

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
LOTS 1889, 1890, 1891 AND 1892
REGISTERED PLAN 375
CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1: 100

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act and the Regulations made under them.
 2. The survey was completed on the 3rd day of November, 2023.

Nov 15 2023
 Date
 E. H. Herweyer
 Ontario Land Surveyor

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED November 15, 2023

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to 11710842 Canada Inc., ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

- Notes & Legend**
- | | | |
|---------|---------|---|
| —□— | Denotes | Survey Monument Planted |
| —■— | | Survey Monument Found |
| —SIB | | Standard Iron Bar |
| —SSIB | | Short Standard Iron Bar |
| —IB | | Iron Bar |
| —(WIT) | | Witness |
| —Meas. | | Measured |
| —(AOG) | | Annis, O'Sullivan, Vollebek Ltd. |
| —(PI) | | Registered Plan 375 |
| —(P2) | | Plan 5R-14490 |
| —(P3) | | Plan 4R-13554 |
| —(P4) | | Plan 4R-13758 |
| —(P5) | | Plan 4R-24654 |
| —(P6) | | (STANTEC) Plan Dated January 10, 2013 |
| —(P7) | | (1319) Plan Dated March 31, 1986 |
| ○ | | Deciduous Tree |
| ★ | | Coniferous Tree |
| ○ FH | | Fire Hydrant |
| —S | | Underground Sanitary Sewer |
| —OHW | | Overhead Wires |
| —CSP | | Corrugated Steel Pipe |
| —CPP | | Corrugated Plastic Pipe |
| ○ M+H-S | | Maintenance Hole (Sanitary) |
| —Inv | | Invert |
| ○ G | | Gas Meter |
| ○ B | | Bollard |
| △ S | | Sign |
| ○ H | | Hydro Meter |
| ○ U | | Utility Pole |
| ○ AN | | Anchor |
| ○ LS | | Light Standard |
| ○ D | | Diameter |
| ○ 65.00 | | Location of Elevations |
| ○ 65.00 | | Top of Concrete Curb & Retaining Wall Elevation |
| —C/L | | Centreline |
| —EG | | Edge of Gravel |
| —EA | | Edge of Asphalt |
| —RWC | | Concrete Retaining Wall |
| —S/T | | Subject To |

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999929.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01910680005 and 01919750705, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°18'20" clockwise was applied to bearings on plan P1 and P2. A rotation of 0°01'20" clockwise was applied to bearings on plan P3, P4, P5 and P6. A rotation of 0°00'50" clockwise was applied to bearings on plan P7.

SITE AREA = 842.5 Sq. m.

LOT 1875
 PART 2 PLAN 4R-13554
 No. 1390 Mervale Road (Block Noted)

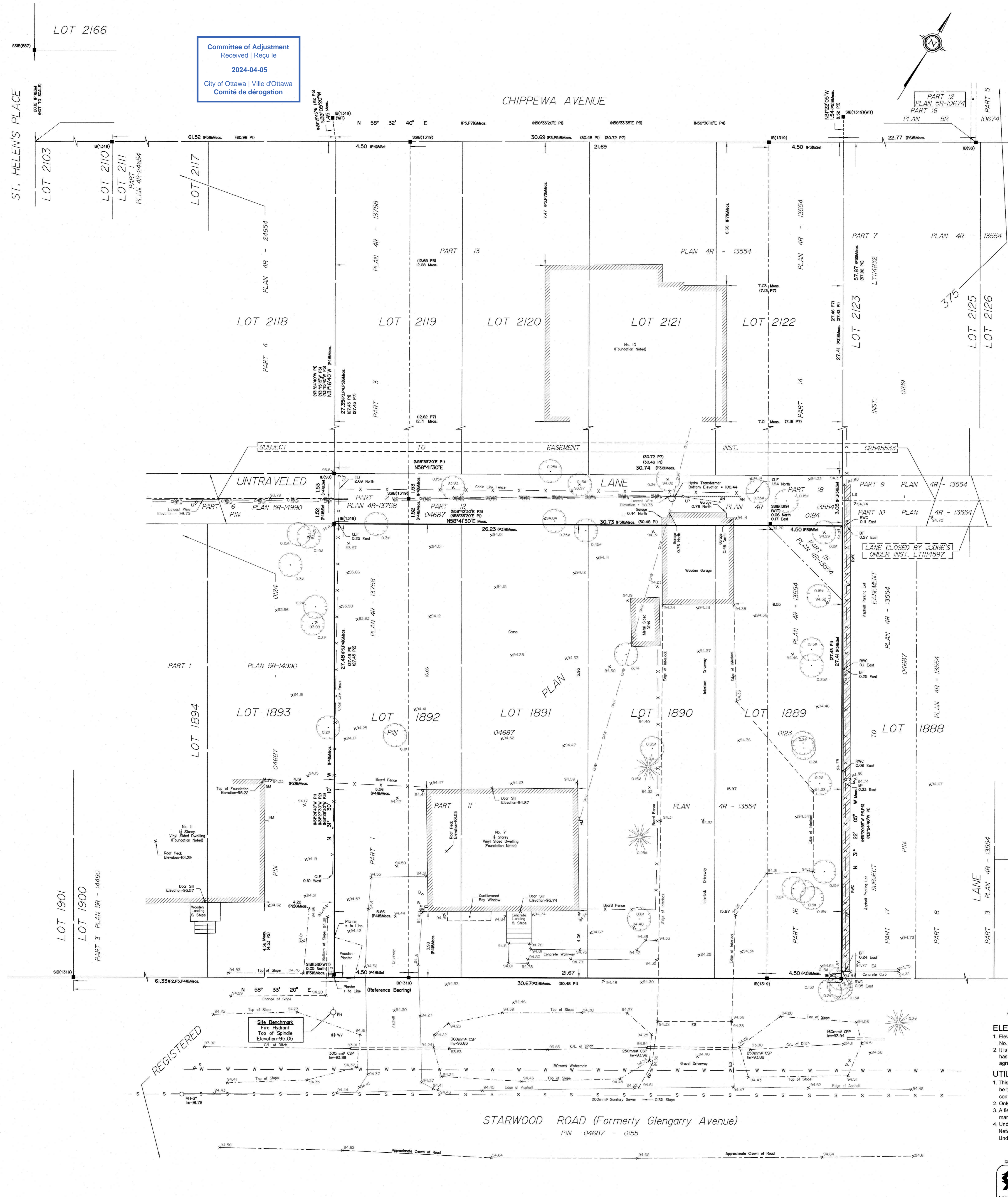
LOT 1874
 PART 3 PLAN 4R-13554

LOT 1874
 PART 4 PLAN 4R-13758

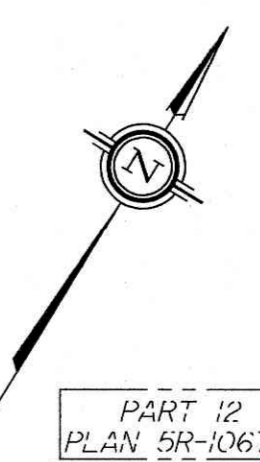
ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-60612

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29 (3).

- ELEVATION NOTES**
- Elevations shown are derived from City of Ottawa Monument No. 3702, Index No. 87, having an elevation of 96.951 metres referred to the CGVD28 geoidetic datum.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.
- UTILITY NOTES**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
 - Underground Utility information compiled from City of Ottawa Water & Wastewater Networks Map. Maintenance Holes marked * are compiled from City of Ottawa Underground Utility records (not located in field).



Committee of Adjustment
 Received | Reçu le
 2024-04-05
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



REGISTERED

CONSULTANTS:

CONSULTANTS:

SEAL:

I, BROCK WILSON, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C. OF THE ONTARIO BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL BCIN: 40792
FIRM BCIN: 128890

BW
BROCK WILSON
REGISTERED B.C.I.N.
C.P.H.D., C.E.T., ARCHITECTURAL DESIGNER

DATE ISSUED: 2024.02.12

PROJECT NAME:

BLASIOLI DEVELOPMENT

PROJECT ADDRESS:

**STARWOOD RD.
OTTAWA, ON.**

OWNER/CLIENT:

MATT BLASIOLI

REVISIONS:

IS	RE	DATE	DESCRIPTION
3		2024.02.12	RE-ISSUED FOR SEVERANCE
2		2024.01.10	RE-ISSUED FOR SEVERANCE
1		2023.12.08	ISSUED FOR SEVERANCE

DISCLAIMER: THIS DRAWING / DESIGN ARE COPYRIGHT PROTECTED AND SHALL NOT BE COPIED, USED, OR REVISED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS, UTILITY LOCATIONS ARE TO BE CHECKED BY THE CONTRACTOR AND SHALL BE REPORTED AS WELL AS ALL ERRORS AND OMISSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS.

DRAWN BY: ELEVERT

CHECKED BY: B.WILSON

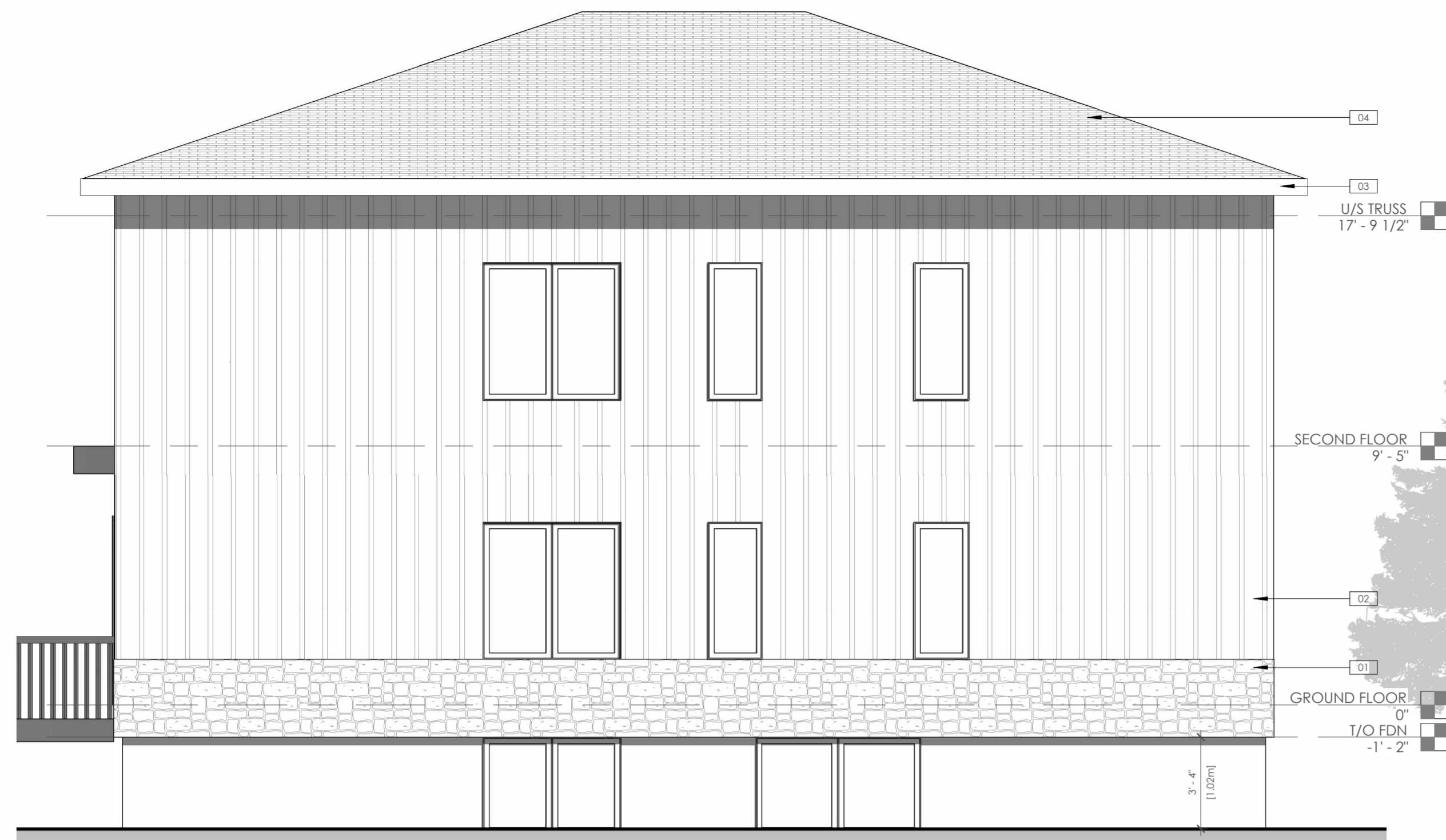
DESIGNED BY: ELEVERT

PROJECT NUMBER:

101-2023

SHEET NAME:

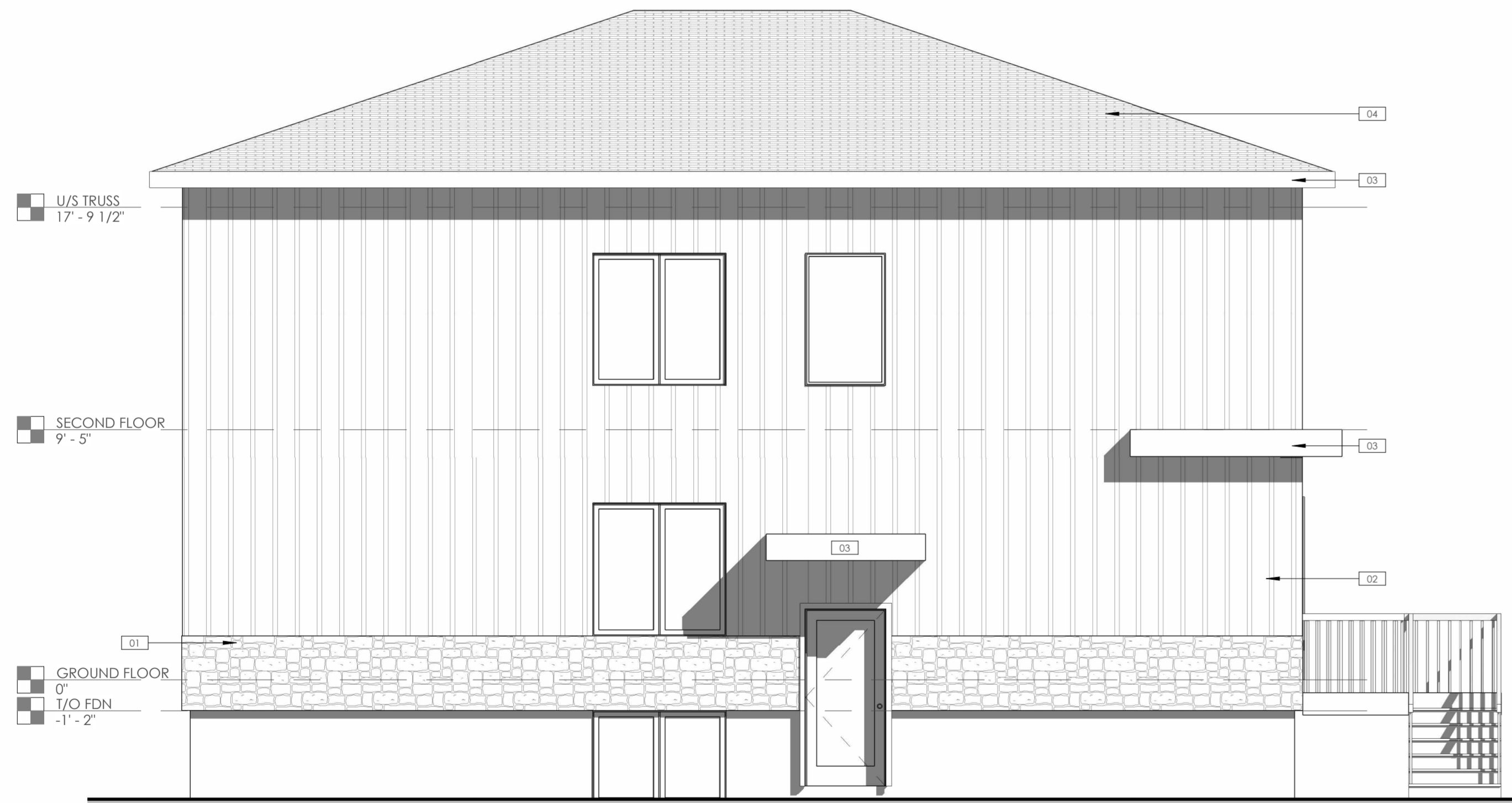
ELEVATIONS



4 RIGHT
1/4" = 1'-0"



1 FRONT
1/4" = 1'-0"



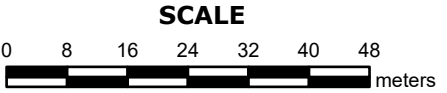
3 LEFT
1/4" = 1'-0"



2 REAR
1/4" = 1'-0"

MATERIALS LIST

#	MATERIAL
01	CULTURED STONE CLADDING
02	VERTICAL BOARD & BATTEN
03	PRE-FINISHED METAL FASCIA & SOFFIT
04	ASPHALT SHINGLES



PROPERTY INDEX MAP
OTTAWA-CARLETON(No. 04)

LEGEND

FREEHOLD PROPERTY	
LEASEHOLD PROPERTY	
LIMITED INTEREST PROPERTY	
CONDOMINIUM PROPERTY	
RETIRED PIN (MAP UPDATE PENDING)	
PROPERTY NUMBER	0449
BLOCK NUMBER	08050
GEOGRAPHIC FABRIC	
EASEMENT	

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND DOCUMENTS RECORDED IN THE LAND REGISTRATION SYSTEM AND HAS BEEN PREPARED FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT REFERENCE PLANS ARE NOT ILLUSTRATED

Committee of Adjustment
Received | Reçu le
2024-04-05
Ontario
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-05-06
City of Ottawa | Ville d'Ottawa
Comité de dérogation



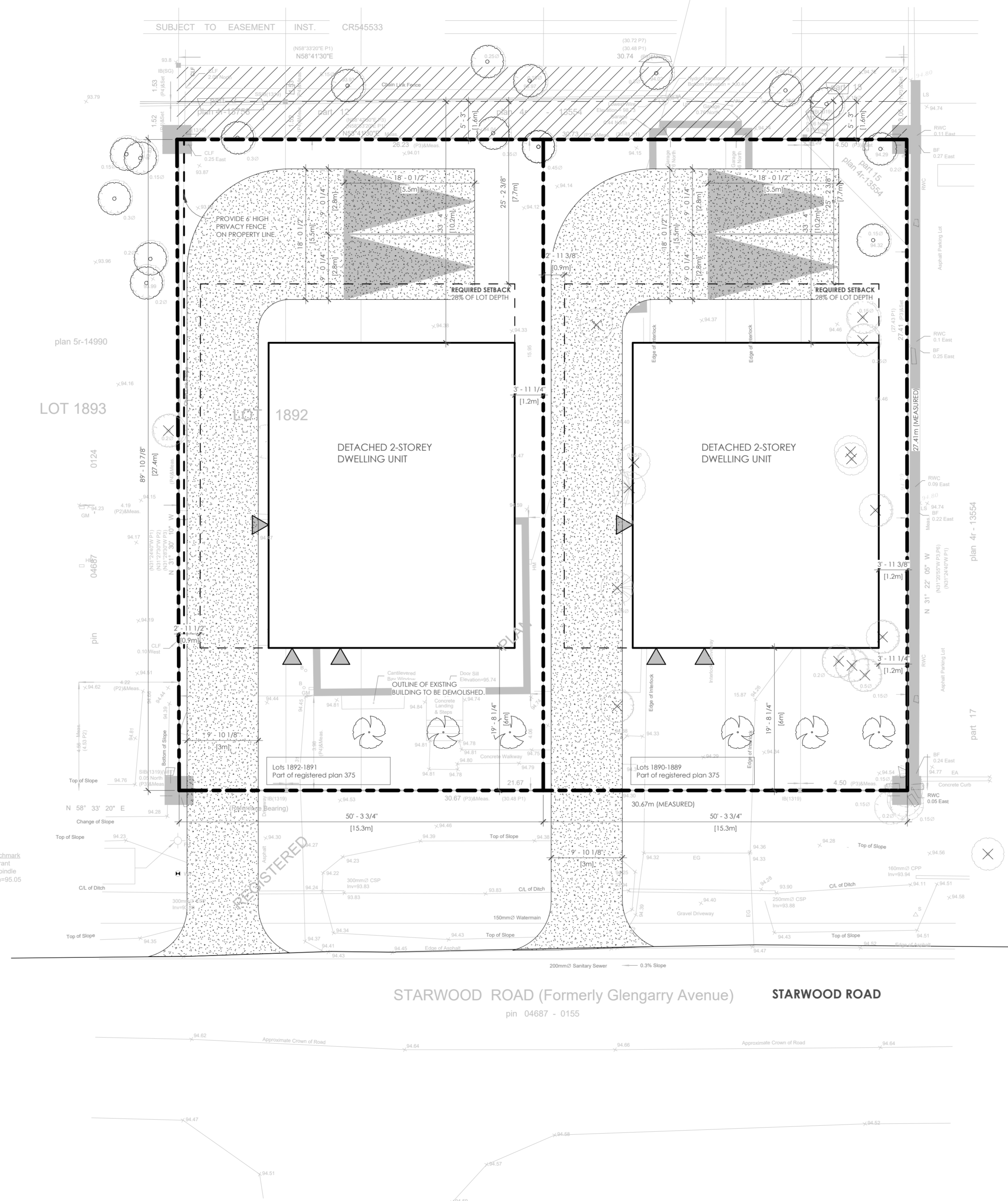
SITE LOCATION



SITE VICINITY

SITE LEGEND

- BUILDING ENTRANCE
- PROPERTY PIN
- PROPERTY LINE
- SETBACK LINE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- NEW PROPOSED TREE



STARWOOD ROAD (Formerly Glengarry Avenue) STARWOOD ROAD
pin 04687 - 0155

1 SITE PLAN - 7 STARWOOD (LOTS 1889 - 1892)
1" = 10'-0"

ZONING INFORMATION - CITY OF OTTAWA
Lots 1889 & 1890, part of registered plan 375

ZONING DESIGNATION: R1FF [632] ZONE	PROPOSED
LOT AREA (MIN):	600m ² 419.9m ²
FRONTAGE (MIN):	19.5m 15.35m
SETBACKS (MIN):	
FRONT YARD:	6m 6m
EXTERIOR SIDE YARD:	4.5m N/A
INT. SIDE YARD (ONE SIDE):	0.9m 0.9m
INT. SIDE YARD (OTHER SIDE):	1.2m 1.2m
REAR YARD:	28% (7.68m) 10.16m (37%)
LOT COVERAGE (MAX):	45% 31.7%
BUILDING HEIGHT (MAX):	8.5m 8.5m
DWELLINGS PER LOT (MAX):	1 1
PARKING:	
SPOTS PER DWELLING	1 2
MAX. % OF REAR YARD FOR PARKING:	70% 68.5m ² / 131.0m ² 52.3%
SOFT LANDSCAPING:	
REAR YARD MINIMUM:	15% 62.5m ² / 131.0m ² 47.7%
FRONT YARD MINIMUM:	30% 82.9m ² / 91.9m ² 90%

ZONING INFORMATION - CITY OF OTTAWA
Lots 1891 & 1892, part of registered plan 375

ZONING DESIGNATION: R1FF [632] ZONE	PROPOSED
LOT AREA (MIN):	600m ² 421.5m ²
FRONTAGE (MIN):	19.5m 15.35m
SETBACKS (MIN):	
FRONT YARD:	6m 6m
EXTERIOR SIDE YARD:	4.5m N/A
INT. SIDE YARD (ONE SIDE):	0.9m 0.9m
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BUILDING HEIGHT (MAX):	8.5m 8.5m
DWELLINGS PER LOT (MAX):	1 1
PARKING:	
SPOTS PER DWELLING	1 2
MAX. % OF REAR YARD FOR PARKING:	70% 68.5m ² / 131.9m ² 51.9%
SOFT LANDSCAPING:	
REAR YARD MINIMUM:	15% 63.4m ² / 131.9m ² 48.1%
FRONT YARD MINIMUM:	30% 82.9m ² / 91.9m ² 90%

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SITE PLAN