

SURVEYOR'S REAL PROPERTY REPORT
WITH TOPOGRAPHIC DETAILS
PART 1 - PLAN SHOWING

LOT 55
REGISTERED PLAN 242262
CITY OF OTTAWA

J.D. BARNES LIMITED

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SCALE 1 : 150

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



Committee of Adjustment
Received / Reçu le
2024-05-23
City of Ottawa / Ville d'Ottawa
Comité de dérogation

TREE SCHEDULE			
TREE No.	TRUNK DIAMETER (cm)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.15	2	1.2 S
T2	0.2	2.5	0.6 S
T3	0.2	2.5	0.6 S
T4	0.2	2.5	0.9 S

TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE
TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE

NOTES

BEARINGS ARE WITH GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, WGS 84, NAD 83, (CSRS) (2010.0).
FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 057007 WAS APPLIED TO REGISTERED PLAN 242262.
DISTANCES ARE GROUND.
COMPLIANCE WITH OUTWARD BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

PART 2 - SURVEY REPORT

- DESCRIPTION
LOT 55 ON REGISTERED PLAN 242262, BEING ALL OF 04127-0241 (LT) IN THE CITY OF OTTAWA.
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE
- BOUNDARY FEATURES
NOTE LOCATION OF THE BOARD FENCE, THE GARAGE EAVE AND THE EDGE OF ASPHALT ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY.
NOTE LOCATION OF THE BOARD FENCE, THE CHAIN LINK FENCE, THE HYDRO POLE AND THE OVERHEAD UTILITY CABLES ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY.
NOTE LOCATION OF THE BOARD FENCE, CONCRETE CURB AND THE EDGE OF ASPHALT ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- S&B DENOTES SHORT STANDARD WORK BAR
- SB DENOTES STAIRWAY IRON BAR
- HP DENOTES HYDRO POLE
- CC DENOTES CUT CROSS
- MEAS DENOTES MEASUREMENT
- WT DENOTES WITNESS
- SW DENOTES SWATH
- P DENOTES REGISTERED PLAN 242262
- P1 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED APRIL 7, 2020
- P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY BARNES, OSULLIVAN & VOLLEBECK LTD., DATED SEPTEMBER 21, 2006
- P3 DENOTES PLAN BY TUDOR FARLEY, O.L.S., DATED APRIL 28, 1936
- 857 DENOTES FARHALL, MOFFATT & WOODLAND LTD.
- 402 DENOTES BARNES, OSULLIVAN, VOLLEBECK LTD.
- 1236 DENOTES PAUL A. RIDGELL LTD.
- 1319 DENOTES HILL, WOODRIF, O.L.S.
- 1662 DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.
- DENOTES PROPERTY LINE

N= NORTH / S= SOUTH / E= EAST / W= WEST

TOPOGRAPHIC LEGEND

- FDN DENOTES FOUNDATION
- CONC DENOTES CONCRETE
- C/L DENOTES CENTERLINE
- GAR DENOTES GARAGE
- TOW DENOTES TOP OF WALL
- EA DENOTES EDGE OF ASPHALT
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- HP DENOTES HYDRO POLE
- WK DENOTES WATER KEY
- MH-STM DENOTES STORM MAIN/SEWER
- MH-SAN DENOTES SANITARY MAIN/SEWER
- E DENOTES OVERHEAD HYDRO CABLE
- T DENOTES OVERHEAD TELEPHONE CABLE
- STM DENOTES UNDERGROUND STORM SEWER
- SAN DENOTES UNDERGROUND SANITARY SEWER
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE

ELEVATION NOTE:

- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR OBTUSURED, AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
- ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA CONTROL POINT 104-0388 HAVING A PUBLISHED ELEVATION OF 82.47 METRES (CGVD28-78).

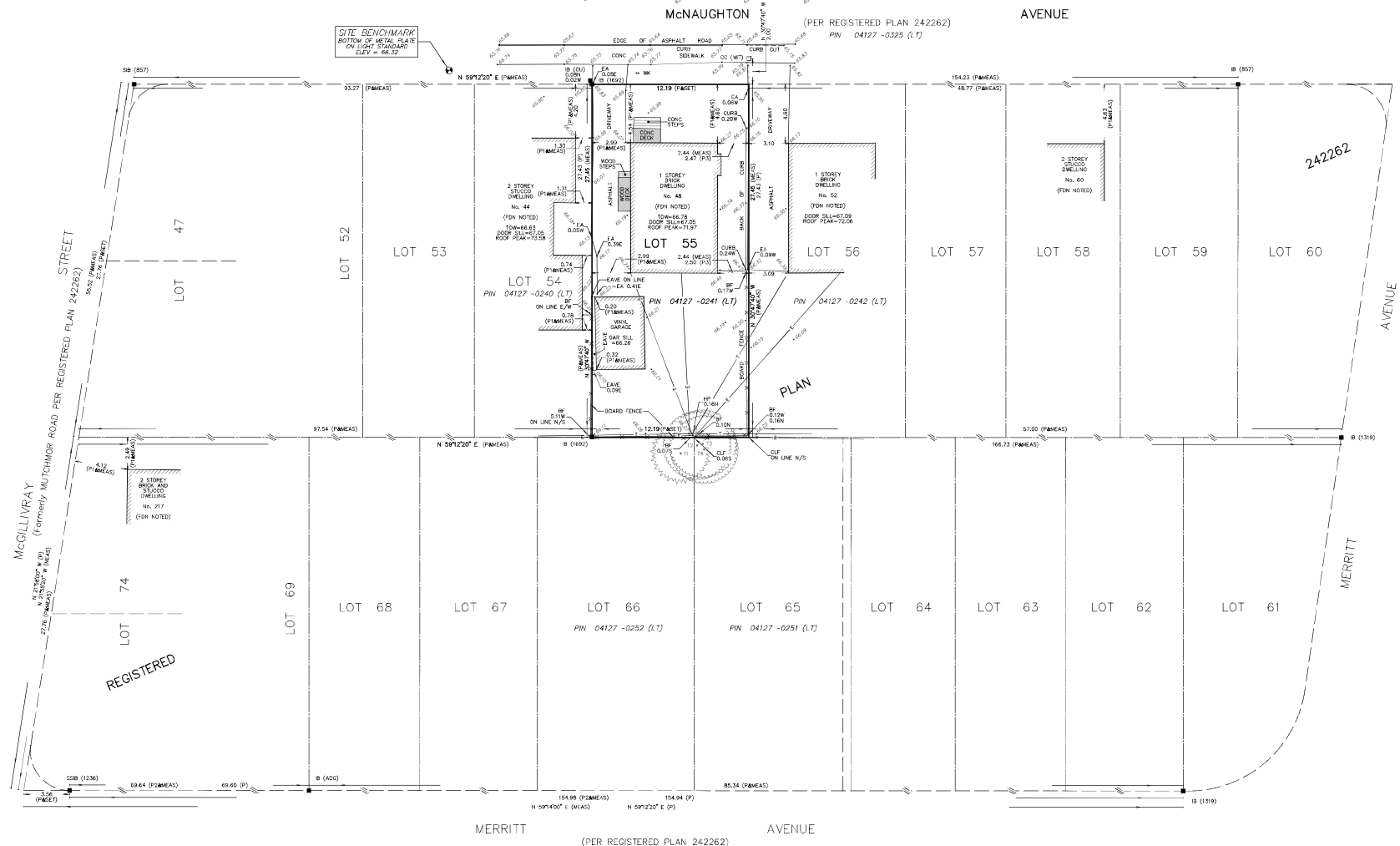
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON DECEMBER 13, 2023.
JANUARY 16, 2024
DATE SHAWN LEROUX
ON-THE-SPOT LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO ACS PLAN SUBMISSION FORM NUMBER V-57880

J.D. BARNES LIMITED
LAND INFORMATION SPECIALISTS
45 SELWICK DRIVE, SUITE 101, KANATA, ON K2L 2P9
TEL: (613) 552-2344 FAX: (613) 552-6667 www.jdbarnes.com

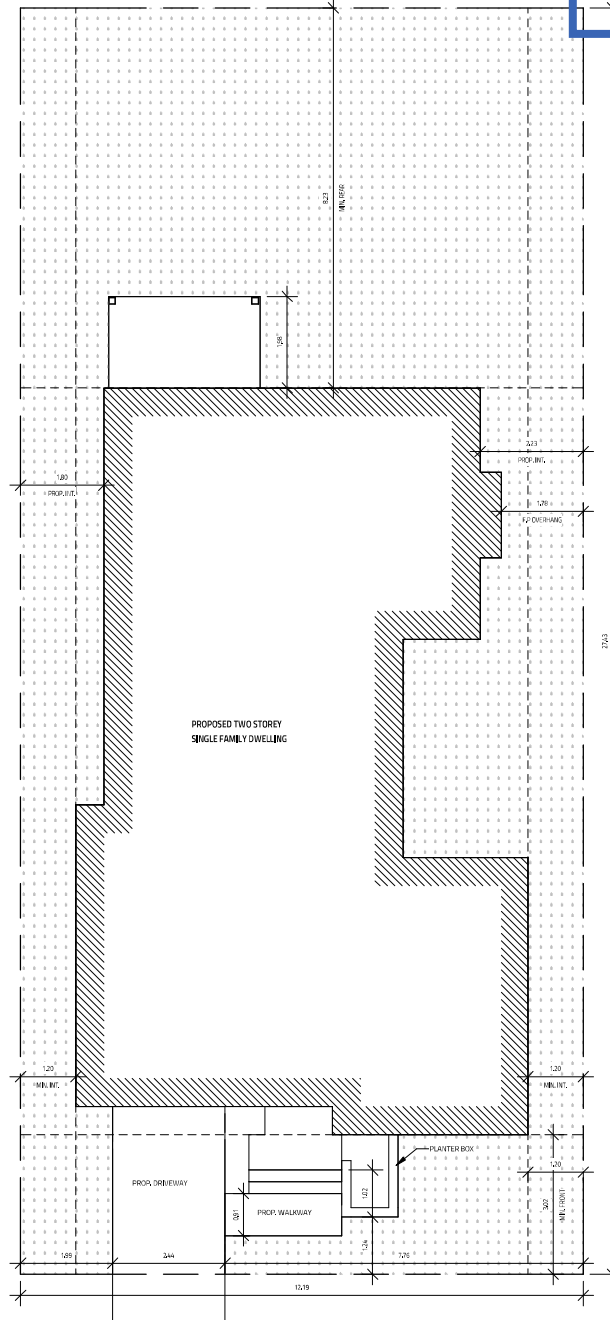
DRAWN BY: RP
CHECKED BY: SL
DATE: 23-10-2024
PROJECT: 1197/2024
PREPARED FOR: REVALSTOCK CUSTOM HOMES
FILE: 01-13-10-1001001planmap109123-10-100-1090.dwg
DATE: 09/20/24



Committee of Adjustment
Received | Reçu le

2024-05-23

City of Ottawa | Ville d'Ottawa
Comité de dérogation



THIS DRAWING SHALL NOT BE USED
FOR CONSTRUCTION UNTIL SIGNED
AND DATED BY THE DESIGNER



I REVIEW & TAKE RESPONSIBILITY FOR
THE DESIGN WORK ON BEHALF OF A
FIRM REGISTERED UNDER SUBSECTION
3.2.4 OF THE OBC 2012. I AM QUALIFIED
& THE FIRM IS REGISTERED IN THE
APPROPRIATE CLASSES/CATEGORIES.

GENERAL NOTES:
- E, S & O.E.
- DO NOT SCALE DRAWINGS, FIGURED DIMENSIONS
ONLY TO BE USED
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT
ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN
ACCORDANCE W/ THE O.B.C., 2012, ANY MUNICIPAL BY
LAWS & ALL OTHER APPLICABLE CODES

NO.	REVISION	DATE

48 MCNAUGHTON
2475 SQ. FT.
OTTAWA, ON

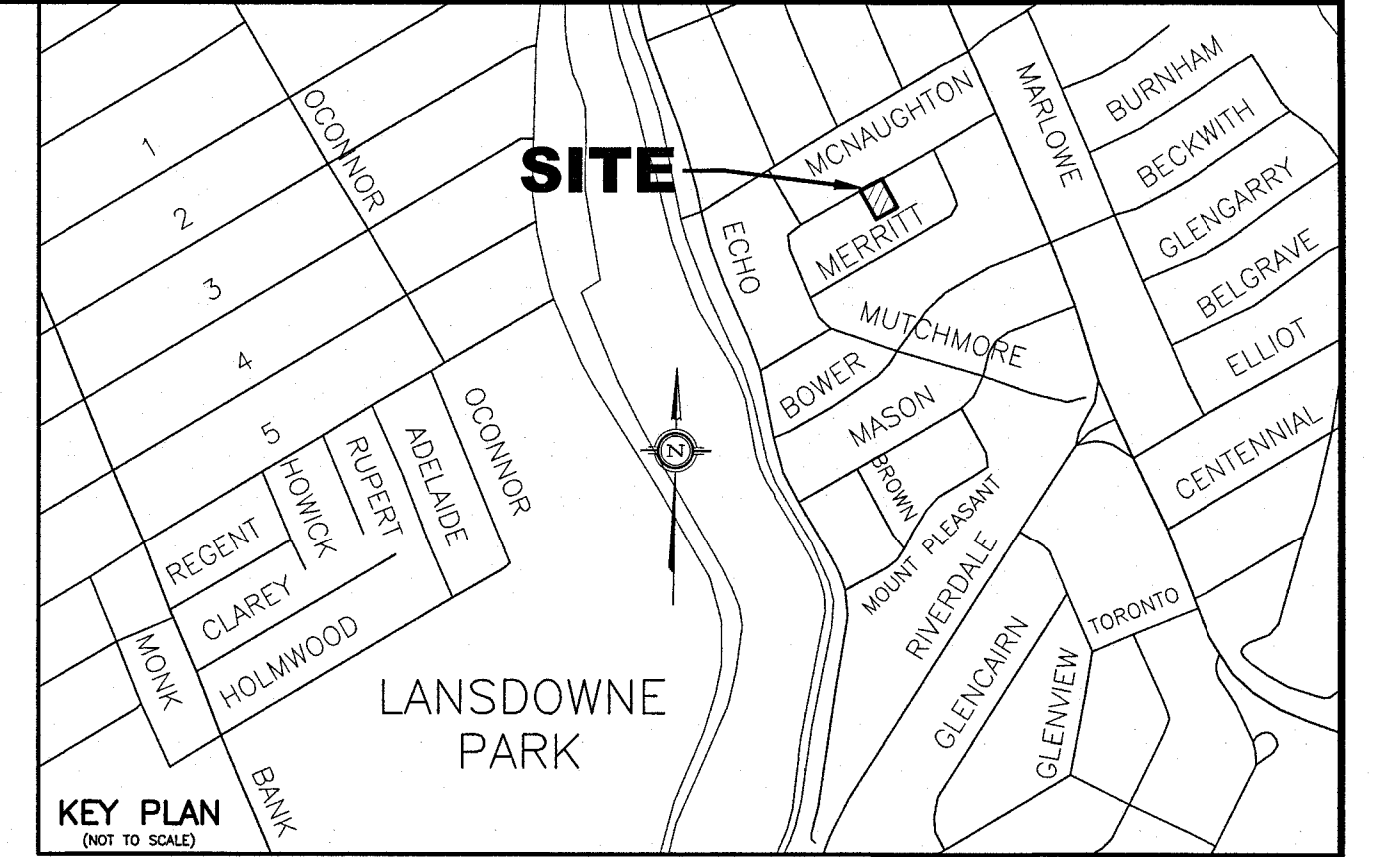
Evolution
DESIGN & DRAFTING
613-884-7068 // 613-808-7185

SITE PLAN	
DATE: 01 DECEMBER 2023	SCALE: 1:75
DRAWN BY: SG	BY NAME: 48 MCNAUGHTON
CHECKED BY: SG	DATE: 15 MAY 24
A1.0	

McNAUGHTON AVENUE

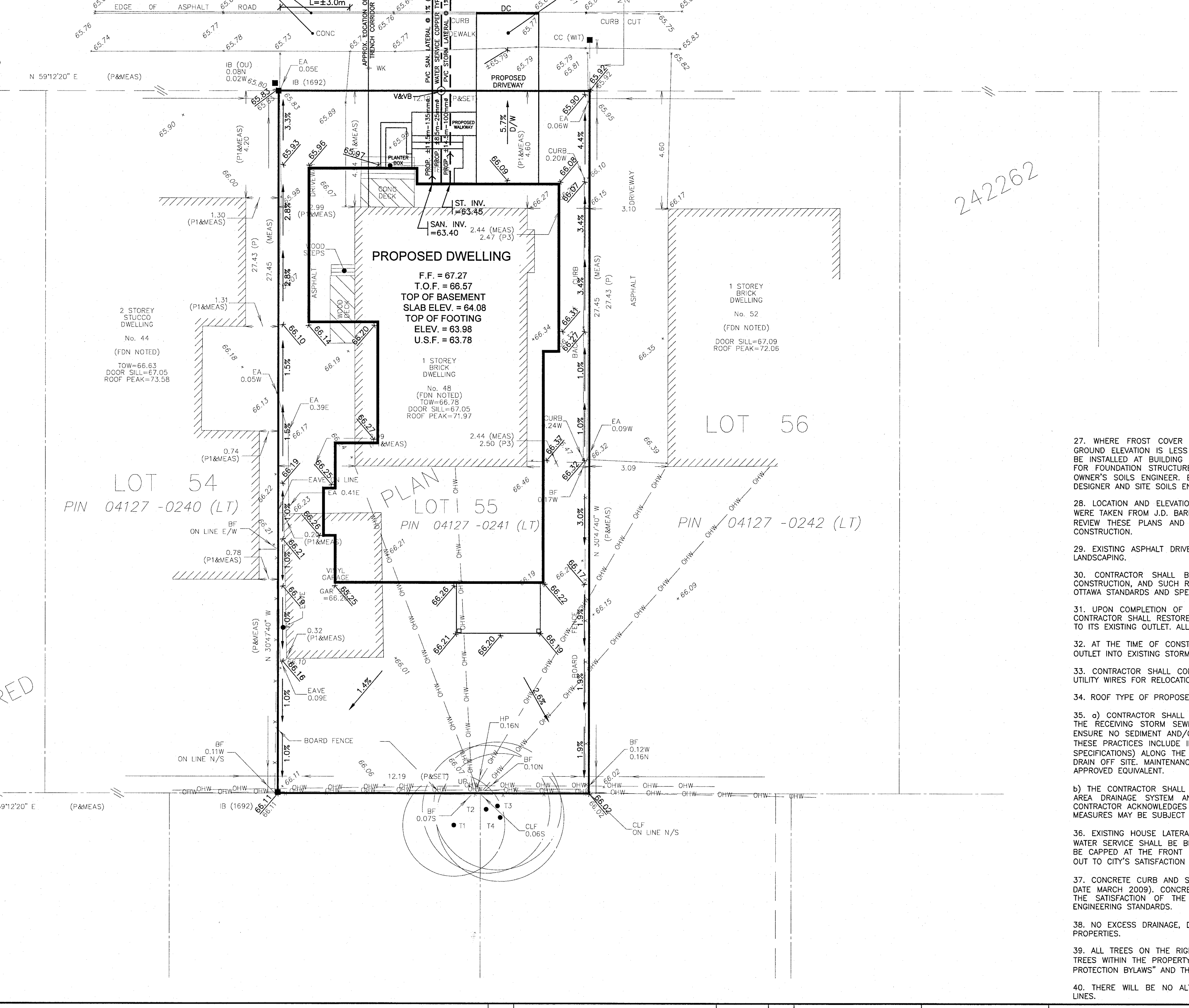
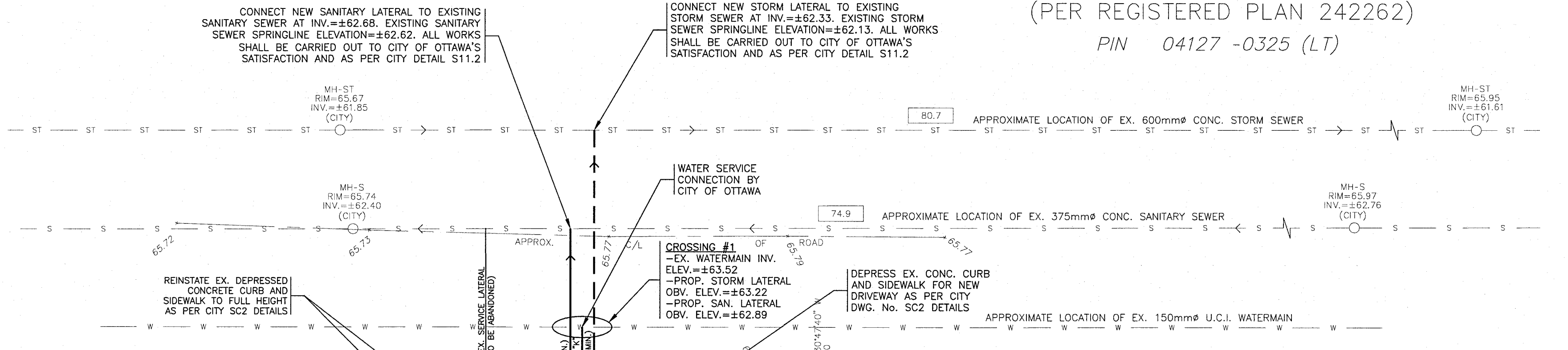
(PER REGISTERED PLAN 242262)
PIN 04127 -0325 (LT)

LEGEND	
	PROPOSED ELEVATION
	EXISTING ELEVATION
	PROPOSED TOP OF FOUNDATION ELEVATION
	PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
	PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
	PROPOSED DRIVEWAY
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	PROPOSED 135mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
	PROPOSED 100mm PVC STORM LATERAL SERVICE @ 1% (MIN.) SLOPE
	PROPOSED 25mm WATER SERVICE (COPPER TYPE 'K')
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	PROPOSED VALVE AND VALVE BOX (V&VB)
	PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
	PROPOSED DEPRESSED CURB



- NOTES**
- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, UNDERGROUND STRUCTURES, ETC. AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
 - CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDINGS.
 - SITING DETAILS FOR THE PROPOSED SINGLE DETACHED DWELLING WERE PREPARED BY THE OWNER'S HOUSE DESIGNER. ELEVATION DESIGN AND DRAFTING AS SHOWN ON THE SITE PLAN (DWG. No. A0.1 DATED DECEMBER 1, 2023) RECEIVED ON JANUARY 17, 2024. FOR THE TOP OF FINISHED FLOOR, TOP OF CONCRETE FOUNDATION, TOP OF BASEMENT SLAB, TOP OF FOOTING, AND UNDERSIDE OF FOOTING ELEVATIONS OF THE PROPOSED BUILDING, REFER TO HOUSE DESIGNER'S ELEVATIONS 1 PLAN (DWG. No. A5.0 DATED DECEMBER 1, 2023) RECEIVED ON JANUARY 17, 2024 FOR DETAILS.
 - EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY J.D. BARNES LIMITED AS SHOWN ON THEIR TOPOGRAPHICAL SURVEY PLAN (REF. No. 21-10-100-00 COMPLETED ON DECEMBER 13, 2023) RECEIVED ON JANUARY 17, 2024. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR INFORMATION ABOUT THE STORM AND SANITARY INVERT ELEVATION AT MANHOLES AND WATERMAIN LOCATION AND SIZE, THE CONTRACTOR SHALL FIELD CHECK EXISTING SANITARY SEWER, STORM SEWER, AND WATERMAIN DEPTH TO THEIR SATISFACTION, AND REFER TO CITY OF OTTAWA'S PLAN AND PROFILE PLAN ENTITLED "McNAUGHTON AVENUE" FROM MAIN ST. TO CH. 250.00 PLAN No. 1531 SHEET 1 OF 6 REV. 1 DATED JANUARY, 1992 FOR ADDITIONAL DETAILS.
 - ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
 - ALL GRADES SHOWN ARE GEODETIC AND METRIC.
 - SANITARY SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
 - CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPS AND OPS SPECIFICATIONS.
 - ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
 - CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 25mm WATERMAIN SERVICE ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER, OTHERWISE INSULATE WITH RIGID 5/8" STYROFOAM IN ACCORDANCE WITH CITY OF OTTAWA'S REQUIREMENTS AND AS PER CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE "K" AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF OTTAWA STANDARDS.
 - THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
 - WHERE ROOF EAVESTROUGHS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO FRONT YARD ONLY, WHERE POSSIBLE.
 - ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED AWWA AND/OR CSA STANDARDS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
 - EXISTING LOCATION OF McNAUGHTON AVENUE WATERMAIN AND SANITARY AND STORM SEWER SHOWN ON THIS PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM ITS EXACT LOCATION BEFORE EXCAVATION. (SEE ALSO NOTE #24).
 - PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM. WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3H MAXIMUM TO 1V AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
 - WATER SERVICE CONNECTION ON McNAUGHTON AVENUE SHALL BE DONE BY THE CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY THE CITY. EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION.
 - IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCH-BASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH 5/8" RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
 - PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
 - WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
 - PROPOSED SANITARY AND STORM SERVICE LATERALS SHALL BE PVC DR-28 OR EQUIVALENT.
 - IT IS REQUIRED THAT A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE NEW SANITARY LATERAL SERVICE AND A BACKWATER VALVE BE INSTALLED FOR THE NEW STORM LATERAL SERVICE UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE, AND AS PER CITY DETAIL S14, S14.1 AND S14.2.
 - BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE 'B' COMPACTED TO 95% DRY PROCTOR DENSITY. FOR THE SEWER LATERALS USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN THE SERVING TRENCHES.
 - DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON McNAUGHTON AVENUE FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO THE CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE DIGGING. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1% (MIN.) PIPE SLOPE OF THE SANITARY AND STORM LATERALS CAN BE ACHIEVED USING THE PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1% (MIN.) SLOPE IS NOT POSSIBLE FROM THE BUILDING TO THE SEWER, THEN THE CONTRACTOR SHOULD INFORM THE OWNER'S PROJECT MANAGER AND THE CITY ACCORDINGLY FOR FURTHER DIRECTION.
 - FOR DEVELOPMENT OF THIS SITE, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY AND WATER SERVICES FROM THE SEWER AND WATERMAIN TO THE PROPERTY. PRIOR TO BUILDING CONCRETE FOUNDATION POURING THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% (MINIMUM) AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
 - INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR FROST PROTECTION IS LESS THAN 2.4m. FOR WATER SERVICE AND 2.0m FOR SANITARY GRAVITY SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2.0m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY THE OWNER'S SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY DETAIL W22.

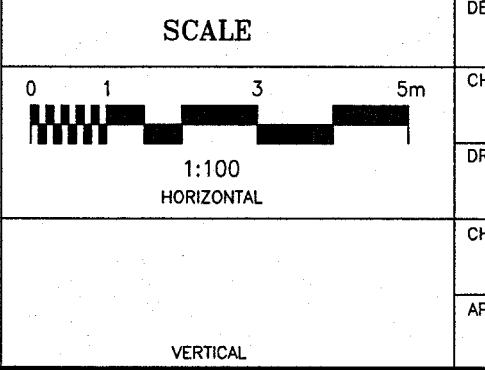
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SITE BENCHMARK
BOTTOM OF METAL PLATE
ON LIGHT STANDARD
ELEV = 66.32

- WHERE FROST COVER FROM UNDERSIDE OF HOUSE CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (60mm) THICK MINIMUM BE INSTALLED AT BUILDING FOOTING AND FOUNDATION OF HOUSE TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
- LOCATION AND ELEVATION OF EXISTING SANITARY AND STORM MANHOLES SHOWN ON THIS DRAWING WERE TAKEN FROM J.D. BARNES LIMITED'S TOPOGRAPHICAL SURVEY PLAN. CONTRACTOR SHALL OBTAIN AND REVIEW THESE PLANS AND SATISFY HIM/HERSELF AND OBTAIN LOCATES OF THESE SERVICES BEFORE CONSTRUCTION.
- EXISTING ASPHALT DRIVEWAY NOT TO BE RE-USED SHALL BE REMOVED AND REPLACED WITH SOFT LANDSCAPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION, AND SUCH REINSTATEMENT MUST BE UNDERTAKEN IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- UPON COMPLETION OF NEW SERVICE LATERALS FOR THE PROPOSED DWELLING AND NEW DRIVEWAY, CONTRACTOR SHALL RESTORE THE EXISTING ROADWAY BOUNDARY ACROSS THIS LOT TO DRAIN POSITIVELY TO ITS EXISTING OUTLET. ALL WORKS SHALL BE CARRIED OUT TO SATISFACTION OF CITY OF OTTAWA.
- AT THE TIME OF CONSTRUCTION OF DRIVEWAY FOR NEW HOUSE, REGRADE ROADWAY BOUNDARY TO OUTLET INTO EXISTING STORM OUTLET TO CITY OF OTTAWA'S SATISFACTION AND REQUIREMENTS.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CONFLICT CLEARANCE BEFORE CONSTRUCTION.
- ROOF TYPE OF PROPOSED NEW SINGLE-DETACHED BUILDING IS PITCHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE PROTECTION OF THE RECEIVING STORM SEWER DURING CONSTRUCTION ACTIVITIES. THESE PRACTICES ARE REQUIRED TO ENSURE NO SEDIMENT AND/OR ASSOCIATED POLLUTANTS ARE RELEASED TO THE RECEIVING WATERCOURSE. THESE PRACTICES INCLUDE INSTALLATION OF SEDIMENT BARRIERS (AS PER OPS 219.10 AND ASSOCIATED SPECIFICATIONS) ALONG THE PROPERTY LIMITS OF PROPOSED DEVELOPMENT AND ALL OTHER AREAS THAT DRAIN OFF SITE. MAINTENANCE HOLE SEDIMENT BARRIERS TO BE AMOCO 4555 NONWOVEN GEOTEXTILE OR APPROVED EQUIVALENT.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
- EXISTING HOUSE LATERALS AND WATER SERVICE PIPING HAVE BEEN AND/OR SHALL BE ABANDONED. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING LATERALS AND WATER SERVICE PIPING. ALL WATER AND SEWER LATERAL WORKS SHALL BE CARRIED OUT TO CITY'S SATISFACTION AND AS PER CITY DETAIL S11.4.
- CONCRETE CURB AND SIDEWALK DETAILS AS PER CITY OF OTTAWA STANDARDS (DWG. No. SC2 REV. DATE MARCH 2009). CONCRETE CURB CONSTRUCTION AND SIDEWALK REINSTATEMENT SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA AND IN ACCORDANCE WITH THE LATEST REVISED CITY ENGINEERING STANDARDS.
- NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, WILL BE DIRECTED TOWARDS NEIGHBOUR'S PROPERTIES.
- ALL TREES ON THE RIGHT OF WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION, ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE "MUNICIPAL TREES AND NATURAL AREAS PROTECTION BYLAWS" AND THE "URBAN TREES CONSERVATION BYLAW" AS AMENDED FROM TIME TO TIME.
- THERE WILL BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES.

NO.	REVISION	DATE	BY
1	REVISIONS AS PER HOUSE DESIGNER'S REVIEW COMMENTS OF FEBRUARY 7, 2024	02/08/24	TLM
1	REVISIONS AS PER OWNER'S REVIEW COMMENTS OF JANUARY 31, 2024	01/31/24	TLM



DESIGN	T.L.M.
CHECKED	T.L.M.
DRAWN BY	P.M.
CHECKED	T.L.M.
APPROVED	T.L.M.

PROJECT
48 McNAUGHTON AVENUE
LOT 55
REGISTERED PLAN 242262
CITY OF OTTAWA

DRAWING TITLE
PROPOSED LOT GRADING
AND SERVICING PLAN

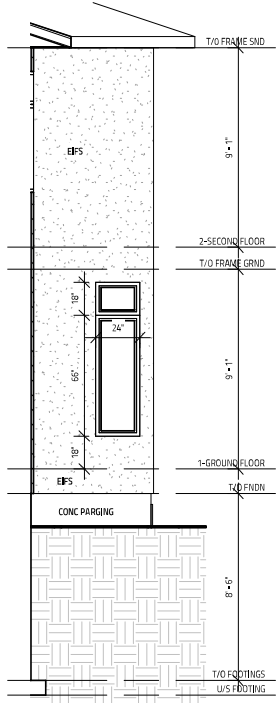
T.L. MAK ENGINEERING CONSULTANTS LTD. CONSULTING ENGINEERS		
PROJECT No.	DATE	DRAWING No.
824-8	JANUARY 2024	G-1

REGISTERED

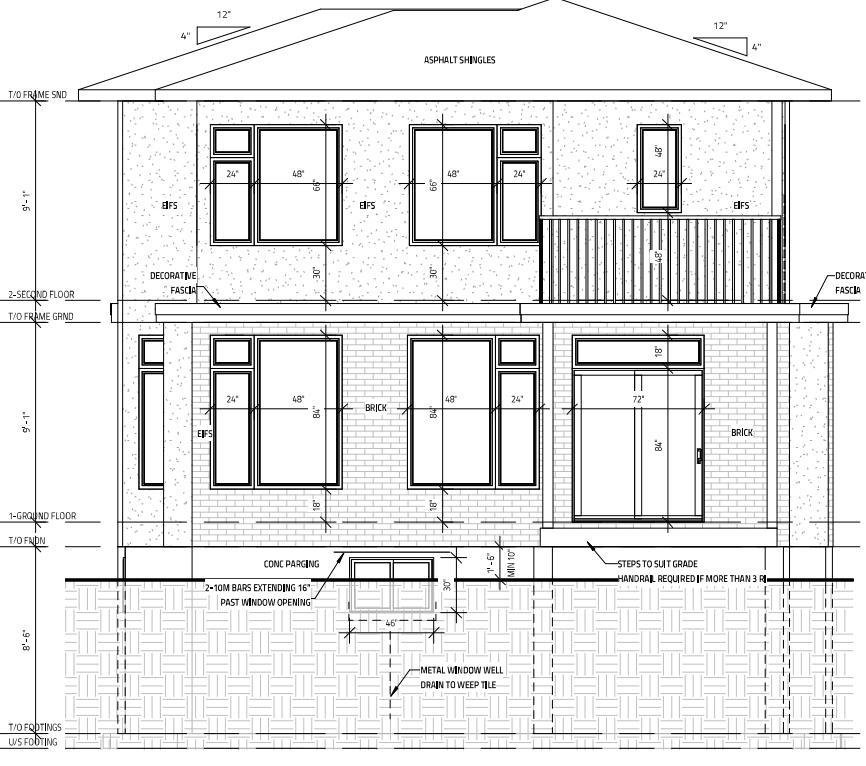
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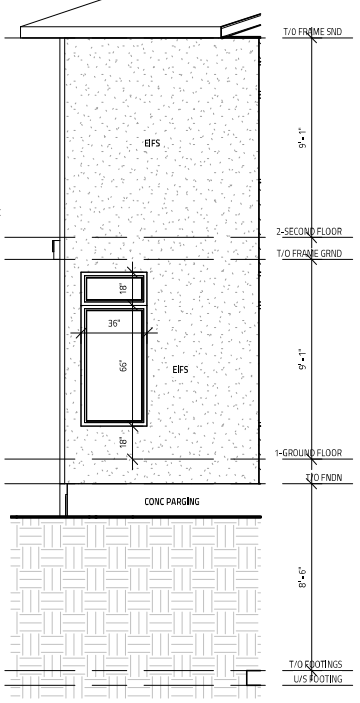
1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



3 REAR ALCOVE WALL ELEVATION
 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



4 FRONT ALCOVE WALL ELEVATION
 SCALE: 1/4" = 1'-0"

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FRM BCIR: 45801
 INDIVIDUAL BCIN: 113793

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012, I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SWING WITH THE DRAWINGS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION

MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:
 1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
 2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
 3. PROVISIONS IN PART 9 OF O.B.C. 2012

EPS IS 'ADEX-MPS' SYSTEM CONFORMING TO CCMC 12913-R
 ALL ROOF OVERHANGS TO BE 2'-0" UNLESS OTHERWISE NOTED

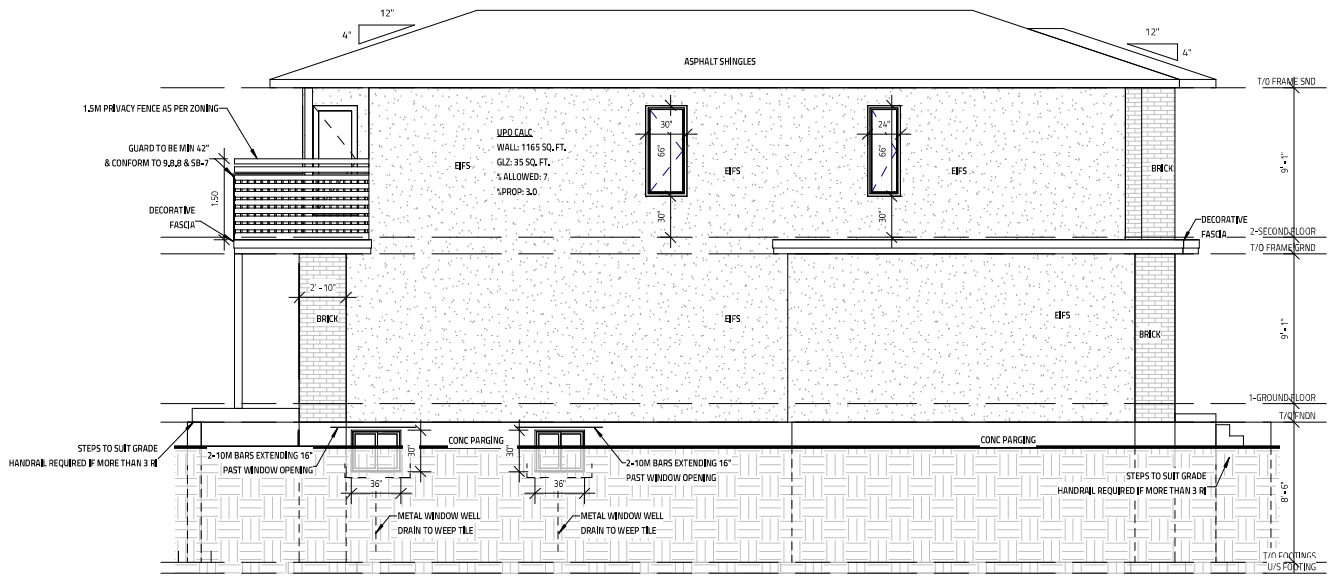
NO.	REVISION	DATE

48 MCNAUGHTON
 2475 SQ. FT.
 OTTAWA, ON

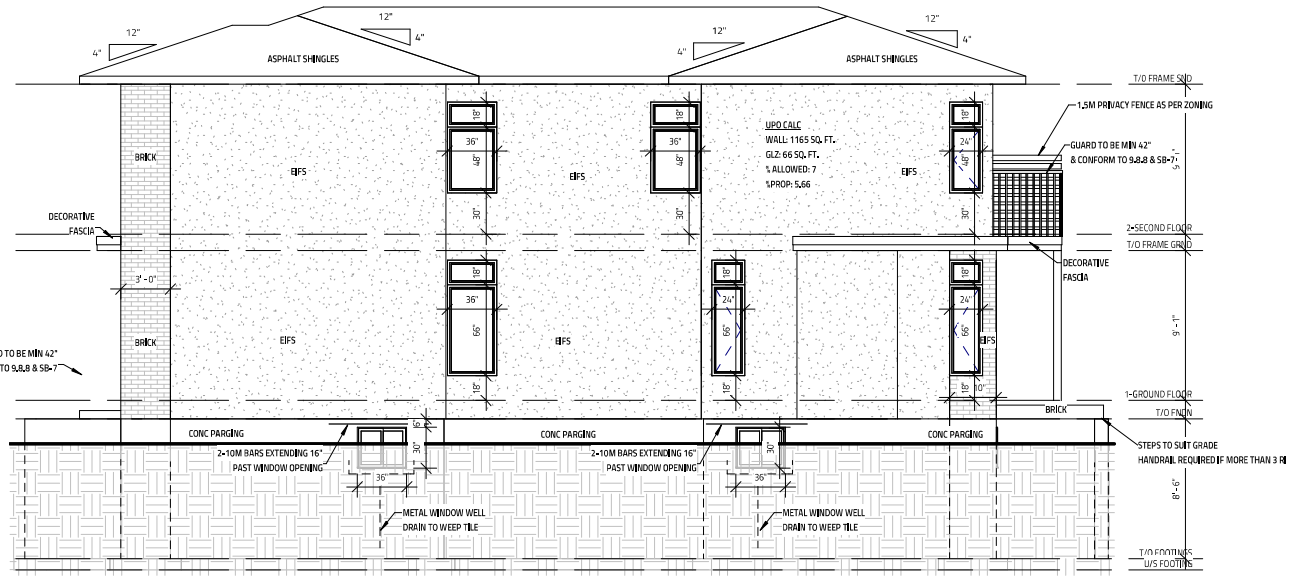
Evolution
 DESIGN & DRAFTING
 613-884-7068 // 613-808-7185

GENERAL NOTES:
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 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
 - GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE W/ THE O.B.C. 2012, ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

ELEVATIONS 1	
DATE: DECEMBER 1, 2023	SCALE: 1/4" = 1'-0"
DRAWN BY: MW	CHECKED BY: MW
A5.0	



1 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCPL: 45801
INDIVIDUAL BCN: 113793

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SWING WITH THE DRAWINGS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION

- MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:
1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
 2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
 3. PROVISIONS IN PART 9 OF O.B.C. 2012

EIFS IS 'ADEX-MFS' SYSTEM CONFORMING TO CCMC 12913-R
ALL ROOF OVERHANGS TO BE 2'-0" UNLESS OTHERWISE NOTED

NO.	REVISION	DATE

48 MCNAUGHTON
2475 SQ. FT.
OTTAWA, ON

Evolution
DESIGN & DRAFTING
613-884-7068 // 613-808-7185

ELEVATIONS 2	
DATE: 01 DECEMBER 2023	SCALE: 3/16" = 1'-0"
DRAWN BY: SG	BY: J. MCNAUGHTON
CHECKED BY: SG	DATE: 01 DEC 2023
A5.1	

- GENERAL NOTES:
- E, & O.E.
- DO NOT SCALE DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

City of Ottawa
Property Information
Source: <https://maps.ottawa.ca/geoOttawa>
Date/Time Generated: Run on: 5/15/2024 1:35 PM

Property Parcel:

Calculated Parcel Area^[i]: 334.41 m² (3599.57 ft²) (0.03 ha)

Main Address:

48 McNaughton Ave

Solid Waste Collection:

Waste Contractor: City
Zone: 3
Pickup Day/Calendar: WEDNESDAY/A

Ward Information:

Number: 17
Ward Name: Capital
Councillor Name: Shawn Menard

Committee of Adjustment
Received | Reçu le
2024-05-22
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Property Aerial Photo



^[i] The property parcel area value shown is based on the parcel selected to generate the report.