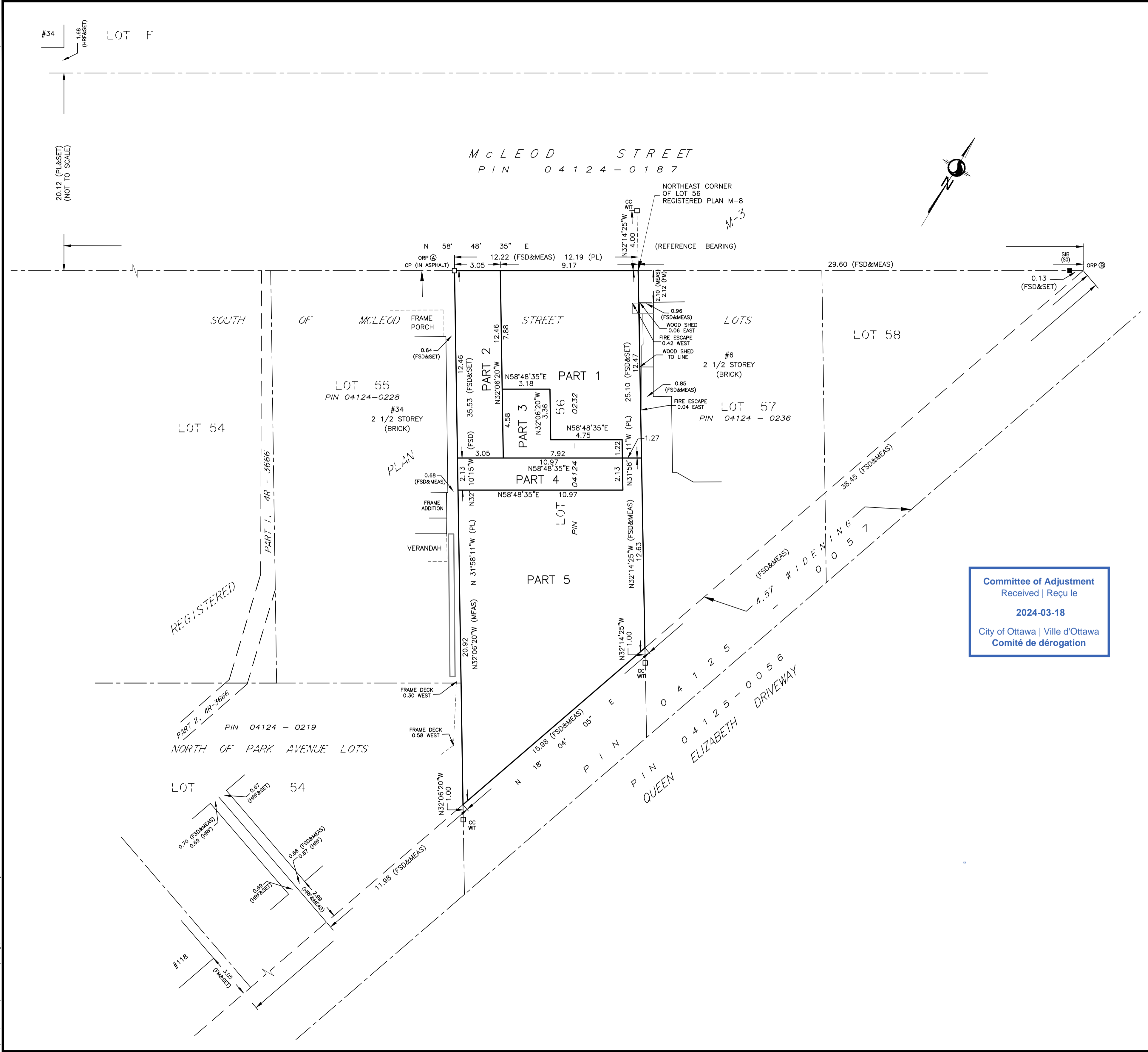


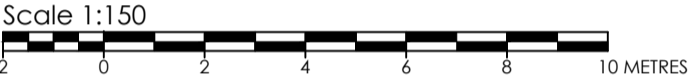
23 April 2021 10:58 PM
 W:\Users\161614293\Documents - Plan\Drawings\161614293-114-41-35.dwg



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.	PLAN 4R-
DATE: _____	RECEIVED AND DEPOSITED
GRANT BENNETT ONTARIO LAND SURVEYOR	DATE: _____
	REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON (4).

SCHEDULE			
PART	LOT	PLAN	PIN
1	PART OF 56	M-3	ALL OF 04124-0232
2			
3			
4			
5			

PLAN OF SURVEY OF
PART OF LOT 56
REGISTERED PLAN M-3
CITY OF OTTAWA



METRIC CONVERSION
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
 BEARINGS ARE GRID, DERIVED FROM THE CAN-NET VRS NETWORK OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76°30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006060.42 E:324888.04
 19680191 N:5033564.26 E:388064.94

ROTATION NOTE
 A ROTATION OF 0°34'55" COUNTERCLOCKWISE WAS APPLIED TO PL & FSD PLAN DATED JUNE 18, 2008 FOR BEARING COMPARISONS.

Committee of Adjustment
 Received | Reçu le
2024-03-18
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

LEGEND

SYMBOL	DENOTES	FOUND MONUMENTS
■	DENOTES	FOUND MONUMENTS
□	"	SET MONUMENTS
IB	"	IRON BAR
IBØ	"	ROUND IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
CP	"	CONCRETE PIN
WIT	"	WITNESS
PIN	"	IDENTIFICATION NUMBER
MEAS	"	MEASURED
PROP	"	PROPORTIONED
OU	"	ORIGIN UNKNOWN
STANTEC	"	STANTEC GEOMATICS LTD.
PL	"	REGISTERED PLAN M-3
FSD	"	FARLEY SMITH & DENIS LTD.

OBSERVED REFERENCE POINTS DERIVED FROM THE CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76°30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL). COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
Ⓐ	5030912.78	368733.34
Ⓑ	5030891.19	368697.68

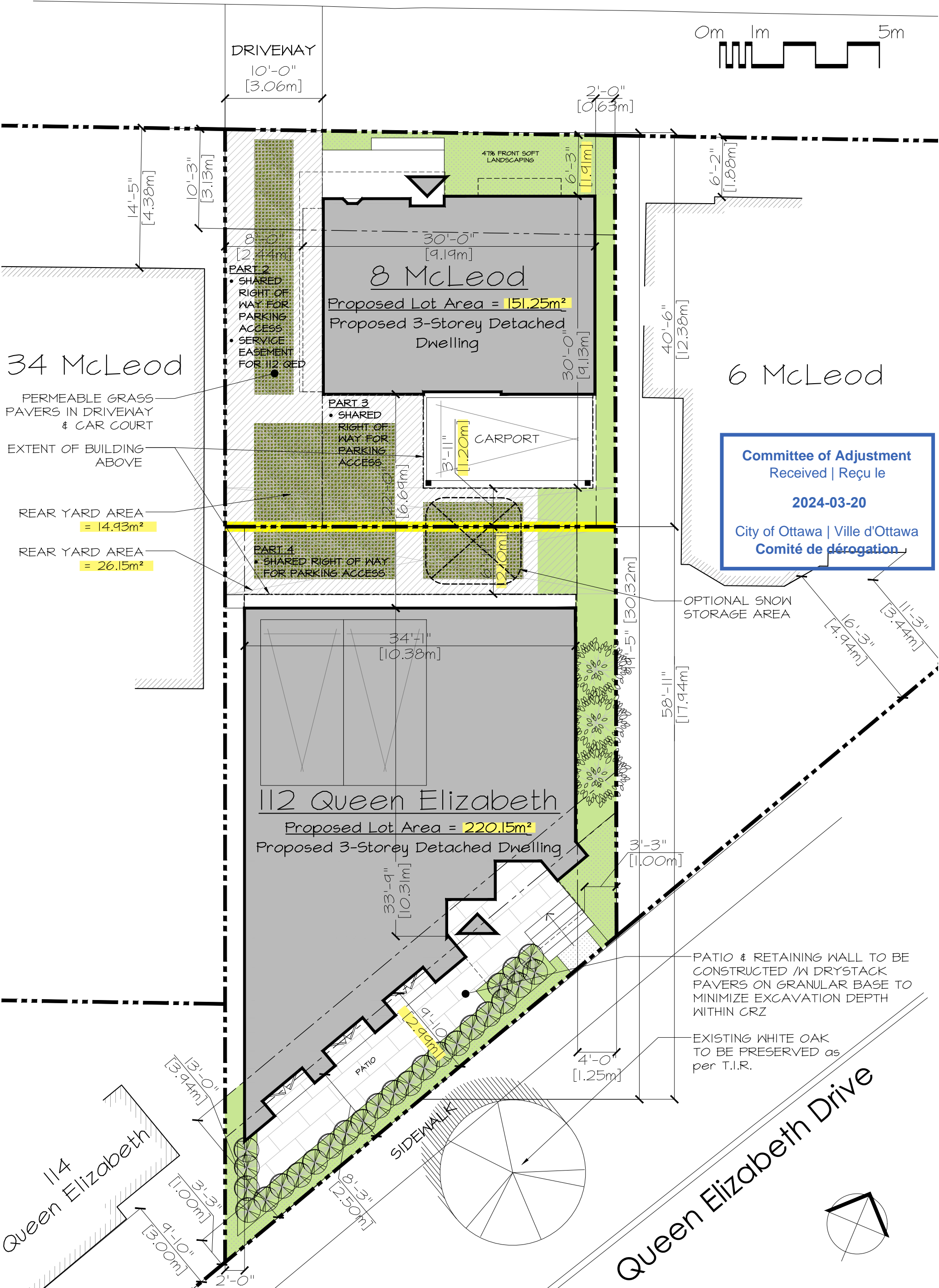
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE DAY OF, 2021.

DATE _____ GRANT BENNETT
 ONTARIO LAND SURVEYOR

Stantec Geomatics Ltd.
 CANADA AND ONTARIO LAND SURVEYORS
 1331 CLYDE AVENUE, SUITE 400
 OTTAWA, ONTARIO, K2C 3G4
 TEL. (613)722-4420 FAX. (613)722-2799
 stantec.com

SIDEWALK



34 McLeod

PERMEABLE GRASS PAVERS IN DRIVEWAY & CAR COURT

EXTENT OF BUILDING ABOVE

REAR YARD AREA = 14.93m²

REAR YARD AREA = 26.15m²

DRIVEWAY
10'-0" [3.06m]

8 McLeod
Proposed Lot Area = 151.25m²
Proposed 3-Storey Detached Dwelling

PART 2
• SHARED RIGHT OF WAY FOR PARKING ACCESS
• SERVICE EASEMENT FOR 112 QED

PART 3
• SHARED RIGHT OF WAY FOR PARKING ACCESS

PART 4
• SHARED RIGHT OF WAY FOR PARKING ACCESS

CARPORT

6 McLeod

Committee of Adjustment
Received | Reçu le
2024-03-20
City of Ottawa | Ville d'Ottawa
Comité de dérogation

OPTIONAL SNOW STORAGE AREA

112 Queen Elizabeth
Proposed Lot Area = 220.15m²
Proposed 3-Storey Detached Dwelling

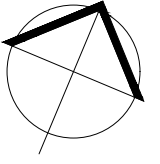
PATIO & RETAINING WALL TO BE CONSTRUCTED IN DRYSTACK PAVERS ON GRANULAR BASE TO MINIMIZE EXCAVATION DEPTH WITHIN CRZ

EXISTING WHITE OAK TO BE PRESERVED as per T.I.R.

114 Queen Elizabeth

SIDEWALK

Queen Elizabeth Drive



8 McLeod & 112 Queen Elizabeth Driveway

CONCEPT SITE PLAN

scale 1:100
OCTOBER, 2021