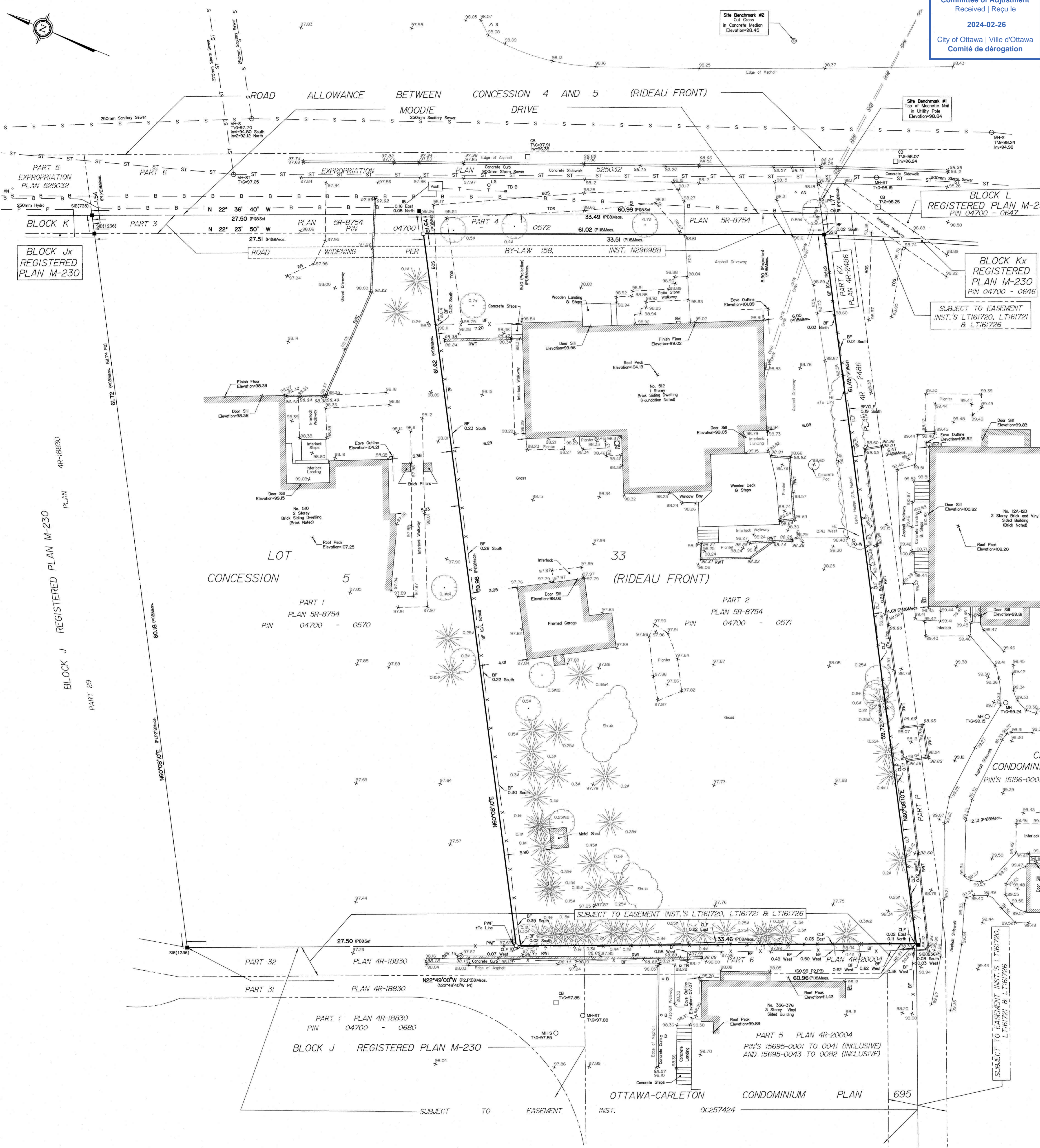
ELEVATION NOTES

- 1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum. 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

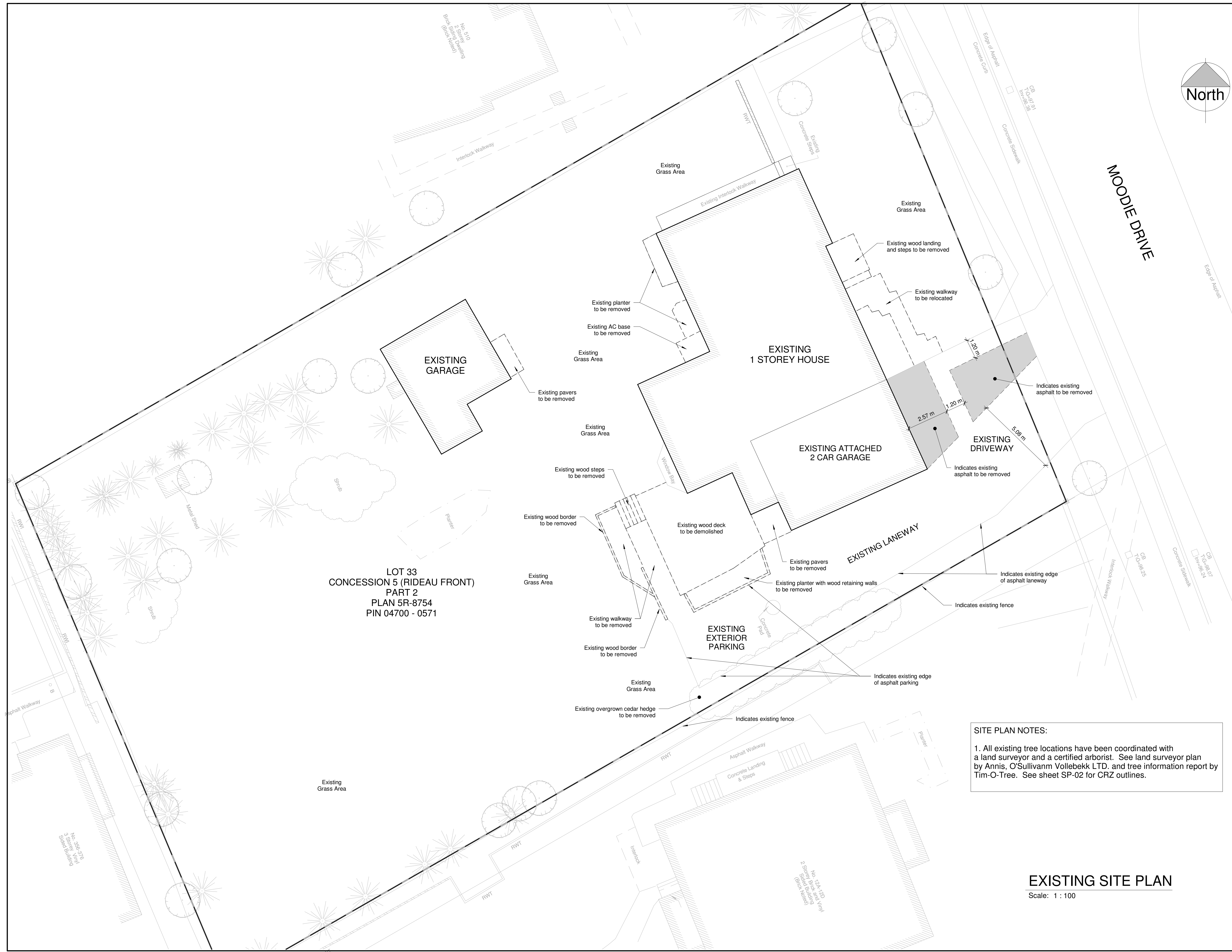
Committee of Adjustment Received | Regule 2024-02-26 City of Ottawa | Ville d'Ottawa Comité de dérogation



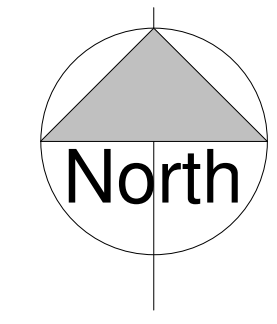
ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-60636

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29 (3)

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 14 Concourse Gate, Suite 500 Nepean, Ont. K2E 7S8 Phone: (613) 727-0650 / Fax: (613) 727-1079 Email: Nepean@annisov.com



LOT 33
CONCESSION 5 (RIDEAU FRONT)
PART 2
PLAN 5R-8754
PIN 04700 - 0571



MODIE DRIVE

SITE PLAN NOTES:

1. All existing tree locations have been coordinated with a land surveyor and a certified arborist. See land surveyor plan by Annis, O'Sullivanm Vollebek LTD. and tree information report by Tim-O-Tree. See sheet SP-02 for CRZ outlines.

EXISTING SITE PLAN
Scale: 1 : 100

Committee of Adjustment
Received | Reçu le
2024-02-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation

BÉRIault
PLANS - GESTION
RÉSIDENTIEL & COMMERCIAL
(819) 712-7812
sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
EXISTING SITE PLAN

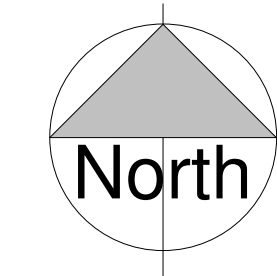
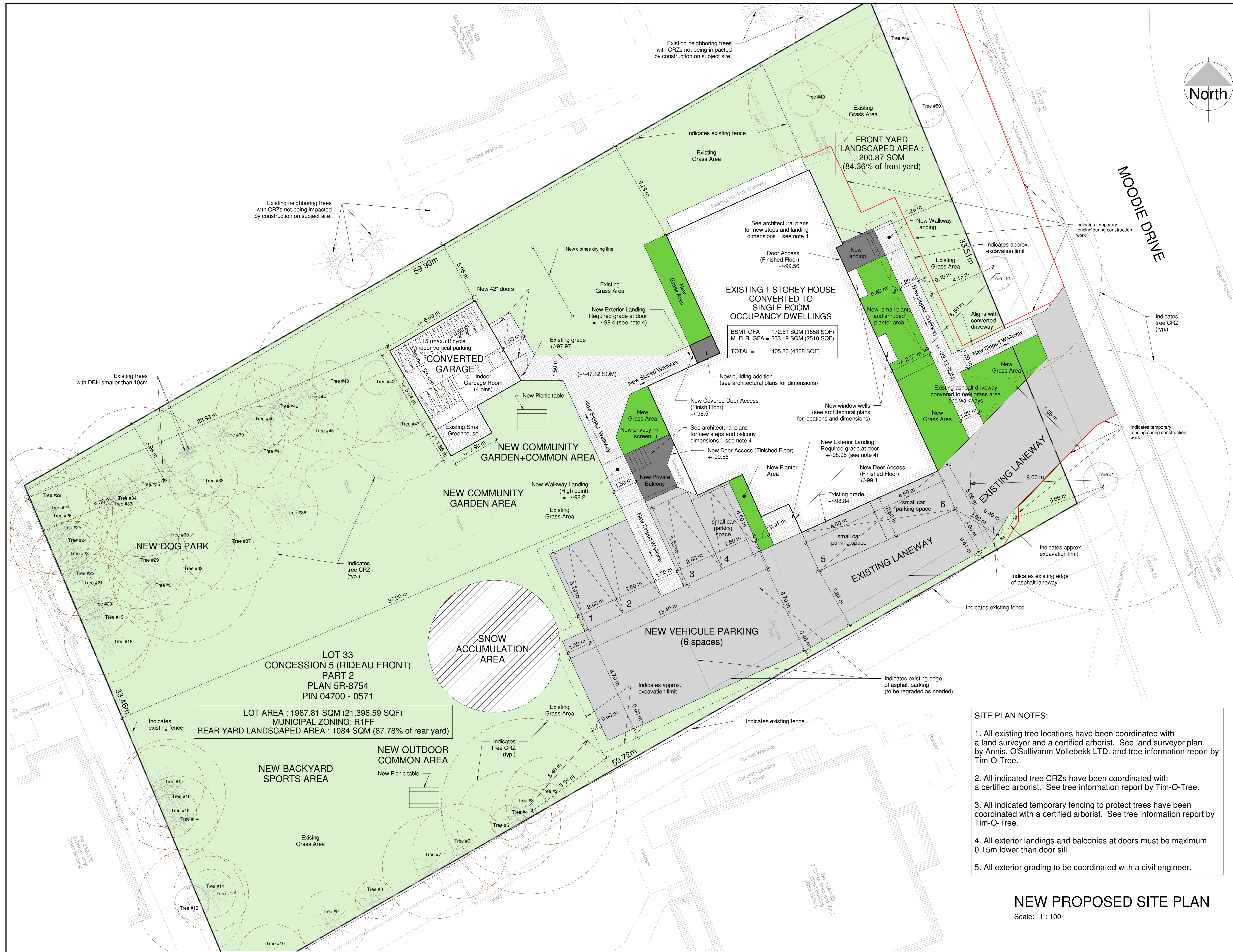
Dossier/File: B23-117

Date: 2024-02-12

Échelle/Scale: 1 : 100

SP-01

COORDINATION



**FRONT YARD
LANDSCAPED AREA :**
200.87 SQM
(84.36% of front yard)

**EXISTING 1 STOREY HOUSE
CONVERTED TO
SINGLE ROOM
OCCUPANCY DWELLINGS**
BSMT G.F.A. = 172.61 SQM (1858 SQF)
M. FLR. G.F.A. = 233.19 SQM (2510 SQF)
TOTAL = 405.80 (4368 SQF)

**LOT 33
CONCESSION 5 (RIDEAU FRONT)
PART 2
PLAN 5R-8754
PIN 04700 - 0571**
LOT AREA : 1987.81 SQM (21,396.59 SQF)
MUNICIPAL ZONING: R1FF
REAR YARD LANDSCAPED AREA : 1084 SQM (87.78% of rear yard)

- SITE PLAN NOTES:**
1. All existing tree locations have been coordinated with a land surveyor and a certified arborist. See land surveyor plan by Annis, O'Sullivan & Vollebek LTD. and tree information report by Tim-O-Tree.
 2. All indicated tree CRZs have been coordinated with a certified arborist. See tree information report by Tim-O-Tree.
 3. All indicated temporary fencing to protect trees have been coordinated with a certified arborist. See tree information report by Tim-O-Tree.
 4. All exterior landings and balconies at doors must be maximum 0.15m lower than door sill.
 5. All exterior grading to be coordinated with a civil engineer.

NEW PROPOSED SITE PLAN
Scale: 1 : 100

Comitee of Adjustment
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(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
NEW PROPOSED SITE PLAN

Dossier/File: B23-117

Date: 2024-02-12

Échelle/Scale: 1 : 100

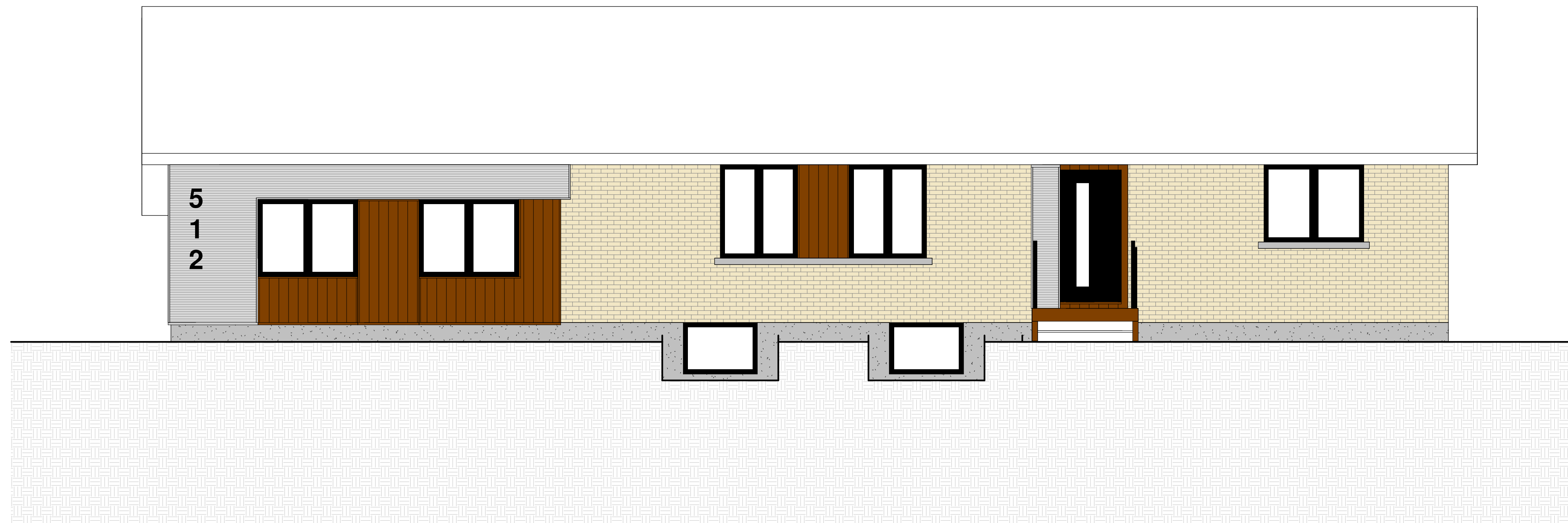
SP-02

COORDINATION

Committee of Adjustment
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City of Ottawa | Ville d'Ottawa
Comité de dérogation

512 Moodie Drive

CONVERSION PROJECT TO SINGLE ROOM OCCUPANCY DWELLINGS



NOTES GÉNÉRALES:

1. Les plans fournis ne devront servir que pour la réalisation du bâtiment à l'adresse mentionnée. Toute utilisation, totale ou partielle autre que celle stipulée ci-haut est strictement interdite sans l'autorisation écrite de Sylvain Bériault, T.P. et n'engage en rien sa responsabilité.
2. L'entrepreneur doit vérifier toutes les dimensions et élévations avant de débiter les travaux et doit aviser immédiatement le designer de toutes erreurs, omissions et divergences avec les plans.
3. Les dimensions cotées ont préséance sur les dimensions mesurées à l'échelle.
4. Pendant le chantier l'entrepreneur devra vérifier toutes les dimensions et en sera tout à fait responsable.
5. La construction devra être exécutée selon les exigences des codes, normes et règlements municipaux en vigueur.
6. Tous les plans des différents professionnels impliqués dans ce projet sont complémentaires les uns des autres.
7. Tous les éléments structuraux identifiés doivent être vérifiés et confirmés par un ingénieur professionnel licencié en Ontario.

GENERAL NOTES:

1. The plans provided shall serve for the realisation of the building at the address mentioned. All usage in total or in part, other than stipulated above, is strictly prohibited without the written authorization of Sylvain Bériault, T.P. and does not engage in any way his responsibility.
2. Contractor shall review all dimensions and elevations before beginning work and must immediately advise the designer of any errors, omissions, and divergences with the plans.
3. The annotated dimensions have precedence over dimensions measured with a scale ruler.
4. During construction, contractor must verify all dimensions and shall be entirely responsible for them.
5. The construction shall be executed according to code requirements, norms, and municipal regulations in effect.
6. All plans and documents from different professionals implicated in this project are complementary from each other.
7. All identified structural elements are to be reviewed and confirmed by a professional engineer licensed in Ontario.

NOT FOR
CONSTRUCTION

SHEET LIST

Sheet Number	Sheet Name
A000	COVER PAGE
A100.1	BASEMENT LEVEL - EXISTING/ DEMO PLAN
A100.2	BASEMENT LEVEL - NEW FLOOR PLAN
A101.1	GROUND LEVEL - EXISTING / DEMO PLAN
A101.2	GROUND LEVEL - NEW FLOOR PLAN
A102	ROOF PLAN
A301	FRONT ELEVATION
A302	REAR ELEVATION
A303	LEFT SIDE ELEVATION
A304	RIGHT SIDE ELEVATION
A400	GENERAL SECTIONS
A421	WINDOW OPENING REINFORCEMENT DETAILS
A600	BASEMENT LEVEL - NEW REFLECTED CEILING PLAN
A601	GROUND LEVEL - NEW REFLECTED CEILING PLAN
A790	ROOM FINISH SCHEDULE
A850	ASSEMBLY TYPES
A900	WINDOW AND DOOR SCHEDULES

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Titre du projet / Project Title:
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(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
COVER PAGE

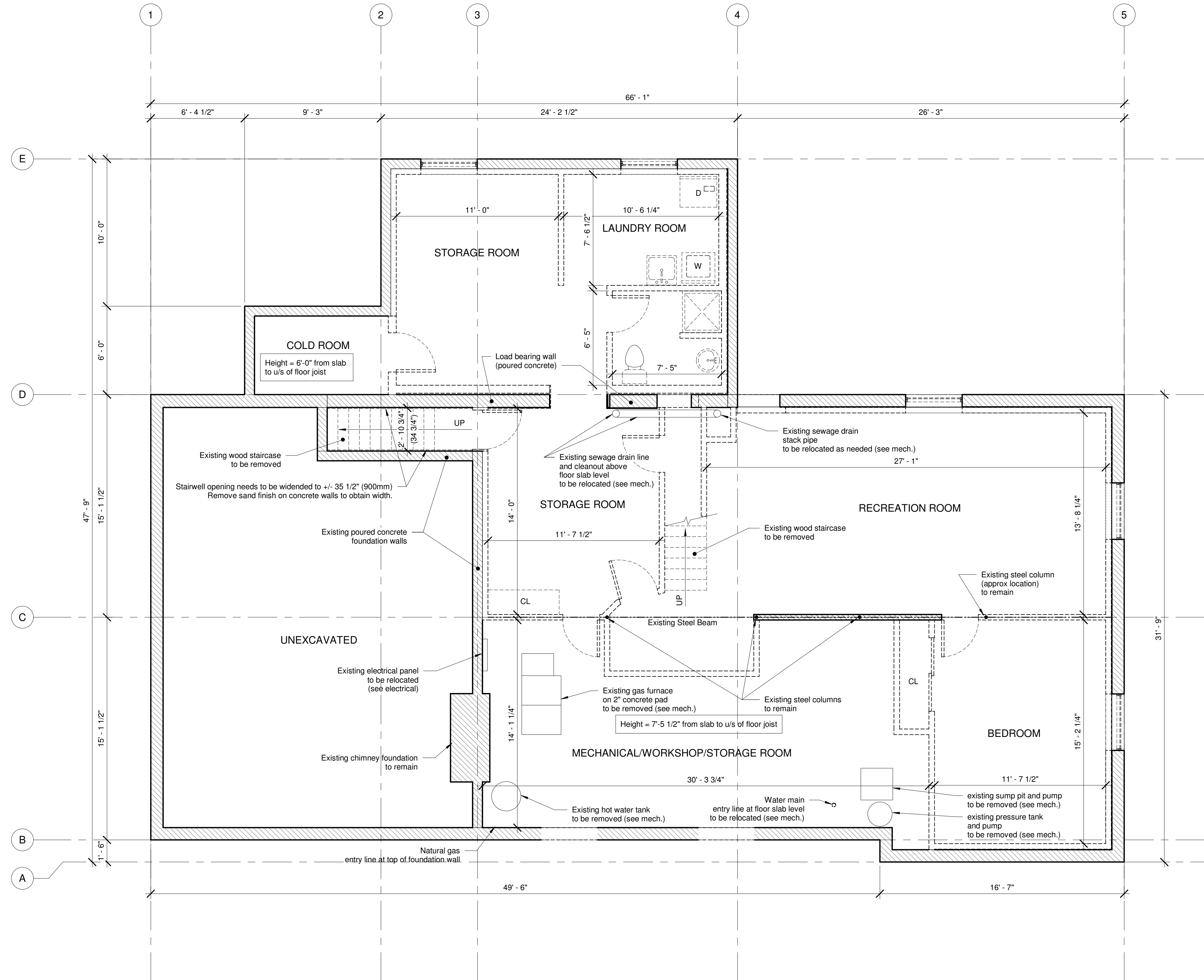
Dossier/File: B23-117

Date: 2024-01-30

Échelle/Scale: 1/4" = 1'-0"

A000

RELEASE 1



LEGEND:

- EXISTING TO REMAIN
- EXISTING TO DEMOLISH / DECONSTRUCT
- INDICATES OVERHEAD BEAM

- NOTES GÉNÉRALES:**
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NOT FOR CONSTRUCTION

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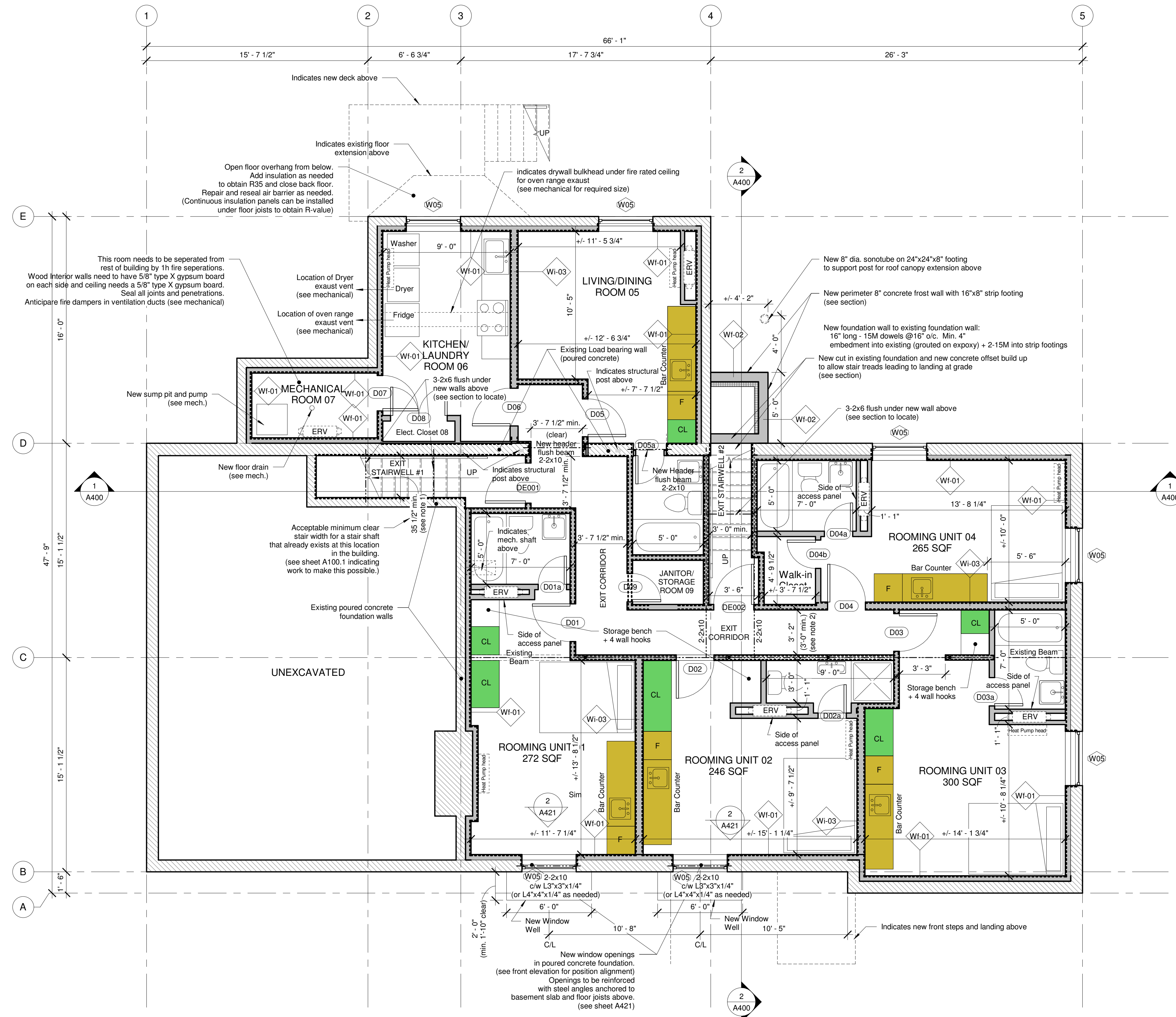
Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
BASEMENT LEVEL - EXISTING/ DEMO PLAN

Dossier/File: B23-117	A100.1
Date: 2024-01-30	
Échelle/Scale: 1/4" = 1'-0"	

RELEASE 1

BASEMENT LEVEL - EXISTING / DEMO PLAN
 Scale: 1/4" = 1'-0"



BASEMENT LEVEL - NEW FLOOR PLAN
 Scale: 1/4" = 1'-0"

LEGEND:

- EXISTING TO REMAIN
- NEW TO BE BUILT
- INDICATES OVERHEAD BEAM
- EXISTING ASSEMBLY CONVERTED TO FIRE SEPERATION ASSEMBLY (SEALED BOTH SIDES)
- NEW FIRE SEPERATION ASSEMBLY (SEALED BOTH SIDES)
- EXISTING ASSEMBLY CONVERTED TO FIRE SEPERATION ASSEMBLY (SEALED ONE SIDE)
- NEW FIRE SEPERATION ASSEMBLY (SEALED ONE SIDE)

NOTE: SEE ASSEMBLY TYPES ON SHEET A850

- CONSTRUCTION NOTES:**
- Existing stairwell shaft needs to be 35 1/2" (900mm) clear width between walls. (see sheet A100.1 & A101.1 indicating required work to widen this stair shaft)
 - OBC Part 11, Table 11.5.1.1.C, C.A. Number C119 (b) 900mm (35 1/2") minimum was used to establish public corridor width, at specific locations identified on floor plans, because existing structural conditions made it impractical to meet Part 9 requirement.
 - All stairs, guards and handrails to conform to the Ontario building code.
 - Public stair treads to have a minimum run of 11" with a 1" nosing for a total tread depth of 12".
 - Public stair risers to have a maximum rise of 7" from nosing to nosing and a minimum rise of 5". Minimum 3 risers required. Exact stair dimensions to be coordinated on site by specialised stair contractor.
 - All required guards must be 42" high min. on landings and edge of floors. Guards in stair flights can be 36" high min.
 - All required handrails must be 36" high in stair flights. In public stairs handrails must have 12" horizontal extensions at each end. As shown on general sections.
 - All numbered windows are new windows. See window schedule. All other windows are existing windows with frames to be painted black on the outside and at owners choice for inside color.
 - New 45 min. fire rated and sealed attic access hatch +/-24"x36" (22"x35 1/2" min clear opening)
 - The structural elements specified on this set of drawings have been reviewed and confirmed by structural engineer.
 - A fire alarm system is required for this project. See fire alarm system supplier and electrical design for details on requirements, quantities and locations of equipments and detectors.
 - Backup lighting and illuminated exit signs are required in all exit corridors and exit stairwells. See equipment supplier and electrical design for details on requirements, quantities and locations.
 - Proposed ERV and Heat Pump head locations indicated on these plans are approximate. See HVAC design for equipment requirements and sizing.
 - Supply and install adequate wall access panels with key locks in front of ERV units as needed.

TOTAL ROOMING UNITS ON THIS LEVEL = 4

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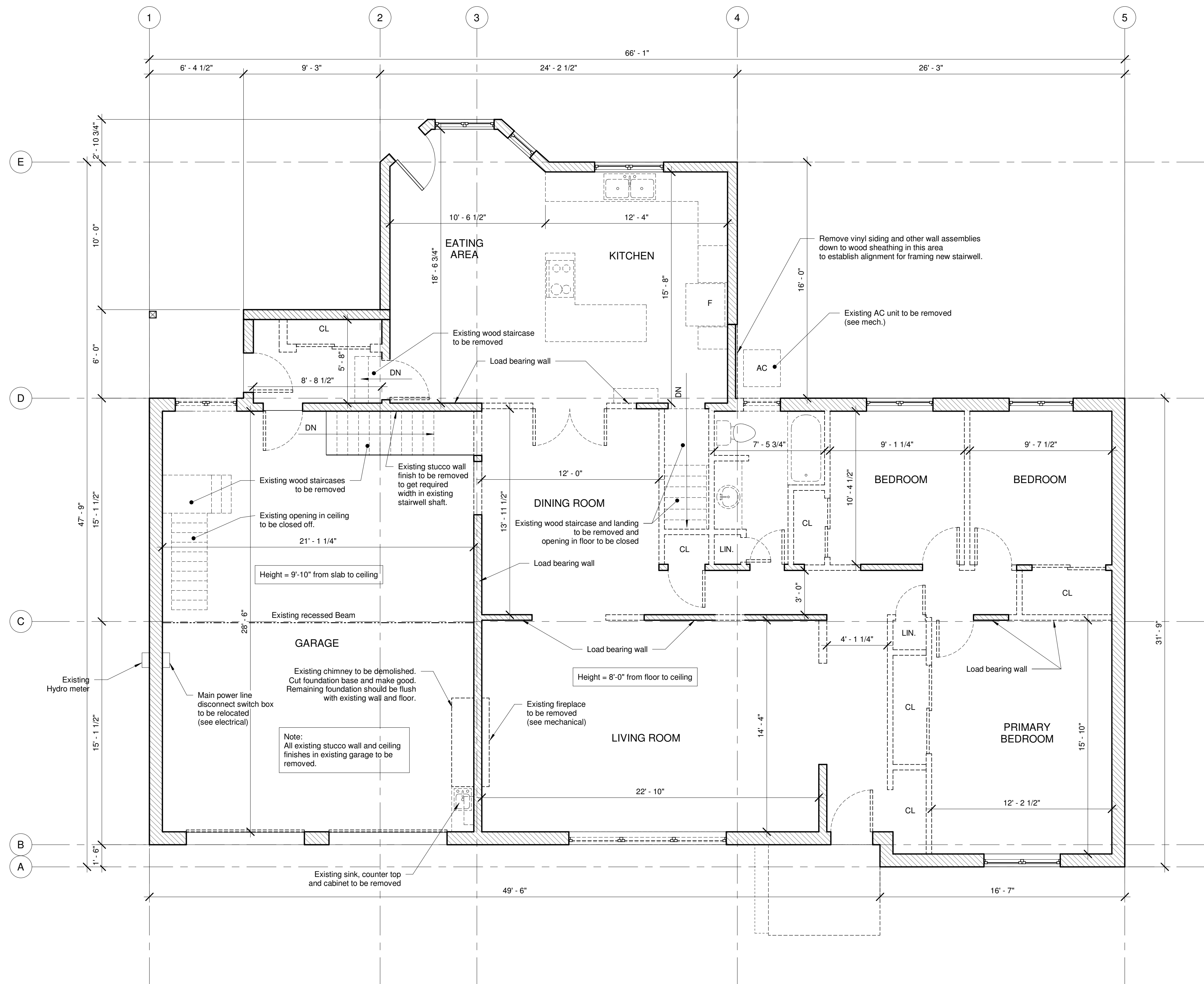
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SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
BASEMENT LEVEL - NEW FLOOR PLAN

Dossier/File:	B23-117	A100.2
Date:	2024-01-30	
Échelle/Scale:	1/4" = 1'-0"	

RELEASE 1



LEGEND:

- EXISTING TO REMAIN
- EXISTING TO DEMOLISH / DECONSTRUCT
- INDICATES OVERHEAD BEAM

GROUND LEVEL - EXISTING / DEMO PLAN
 Scale: 1/4" = 1'-0"

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Dessin / Drawing:
 GROUND LEVEL - EXISTING / DEMO PLAN

Dossier/File:	B23-117	A101.1
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RELEASE 1

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LEGEND:

- EXISTING TO REMAIN
- NEW TO BE BUILD
- INDICATES OVERHEAD BEAM
- EXISTING ASSEMBLY CONVERTED TO FIRE SEPERATION (SEALED BOTH SIDES)
- NEW FIRE SEPERATION ASSEMBLY (SEALED BOTH SIDES)
- EXISTING ASSEMBLY CONVERTED TO FIRE SEPERATION ASSEMBLY (SEALED ONE SIDE)
- NEW FIRE SEPERATION ASSEMBLY (SEALED ONE SIDE)

NOTE: SEE ASSEMBLY TYPES ON SHEET A850

STRUCTURAL POSTS:

- P2 - New 2-2x4 SPF structural wood post
- P2a - New 2-2x6 SPF structural wood post
- P3 - New 3-2x4 SPF structural wood post

CONSTRUCTION NOTES:

- Existing stairwell shaft needs to be 35 1/2" (900mm) clear width between walls. (see sheet A100.1 & A101.1 indicating required work to widen this stair shaft)
- OBC Part 11, Table 11.5.1.1.C, C.A. Number C119 (b) 900mm (35 1/2") minimum was used to establish public corridor width, at specific locations identified on floor plans, because existing structural conditions made it impractical to meet Part 9 requirement.
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- Public stair treads to have a minimum run of 11" with a 1" nosing for a total tread depth of 12".
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- All numbered windows are new windows. See window schedule. All other windows are existing windows with frames to be painted black on the outside and at owners choice for inside color.
- New 45 min. fire rated and sealed attic access hatch +/-24"x36" (22"x35 1/2" min clear opening)
- The structural elements specified on this set of drawings have been reviewed and confirmed by structural engineer.
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- Backup lighting and illuminated exit signs are required in all exit corridors and exit stairwells. See equipment supplier and electrical design for details on requirements, quantities and locations.
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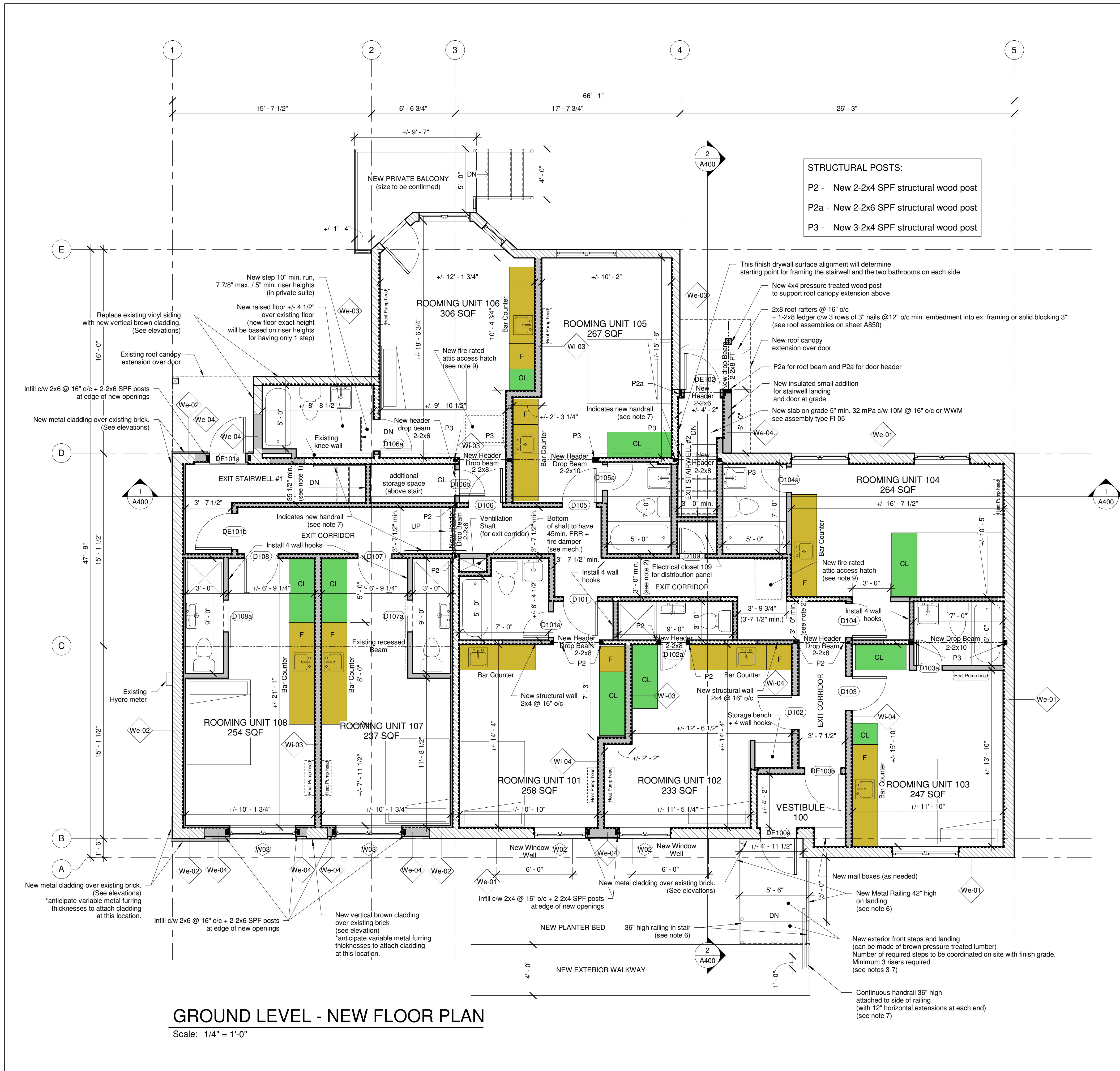
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Dessin / Drawing:
GROUND LEVEL - NEW FLOOR PLAN

Dossier/File: B23-117
Date: 2024-01-30
Échelle/Scale: 1/4" = 1'-0"

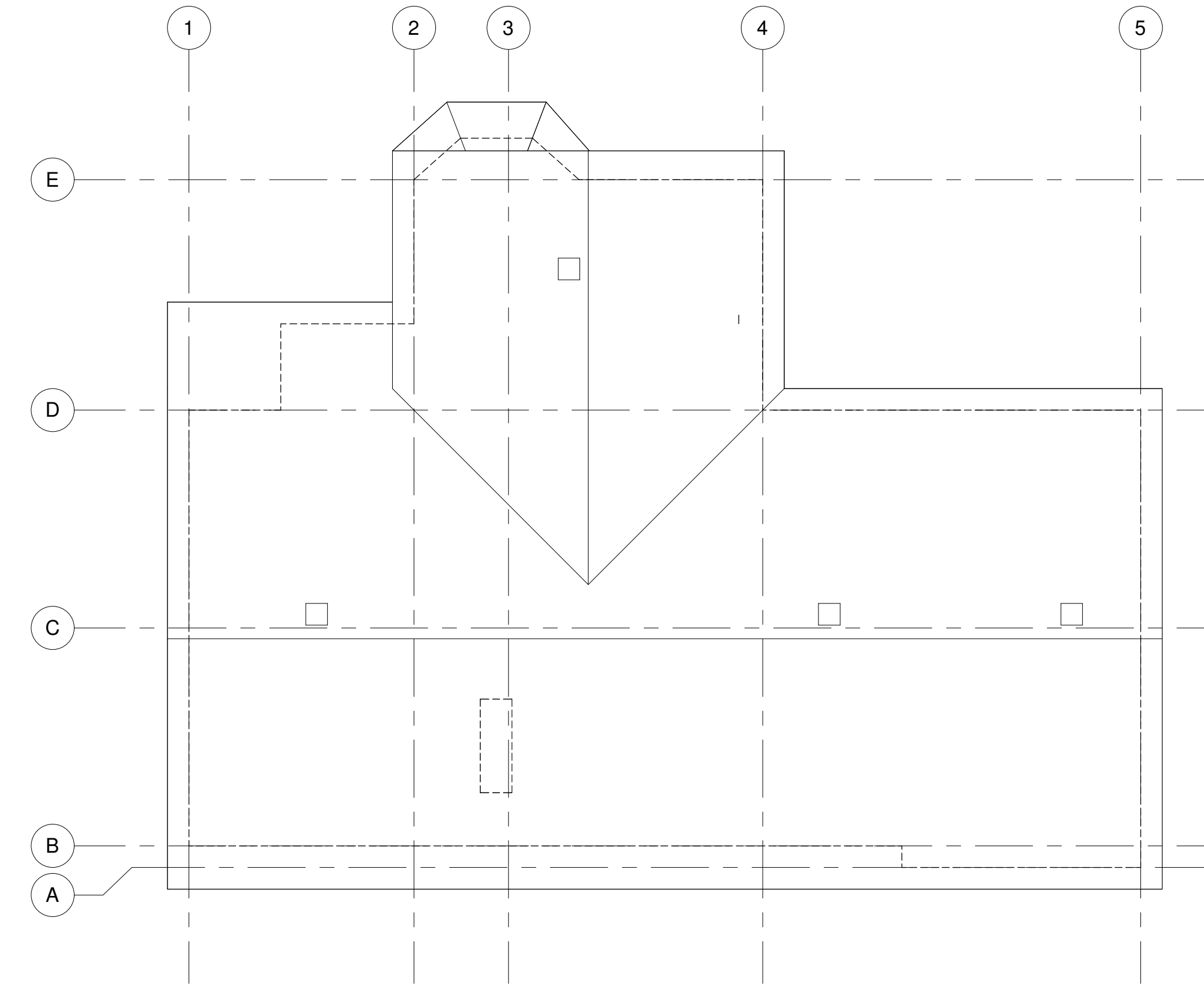
A101.2

RELEASE 1



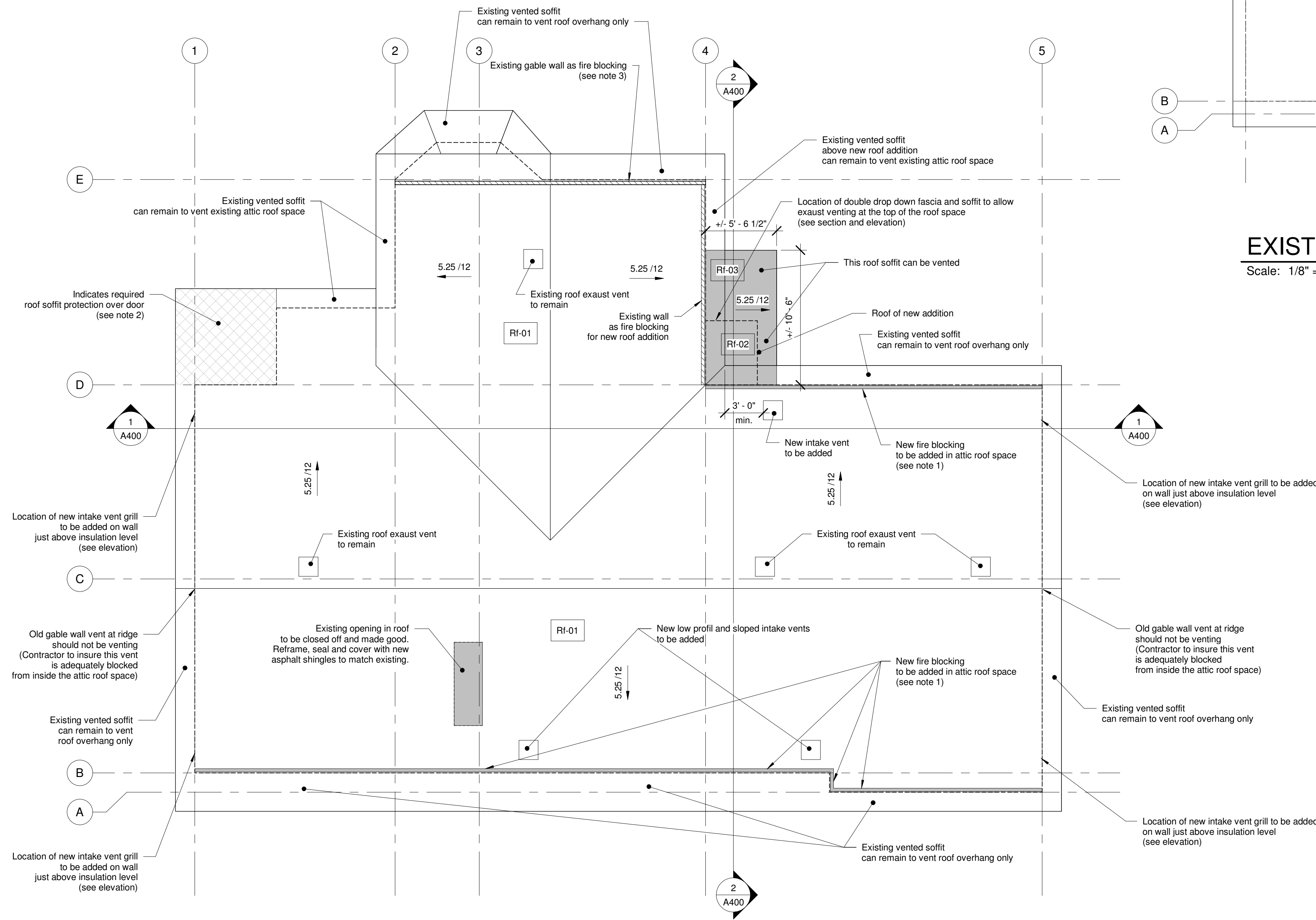
GROUND LEVEL - NEW FLOOR PLAN
Scale: 1/4" = 1'-0"

TOTAL ROOMING UNITS ON THIS LEVEL = 8



EXISTING ROOF PLAN

Scale: 1/8" = 1'-0"



NEW ROOF PLAN

Scale: 3/16" = 1'-0"

NOTES GÉNÉRALES:

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NOT FOR CONSTRUCTION

BÉRIault
PLANS - GESTION
 RESIDENTIEL & COMMERCIAL
 (819) 712-7812
 sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
ROOF PLAN

Dossier/File: B23-117

Date: 2024-01-30

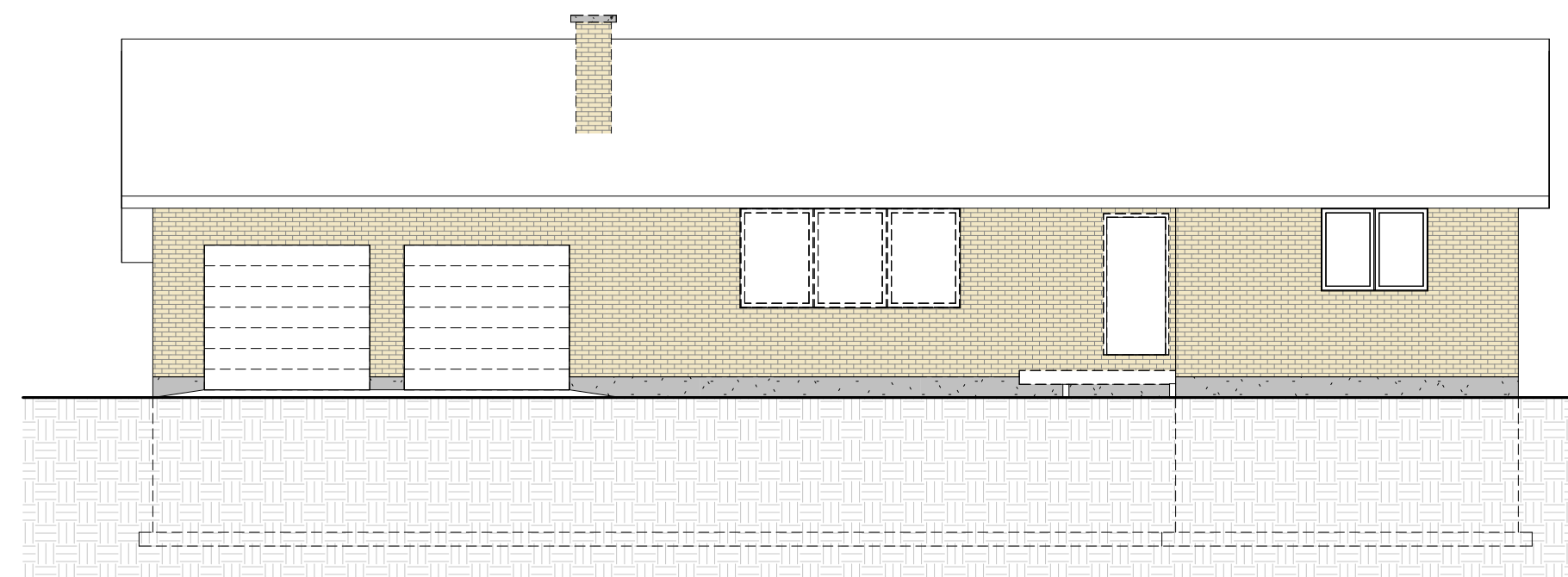
Échelle/Scale: As indicated

A102

RELEASE 1

CONSTRUCTION NOTES:

1. New fire blocking to be added in attic roof space between each rafters to seal between wall top plate and underside of roof deck slope.
 - Material can be 7/16" OSB, 1/2" plywood or 1/2" moisture resistant gypsum board.
 - Joints must be supported and sealed with proper 2x wood backing.
 - Small areas can be blocked with 2x wood lumber.
2. Roof soffit protection to be added.
 - Material can be 7/16" OSB, 1/2" plywood or 1/2" moisture resistant gypsum board.
 - Joints must be supported and sealed with proper 2x wood backing.
 - Existing metal soffit can be reinstalled after protection has been added or replaced with new soffit material.
3. Existing gable wall as fire blocking.
 - Contractor to ensure this wall is adequately sealed from flame spread.
 - Material can be 7/16" OSB, 1/2" plywood or 1/2" moisture resistant gypsum board.
 - Joints must be supported and sealed with proper 2x wood backing.



EXISTING FRONT ELEVATION

Scale: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  Existing Brick Cladding (Beige color)
-  Existing Vinyl Lap Siding (Beige color)
-  Existing Lap Siding (White color)
-  New Vertical +/- 6" plank siding (Brown color)
-  New corrugated metal (Light metallic Grey color)
-  New Black Window and Door Frames, Railings and other metal trims

Note: - Listed colors are approximate representations only.
- Exact colors to be coordinated with material suppliers.

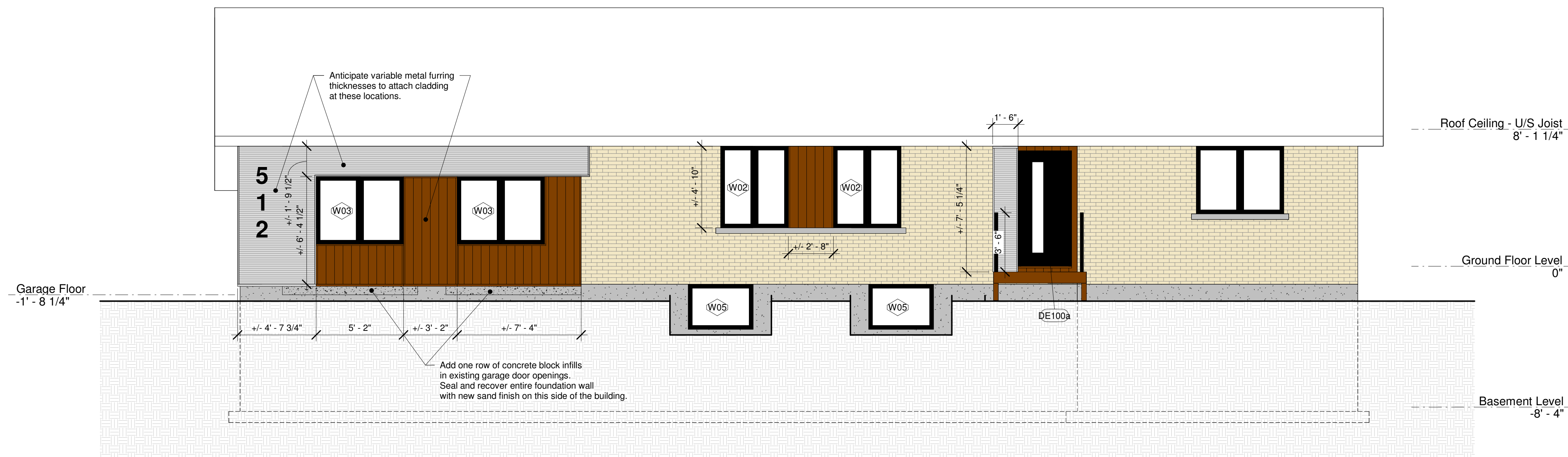
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NEW FRONT ELEVATION

Scale: 1/4" = 1'-0"

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sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
FRONT ELEVATION

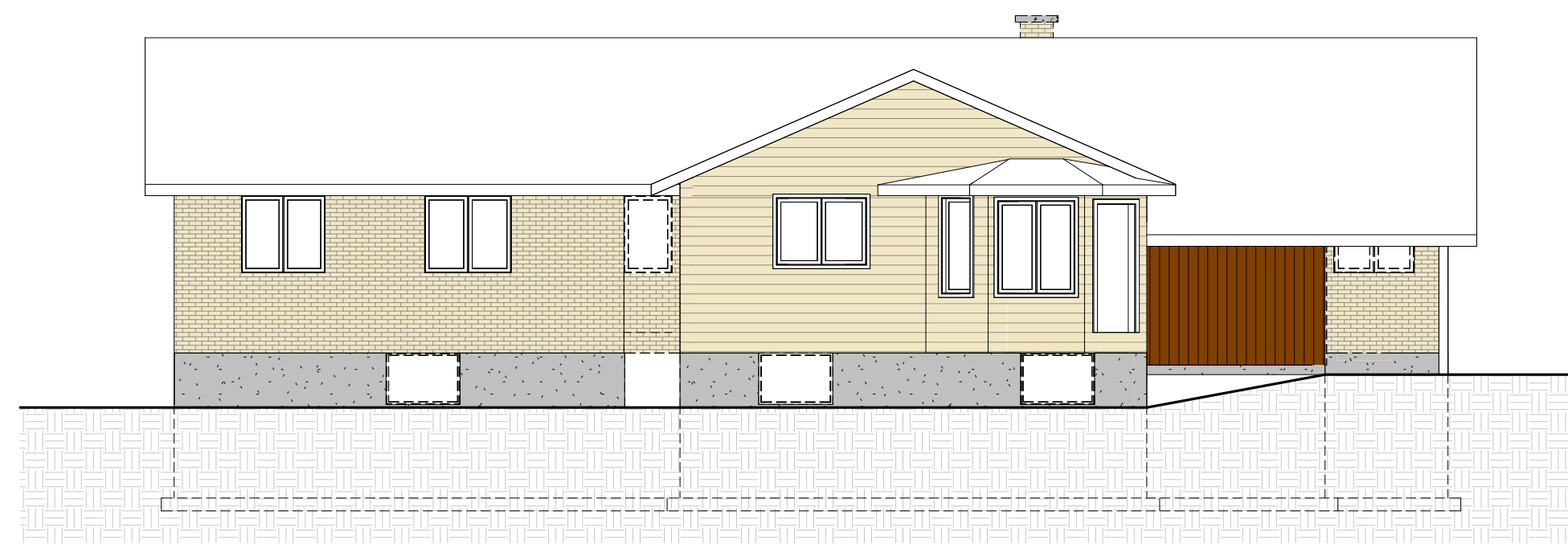
Dossier/File: B23-117

Date: 2024-01-30

Échelle/Scale: As indicated

A301

RELEASE 1



EXISTING REAR ELEVATION

Scale: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  Existing Brick Cladding (Beige color)
-  Existing Vinyl Lap Siding (Beige color)
-  Existing Lap Siding (White color)
-  New Vertical +/- 6" plank siding (Brown color)
-  New corrugated metal (Light metallic Grey color)
-  New Black Window and Door Frames, Railings and other metal trims

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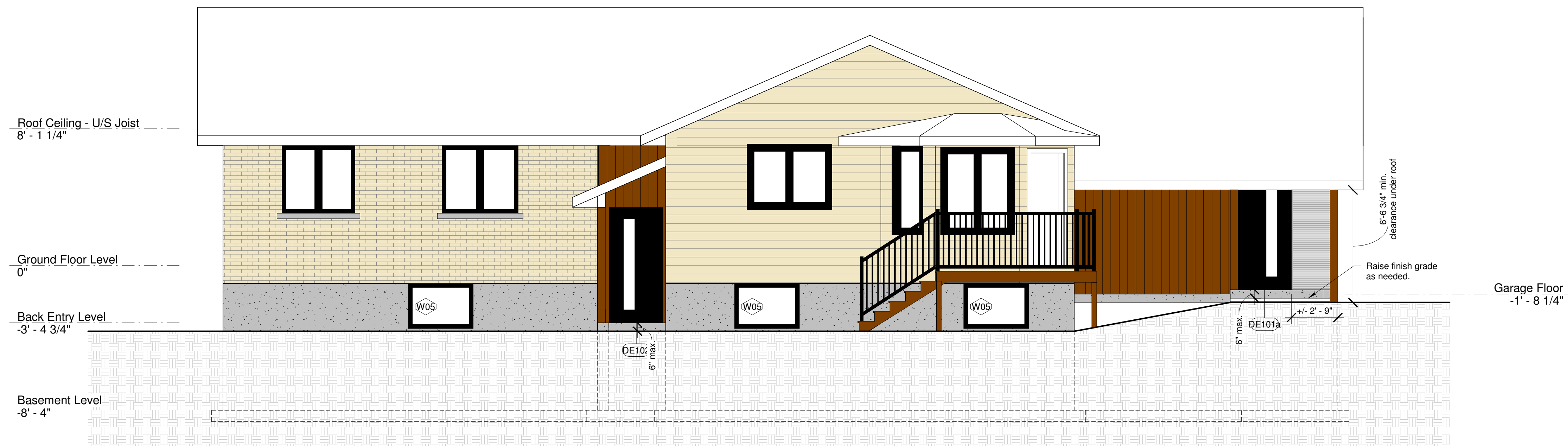
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NOT FOR CONSTRUCTION



NEW REAR ELEVATION

Scale: 1/4" = 1'-0"

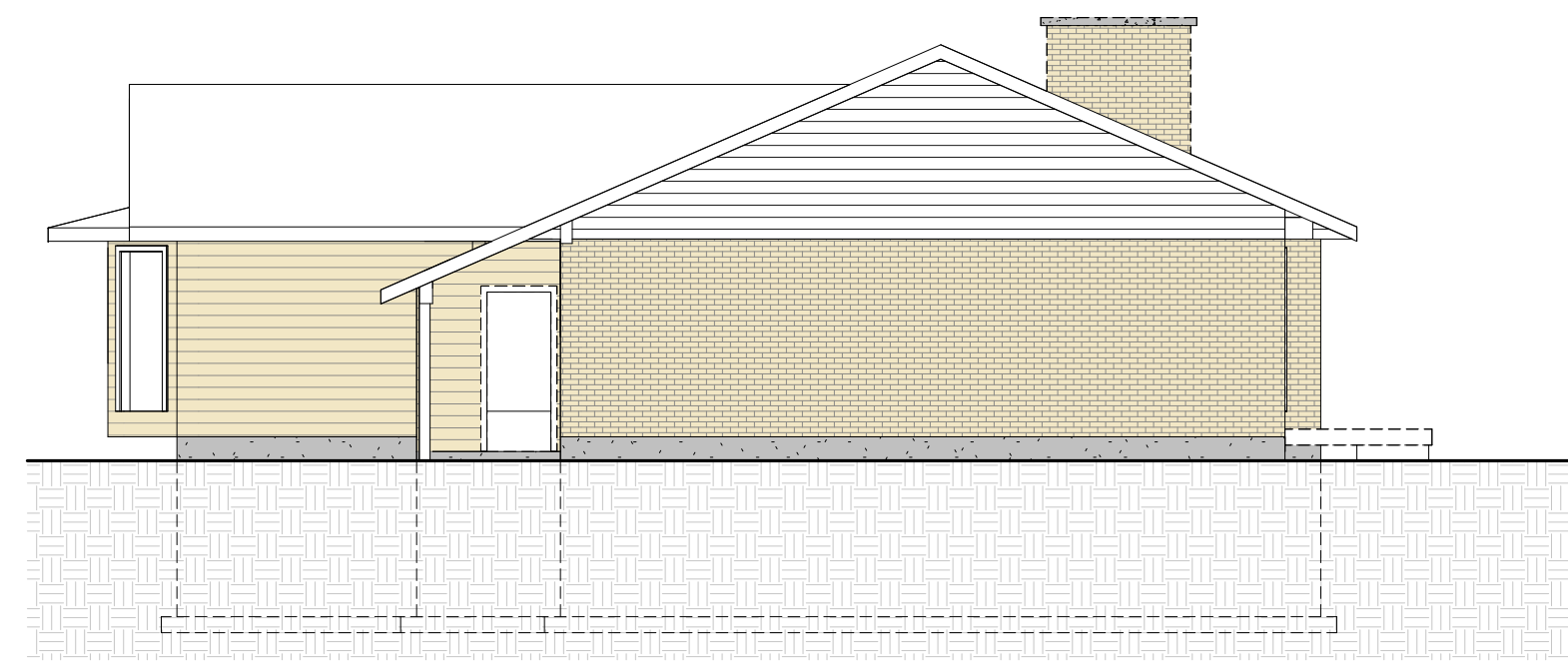
BÉRIault
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 (819) 712-7812
 sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
 REAR ELEVATION

Dossier/File:	B23-117	A302
Date:	2024-01-30	
Échelle/Scale:	As indicated	

RELEASE 1



EXISTING LEFT SIDE ELEVATION

Scale: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  Existing Brick Cladding (Beige color)
-  Existing Vinyl Lap Siding (Beige color)
-  Existing Lap Siding (White color)
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-  New corrugated metal (Light metallic Grey color)
-  New Black Window and Door Frames, Railings and other metal trims

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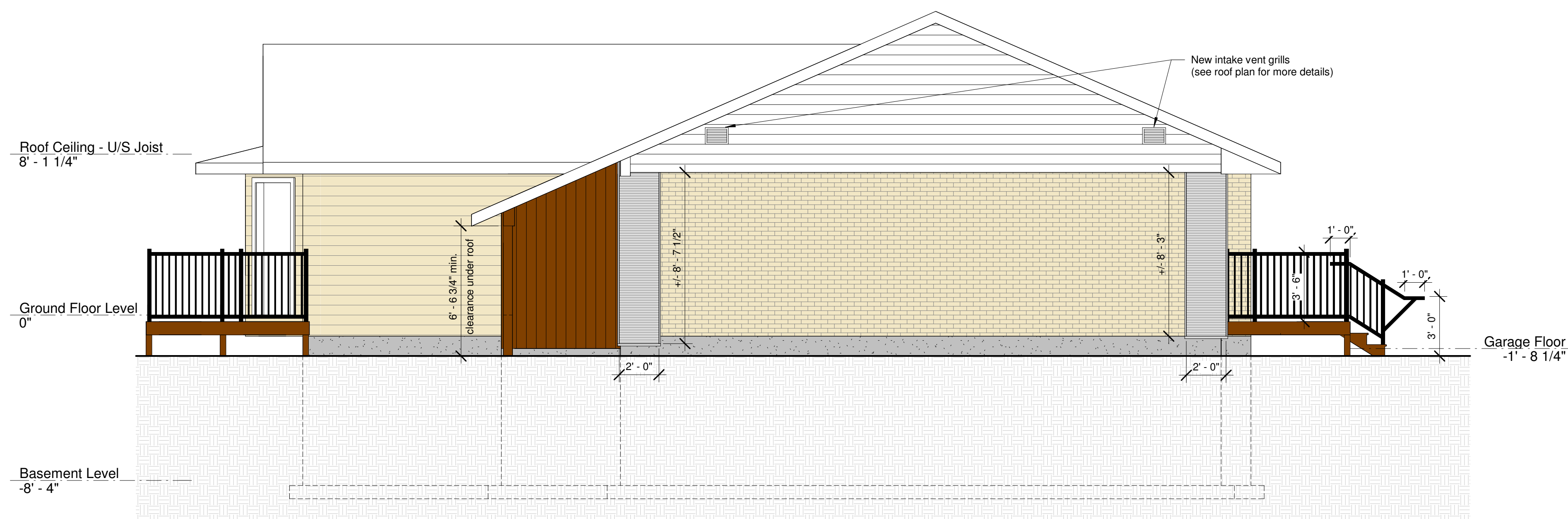
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NOT FOR CONSTRUCTION



NEW LEFT SIDE ELEVATION

Scale: 1/4" = 1'-0"

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Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
 LEFT SIDE ELEVATION

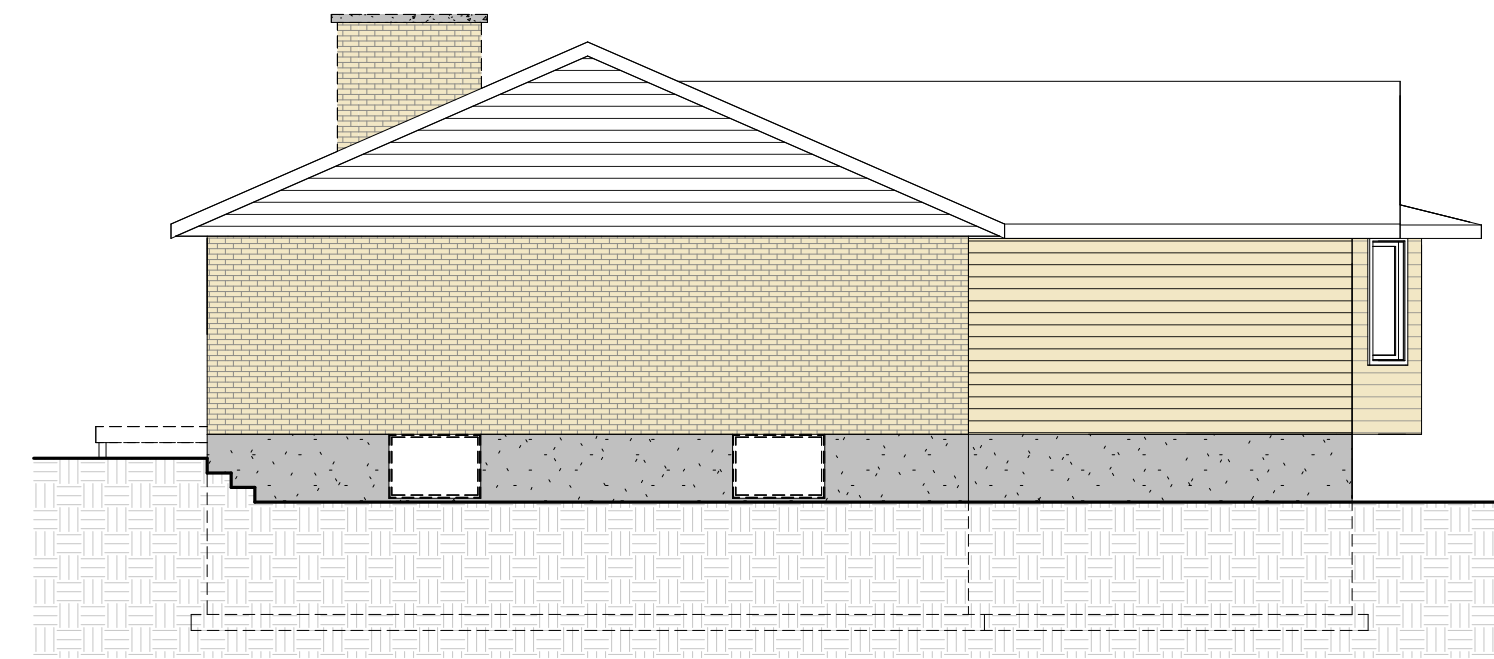
Dossier/File: B23-117

Date: 2024-01-30

Échelle/Scale: As indicated

A303

RELEASE 1



EXISTING RIGHT SIDE ELEVATION

Scale: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  Existing Brick Cladding (Beige color)
-  Existing Vinyl Lap Siding (Beige color)
-  Existing Lap Siding (White color)
-  New Vertical +/- 6" plank siding (Brown color)
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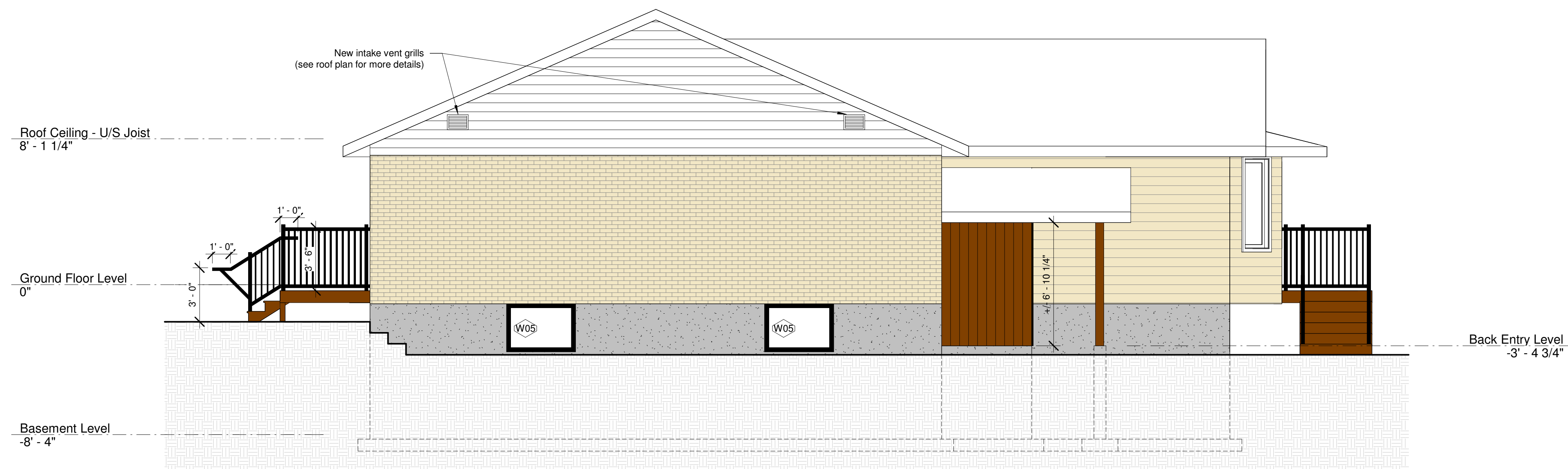
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NOT FOR CONSTRUCTION



NEW RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"

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 RÉSIDENTIEL & COMMERCIAL
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 sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
 RIGHT SIDE ELEVATION

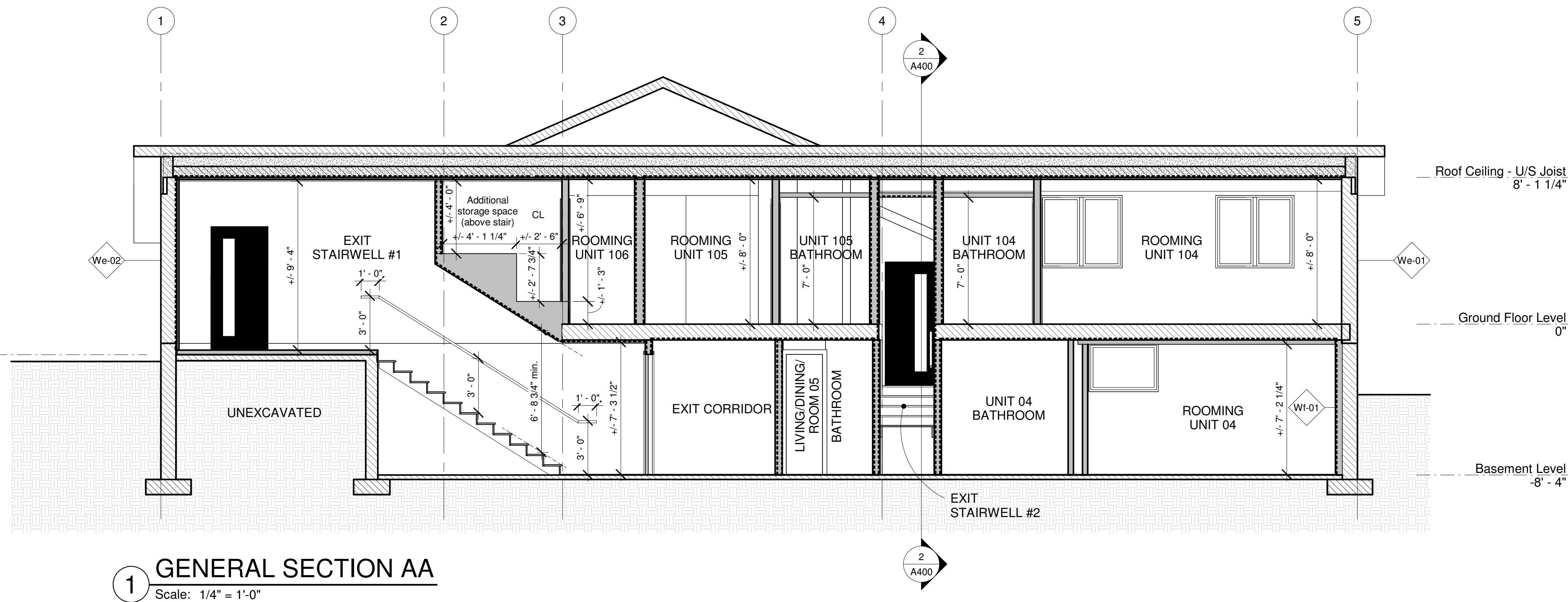
Dossier/File: B23-117

Date: 2024-01-30

Échelle/Scale: As indicated

A304

RELEASE 1

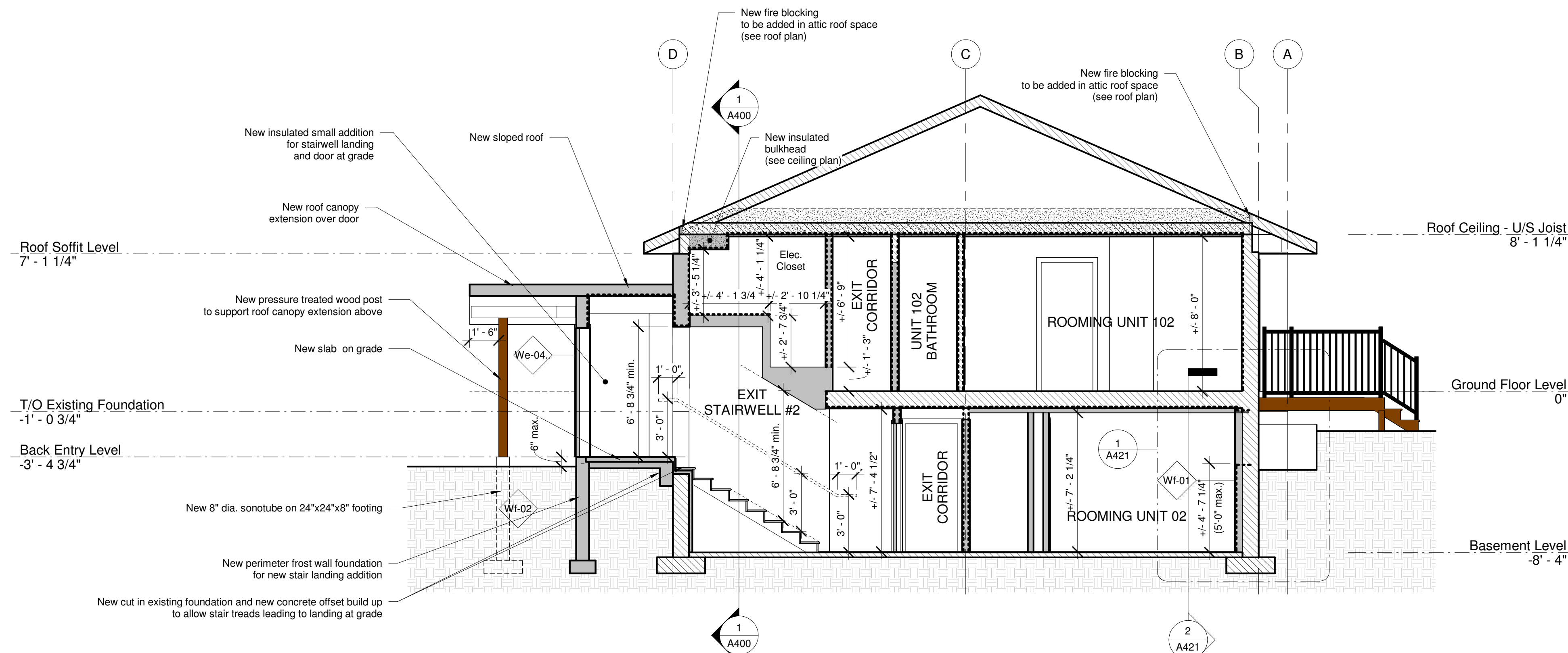


1 GENERAL SECTION AA
Scale: 1/4" = 1'-0"

LEGEND:

- EXISTING TO REMAIN
- NEW TO BE BUILD
- INDICATES OVERHEAD BEAM
- EXISTING ASSEMBLY CONVERTED TO FIRE SEPERATION (SEALED BOTH SIDES)
- NEW FIRE SEPERATION ASSEMBLY (SEALED BOTH SIDES)
- EXISTING ASSEMBLY CONVERTED TO FIRE SEPERATION ASSEMBLY (SEALED ONE SIDE)
- NEW FIRE SEPERATION ASSEMBLY (SEALED ONE SIDE)

NOTE: SEE ASSEMBLY TYPES ON SHEET A850



2 GENERAL SECTION BB
Scale: 1/4" = 1'-0"

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Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
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512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
GENERAL SECTIONS

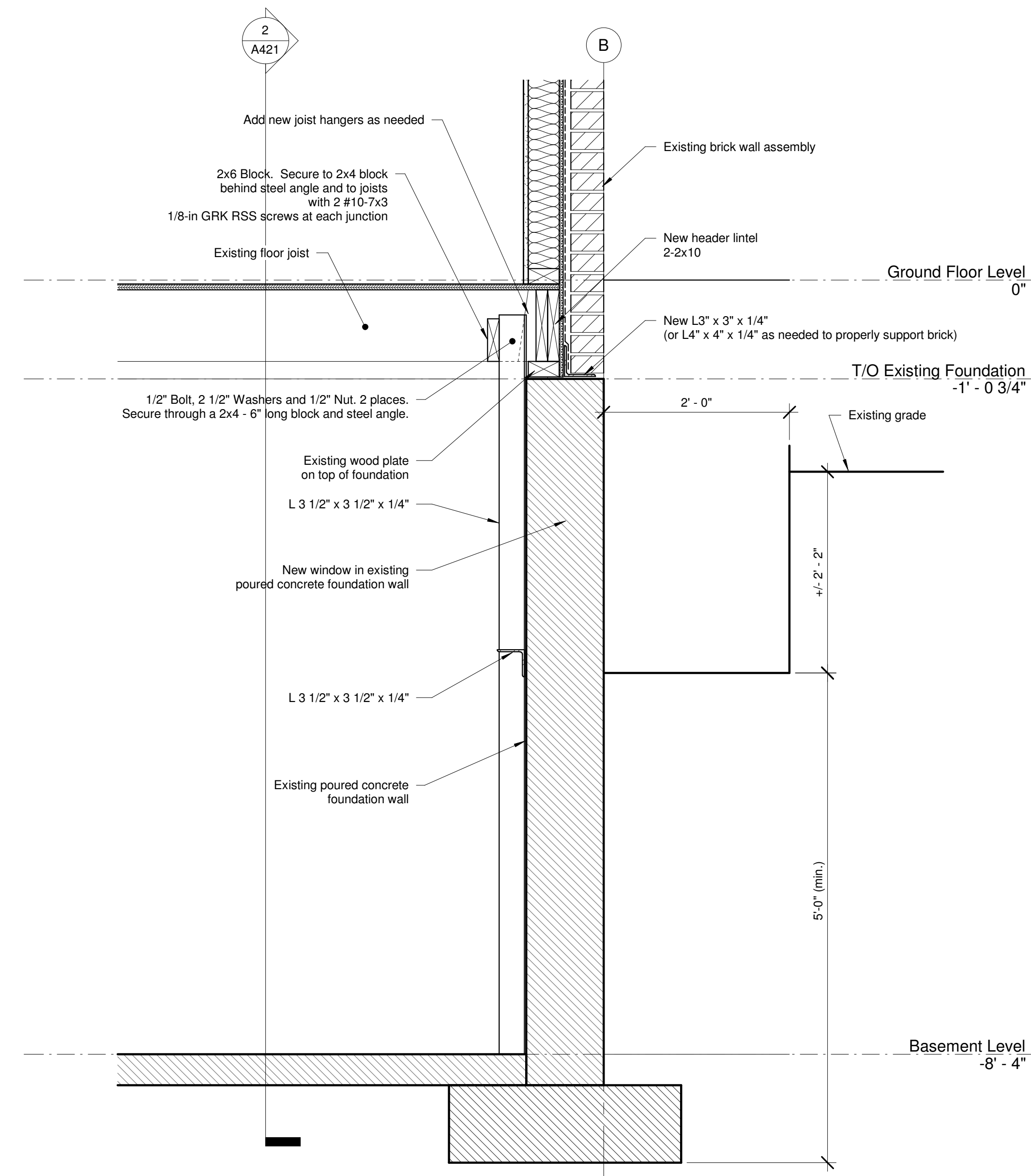
Dossier/File: B23-117

Date: 2024-01-30

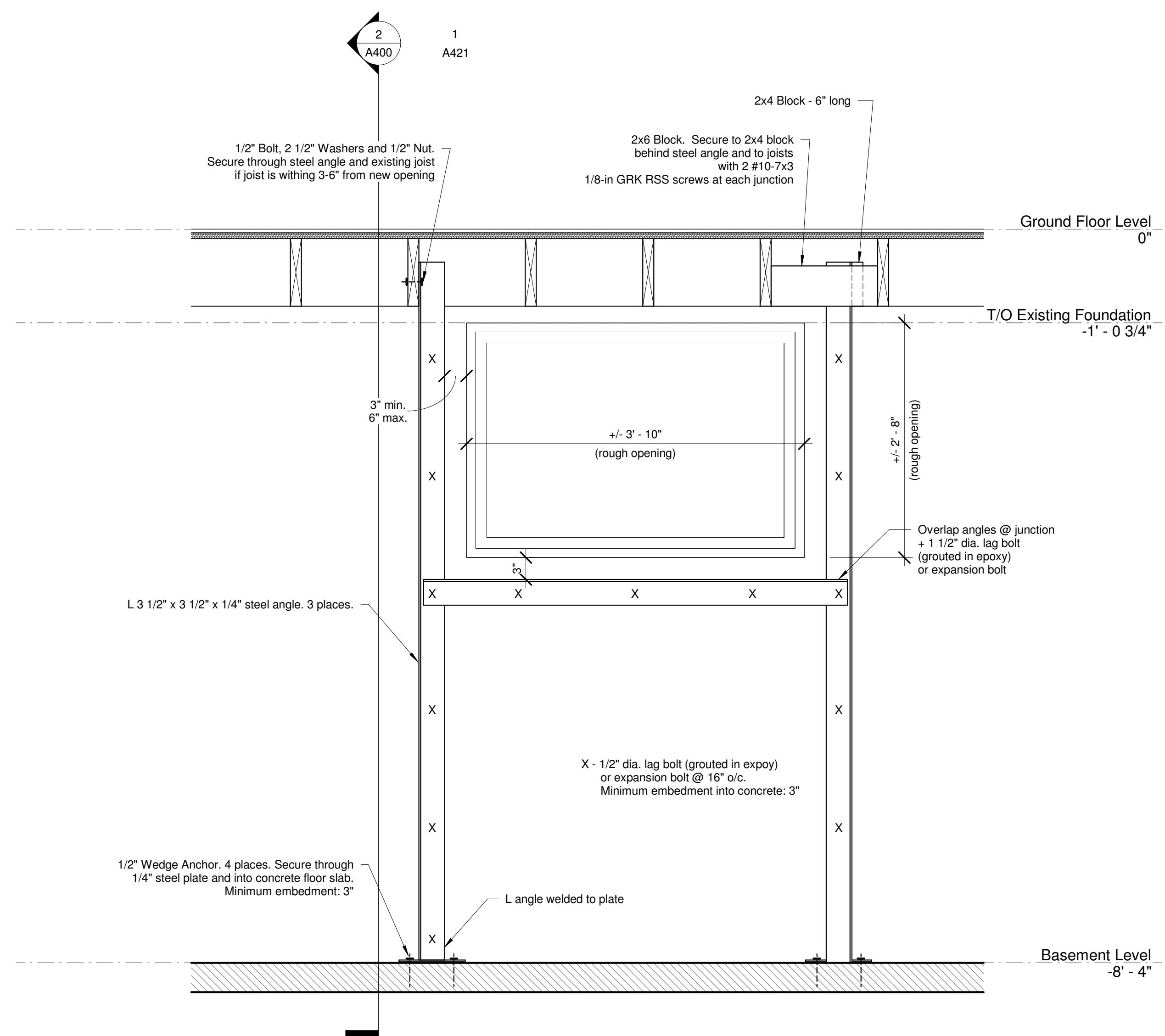
Échelle/Scale: 1/4" = 1'-0"

A400

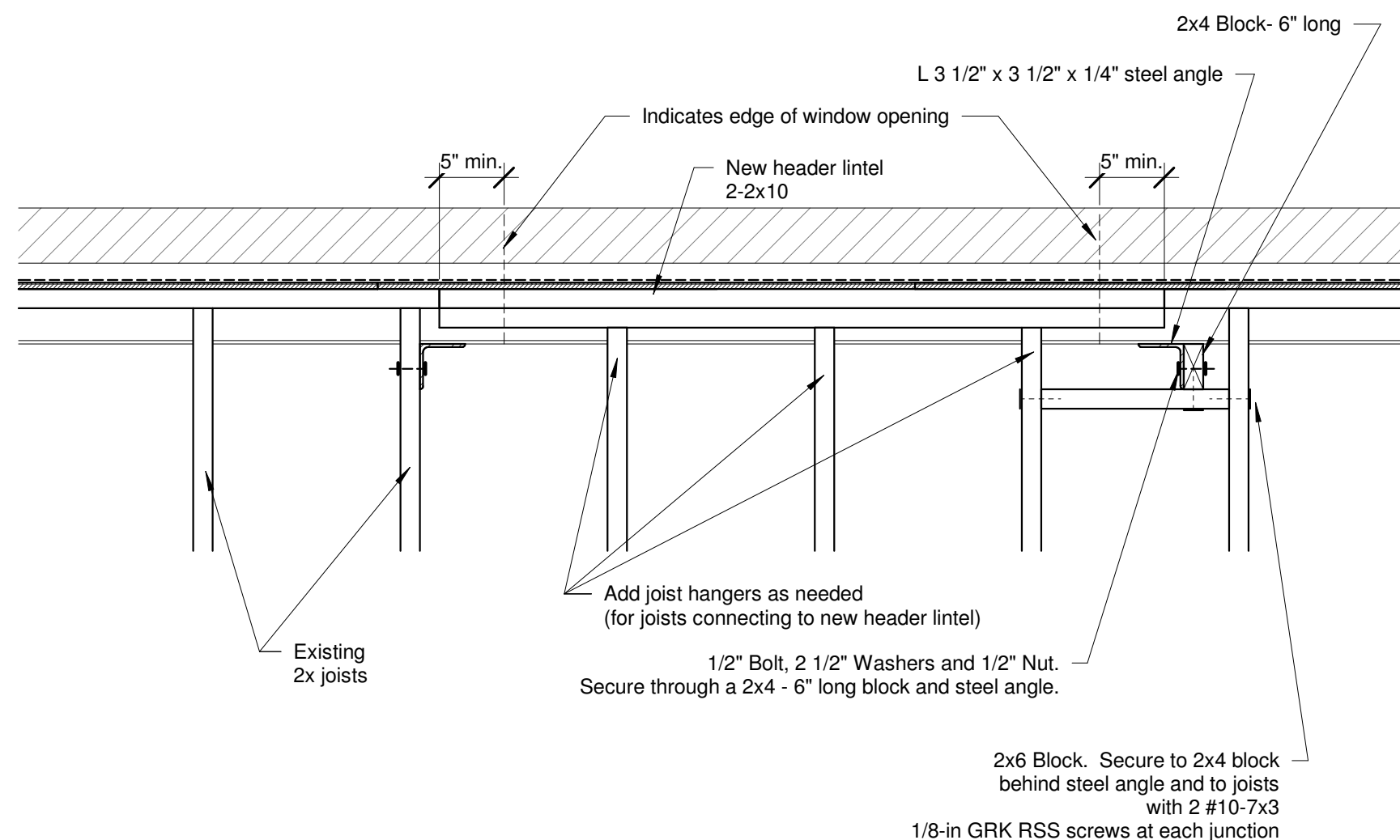
RELEASE 1



① SECTION DETAIL
1" = 1'-0"



② SECTION / ELEVATION DETAIL
1" = 1'-0"



PLAN VIEW DETAIL

- NOTES GÉNÉRALES:**
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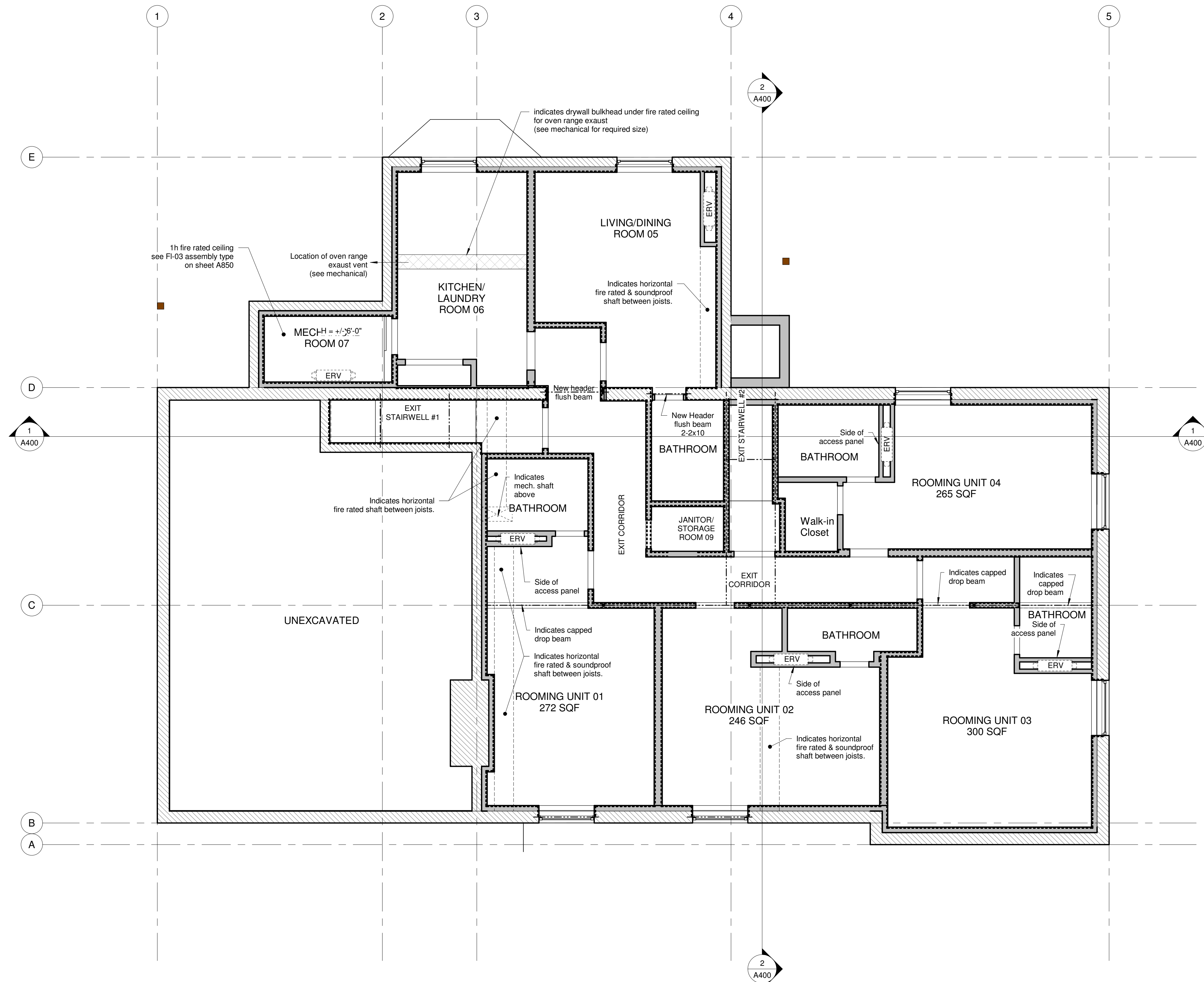
Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
WINDOW OPENING REINFORCEMENT DETAILS

Dossier/File: B23-117
Date: 2024-01-30
Échelle/Scale: 1" = 1'-0"

A421

RELEASE 1



LEGEND:

- EXISTING TO REMAIN
- NEW TO BE BUILT
- INDICATES OVERHEAD STRUCTURAL BEAM
- INDICATES PROPOSED DROP CEILING BULKHEADS (min. clear height = 6'-4 3/4")
- INDICATES PROPOSED INSULATED DROP CEILING BULKHEAD (min. clear height = 7'-0")
- INDICATES PROPOSED DROP CEILING FOR HVAC (min. clear height = 7'-0")

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SINGLE ROOM OCCUPANCY DWELLINGS
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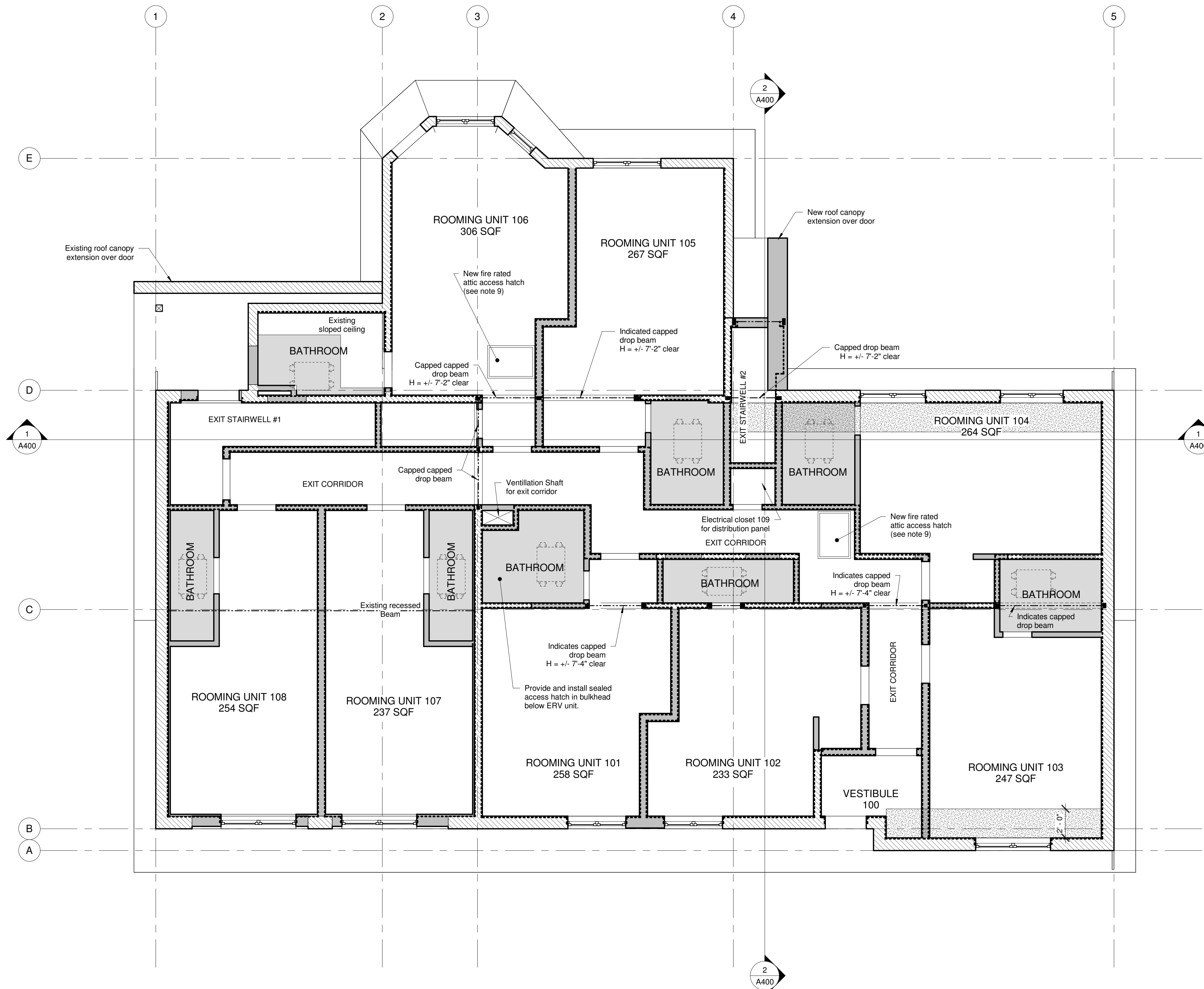
Dessin / Drawing:
BASEMENT LEVEL - NEW REFLECTED CEILING PLAN

Dossier/File:	B23-117	A600
Date:	2024-01-30	
Échelle/Scale:	1/4" = 1'-0"	

CONSTRUCTION NOTES:

- Rooming units 01-03, Office 04 and Living/Dining room 05 to have max soundproofing. See floor assembly FI-01 on sheet A850.
- For all other ceilings see FI-02 on sheet A850, except where indicated otherwise.
- See room finish schedule on sheet A790 for ceiling heights.
- Proposed ERV locations indicated on these plans are approximate. See HVAC design for equipment requirements and sizing.
- Supply and install adequate ceiling access panels with key locks below ERV units as needed.

BASEMENT LEVEL - NEW REFLECTED CEILING PLAN
 Scale: 1/4" = 1'-0"



GROUND LEVEL - NEW REFLECTED CEILING PLAN
 Scale: 1/4" = 1'-0"

LEGEND:

- EXISTING TO REMAIN
- NEW TO BE BUILT
- INDICATES OVERHEAD STRUCTURAL BEAM
- INDICATES PROPOSED DROP CEILING BULKHEADS (min. clear height = 6'-4 3/4")
- INDICATES PROPOSED INSULATED DROP CEILING BULKHEAD (min. clear height = 7'-0")
- INDICATES PROPOSED DROP CEILING FOR HVAC (min. clear height = 7'-0")

- NOTES GÉNÉRALES:**
- Les plans fournis ne devront servir que pour la réalisation du bâtiment à l'adresse mentionnée. Toute utilisation, totale ou partielle autre que celle stipulée ci-haut est strictement interdite sans l'autorisation écrite de Sylvain Bériault, T.P. et n'engage en rien sa responsabilité.
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 - Pendant le chantier l'entrepreneur devra vérifier toutes les dimensions et en sera tout à fait responsable.
 - La construction devra être exécutée selon les exigences des codes, normes et règlements municipaux en vigueur.
 - Tous les plans des différents professionnels impliqués dans ce projet sont complémentaires les uns des autres.
 - Tous les éléments structuraux identifiés doivent être vérifiés et confirmés par un ingénieur professionnel licencié en Ontario.

- GENERAL NOTES:**
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 - During construction, contractor must verify all dimensions and shall be entirely responsible for them.
 - The construction shall be executed according to code requirements, norms, and municipal regulations in effect.
 - All plans and documents from different professionals implicated in this project are complementary from each other.
 - All identified structural elements are to be reviewed and confirmed by a professional engineer licensed in Ontario.

NOT FOR CONSTRUCTION

BÉRIault
 PLANS - GESTION
 RÉSIDENTIEL & COMMERCIAL
 (819) 712-7812
 sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
 GROUND LEVEL - NEW REFLECTED
 CEILING PLAN

Dossier/File:	B23-117	A601
Date:	2024-01-30	
Échelle/Scale:	1/4" = 1'-0"	

RELEASE 1

- CONSTRUCTION NOTES:**
- Install new 5/8" type X gypsum board on all ceilings, except where indicated otherwise. See assemblies on sheet A850 for more details.
 - See room finish schedule on sheet A790 for ceiling heights.
 - Proposed ERV locations indicated on these plans are approximate. See HVAC design for equipment requirements and sizing.
 - Supply and install adequate ceiling access panels with key locks below ERV units as needed.

ROOM FINISH SCHEDULE										
ROOM NAME	FLOOR				WALL		CEILING			REMARKS
	MATERIALS	UNDERLAY	FINISHES	BASEBOARDS	MATERIALS	FINISHES	MATERIALS	FINISHES	CLEAR HEIGHT	
BASEMENT LEVEL										
STAIRWELL # 1	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	CONCRETE	LATEX PAINT	GYPSON BOARD	PAINT	VARIABLE (SEE SECTION)	
STAIRWELL # 2	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	VARIABLE (SEE SECTION)	
EXIT CORRIDOR	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	7'-4 1/4"	
ROOMING UNIT 01	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 7'-2 1/4"	
ROOMING UNIT 01 BATHROOM	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-4 1/4"	
ROOMING UNIT 02	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 7'-2 1/4"	
ROOMING UNIT 02 BATHROOM	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-4 1/4"	
ROOMING UNIT 03	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 7'-2 1/4"	
ROOMING UNIT 03 BATHROOM	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-4 1/4"	
ROOMING UNIT 04	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 7'-2 1/4"	
ROOMING UNIT 04 BATHROOM	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-4 1/4"	
ROOMING UNIT 04 WALK-IN CLOSET	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	7'-4 1/4"	
ROOMING UNIT 05	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 7'-2 1/4"	
ROOMING UNIT 05 BATHROOM	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-4 1/4"	
KITCHEN/LAUNDRY ROOM 06	CONCRETE	INSULATED MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 7'-2 1/4"	
MECHANICAL ROOM 07	CONCRETE				GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 6'-0"	
ELECTRICAL CLOSET 08	CONCRETE	INSULATED MAT	VINYL TILES		GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	7'-4 1/4"	
JANITOR CLOSET/STORAGE 09	CONCRETE	INSULATED MAT	VINYL TILES		GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	7'-4 1/4"	
GROUND LEVEL										
VESTIBULE 100	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
EXIT CORRIDOR	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
STAIRWELL # 1	WOOD	REGULAR	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	VARIABLE (SEE SECTION)	
STAIRWELL # 2	WOOD	REGULAR	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	VARIABLE (SEE SECTION)	
ROOMING UNIT 101	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
ROOMING UNIT 101 BATHROOM	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	+/- 8'-0"	
ROOMING UNIT 102	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
ROOMING UNIT 102 BATHROOM	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	+/- 8'-0"	
ROOMING UNIT 103	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
ROOMING UNIT 103 BATHROOM	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-0"	
ROOMING UNIT 104	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
ROOMING UNIT 104 BATHROOM	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-0"	
ROOMING UNIT 105	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
ROOMING UNIT 105 BATHROOM	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	7'-0"	
ROOMING UNIT 106	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
ROOMING UNIT 106 BATHROOM	WOOD	ACOUSTICAL MAT	VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	EXISTING SLOPED	
ROOMING UNIT 107	WOOD	REGULAR	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 9'-4"	
ROOMING UNIT 107 BATHROOM	REGULAR		VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	8'-0"	
ROOMING UNIT 108	WOOD	REGULAR	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 9'-4"	
ROOMING UNIT 108 BATHROOM	REGULAR		VINYL TILES	PAINTED WOOD	GYPSON BOARD (MOISTURE RESIST.)	PAINT	GYPSON BOARD (MOISTURE RESIST.)	PAINT	8'-0"	
ELECTRICAL CLOSET 109	WOOD	REGULAR	VINYL TILES	PAINTED WOOD	GYPSON BOARD	PAINT	GYPSON BOARD	PAINT	+/- 8'-0"	
NOTES:										

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NOT FOR CONSTRUCTION

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PLANS - GESTION
RESIDENTIEL & COMMERCIAL

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sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
ROOM FINISH SCHEDULE

Dossier/File: B23-117

Date: 2024-01-30

Échelle/Scale:

A790

RELEASE 1

PROPOSED ASSEMBLY TYPES

EXTERIOR BELOW GRADE WALL TYPES

TYPE Wf-01 - BELOW GRADE WALL ASSEMBLY : FOR NEW ADDED EXTERIOR INSULATED WALLS

- Existing concrete foundation wall
- 1 1/2" gap (between concrete and stud wall)
- 2x3 Wood Studs @ 24" o/c (installed 1 1/2" from concrete wall)
- 1 1/2" Sprayfoam insulation 2 lbs closed cell (behind studs)
- +/- 1 1/2" Sprayfoam insulation 2lbs closed cell (between studs)
- Total sprayfoam required = +/- 3"
- New 5/8" Type X Gypsum Board

Notes:

- Provided wall insulation = R10 + R10 ci for total of +/-R20

TYPE Wf-02 - BELOW GRADE WALL ASSEMBLY : FOR NEW FROST WALL FOUNDATIONS

- Waterproofing
- New 8" concrete foundation wall
- 2" XPS Rigid insulation R10 min.
- Vapour barrier
- Compacted sand bed layer
- Compacted gravel
- Undisturbed soil

EXTERIOR ABOVE GRADE WALL TYPES

TYPE We-01 - EXISTING ABOVE GRADE WALL ASSEMBLY : MAIN HOUSE BRICK WALLS CONVERTED TO 45 min. FIRE RATED ASSEMBLY (see floor plan to locate)

- Existing Brick Cladding to remain
- Existing air barrier
- Existing substrate
- Existing 2x4 wall assembly
- Existing insulation to remain
- Existing vapour barrier (Repair/reseal as needed)
- Existing wall finish to remain or removed as needed
- New 5/8" Type X Gypsum Board

TYPE We-02 - EXISTING ABOVE GRADE WALL ASSEMBLY : MAIN HOUSE BRICK WALLS - REINSULATED CONVERTED TO 45 min. FIRE RATED ASSEMBLY (see floor plan to locate)

- Existing Brick Cladding to remain
- Existing air barrier
- Existing substrate
- Existing 2x4 wall assembly
- New R14 rockwool insulation
- New INTELLO Plus Vapour/Air barrier
- New Horizontal furring as needed (with shims on uneven surfaces)
- New 5/8" Type X Gypsum Board

TYPE We-03 - EXISTING ABOVE GRADE WALL ASSEMBLY : BACK OF HOUSE EXISTING EXTENSION CONVERTED TO 45 min. FIRE RATED ASSEMBLY (see floor plan to locate)

- Existing Vinyl Cladding to remain (unless noted otherwise)
- Existing air barrier
- Existing substrate
- Existing 2x6 wall assembly
- Existing insulation to remain
- Existing vapour barrier (Repair/reseal as needed)
- Existing wall finish to remain or removed as needed.
- New 5/8" Type X Gypsum Board

TYPE We-04 - NEW ABOVE GRADE WALL ASSEMBLY : NEW ADDITION AND INFILL WALLS

- New Vertical or Horizontal cladding (see elevations to locate)
- 1x3 Horizontal wood furring 16" o/c (or as required) (for vertical cladding installation only)
- 1x3 Vertical wood furring (aligned with wood studs)
- Continuous Zip R6 insulated structural panel (seal and flash all joints for use as Water/Air barrier)
- 2x6 wood studs @ 16" o/c (unless indicated otherwise)
- Fiberglass batt insulation between studs R19 min. (completely filled cavity)
- INTELLO Plus Vapour/Air barrier
- 5/8" Type X Gypsum Board

Note:

Provided wall insulation = R19 + R6 ci for total of R25

INTERIOR WALL TYPES

TYPE Wi-01 EXISTING ASSEMBLIES CONVERTED TO 45 min. FIRE SEPERATION (STC 36) Except where indicated otherwise. See plans and legend to locate. (SEALED BOTH SIDES)

- New 5/8" Type X Gypsum Board
- Existing Wood Studs
- New Rockwool insulation (fill cavity)
- New 5/8" Type X Gypsum Board

TYPE Wi-02 NEW 45 min. FIRE SEPERATION ASSEMBLIES (STC 36) Except where indicated otherwise. See plans and legend to locate. (SEALED BOTH SIDES)

- 5/8" Type X Gypsum Board
- 2x4 Wood Studs
- Rockwool insulation (fill cavity)
- 5/8" Type X Gypsum Board

TYPE Wi-03 (Between units with attached millwork) NEW 45 min. FIRE SEPERATION ASSEMBLIES (STC 47 min.) See plans to locate. (SEALED BOTH SIDES)

- 5/8" Type X Gypsum Board
- 2 rows of 2x4 Wood Studs each spaced at 24" o/c staggered on common 2x6 plate
- 3 1/2" Rockwool insulation on one side or 2 1/2" thick on each side
- 5/8" Type X Gypsum Board

TYPE Wi-04 (Max soundproofing) NEW 45 min. FIRE SEPERATION ASSEMBLY (STC 47 min.) See plans to locate. (SEALED BOTH SIDES)

- 5/8" Type X Gypsum Board
- 2x4 Wood Studs at 24" o/c
- 3 1/2" Rockwool insulation
- RSIC-1 Sound Isolation Clips (spaced as needed) (see plan for side location)
- 25 gauge Metal furring (spaced as needed)
- 5/8" Type X Gypsum Board

Note:
Install RSIC clips, furring channels and drywall as per RSIC clip manufacturer installation instructions.

TYPE Wi-05 (inside units) NEW REGULAR PARTION ASSEMBLIES Except where indicated otherwise. See plans and legend to locate.

- 1/2" Gypsum board
- 2x4 Wood studs @ 16 o/c
- 1/2" Gypsum board

FLOOR TYPES

TYPE FI-01 - GROUND FLOOR (of main house conversion) : EXISTING ASSEMBLY CONVERTED TO SEALED FIRE SEPERATION + MAX SOUNDPROOFING (To be used in sleeping and living spaces)

- New Floor finish (see client for choices and locations)
- 3mm rubber pad underlay (spec to be provided by client)
- Existing plywood sub-floor
- Existing 2x10 Wood joists
- 3 1/2" Soundproofing insulation
- RSIC-1 Sound Isolation Clips (spaced as needed)
- Metal furring (spaced as needed)
- 2 Layers of 5/8" Type X Gypsum board
- drop ceiling/bulkheads as needed (see ceiling plan)

Notes:

- Required Fire resistance rating = 45 min.
- Required STC = 47 min.
- Install RSIC clips, furring channels and drywall as per RSIC clip manufacturer installation instructions.

TYPE FI-02 - GROUND FLOOR (of main house conversion) : EXISTING ASSEMBLY CONVERTED TO SEALED FIRE SEPERATION

- New Floor finish (see client for choices and locations)
- 3mm rubber pad underlay (spec to be provided by client)
- Existing plywood sub-floor
- Existing 2x10 Wood joists
- 3 1/2" Soundproofing insulation
- Metal furring 16" o/c
- 5/8" Type X Gypsum board
- drop ceiling/bulkheads as needed (see ceiling plan)

Notes:

Required Fire resistance rating = 45 min.

TYPE FI-03 - GROUND FLOOR (bathroom floor in unit 106) : EXISTING ASSEMBLY CONVERTED TO SEALED FIRE SEPERATION

- New Floor finish (see client for choices and locations)
- 3mm rubber pad underlay (spec to be provided by client)
- New 5/8" T7G plywood sub-floor
- New 2x4 framing @ 16" o/c (to raise existing floor level)
- Existing plywood sub-floor
- Existing 2x8 Wood joists
- Metal furring 16" o/c
- 5/8" Type X Gypsum board

Notes:

Required Fire resistance rating = 1 h

TYPE FI-04 - GROUND FLOOR (of converted garage) :

- New Floor finish (see client for choices and locations)
- Subfloor as needed
- New 5/8" T&G Plywood
- 2" XPS Rigid Insulation R10
- Existing Concrete Slab (to be re-leveled)

TYPE FI-05 - GROUND FLOOR (of new addition) :

- New Floor finish (see client for choices and locations)
- Subfloor as needed
- New 5" concrete slab (see floor plan)
- 2" XPS Rigid Insulation R10
- Vapour-barrier
- Compacted sand base
- Compacted gravel
- Undisturbed soil

TYPE FI-06 - BASEMENT FLOOR :

- New Floor finish (see client for choices and locations)
- Subfloor as needed
- Existing Concrete Slab (leveled as needed)

ROOF TYPES

TYPE Rf-01 - ROOF ASSEMBLY (of existing house conversion) :

- Existing Asphalt Shingles
- Existing Waterproofing Membrane
- Existing Plywood sheathing
- Existing wood rafters 2x6 @ 16" o/c
- Modified attic vented space (see roof plan)
- Existing insulation to be removed
- New Blown-in cellulose insulation +/-15" R50
- Existing ceiling joists 2x8 @ 16" o/c
- Existing wood strapping (to be determined)
- Existing vapour barrier (repair and reseal as needed)
- Existing ceiling finish (to remain or removed as needed)
- New 5/8" Type X Gypsum board
- Drop ceilings a needed (see ceiling plans)

Notes:

- Provided roof insulation = R50
- Required Fire resistance rating = 30 min. (OBC - 9.10.9.10.(2))
- Provided Fire resistance rating = 45 min.

TYPE Rf-02 - ROOF ASSEMBLY (new small addition) :

- Asphalt Shingles
- Ice and water shield Membrane (entire surface)
- 1/2" Plywood with "H" clips
- Sloped 2x8 wood rafters @ 16" o/c (see floor plan)
- +/- 5" Sprayfoam insulation 2 lbs closed cell +/- R35
- Unvented air space
- 1x3 wood strapping @ 16" o/c
- 5/8" Type X Gypsum board

Notes:

- Provided roof insulation = +/-R35
- Fire resistance rating of ceiling to be 45 min.

TYPE Rf-03 - ROOF ASSEMBLY (new small roof canopy addition) :

- Asphalt Shingles
- Ice and water shield Membrane (entire surface)
- 1/2" Plywood with "H" clips
- Sloped 2x8 wood rafters @ 16" o/c (see floor plan)
- Vented space
- 1x3 wood strapping @ 16" o/c
- Vented metal soffit

NOTES GÉNÉRALES:

1. Les plans fournis ne devront servir que pour la réalisation du bâtiment à l'adresse mentionnée. Toute utilisation, totale ou partielle autre que celle stipulée ci-haut est strictement interdite sans l'autorisation écrite de Sylvain Bériault, T.P. et n'engage en rien sa responsabilité.

2. L'entrepreneur doit vérifier toutes les dimensions et élévations avant de débiter les travaux et doit aviser immédiatement le designer de toutes erreurs, omissions et divergences avec les plans.

3. Les dimensions cotées ont préséance sur les dimensions mesurées à l'échelle.

4. Pendant le chantier l'entrepreneur devra vérifier toutes les dimensions et en sera tout à fait responsable.

5. La construction devra être exécutée selon les exigences des codes, normes et règlements municipaux en vigueur.

6. Tous les plans des différents professionnels impliqués dans ce projet sont complémentaires les uns des autres.

7. Tous les éléments structuraux identifiés doivent être vérifiés et confirmés par un ingénieur professionnel licencié en Ontario.

GENERAL NOTES:

1. The plans provided shall serve for the realization of the building at the address mentioned. All usage in total or in part, other than stipulated above, is strictly prohibited without the written authorization of Sylvain Bériault, T.P. and does not engage in any way his responsibility.

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3. The annotated dimensions have precedence over dimensions measured with a scale ruler.

4. During construction, contractor must verify all dimensions and shall be entirely responsible for them.

5. The construction shall be executed according to code requirements, norms, and municipal regulations in effect.

6. All plans and documents from different professionals implicated in this project are complementary from each other.

7. All identified structural elements are to be reviewed and confirmed by a professional engineer licensed in Ontario.

**NOT FOR
CONSTRUCTION**

BÉRIault
PLANS - GESTION
RESIDENTIEL & COMMERCIAL
(819) 712-7812
sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
ASSEMBLY TYPES

Dossier/File:	B23-117	A850
Date:	2024-01-30	
Échelle/Scale:		

RELEASE 1

CONSTRUCTION NOTES:

1. All bathrooms to be moisture resistant gypsum board.

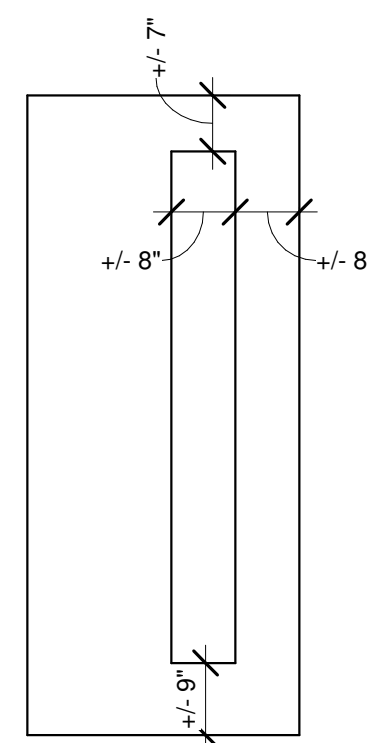
WINDOW SCHEDULE (Rough opening sizes)			
NUMBER	WIDTH	HEIGHT	REMARKS
BASEMENT LEVEL			
W01	+/-46"	+/-32"	See note 1, 2 & 3
GROUND LEVEL			
W02	48"	+/-58"	See note 1 & 2
W03	62"	48"	See note 1 & 2

NOTE 1: Exact Dimensions to be confirmed on site with existing and new openings
NOTE 2: Clear open portion of window must be 0.35m2 (3.77 ft2) minimum with no dimension less than 380mm (15")
NOTE 3: Window types in window wells to be tilt and turn with inside up swing allow adequate clearance

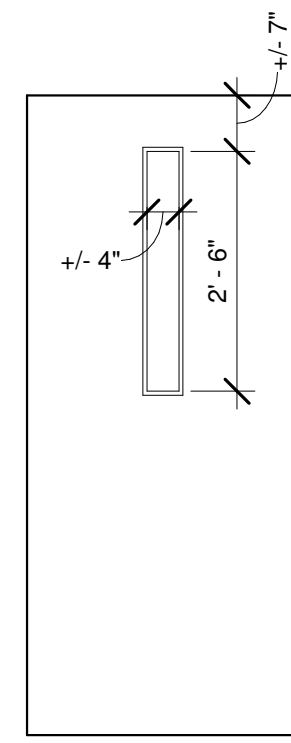
DOOR SCHEDULE															
NUMBER	FROM	TO	PANEL TYPE	PANEL MATERIAL	PANEL FINISH	PANEL GLASS	PANEL FRR	WIDTH	HEIGHT	THICKNESS	FRAME MATERIAL	FRAME FINISH	FRAME FRR	HARDWARE GROUP	REMARKS
BASEMENT LEVEL															
DE001	EXIT CORRIDOR	STAIRWELL # 1	B	WOOD SOLID CORE	PAINT	WIRED GLASS	20 MIN.	34"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	3	See note 1
DE002	EXIT CORRIDOR	STAIRWELL # 2	B	WOOD SOLID CORE	PAINT	WIRED GLASS	20 MIN.	34"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	3	See note 1
D01	EXIT CORRIDOR	ROOMING UNIT 01	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D01a	ROOMING UNIT 01	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D02	EXIT CORRIDOR	ROOMING UNIT 02	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D02a	ROOMING UNIT 02	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D03	EXIT CORRIDOR	ROOMING UNIT 03	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D03a	ROOMING UNIT 03	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D04	EXIT CORRIDOR	ROOMING UNIT 04	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D04a	ROOMING UNIT 04	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D04b	ROOMING UNIT 04	WALK-IN CLOSET	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		9	
D05	EXIT CORRIDOR	ROOMING UNIT 05	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D05a	ROOMING UNIT 05	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D06	EXIT CORRIDOR	KITCHEN/LAUNDRY ROOM 06	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	6	
D07	KITCHEN/LAUNDRY ROOM 06	MECHANICAL ROOM 07	C	STEEL	PAINT		45 MIN.	30"	80"	1 3/4"	PRESSED STEEL	PAINT	45 MIN.	4	
D08	KITCHEN/LAUNDRY ROOM 06	ELECTRICAL CLOSET 08	D	WOOD SOLID CORE	PAINT		20 MIN.	48"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	10	
D09	EXIT CORRIDOR	JANITOR/STORAGE ROOM 09	C	WOOD SOLID CORE	PAINT		20 MIN.	24"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	4	
GROUND LEVEL															
DE100a	EXTERIOR	VESTIBULE	A	METAL THERMAL BREAK	PAINT	DOUBLE GLAZED, CLEAR, TEMPERED		34"	80"	1 3/4"	METAL THERMAL BREAK	PAINT		1	See note 1
DE100b	VESTIBULE	EXIT CORRIDOR	A	WOOD SOLID CORE	PAINT	SINGLE GLAZED, CLEAR, TEMPERED		34"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	2	See note 1
DE101a	EXTERIOR	STAIRWELL # 1	A	METAL THERMAL BREAK	PAINT	DOUBLE GLAZED, CLEAR, TEMPERED		34"	80"	1 3/4"	METAL THERMAL BREAK	PAINT		1	See note 1
DE101b	STAIRWELL # 1	EXIT CORRIDOR	B	WOOD SOLID CORE	PAINT	WIRED GLASS	20 MIN.	34"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	3	See note 1
DE102	EXTERIOR	STAIRWELL # 2	A	METAL THERMAL BREAK	PAINT	DOUBLE GLAZED, CLEAR, TEMPERED		34"	80"	1 3/4"	METAL THERMAL BREAK	PAINT		1	See note 1
D101	EXIT CORRIDOR	ROOMING UNIT 101	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D101a	ROOMING UNIT 101	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D102	EXIT CORRIDOR	ROOMING UNIT 102	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D102a	ROOMING UNIT 102	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D103	EXIT CORRIDOR	ROOMING UNIT 103	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D103a	ROOMING UNIT 103	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D104	EXIT CORRIDOR	ROOMING UNIT 104	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D104a	ROOMING UNIT 104	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D105	EXIT CORRIDOR	ROOMING UNIT 105	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D105a	ROOMING UNIT 105	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D106	EXIT CORRIDOR	ROOMING UNIT 106	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D106a	ROOMING UNIT 106	BATHROOM	C	WOOD HOLLOW CORE	PAINT			24"	80"	1 3/8"	WOOD	PAINT		7	
D107	EXIT CORRIDOR	ROOMING UNIT 107	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D107a	ROOMING UNIT 107	BATHROOM	C	WOOD HOLLOW CORE	PAINT			30"	80"	1 3/8"	WOOD	PAINT		7	
D108	EXIT CORRIDOR	ROOMING UNIT 108	C	WOOD SOLID CORE	PAINT		20 MIN.	32"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	5	
D108a	ROOMING UNIT 108	BATHROOM	C	WOOD HOLLOW CORE	PAINT			30"	80"	1 3/8"	WOOD	PAINT		7	
D109	EXIT CORRIDOR	ELECTRICAL CLOSET 109	C	WOOD SOLID CORE	PAINT		20 MIN.	24"	80"	1 3/4"	WOOD 1 1/2" THICK (MIN.)	PAINT	NOT REQUIRED	4	

NOTE 1: Minimum 78" clear opening height under door closer

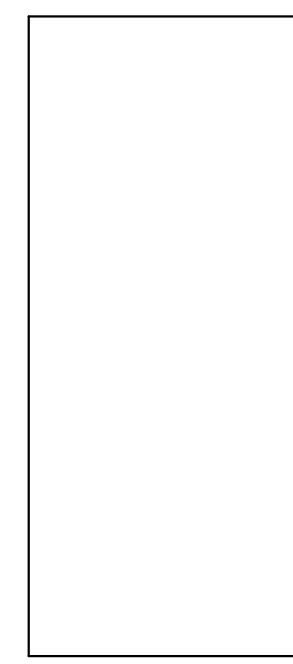
DOOR PANEL TYPES:



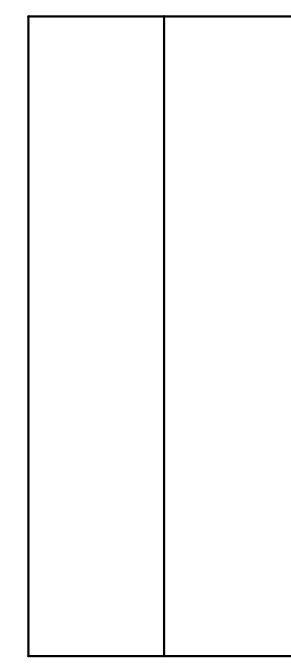
TYPE A



TYPE B



TYPE C



TYPE D

DOOR HARDWARE GROUPS:

GROUP 1 – EXTERIOR ENTRY/EXIT DOORS

- 3 REGULAR HINGES
- 1 LOCKSET
- 1 PUSH PLATE (INTERIOR SIDE)
- 1 TUBULAR PULL HANDLE (EXTERIOR SIDE)
- 1 DOOR CLOSER
- 1 OVERHEAD STOP
- 1 WEATHERSTRIPPING KIT
- 1 INSULATED SILL (WITH THERMAL BREAK)

GROUP 2 – MAIN ENTRANCE VESTIBULE TO CORRIDOR

- 3 REGULAR HINGES
- 1 PASSAGE SET
- 1 DOOR CLOSER
- 1 OVERHEAD STOP
- 1 WEATHERSTRIPPING KIT
- 1 TRANSITION SILL (AS NEEDED)

GROUP 3 - STAIR TO CORRIDOR

- 3 REGULAR HINGES
- 1 PASSAGE SET
- 1 DOOR CLOSER
- 1 WEATHERSTRIPPING KIT (SMOKE SEAL)
- 1 OVERHEAD STOP
- 1 TRANSITION SILL (AS NEEDED)

GROUP 4 – MECHANICAL ROOM / ELECTRICAL CLOSET / STORAGE ROOM

- 3 REGULAR HINGES
- 1 LOCKSET
- 1 DOOR CLOSER
- 1 WALL/OVERHEAD STOP AS APPROPRIATE

GROUP 5 – ROOMING UNIT ENTRY DOOR

- 2 REGULAR HINGES
- 2 SPRING HINGES
- 1 MORTISE TYPE LOCKSET
- 1 WEATHERSTRIPPING KIT (SMOKE SEAL)
- 1 APPROPRIATE STOP (WALL, HINGE OR FLOOR STOP)
- 1 DOOR VIEWER
- 1 TRANSITION SILL

GROUP 6 – COMMON ROOMS

- 2 REGULAR HINGES
- 2 SPRING HINGES
- 1 MORTISE TYPE LOCKSET
- 1 WEATHERSTRIPPING KIT (SMOKE SEAL)
- 1 APPROPRIATE STOP (WALL, HINGE OR FLOOR STOP)
- 1 TRANSITION SILL

GROUP 7 – BATHROOM DOOR

- 3 REGULAR HINGES
- 1 PRIVACY LOCKSET
- 1 APPROPRIATE STOP (WALL, HINGE OR FLOOR STOP)
- 1 TRANSITION SILL (AS NEEDED)

GROUP 8 – SLIDING BARN STYLE BATHROOM DOOR

- 1 SURFACE MOUNTED METAL TRACK & PULLEY KIT
- 2 PULL HANDLES (EACH SIDE AS NEEDED DEPENDING ON CHOSEN LOCKSET)
- 1 PRIVACY LOCKSET
- 2 OVERHEAD TRACK STOPS/BUMPERS AS APPROPRIATE (EACH END OF TRACK)
- 1 TRANSITION SILL (AS NEEDED)

GROUP 9 – SINGLE SWING STORAGE/CLOSET DOOR

- 3 REGULAR HINGES
- 1 DUMMY SET
- 1 BULLET CATCH
- 1 APPROPRIATE STOP (WALL, HINGE OR FLOOR STOP)

GROUP 10 – DOUBLE SWING ELECTRICAL CLOSET DOORS

- 6 REGULAR HINGES
- 1 LOCKSET
- 2 WALL, HINGE OR OVERHEAD STOP AS APPROPRIATE

Note:

- Supply and install all necessary and adequate hardware as per manufacturer recommendations and to client's choices
- All hardware to be grade 1
- Coordinate door handle choices with client
- Supply and install necessary thermal breaks for all exterior doors
- Supply and install appropriate door stops based on door swings and wall/millwork/furniture proximities (see floor plans and client to confirm choices)
- Expect a master and secondary keying system as needed (to be coordinated with clients)

NOTES GÉNÉRALES:

1. Les plans fournis ne devront servir que pour la réalisation du bâtiment à l'adresse mentionnée. Toute utilisation, totale ou partielle autre que celle stipulée ci-haut est strictement interdite sans l'autorisation écrite de Sylvain Bériault, T.P. et n'engage en rien sa responsabilité.
2. L'entrepreneur doit vérifier toutes les dimensions et élévations avant de débiter les travaux et doit aviser immédiatement le designer de toutes erreurs, omissions et divergences avec les plans.
3. Les dimensions cotées ont préséance sur les dimensions mesurées à l'échelle.
4. Pendant le chantier l'entrepreneur devra vérifier toutes les dimensions et en sera tout à fait responsable.
5. La construction devra être exécutée selon les exigences des codes, normes et règlements municipaux en vigueur.
6. Tous les plans des différents professionnels impliqués dans ce projet sont complémentaires les uns des autres.
7. Tous les éléments structuraux identifiés doivent être vérifiés et confirmés par un ingénieur professionnel licencié en Ontario.

GENERAL NOTES:

1. The plans provided shall serve for the realization of the building at the address mentioned. All usage in total or in part, other than stipulated above, is strictly prohibited without the written authorization of Sylvain Bériault, T.P. and does not engage in any way his responsibility.
2. Contractor shall review all dimensions and elevations before beginning work and must immediately advise the designer of any errors, omissions, and divergences with the plans.
3. The annotated dimensions have precedence over dimensions measured with a scale ruler.
4. During construction, contractor must verify all dimensions and shall be entirely responsible for them.
5. The construction shall be executed according to code requirements, norms, and municipal regulations in effect.
6. All plans and documents from different professionals implicated in this project are complementary from each other.
7. All identified structural elements are to be reviewed and confirmed by a professional engineer licensed in Ontario.

NOT FOR CONSTRUCTION

BÉRIault
PLANS - GESTION
RESIDENTIEL & COMMERCIAL
(819) 712-7812
sberiault2@outlook.com

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
 (Existing Single Family Home Conversion)
 512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
 WINDOW AND DOOR SCHEDULES

Dossier/File: B23-117

Date: 2024-01-30

Échelle/Scale: 1/2" = 1'-0"

A900

RELEASE 1