

Tim-O-Tree

2441 Ogilvie Rd.

Ottawa ON K1J7N3

timotreeot@gmail.com



Tree Information Report:

512 Moodie Dr.

Committee of Adjustment
Received | Reçu le

2024-02-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Summary

Tree	Species	DBH ¹	Ownership ²	Condition ³	Recommendation
1.	Northern Red Oak (<i>Quercus rubra</i>)	80	Municipal	Good	Retain; protect with fencing.
2.	Sugar Maple (<i>Acer saccharum</i>)	27	Private (512 Moodie)	Fair	Retain; no protection required.
3.	Northern Red Oak (<i>Quercus rubra</i>)	54	Private (512 Moodie)	Good	Retain; no protection required.
4.	Norway Spruce (<i>Picea abies</i>)	19	Private (512 Moodie)	Fair	Retain; no protection required.
5.	Paper Birch (<i>Betula papyrifera</i>)	32	Private (512 Moodie)	Good	Retain; no protection required.
6.	Red Pine (<i>Pinus resinosa</i>)	29	Private (512 Moodie)	Fair	Retain; no protection required.
7.	Norway Spruce (<i>Picea abies</i>)	32	Private (512 Moodie)	Good	Retain; no protection required.
8.	Norway Spruce (<i>Picea abies</i>)	12	Private (512 Moodie)	Good	Retain; no protection required.

¹ Diameter at breast height, in centimeters. Measured at 1.3m from grade.

² All claims to ownership made in this report are based on the most recent draft of the site plan.

³ Tree condition is rated on a three-point scale, with each scale rated as follows: Poor—the tree is dead, dying, or poses a hazard; Fair—the tree is vigorous, but has some significant stressors or risk factors; Good—the tree is vigorous and does not have significant stressors or risk factors.

9.	Norway Spruce (<i>Picea abies</i>)	21	Private (512 Moodie)	Good	Retain; no protection required.
10.	Apple (<i>Malus domestica</i>)	22	Private (512 Moodie)	Good	Retain; no protection required.
11.	Eastern White Cedar (<i>Thuja occidentalis</i>)	23	Private (512 Moodie)	Good	Retain; no protection required.
12.	Eastern White Cedar (<i>Thuja occidentalis</i>)	15	Private (512 Moodie)	Good	Retain; no protection required.
13.	Siberian Elm (<i>Ulmus pumila</i>)	33	Private (512 Moodie)	Good	Retain; no protection required.
14.	White Pine (<i>Pinus strobus</i>)	25	Private (512 Moodie)	Fair	Retain; no protection required.
15.	Basswood (<i>Tilia americana</i>)	16	Private (512 Moodie)	Fair	Retain; no protection required.
16.	Red Pine (<i>Pinus resinosa</i>)	34	Private (512 Moodie)	Good	Retain; no protection required.
17.	White Pine (<i>Pinus strobus</i>)	25	Private (512 Moodie)	Fair	Retain; no protection required.
18.	White Pine (<i>Pinus strobus</i>)	26	Private (512 Moodie)	Poor	Retain; no protection required.
19.	White Pine (<i>Pinus strobus</i>)	37	Private (512 Moodie)	Fair	Retain; no protection required.
20.	White Pine (<i>Pinus strobus</i>)	24	Private (512 Moodie)	Fair	Retain; no protection required.
21.	White Pine (<i>Pinus strobus</i>)	29	Private (512 Moodie)	Fair	Retain; no protection required.
22.	Red Pine (<i>Pinus resinosa</i>)	19	Private (512 Moodie)	Dead	Retain; no protection required.
23.	Red Pine (<i>Pinus resinosa</i>)	33	Private (512 Moodie)	Dead	Retain; no protection required.
24.	Norway Maple (<i>Acer platanoides</i>)	22	Private (512 Moodie)	Fair	Retain; no protection required.
25.	Balsam Fir (<i>Abies balsamea</i>)	30	Private (512 Moodie)	Dead	Retain; no protection required.
26.	Red Pine (<i>Pinus resinosa</i>)	39	Private (512 Moodie)	Good	Retain; no protection required.
27.	Paper Birch (<i>Betula papyrifera</i>)	28	Private (512 Moodie)	Good	Retain; no protection required.

28.	White Pine (<i>Pinus strobus</i>)	31	Private (512 Moodie)	Good	Retain; no protection required.
29.	White Pine (<i>Pinus strobus</i>)	41	Private (512 Moodie)	Good	Retain; no protection required.
30.	Norway Spruce (<i>Picea abies</i>)	24	Private (512 Moodie)	Good	Retain; no protection required.
31.	Northern Red Oak (<i>Quercus rubra</i>)	46	Private (512 Moodie)	Good	Retain; no protection required.
32.	Norway Spruce (<i>Picea abies</i>)	14	Private (512 Moodie)	Good	Retain; no protection required.
33.	Red Pine (<i>Pinus resinosa</i>)	14	Private (512 Moodie)	Fair	Retain; no protection required.
34.	Red Pine (<i>Pinus resinosa</i>)	46	Private (512 Moodie)	Good	Retain; no protection required.
35.	Norway Spruce (<i>Picea abies</i>)	19	Private (512 Moodie)	Good	Retain; no protection required.
36.	White Pine (<i>Pinus strobus</i>)	31	Private (512 Moodie)	Dead	Retain; no protection required.
37.	Paper Birch (<i>Betula papyrifera</i>)	21	Private (512 Moodie)	Good	Retain; no protection required.
38.	Norway Spruce (<i>Picea abies</i>)	39	Private (512 Moodie)	Good	Retain; no protection required.
39.	Eastern White Cedar (<i>Thuja occidentalis</i>)	23	Private (512 Moodie)	Fair	Retain; no protection required.
40.	Norway Spruce (<i>Picea abies</i>)	25	Private (512 Moodie)	Dead	Retain; no protection required.
41.	Paper Birch (<i>Betula papyrifera</i>)	40	Private (512 Moodie)	Good	Retain; no protection required.
42.	Red Maple (<i>Acer rubrum</i>)	46	Private (512 Moodie)	Good	Retain; no protection required.
43.	Norway Spruce (<i>Picea abies</i>)	15	Private (512 Moodie)	Fair	Retain; no protection required.
44.	Norway Spruce (<i>Picea abies</i>)	27	Private (512 Moodie)	Fair	Retain; no protection required.
45.	Norway Spruce (<i>Picea abies</i>)	25	Private (512 Moodie)	Fair	Retain; no protection required.
46.	Eastern White Cedar (<i>Thuja occidentalis</i>)	34	Private (512 Moodie)	Fair	Retain; no protection required.

47.	Paper Birch (<i>Betula papyrifera</i>)	35	Private (512 Moodie)	Fair	Retain; no protection required.
48.	White Oak (<i>Quercus alba</i>)	58	Municipal	Good	Retain; protect with fencing.
49.	Northern Red Oak (<i>Quercus rubra</i>)	54	Municipal	Good	Retain; no protection required.
50.	Northern Red Oak (<i>Quercus rubra</i>)	65	Municipal	Good	Retain; no protection required.

Discussion

Tree 1 is well outside the area of impact for excavation, but it is to the south of the driveway, which will be used for site access. Most of the CRZ is surfaced with the driveway, sidewalk and road. A small area of soil is exposed. This area must be protected with fencing to prevent soil compaction and other damage that could occur during construction.

Similarly, trees 48, 49, and 50 will not be directly impacted by construction, but they stand to the north of the driveway, which will be used for site access. This area must be protected with fencing to prevent soil compaction and other damage that could occur during construction.

The walkway to the southwest of Tree 48 (most of which sits within the tree's critical root zone) will be replaced. The new walkway will have a slightly different footprint from the existing walkway, so some excavation will be necessary, but the impact will be minimal as the affected area is small and the depth of excavation will be shallow. This area has also been impacted by the existing hardscape, meaning the tree has already had to adapt to adverse conditions in this area, such as compaction. Within the critical root zone, there is a small grassy area between the planned walkway and the tree fencing. This area should be covered with a layer (3 inches deep) of wood chips to mitigate impact to the soil from pedestrian and machine traffic.

Tree 3 stands to the southwest of the planned parking lot. The CRZ of the tree will not be directly impacted by construction. However, it is close enough to planned construction that the entirety of its CRZ should be fenced off in order to protect it for the duration of construction.

Many other distinctive, privately owned trees are present on the property. Fencing all of them off is infeasible and would be unnecessary as they are unlikely to be impacted by construction. All construction staff must be advised on the presence of these trees and the necessity of not conducting any construction activities within the CRZs of these trees.



Mason Hanrahan

ISA Certified Arborist, ON-2491A

Owner and President, Tim-O-Tree

Appendix



Tree 1.



Trees 2-6.



Trees 2-3.



Trees 4-5.



Trees 11-17.



Trees 18-22.



Trees 23-28.



Trees 29-32.



Trees 33-35.



Trees 36-37.



Trees 38-41.



Trees 42-46.



Tree 47.



Tree 48.



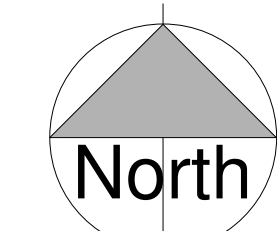
Tree 49.



Tree 50.



Tree 51.



LEGEND

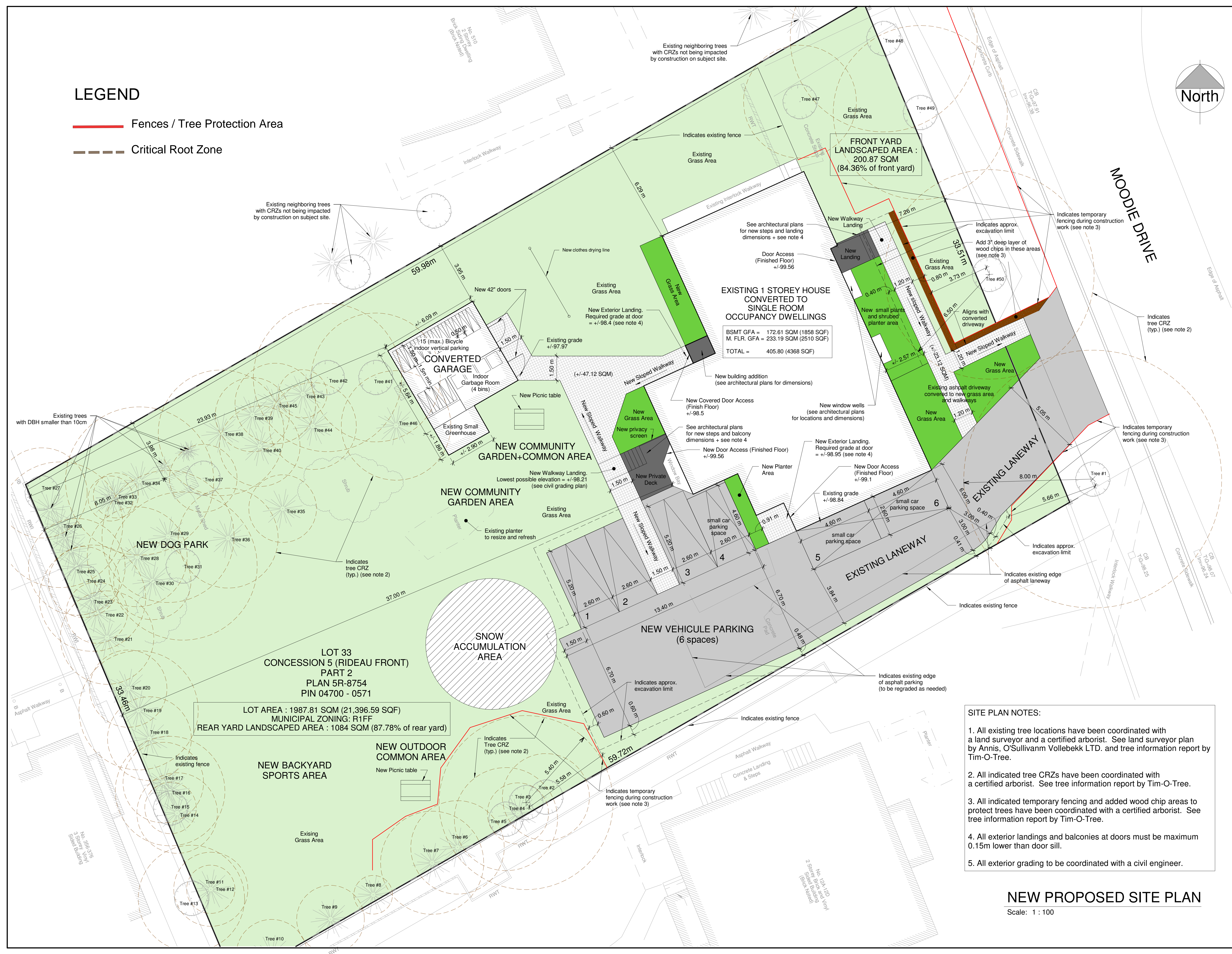
- Fences / Tree Protection Area
- - - Critical Root Zone

NOTES GÉNÉRALES:

1. Les plans fournis ne devront servir que pour la réalisation du bâtiment à l'adresse mentionnée. Toute utilisation, totale ou partielle autre que celle stipulée ci-haut est strictement interdite sans l'autorisation écrite de Sylvain Bériault, T.P. et n'engage en rien sa responsabilité.
2. L'entrepreneur doit vérifier toutes les dimensions et élévations avant de débuter les travaux et doit aviser immédiatement le designer de toutes erreurs, omissions et divergences avec les plans.
3. Les dimensions cotées ont préséance sur les dimensions mesurées à l'échelle.
4. Pendant le chantier l'entrepreneur devra vérifier toutes les dimensions et en sera tout à fait responsable.
5. La construction devra être exécutée selon les exigences des codes, normes et règlements municipaux en vigueur.
6. Tous les plans des différents professionnels impliqués dans ce projet sont complémentaires les uns des autres.
7. Tous les éléments structuraux identifiés doivent être vérifiés et confirmés par un ingénieur professionnel licencié en Ontario.

GENERAL NOTES:

1. The plans provided shall serve for the realization of the building at the address mentioned. All usage in total or in part, other than stipulated above, is strictly prohibited without the written authorization of Sylvain Bériault, T.P. and does not engage in any way his responsibility.
2. Contractor shall review all dimensions and elevations before beginning work and must immediately advise the designer of any errors, omissions, and divergences with the plans.
3. The annotated dimensions have precedence over dimensions measured with a scale ruler.
4. During construction, contractor must verify all dimensions and shall be entirely responsible for them.
5. The construction shall be executed according to code requirements, norms, and municipal regulations in effect.
6. All plans and documents from different professionals implicated in this project are complementary from each other.
7. All identified structural elements are to be reviewed and confirmed by a professional engineer licensed in Ontario.



SITE PLAN NOTES:

1. All existing tree locations have been coordinated with a land surveyor and a certified arborist. See land surveyor plan by Annis, O'Sullivan & Vollebek LTD. and tree information report by Tim-O-Tree.
2. All indicated tree CRZs have been coordinated with a certified arborist. See tree information report by Tim-O-Tree.
3. All indicated temporary fencing and added wood chip areas to protect trees have been coordinated with a certified arborist. See tree information report by Tim-O-Tree.
4. All exterior landings and balconies at doors must be maximum 0.15m lower than door sill.
5. All exterior grading to be coordinated with a civil engineer.

Firme de design / Design Firm:



(819) 712-7812
sberiault2@outlook.com
BCIN: 124837

Designer:
Sylvain Bériault, T.P. (BCIN: 123891)

Titre du projet / Project Title:
SINGLE ROOM OCCUPANCY DWELLINGS
(Existing Single Family Home Conversion)
512 Moodie Drive, Ottawa, Ontario

Dessin / Drawing:
NEW PROPOSED SITE PLAN

Dossier/File:	B23-117	SP-02
Date:	2024-02-19	
Échelle/Scale:	1 : 100	

NEW PROPOSED SITE PLAN
Scale: 1 : 100

RELEASE 2