

LOT 75 REGISTERED PLAN 263 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2022

Scale 1: 100 0 2.5 5 7.5 10 metres

Metric Note Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note Bearings hereon are grid bearings derived from the westerly limit of Athlone Ave as shown on plan SR-14256, having a bearing of N22°50'30"W and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

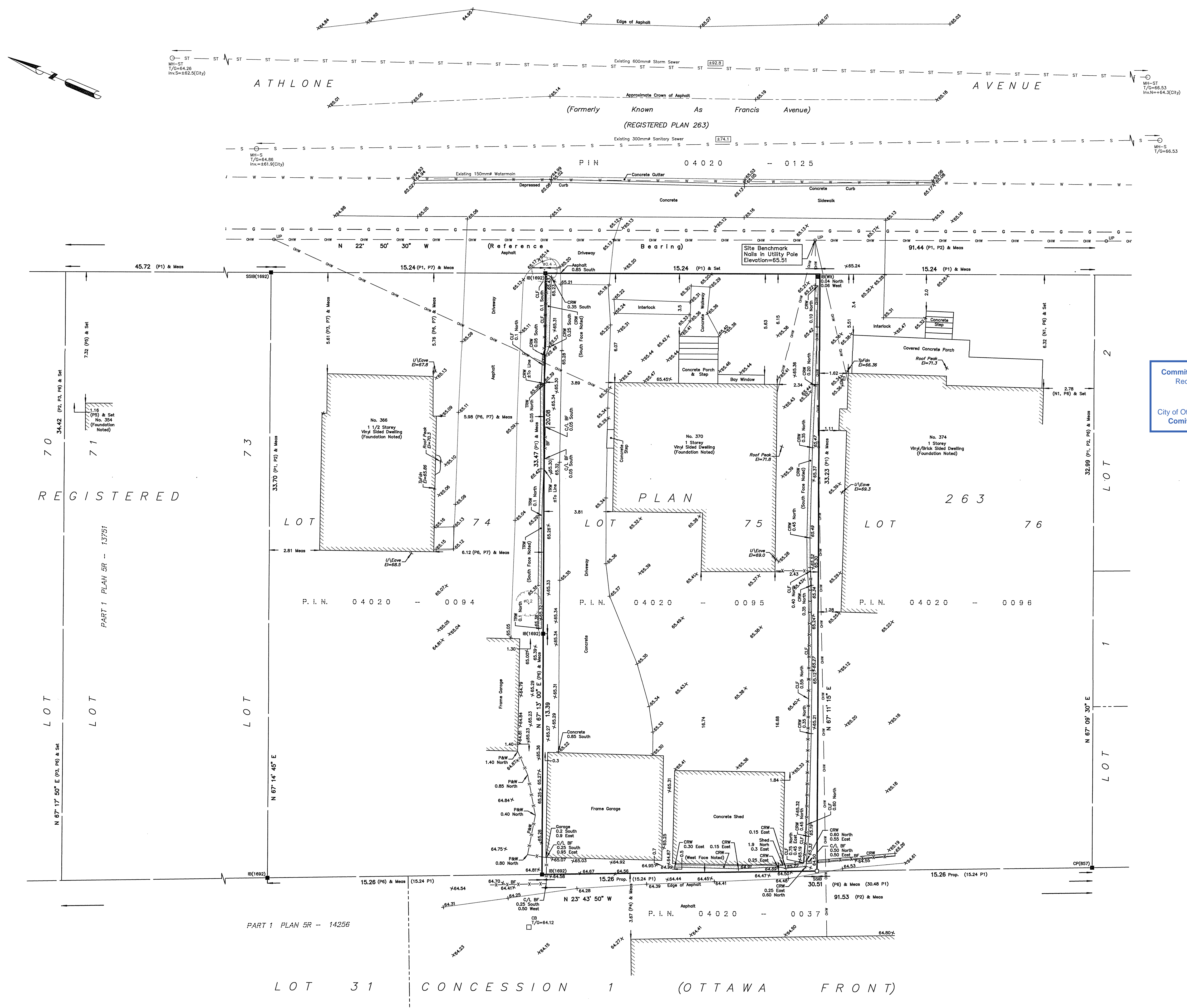
For bearing comparisons, a rotation of 0°33'10" counter-clockwise was applied to bearings on P3.

Elevation Notes 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 197534238) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: E-04-10, E-04-15, E2e-2. 4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement and City of Ottawa Utility Plans. 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

- Notes & Legend Denotes Survey Monument Planted, Survey Monument Found, Short Standard Iron Bar, Iron Bar, Cut Cross, Concrete Pin, Witness, Measured, Registered Plan 263, Plan SR-14256, Plan SR-13751, Plan by (857) dated April 20, 2017 Ref. No. 248-(OF) NP, Plan by (1283) dated September 20, 1990 Ref. No. 0-263-2, Plan by (1692) dated February 24, 2022 (Job No. 740-21), Plan by (725) dated August 12, 1981 (Ref. No. 333-81), Notes by (647) dated October 24, 1985, Maintenance Hole (Storm), Maintenance Hole (Sanitary), Underground Storm Sewer, Underground Sanitary Sewer, Underground Water, Underground Gas, Overhead Wires, Utility Pole, Catch Basin, Fire Hydrant, Diameter, Chain Link Fence, Post and Wire, Board Fence, Metal Fence, Concrete Retaining Wall, Timber Retaining Wall, Invert, Top of Grate, Elevation, Underside of Eave, Top of Foundation, Centreline, Invert obtained from City utility sheets, Location of Elevations, Top of Concrete Curb Elevation, Property Line, Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Committee of Adjustment Received | Reçu le 2024-02-22 City of Ottawa | Ville d'Ottawa Comité de dérogation



Site Area=508.5 sq.m.

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Surveyor's Certificate I certify that: 1. This survey and plan are correct and in accordance with the Surveyors Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 26th day of May, 2022. Date June 19/2022 Emad Alrefaai Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-28461 FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

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2024-02-22
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Comité de dérogation

366 ATHLONE AVE
ZONING: R4UB

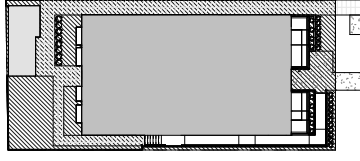
374 ATHLONE AVE
ZONING: R4UB



ATHLONE AVE

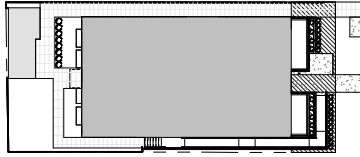
OVERALL SITE AREAS

LOT AREA:	5472.1 SQFT
BUILDING AREA:	2791.1 SQFT
LANDSCAPING:	1841.1 SQFT
RATIO	34.5% OF LOT (30% MIN)



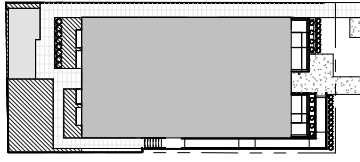
FRONT YARD

YARD AREA:	138.0 SQFT
SOFT LANDSCAPE:	955.1 SQFT*
RATIO	47.8% OF YARD (40% MIN)
*INCLUDES WALKWAYS AS PER ZONING 139.4.(d)	



REAR YARD

YARD AREA:	1246.3 SQFT
SOFT LANDSCAPE:	634.1 SQFT
RATIO	50.8% OF YARD (50% MIN)



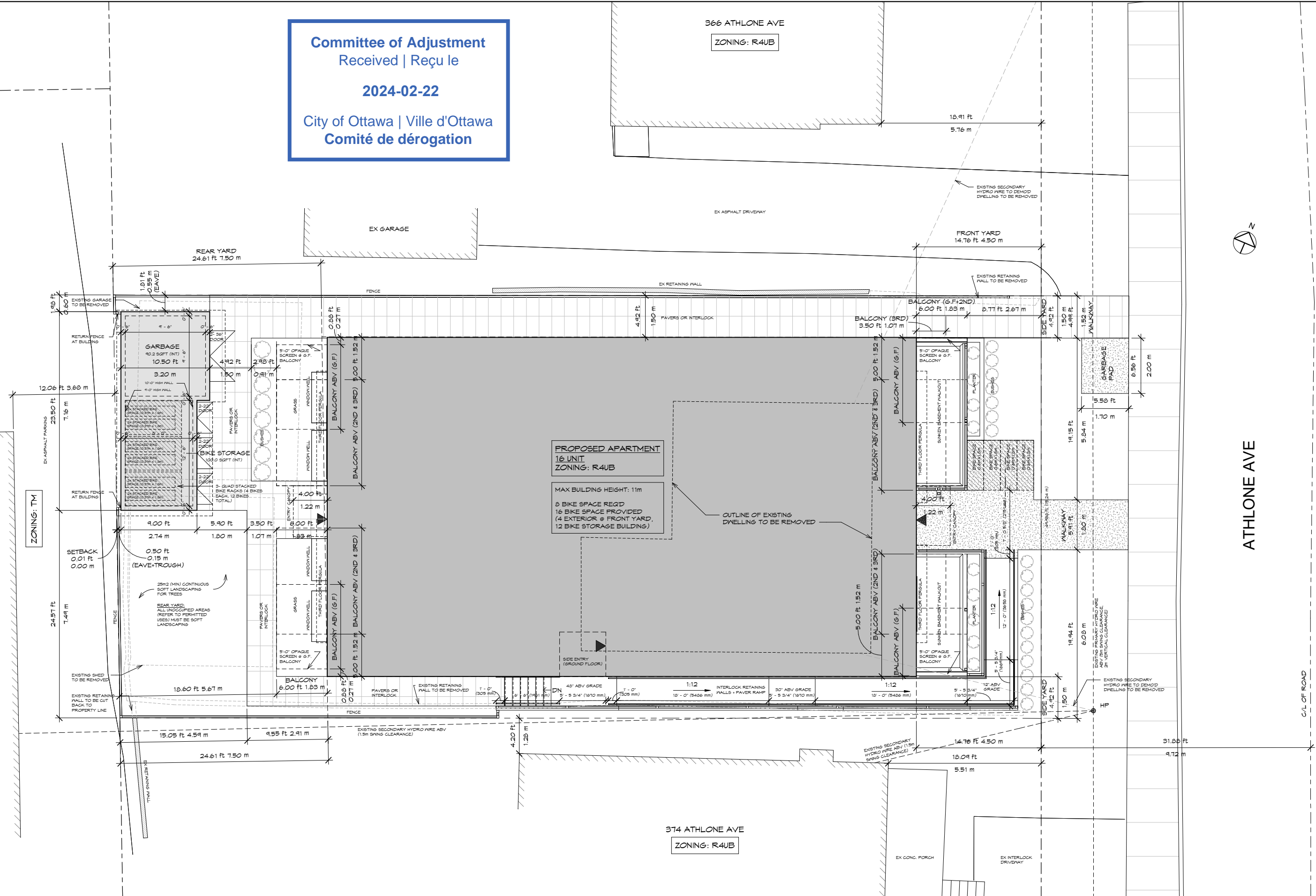
SITE PLAN
370 ATHLONE AVE

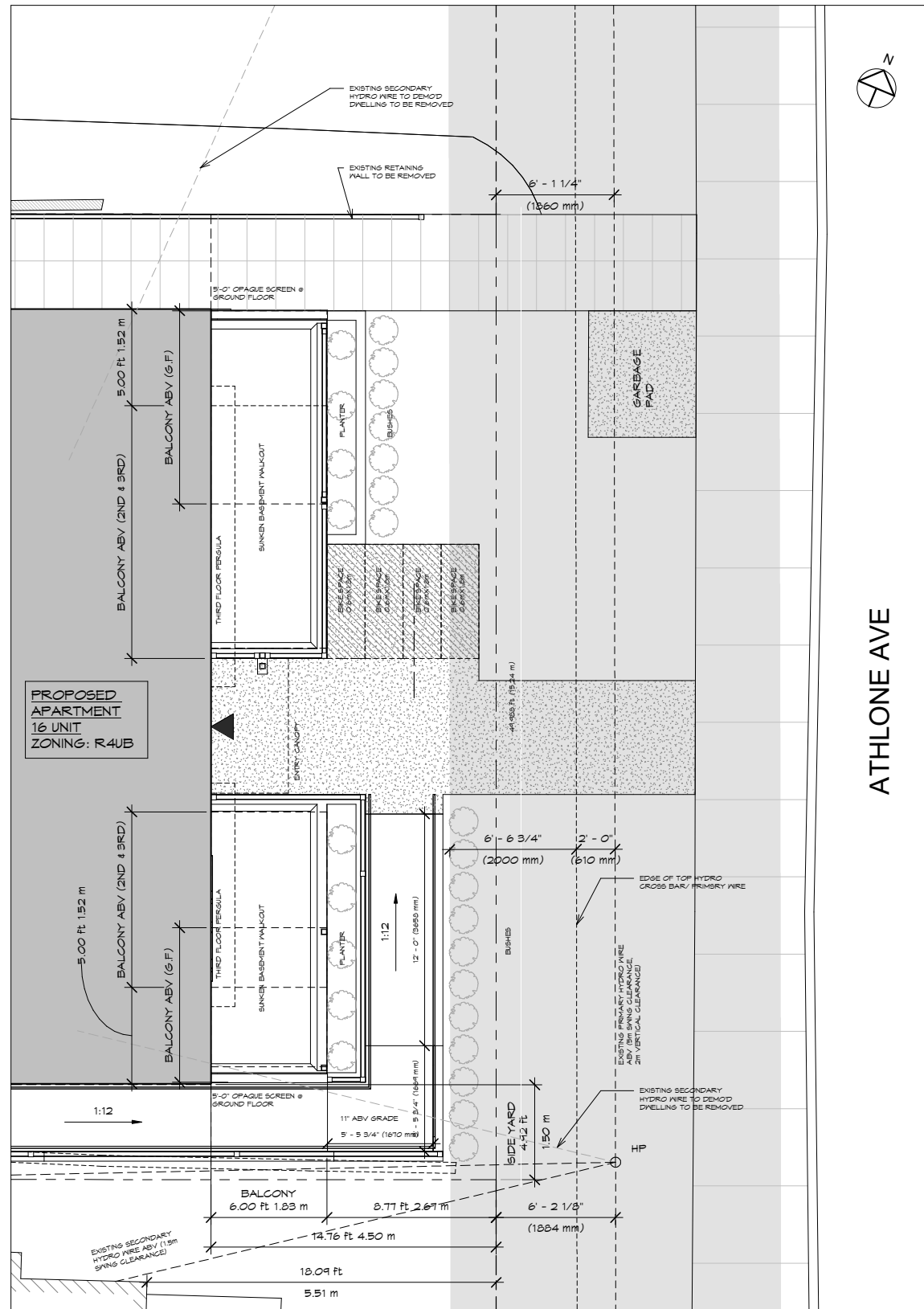
FEB 13 2024

SCALE: 3/16" = 1'-0"
NOTE: HALF SCALE FOR 11"x17"

A0.1
GRANT HENLEY
INC.

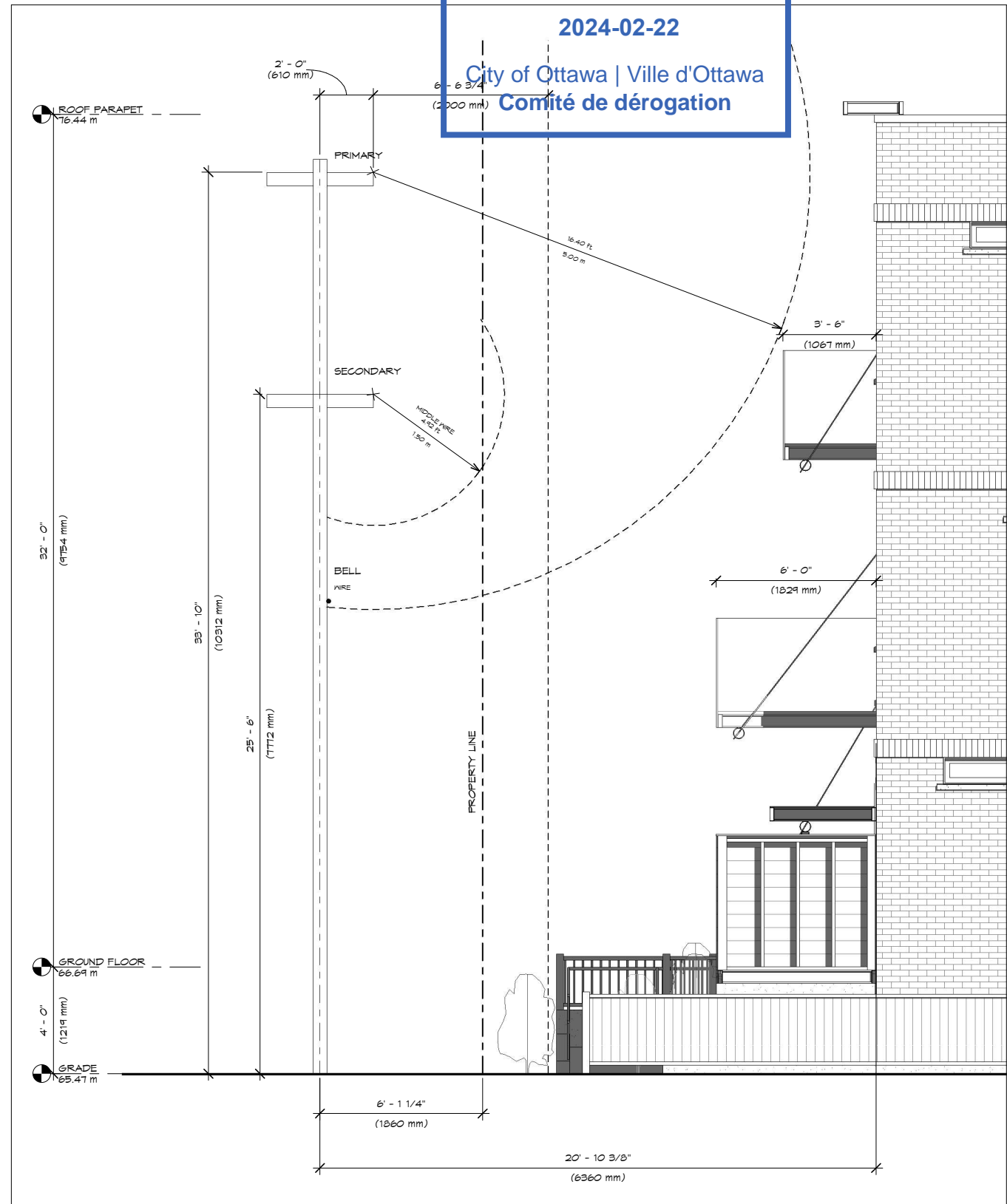
PRELIMINARY - NOT FOR CONSTRUCTION





① HYDRO PLAN
1/4" = 1'-0"

ATHLONE AVE



② HYDRO ELEVATION
3/8" = 1'-0"

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HYDRO
370 ATHLONE AVE

FEB 13 2024

SCALE: As indicated
NOTE: HALF SCALE FOR 11"x17"

A0.4
GRANT HENLEY inc

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MATERIALS	
BY	BRICK VANEER
CP	CONCRETE PARDING
GNP	HARDIPLANK SIDING BY JAMES HARDIE
GZG	42" GLASS GAURD
MBN	METAL FRAMED BALCONY C/W WIRE SUPPORT @ 2ND AND 3RD FLOOR
MTL	METAL SIDING
OSG	80" HIGH OPAQUE SCREEN GUARD

WALL/WINDOW RATIO								
ELEVATION	UNPROTECTED OPENINGS	EXPOSED BUILDING FACE	RATIO	SETBACK	MAX EBO 9.10.14.4(1)(a)	MAX EBO 9.10.14.4(1)(c)	MAX RATIO 9.10.14.4(1)(c)	CONSTRUCTION
FRONT	533.22 SF	1328.45 SF	40.14%	14.22 m	730.65 SF	2176.55 SF	55%	COMBUSTIBLE CONSTRUCTION & CLADDING PERMITTED, 45 MIN FRR MIN
LEFT	126.20 SF	2308.56 SF	5.41%	1.20 m	161.60 SF	15.50 SF	7%	NON-COMBUSTIBLE CONSTRUCTION & CLADDING REQ'D, 1 HR FRR
REAR	594.99 SF	1328.45 SF	44.79%	7.50 m	252.41 SF	605.47 SF	19%	COMBUSTIBLE CONSTRUCTION PERMITTED, NON-COMBUSTIBLE CLADDING REQ'D, 1 HR FRR MIN
RIGHT	169.50 SF	2308.56 SF	7.34%	1.20 m	161.60 SF	15.50 SF	7%	NON-COMBUSTIBLE CONSTRUCTION & CLADDING REQ'D, 1 HR FRR
TOTAL	1423.91 SF	7274.02 SF	19.58%					

* CALCULATED BY FIRE COMPARTMENT AS PER 9.10.14.21.(1). REFER TO A3.4



FRONT ELEVATION
370 ATHLONE AVE

FEB 13 2024
 SCALE: 3/8" = 1'-0"
 NOTE: HALF SCALE FOR 11"x17"



MATERIALS	
BY	BRICK VANEER
CP	CONCRETE PARADING
CNP	HARDIEPLANK SIDING BY JAMES HARDIE
GZG	42" GLASS GAURD
MBW	METAL FRAMED BALCONY C/W WIRE SUPPORT @ 2ND AND 3RD FLOOR
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LEFT ELEVATION

370 ATHLONE AVE

FEB 13 2024

SCALE: 1/4" = 1'-0"
NOTE: HALF SCALE FOR 11"x17"

A3.2
GRANT HENLEY
Architects

MATERIALS	
BY	BRICK VANEER
CP	CONCRETE PARDING
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REAR ELEVATION
370 ATHLONE AVE

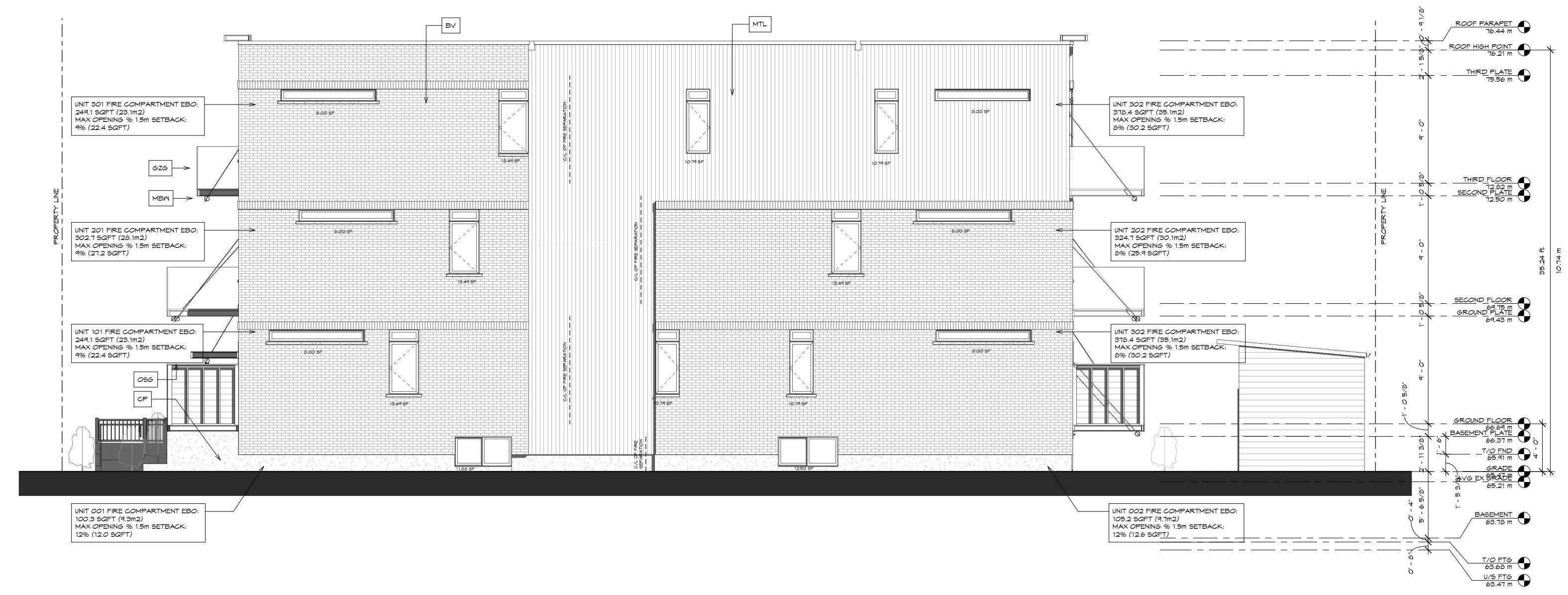
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RIGHT ELEVATION
370 ATHLONE AVE