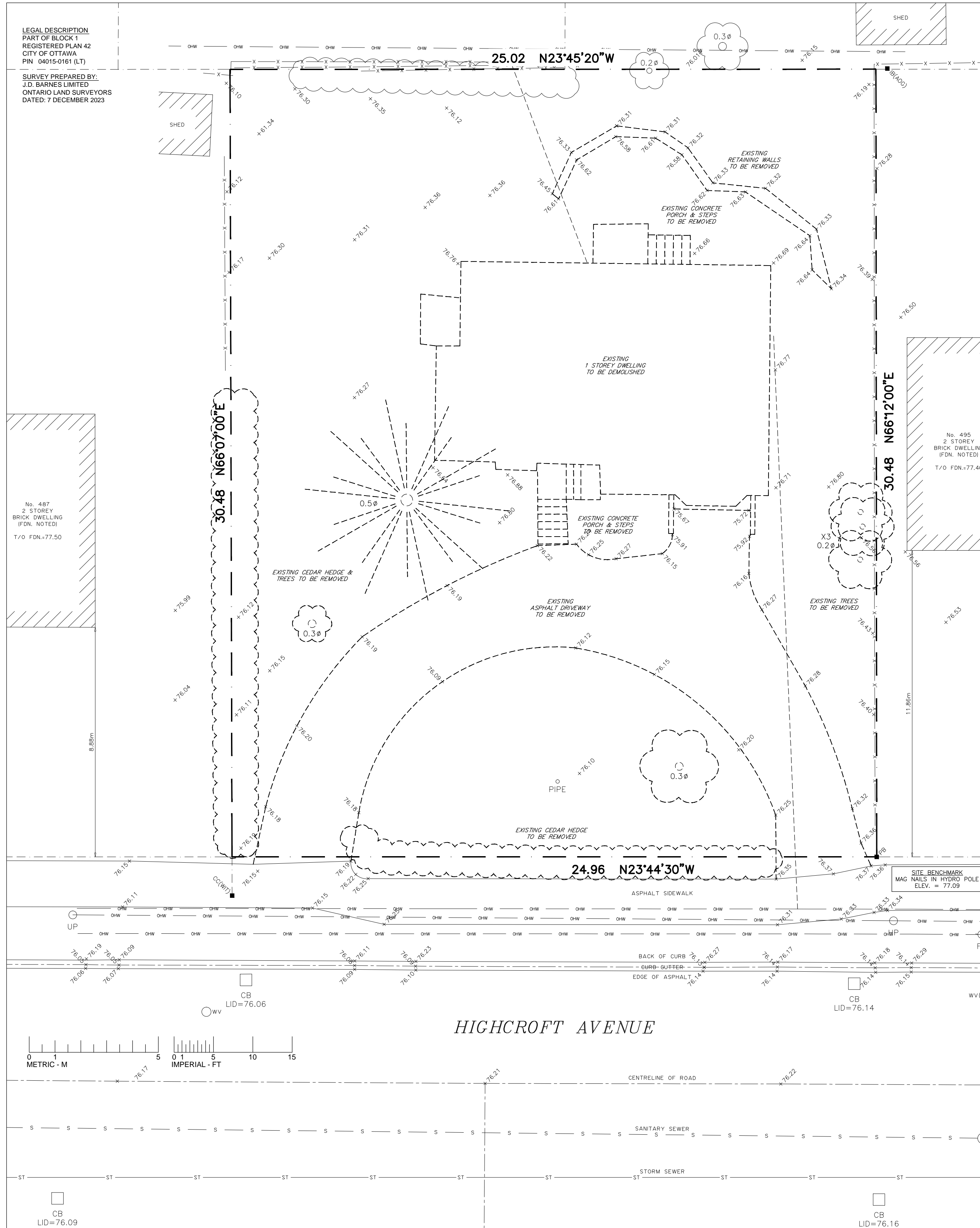


1 LOCATION MAP
SCALE: N.T.S.

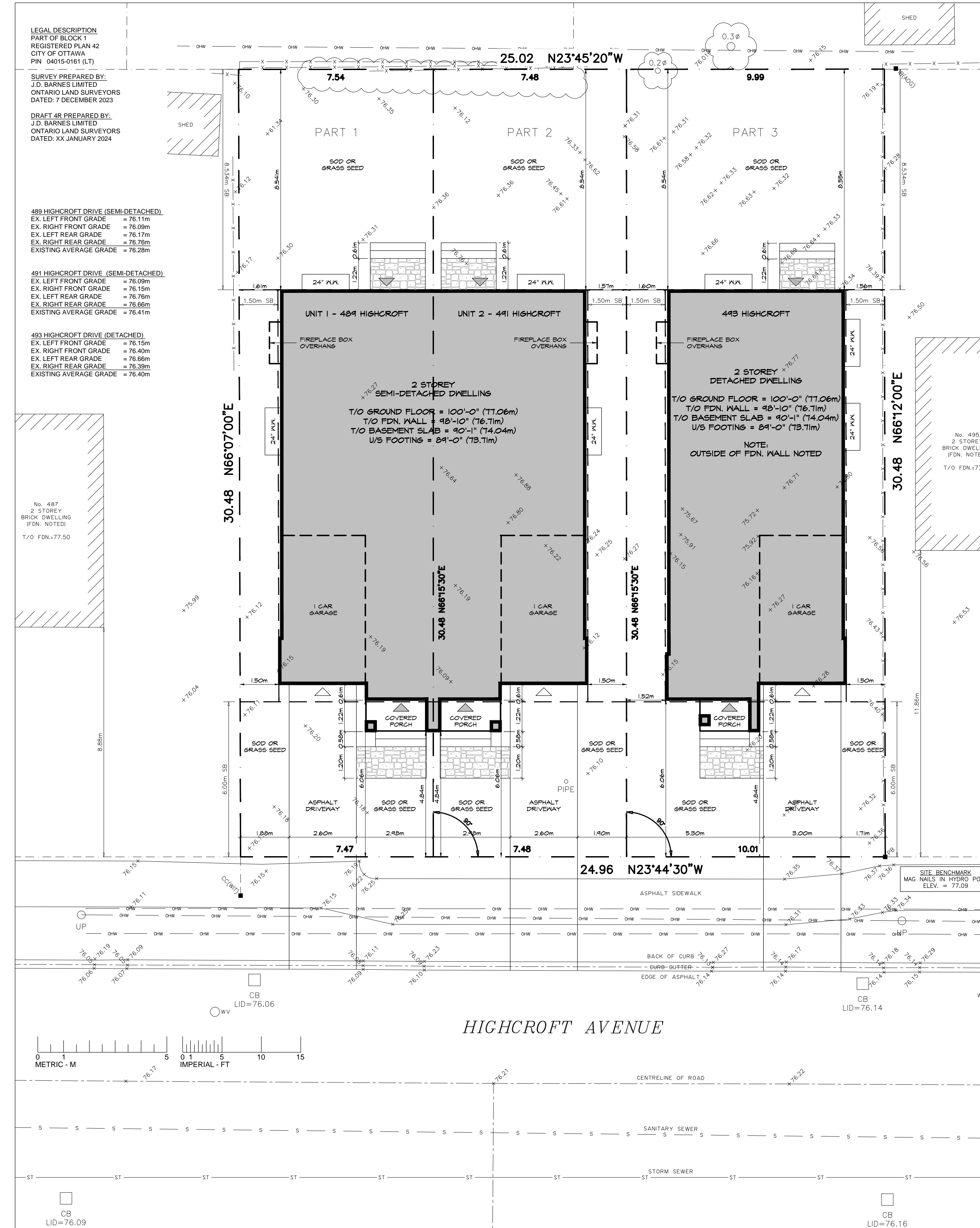
PERFORMANCE STANDARD - R3R (2687) H8.5	BY-LAW REQUIREMENT	PROVIDED
MINIMUM LOT DEPTH (LD)	NA	30.48 m
MINIMUM LOT WIDTH	6.0 m	7.48 m
MINIMUM LOT AREA (LA)	180.0 sq.m	228.80 sq.m
MAXIMUM BUILDING HEIGHT * FROM EX. AVG. GRADE	8.5 m	7.95 m
MINIMUM FRONT YARD SETBACK	6.0 m	6.06 m
MINIMUM FRONT YARD AREA (FYA)	NA	44.82 sq.m
MINIMUM FRONT YARD SOFT LANDSCAPE AREA	13.45 sq.m (30% OF FYA)	20.89 sq.m (46.60% OF FYA)
MINIMUM INTERIOR SIDE YARD SETBACK	1.50 m	1.50 m
MINIMUM REAR YARD SETBACK	8.534 m (28% OF LD)	8.54 m (28.02% OF LD)
MINIMUM REAR YARD AREA	57.20 sq.m (25% OF LA)	64.24 sq.m (28.07% OF LA)
MINIMUM GARAGE SETBACK FROM PRINCIPAL ENTRANCE	0.60 m	0.610 m
MAXIMUM DRIVEWAY WIDTH	2.60 m	2.60 m

PERFORMANCE STANDARD - R3R (2687) H8.5	BY-LAW REQUIREMENT	PROVIDED
MINIMUM LOT DEPTH (LD)	NA	30.48 m
MINIMUM LOT WIDTH	6.0 m	7.48 m
MINIMUM LOT AREA (LA)	180.0 sq.m	228.0 sq.m
MAXIMUM BUILDING HEIGHT * FROM EX. AVG. GRADE	8.5 m	7.80 m
MINIMUM FRONT YARD SETBACK	6.0 m	6.06 m
MINIMUM FRONT YARD AREA (FYA)	NA	44.88 sq.m
MINIMUM FRONT YARD SOFT LANDSCAPE AREA	13.46 sq.m (30% OF FYA)	20.94 sq.m (46.65% OF FYA)
MINIMUM INTERIOR SIDE YARD SETBACK	1.50 m	1.50 m
MINIMUM REAR YARD SETBACK	8.534 m (28% OF LD)	8.54 m (28.02% OF LD)
MINIMUM REAR YARD AREA	57.0 sq.m (25% OF LA)	63.83 sq.m (27.99% OF LA)
MINIMUM GARAGE SETBACK FROM PRINCIPAL ENTRANCE	0.60 m	0.610 m
MAXIMUM DRIVEWAY WIDTH	2.60 m	2.60 m

PERFORMANCE STANDARD - R3R (2687) H8.5	BY-LAW REQUIREMENT	PROVIDED
MINIMUM LOT DEPTH (LD)	NA	30.48 m
MINIMUM LOT WIDTH	10.0 m	10.01 m
MINIMUM LOT AREA (LA)	300.0 sq.m	304.80 sq.m
MAXIMUM BUILDING HEIGHT * FROM EX. AVG. GRADE	8.5 m	7.40 m
MINIMUM FRONT YARD SETBACK	6.0 m	6.06 m
MINIMUM FRONT YARD AREA (FYA)	NA	60.07 sq.m
MINIMUM FRONT YARD SOFT LANDSCAPE AREA	21.02 sq.m (35% OF FYA)	34.78 sq.m (57.90% OF FYA)
MINIMUM INTERIOR SIDE YARD SETBACK	1.50 m	1.52 m / 1.50 m
MINIMUM REAR YARD SETBACK	8.534 m (28% OF LD)	8.54 m (28.02% OF LD)
MINIMUM REAR YARD AREA	76.20 sq.m (25% OF LA)	85.24 sq.m (27.96% OF LA)
MINIMUM GARAGE SETBACK FROM PRINCIPAL ENTRANCE	0.60 m	0.610 m
MAXIMUM DRIVEWAY WIDTH	3.0 m	3.0 m



2 EXISTING / DEMOLITION SITE PLAN
SCALE: 1:75



3 PROPOSED SITE PLAN
SCALE: 1:75



ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
DO NOT SCALE DRAWINGS.

489-491 HIGHCROFT DRIVE (SEMI-DETACHED) BUILDING INFORMATION		
BUILDING TOTAL FOOTPRINT		191.42 sq.m (2060.51 sq.ft)
FOUNDATION AREA		189.70 sq.m (2041.94 sq.ft)
BASEMENT AREA	O/S FDN.	144.70 sq.m (1557.61 sq.ft)
BASEMENT AREA	I/S FDN.	133.30 sq.m (1434.87 sq.ft)
GROUND FLOOR AREA	O/S CLADDING	185.23 sq.m (1993.84 sq.ft)
GROUND FLOOR AREA	O/S FRAMING	180.78 sq.m (1945.97 sq.ft)
GROUND FLOOR AREA	O/S CLADDING	172.59 sq.m (1857.79 sq.ft)
GROUND FLOOR AREA - GARAGE	O/S CLADDING	145.35 sq.m (1564.60 sq.ft)
GROUND FLOOR AREA - GARAGE	O/S FRAMING	142.83 sq.m (1535.30 sq.ft)
GROUND FLOOR AREA - GARAGE	I/S FRAMING	134.44 sq.m (1447.12 sq.ft)
SECOND FLOOR AREA	O/S CLADDING	183.04 sq.m (1970.30 sq.ft)
SECOND FLOOR AREA	O/S FRAMING	179.02 sq.m (1928.97 sq.ft)
SECOND FLOOR AREA	I/S FRAMING	171.45 sq.m (1845.54 sq.ft)
PER UNIT TOTAL FOOTPRINT		95.71 sq.m (1030.25 sq.ft)
FOUNDATION AREA		94.85 sq.m (1020.97 sq.ft)
BASEMENT AREA	O/S FDN.	72.35 sq.m (778.80 sq.ft)
BASEMENT AREA	I/S FDN.	64.30 sq.m (692.18 sq.ft)
BASEMENT AREA	I/S FRAMING	59.11 sq.m (636.30 sq.ft)
BASEMENT AREA - FINISHED	I/S FRAMING	46.70 sq.m (502.71 sq.ft)
GROUND FLOOR AREA	O/S CLADDING	92.61 sq.m (996.92 sq.ft)
GROUND FLOOR AREA	O/S FRAMING	90.39 sq.m (972.98 sq.ft)
GROUND FLOOR AREA	I/S FRAMING	83.95 sq.m (903.64 sq.ft)
GROUND FLOOR AREA - GARAGE	O/S CLADDING	72.87 sq.m (782.50 sq.ft)
GROUND FLOOR AREA - GARAGE	O/S FRAMING	71.31 sq.m (767.65 sq.ft)
GROUND FLOOR AREA - GARAGE	I/S FRAMING	64.87 sq.m (698.31 sq.ft)
UNIT SECOND FLOOR AREA	O/S CLADDING	91.52 sq.m (985.15 sq.ft)
UNIT SECOND FLOOR AREA	O/S FRAMING	89.51 sq.m (963.49 sq.ft)
UNIT SECOND FLOOR AREA	I/S FRAMING	83.38 sq.m (897.52 sq.ft)

493 HIGHCROFT DRIVE (DETACHED) BUILDING INFORMATION		
FOOTPRINT		110.22 sq.m (1186.45 sq.ft)
FOUNDATION AREA		109.24 sq.m (1175.94 sq.ft)
BASEMENT AREA	O/S FDN.	87.13 sq.m (937.94 sq.ft)
BASEMENT AREA	I/S FDN.	77.79 sq.m (837.37 sq.ft)
BASEMENT AREA	I/S FRAMING	71.77 sq.m (772.59 sq.ft)
BASEMENT AREA - FINISHED	I/S FRAMING	54.56 sq.m (587.35 sq.ft)
GROUND FLOOR AREA	O/S CLADDING	107.34 sq.m (1155.44 sq.ft)
GROUND FLOOR AREA	O/S FRAMING	103.91 sq.m (1118.50 sq.ft)
GROUND FLOOR AREA	I/S FRAMING	97.43 sq.m (1048.93 sq.ft)
GROUND FLOOR AREA - GARAGE	O/S CLADDING	87.40 sq.m (940.82 sq.ft)
GROUND FLOOR AREA - GARAGE	O/S FRAMING	84.83 sq.m (913.16 sq.ft)
GROUND FLOOR AREA - GARAGE	I/S FRAMING	78.38 sq.m (843.50 sq.ft)
SECOND FLOOR AREA	O/S CLADDING	106.60 sq.m (1147.50 sq.ft)
SECOND FLOOR AREA	O/S FRAMING	103.21 sq.m (1111.0 sq.ft)
SECOND FLOOR AREA	I/S FRAMING	96.87 sq.m (1042.70 sq.ft)

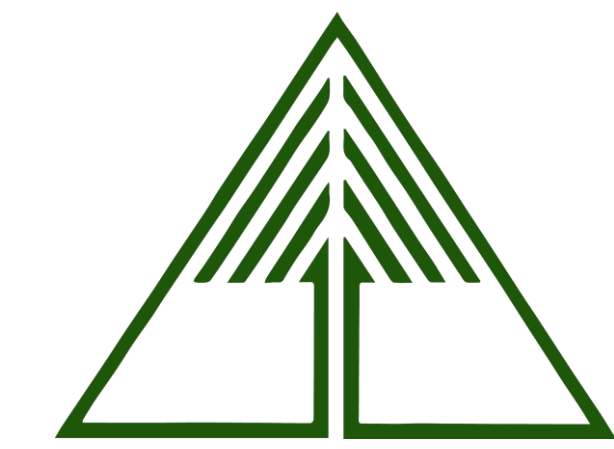
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2024-01-23
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Comité de dérogation

2	ISSUED FOR COA APPLICATION	2024.01.16
1	ISSUED TO CONSULTANTS	2024.01.05

SEAL:	NORTH:
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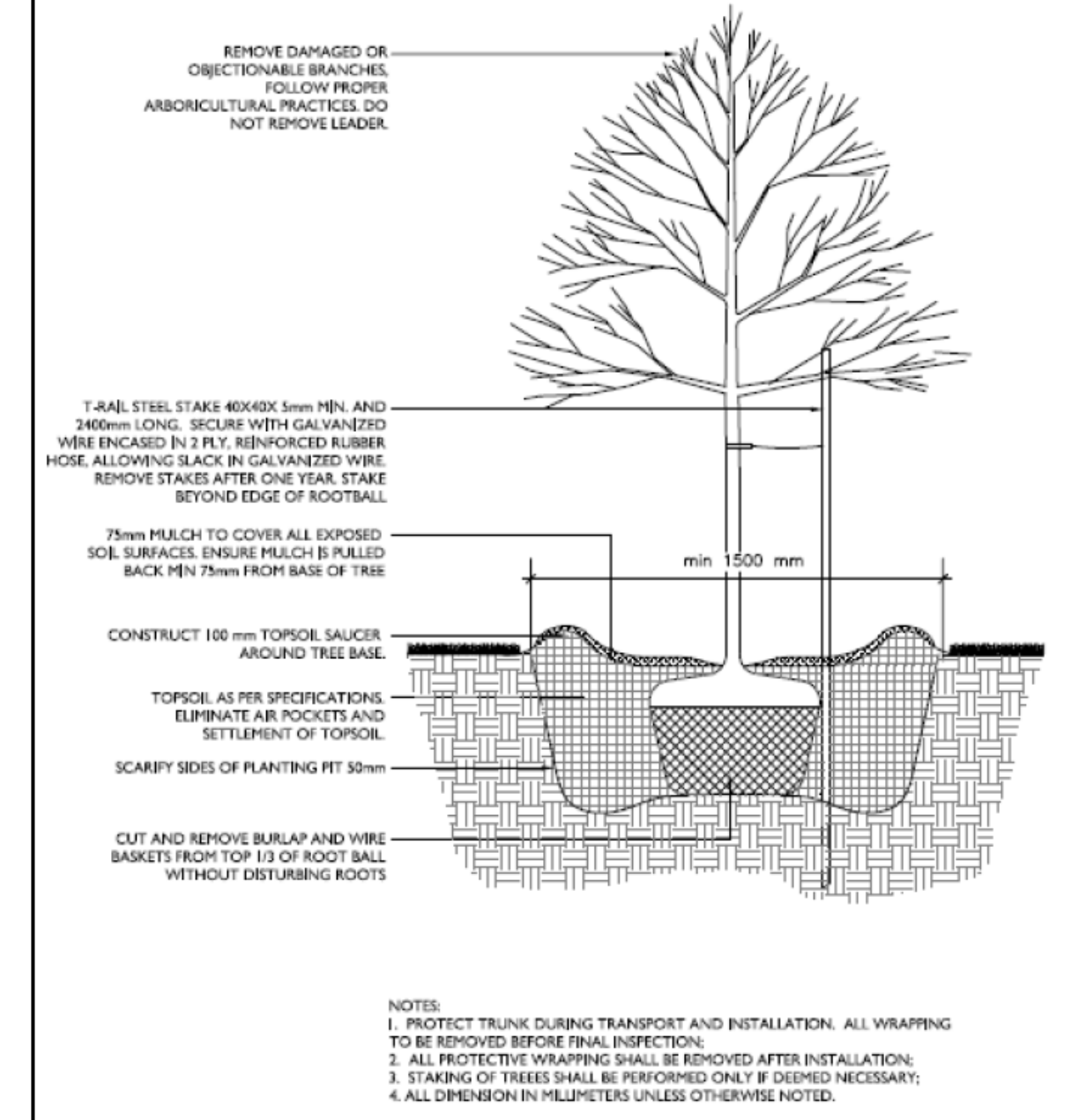
HIGHCROFT CUSTOMS
489-491 & 493 HIGHCROFT AVENUE
OTTAWA, ONTARIO, K1Z 5J3

DRAWING: LOCATION MAP SITE & BUILDING INFORMATION SITE PLANS		
DATE:	OCTOBER 2023	SHEET NO.:
SCALE:	AS NOTED	SP1
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0553	



Tree Planting Plan – 493 Highcroft Avenue
 Prepared by Dendron Forestry Services
 Version 2.0, January 4, 2024
 For more information, please contact:
info@dendronforestry.ca

Note: the tree layer has been added to the original site plan supplied by the client in pdf format. This layer refers to the trees only, and the original site plan has not been altered in the process. Refer to the original plan for details as quality is lost when importing the plan into the mapping software used to create the tree layer.



- KEY SPACING GUIDELINES**
- For Deciduous Trees:**
- Minimum 50mm caliper stock
 - 1.5m from sidewalks, driveways, walkways, fences, sound walls, and old stumps.
 - 2.5m from curbs, hydro transformers, or behind fire hydrants
 - 4-7m from any part of an existing tree, depending on canopy width
 - 10m from bus shelters and community mailboxes
- For Coniferous Trees:**
- Follow same setbacks as deciduous, but due to the widest branching being at the base of the tree, conifers need greater setbacks for ground-level obstacles.
 - Minimum 200cm height stock
 - 4.5m setbacks from sidewalks, walkways, driveways, and curbs.
 - Do not plant on corners where sight lines will be compromised.

TREES MUST BE WATERED REGULARLY FOLLOWING PLANTING TO ENSURE PROPER ESTABLISHMENT.

On average, a young tree needs 6 gallons (24 liters) of water twice per week. (Do not water using a sprinkler as water on the foliage can lead to fungal infection)
 Placing a ring of mulch around the planting hole will help reduce water loss.
 Ensure no mulch is touching the base of the tree.

Legend

- New Private Tree
- Existing Tree to be retained

Replacement Tree Specifications

Note: Proposed tree locations are suggestions only and should be finalized only once construction is complete and should adhere to City of Ottawa Tree Planting Guidelines.

B1 is a bur oak, which, if protected successfully during construction, could be considered as a replacement planting. This plan indicates locations for 4 new trees, which would be required without accounting for the retention of B1.

Trees 1 and 4 should be medium trees at maturity to accommodate the overhead wires along the east and west property lines. Site conditions are expected to be full light exposure and moderate moisture availability. Species suggestions include:

- Paper birch - *Betula papyrifera**
- Grey birch - *Betula populifolia**
- Honey locust - *Gleditsia triacanthos**
- Sour cherry - *Prunus cerasus*
- Pin cherry - *Prunus pensylvanica**
- Littleleaf linden - *Tilia cordata*
- Burr oak - *Quercus macrocarpa**
- Shagbark hickory - *Carya ovata**
- Bitternut hickory - *Carya cordiformis**
- Turkish hazel - *Corylus colurna**
- Red maple - *Acer rubrum**
- Eastern white cedar - *Thuja occidentalis**

Trees 2 and 3 should be small trees to accommodate the overhead wires along the east property line. Site conditions are expected to be full light exposure and moderate moisture availability. Species suggestions include:

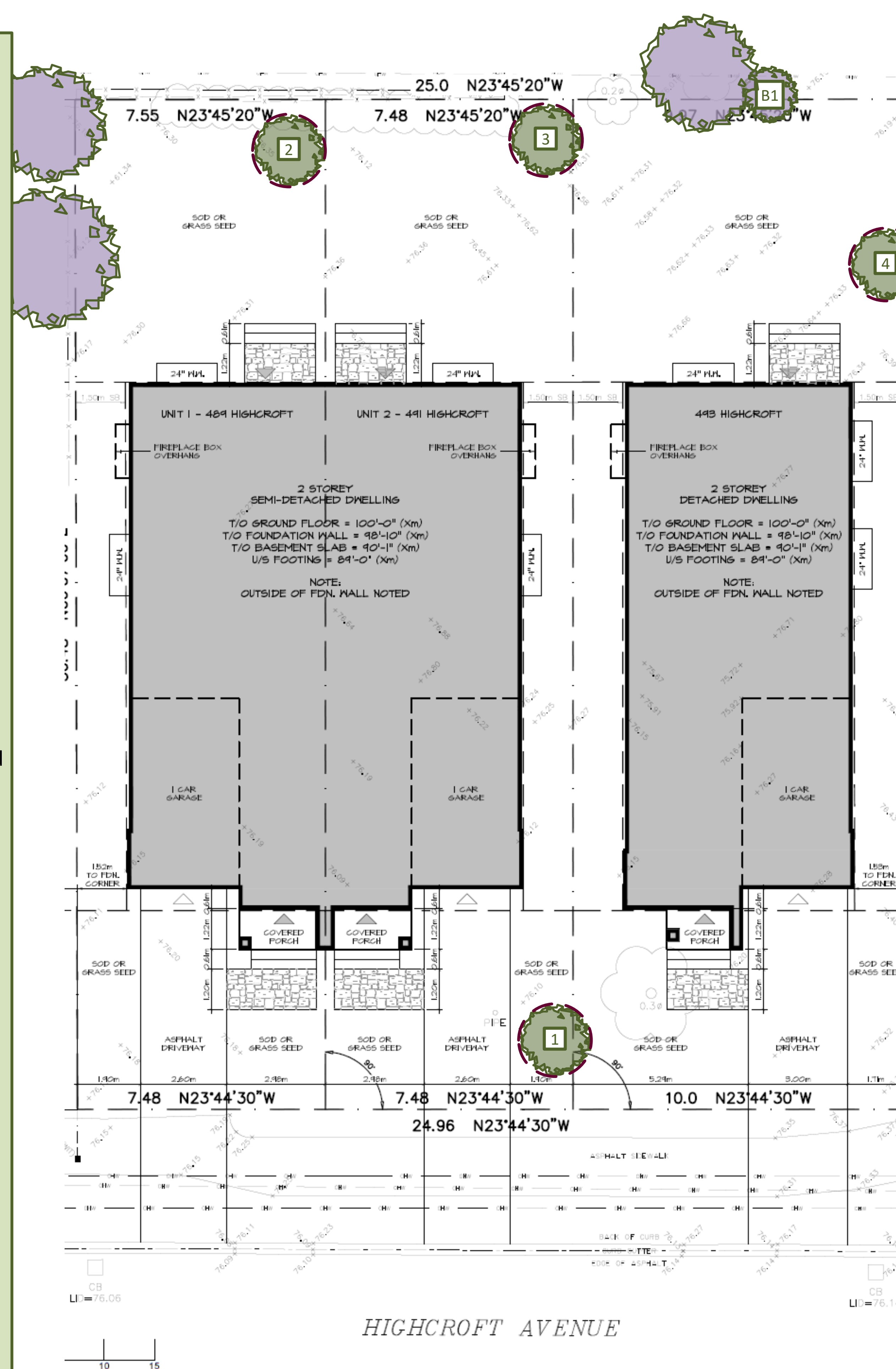
- Choke cherry - *Prunus virginiana*
- Eastern redbud - *Cercis canadensis**
- Yellowwood - *Cladtrastis lutea*
- Flowering dogwood - *Cornus florida*
- Magnolia - *Magnolia spp.*
- Eastern redcedar - *Juniperis virginiana**
- Crabapple - *Malus spp.*
- Serviceberry - *Amelanchier spp.**
- Ohio buckeye - *Aesculus glabra**
- Pagoda dogwood - *Cornus alternifolia**
- Witch hazel - *Hamamelis virginiana**

*Native to Ottawa region: Planting species native to a region can help maintain and enhance biodiversity.

Note: Norway maple (*Acer platanoides*) is *not* recommended as it is highly invasive and not a suitable tree for urban planting.

The species recommended herein are the most suitable species based on the existing plans. For best success, tree species should be matched to site conditions.

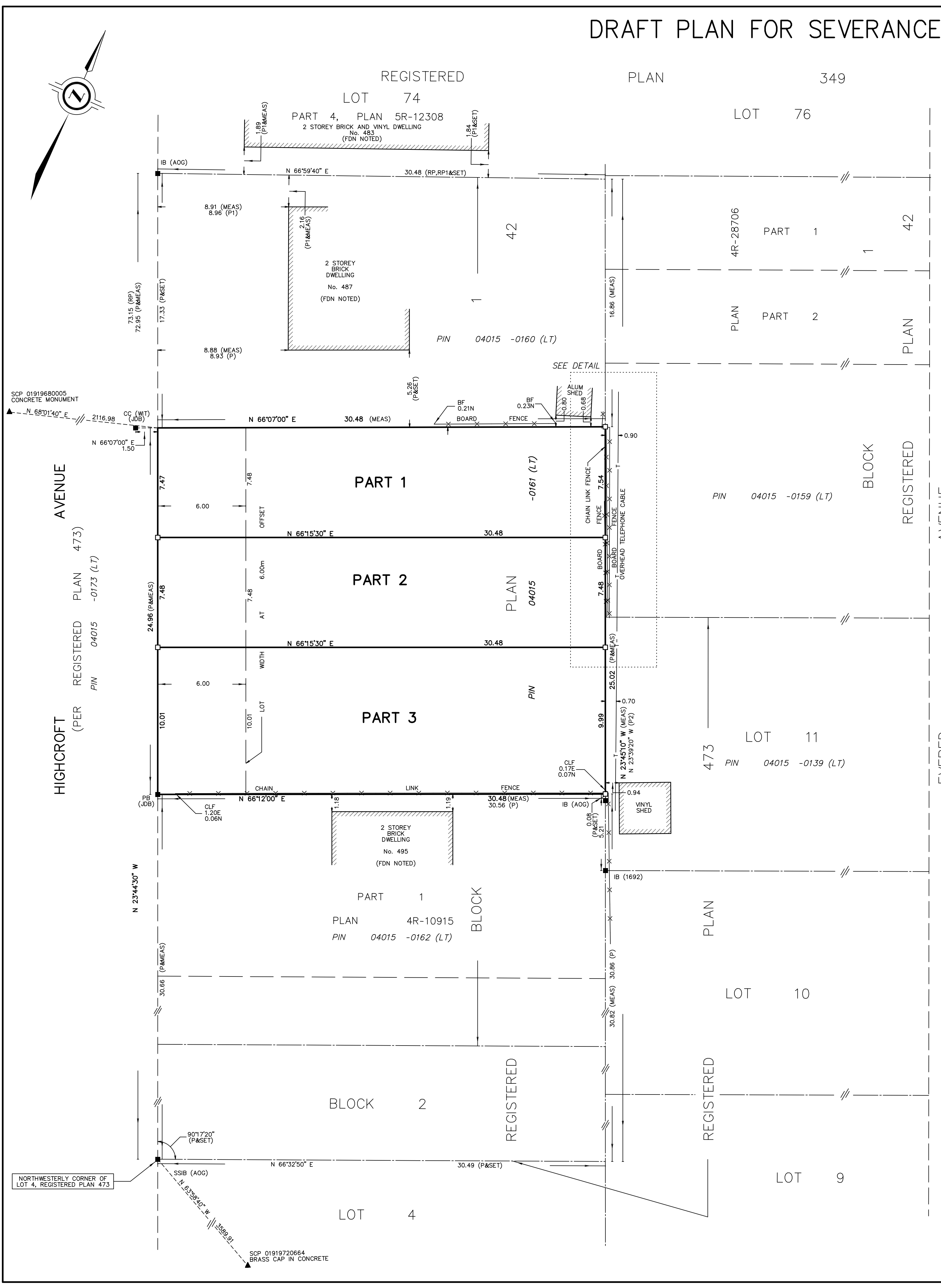
All deciduous trees must be a minimum of 50 mm in diameter measured no less than 15 cm above ground level. Coniferous trees must be no less than 200 cm in height.



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DRAFT PLAN FOR SEVERANCE

SCHEDULE				
PART	BLOCK	PLAN	PIN	AREA (sq.m.)
1				228.8
2	PART OF BLOCK 1	REGISTERED PLAN 42	ALL OF 04015-0161 (LT)	228.0
3				304.8



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PLAN OF SURVEY OF PART OF BLOCK 1 REGISTERED PLAN 42 CITY OF OTTAWA

SCALE 1 : 150
 2.5 0 2.5 5 10 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 700mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150

J.D. BARNES LIMITED

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE XTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS (SCPs) 01919680005 AND 01919720664, MTM ZONE 9, NAD83, (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999936.

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.R.G. 525/91.

INTEGRATION DATA

SPECIFIED CONTROL POINTS (SCPs): MTM ZONE 9, NAD83 (CSRS) (2010.0).
 COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.R.G. 216/10.

POINT ID	EASTING	NORTHING
SCP 01919680005	361 496.72	5 027 190.85
SCP 01919720664	366 705.62	5 026 362.33

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

THE RESULTANT TIE BETWEEN SCPS 01919680005 AND 01919720664 IS 5274.74 N 80°57'40" E

LEGEND

- ▲ DENOTES SURVEY CONTROL MONUMENT FOUND
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- PB DENOTES PLASTIC BAR
- MEAS DENOTES MEASURED
- WT DENOTES WITNESS
- RP DENOTES REGISTERED PLAN 473
- RP1 DENOTES REGISTERED PLAN 349
- P DENOTES PLAN 4R-10915
- P1 DENOTES PLAN 5R-12308
- P2 DENOTES PLAN 4R-28706
- N6 DENOTES NUMBER
- FDN DENOTES FOUNDATION
- ALUM DENOTES ALUMINUM
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- AOC DENOTES ANNIS, O'SULLIVAN, VOLLEBECK LTD.
- 1692 DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.
- JDB DENOTES J.D. BARNES LIMITED

N=NORTH / S=SOUTH / E=EAST / W=WEST

SURVEYOR'S CERTIFICATE

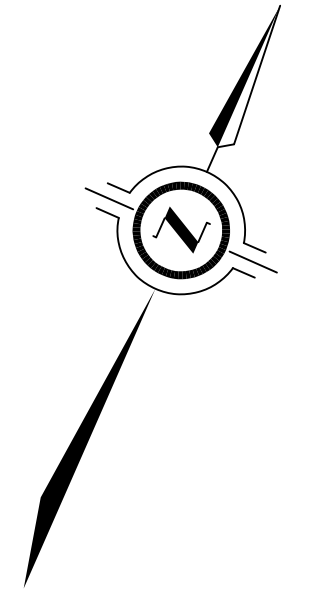
- CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON 2024.

DRAFT
 GEORGE ZERVOS
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXX

J.D. BARNES
 LIMITED
 SURVEYING
 MAPPING
 GIS
 LAND INFORMATION SPECIALISTS
 62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: KZ	CHECKED BY: NS/GZ	REFERENCE NO.: 23-10-087-01
PLOTTED: 1/16/2024	DATED: 1/11/2024	



SURVEYOR'S REAL PROPERTY REPORT
WITH TOPOGRAPHIC DETAILS
PART 1 - PLAN SHOWING

PART OF BLOCK 1
REGISTERED PLAN 42
CITY OF OTTAWA

J.D. BARNES LIMITED
© COPYRIGHT 2023
SCALE 1 : 150

2.5 0 2.5 5 10 metres

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).

DISTANCES ARE GROUND.

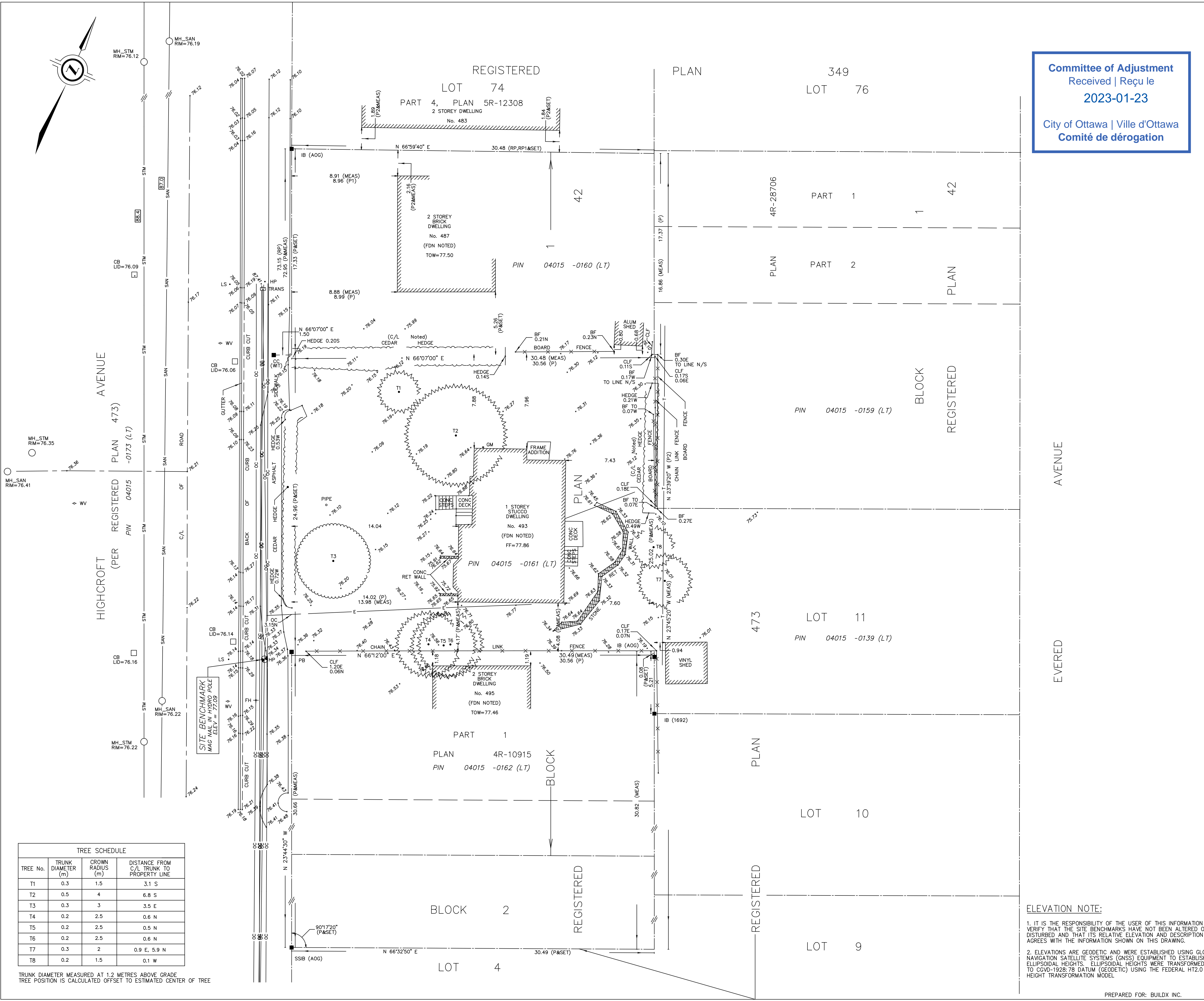
ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION UNLESS OTHERWISE NOTED.

COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

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2023-01-23

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PART 2 - SURVEY REPORT

- DESCRIPTION
PART OF BLOCK 1 ON REGISTERED PLAN 42, BEING ALL OF PIN 04015-0161 (LT), IN THE CITY OF OTTAWA

- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE

- BOUNDARY FEATURES
NOTE LOCATION OF THE CEDAR HEDGE AND THE ASPHALT DRIVEWAY ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY
NOTE LOCATION OF THE CHAIN LINK FENCE ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY
NOTE LOCATION OF THE CHAIN LINK FENCE, THE BOARD FENCES AND THE CEDAR HEDGE ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY
NOTE LOCATION OF THE BOARD FENCE AND THE CEDAR HEDGE ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

LEGEND

■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT SET
SIB DENOTES STANDARD IRON BAR
SSIB DENOTES SHORT STANDARD IRON BAR
IB# DENOTES ROUND IRON BAR
IB DENOTES IRON BAR
CC DENOTES CUT CROSS
PB DENOTES PLASTIC BAR
MEAS DENOTES MEASURED
WT DENOTES WITNESS
RP DENOTES REGISTERED PLAN 473
RP1 DENOTES REGISTERED PLAN 349
P DENOTES PLAN 4R-10915
P1 DENOTES PLAN 5R-12308
P2 DENOTES PLAN 4R-28706
AOG DENOTES ANNIS, O'SULLIVAN, VOLLEBEK LTD.
1692 DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.
DENOTES PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

TOPOGRAPHIC LEGEND

FDN DENOTES FOUNDATION
CONC DENOTES CONCRETE
C/L DENOTES CENTERLINE
RET DENOTES RETAINING
FF DENOTES FINISHED FLOOR
OC DENOTES OVERHEAD CABLE
EA DENOTES EDGE OF ASPHALT
BF DENOTES BOARD FENCE
CLF DENOTES CHAIN LINK FENCE
HP DENOTES HYDRO POLE
LS DENOTES LIGHT STANDARD
GM DENOTES GAS METER
WV DENOTES WATER VALVE
FH DENOTES FIRE HYDRANT
CB DENOTES CATCH BASIN
TRANS DENOTES HYDRO TRANSFORMER
MH_STM DENOTES STORM MANHOLE
MH_SAN DENOTES SANITARY MANHOLE
E DENOTES OVERHEAD HYDRO CABLE
T DENOTES OVERHEAD TELEPHONE CABLE
OC DENOTES OVERHEAD CABLE
STM DENOTES UNDERGROUND STORM SEWER
SAN DENOTES UNDERGROUND SANITARY SEWER

● DENOTES DECIDUOUS TREE
● DENOTES CONIFEROUS TREE

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON DECEMBER 6, 2023.

DECEMBER 7, 2023 DATE

George Zervos
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-57949

TREE SCHEDULE

TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.3	1.5	3.1 S
T2	0.5	4	6.8 S
T3	0.3	3	3.5 E
T4	0.2	2.5	0.6 N
T5	0.2	2.5	0.5 N
T6	0.2	2.5	0.6 N
T7	0.3	2	0.9 E, 5.9 N
T8	0.2	1.5	0.1 W

TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE.
TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE

ELEVATION NOTE:

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.

2. ELEVATIONS ARE GEODETIC AND WERE ESTABLISHED USING GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) EQUIPMENT TO ESTABLISH ELLIPSOIDAL HEIGHTS. ELLIPSOIDAL HEIGHTS WERE TRANSFORMED TO CGVD-1928:78 DATUM (GEODETIC) USING THE FEDERAL HT2.0 HEIGHT TRANSFORMATION MODEL

J.D. BARNES LIMITED
LAND INFORMATION SPECIALISTS
62 STAGIE DRIVE, SUITE 103, KANATA, ON K2K 2A9
T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

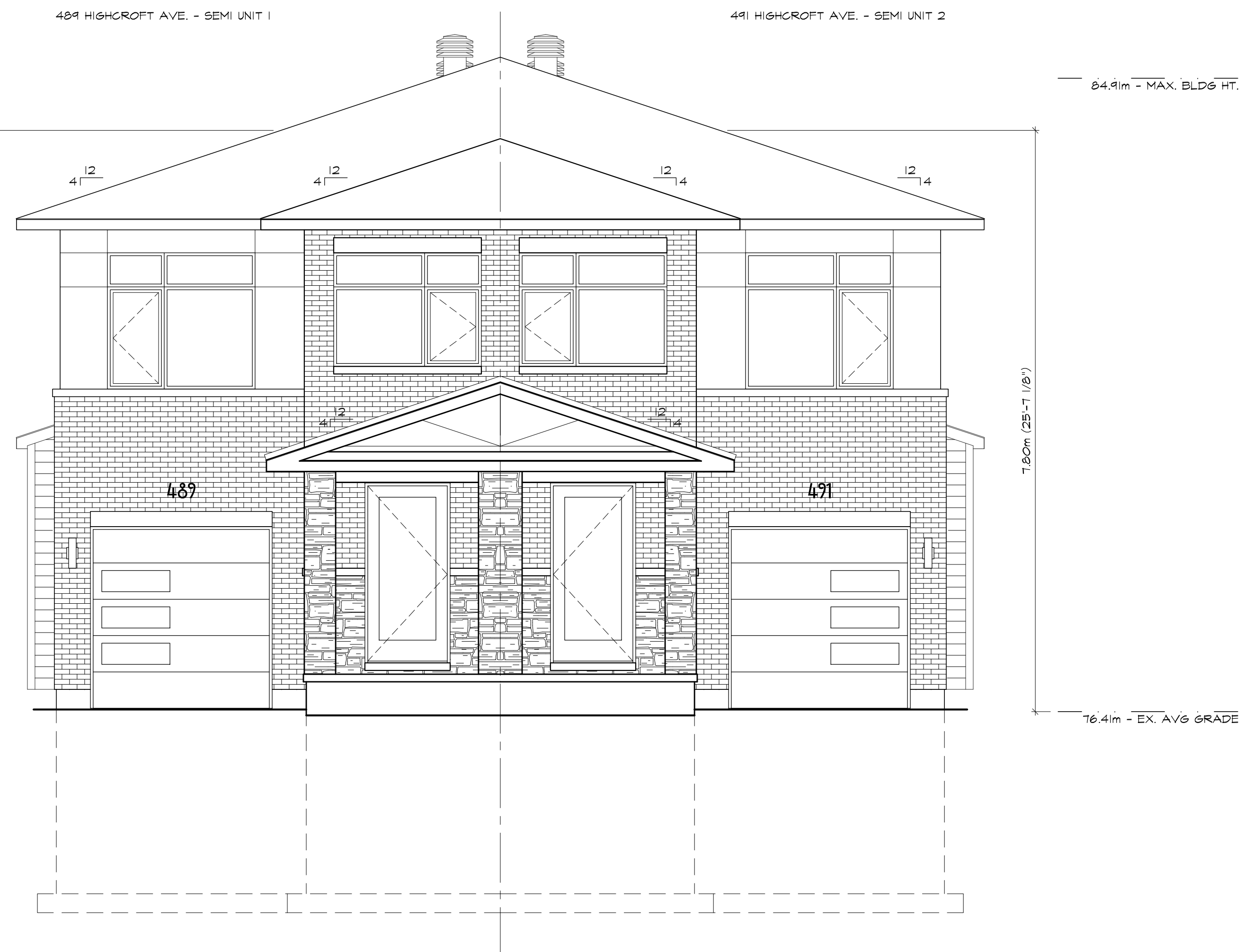
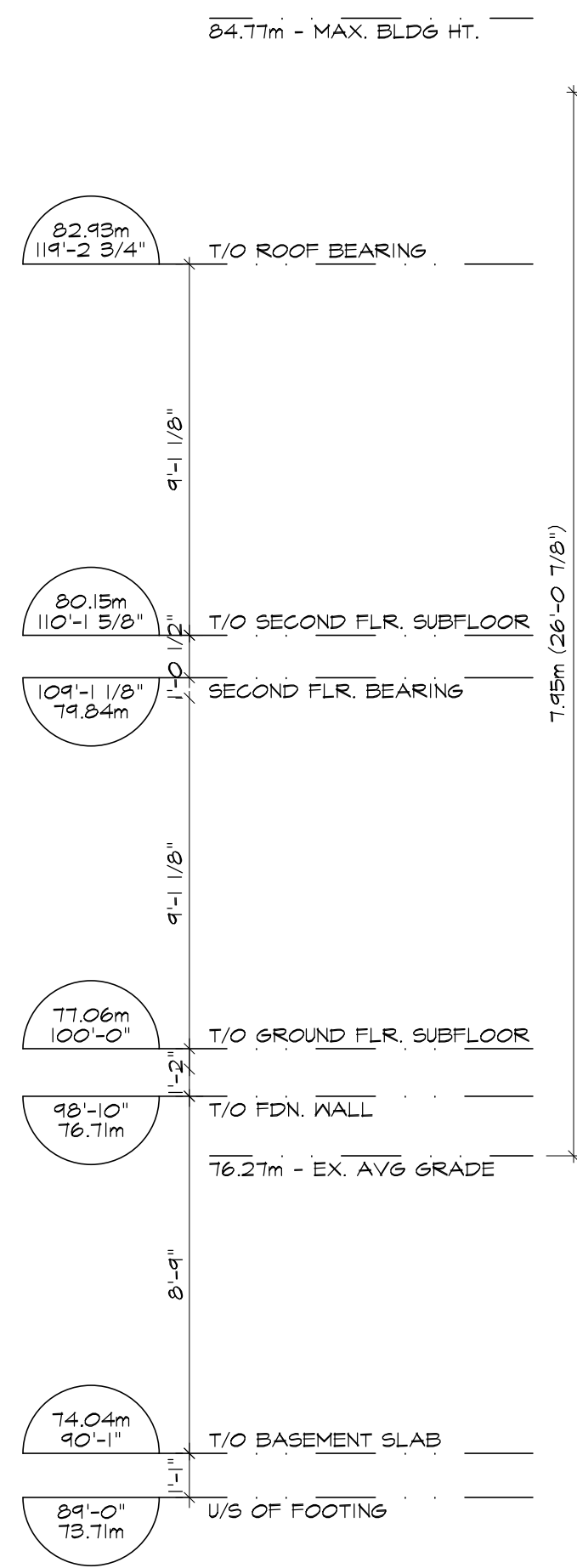
DRAWN BY: RP CHECKED BY: GZ REFERENCE NO.: 23-10-087-00
PLOTTED: 12/7/2023 DATED: 12/07/23

PREPARED FOR: BUILDX INC.

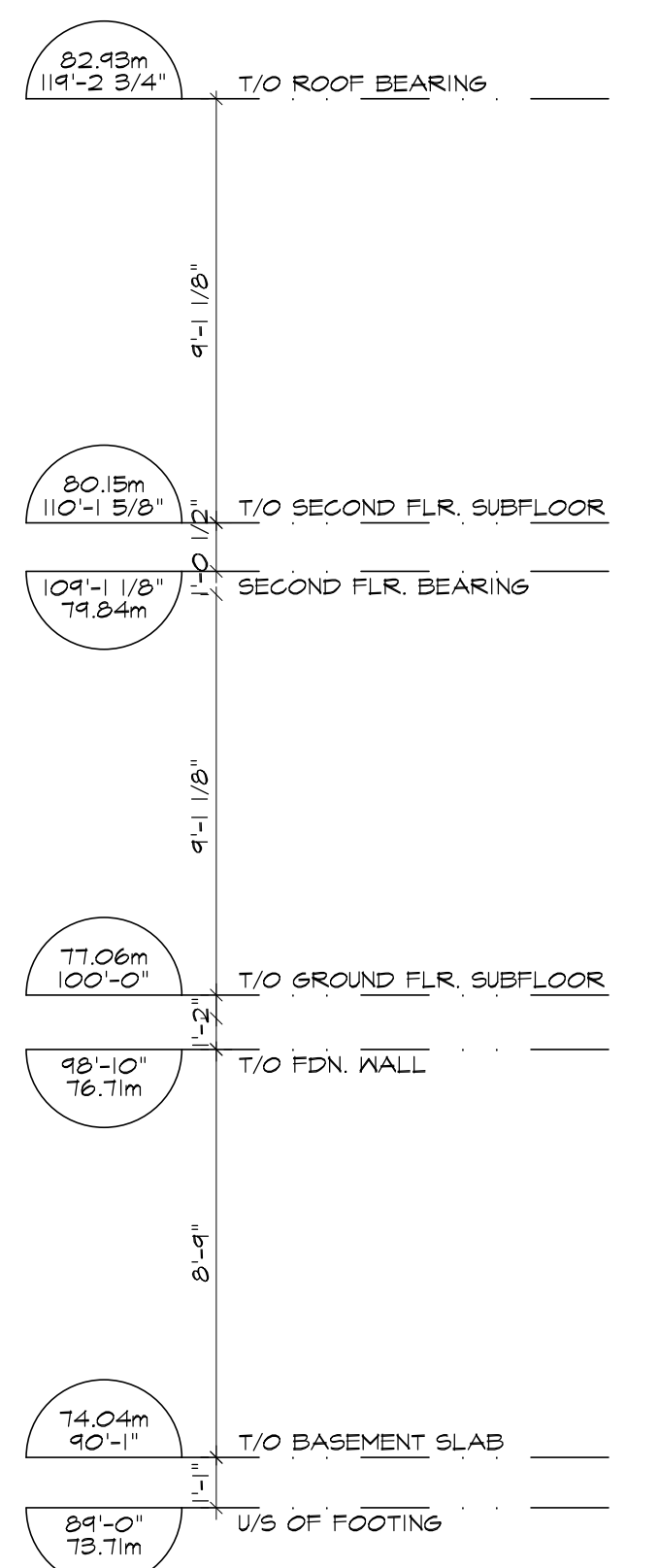
FILE: G:\23-10-087\00\Drawing\TOPO\23-10-087-00_TOPO.dwg

489 HIGHCROFT AVE. - SEMI UNIT 1

491 HIGHCROFT AVE. - SEMI UNIT 2



1 FRONT (WEST-SOUTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE (SOUTH-SOUTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"

Committee of Adjustment
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City of Ottawa | Ville d'Ottawa
Comité de dérogation

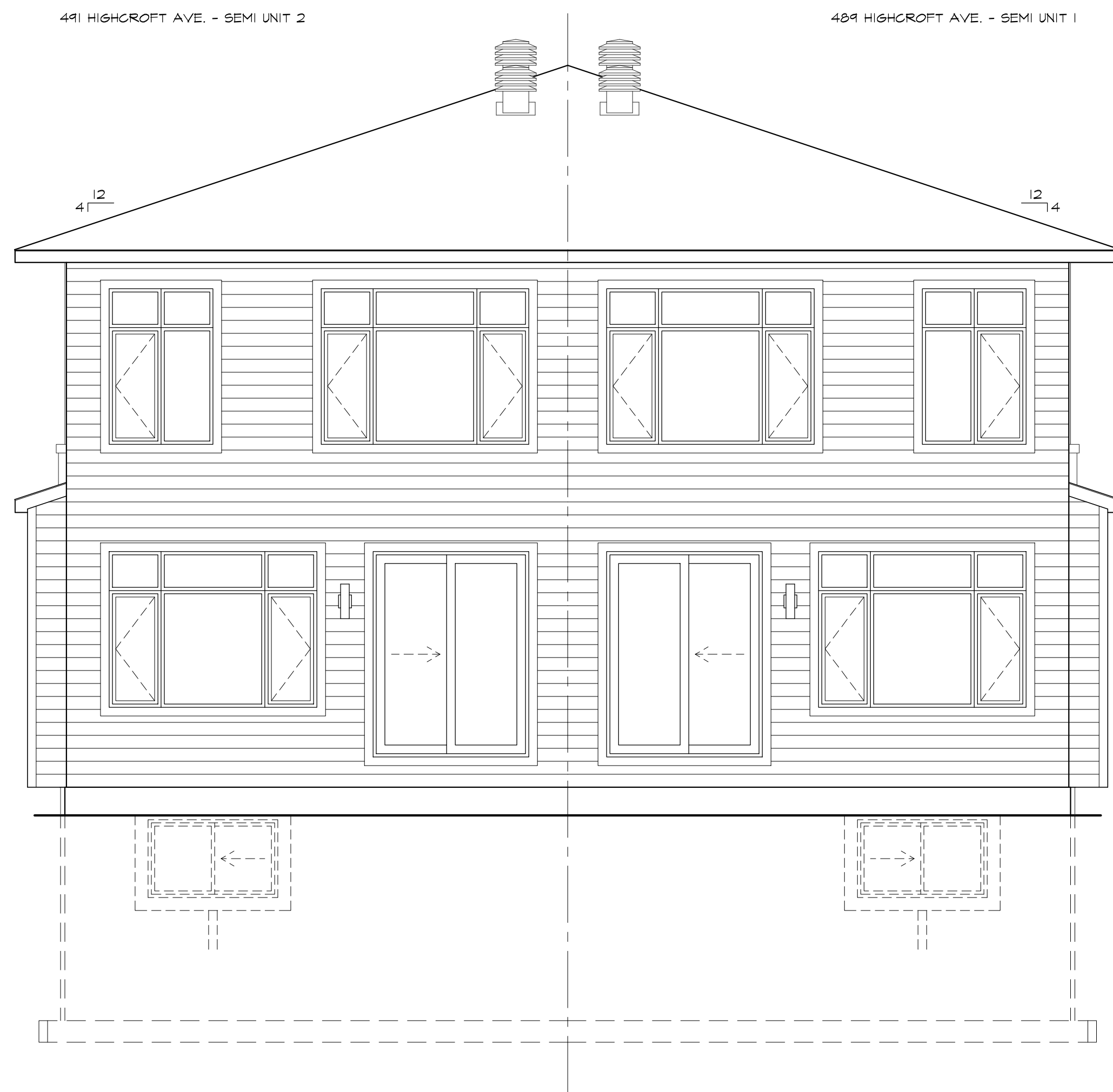
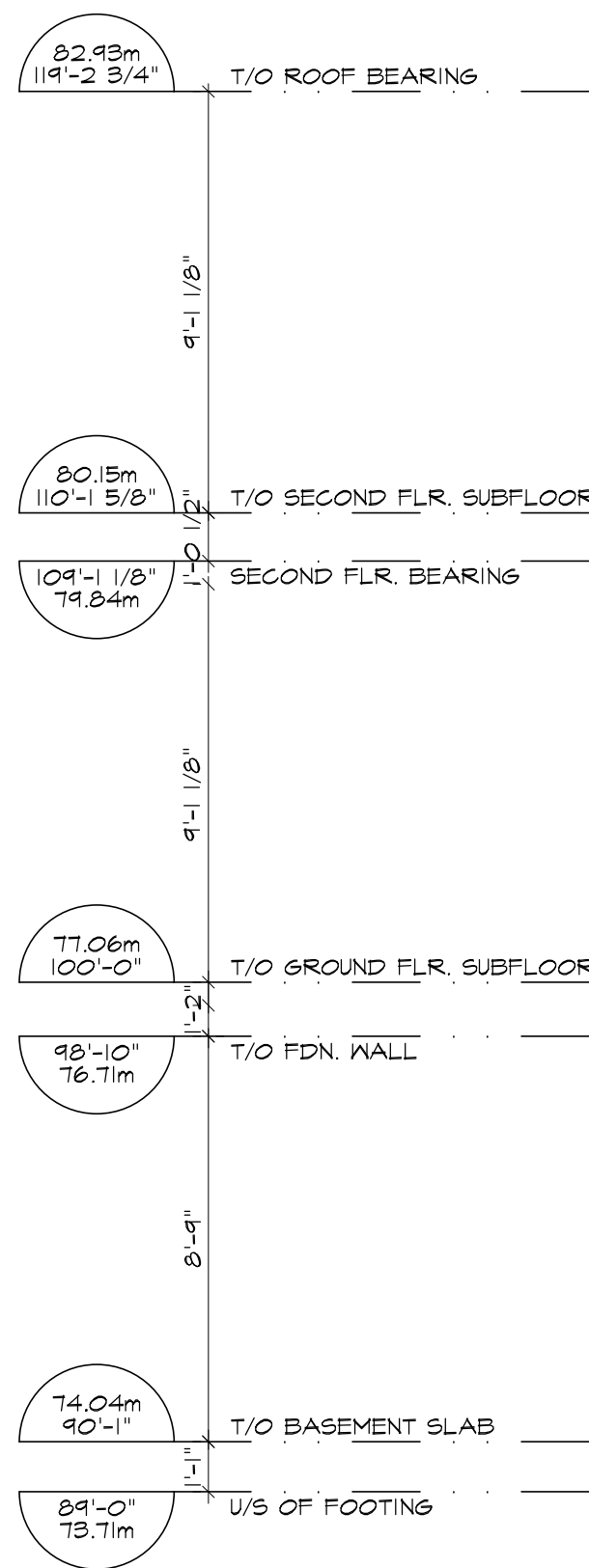
ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
DO NOT SCALE DRAWINGS.

NO.	REVISION	DATE
2	ISSUED FOR COA APPLICATION	2024.01.16
1	ISSUED TO CONSULTANTS	2024.01.05

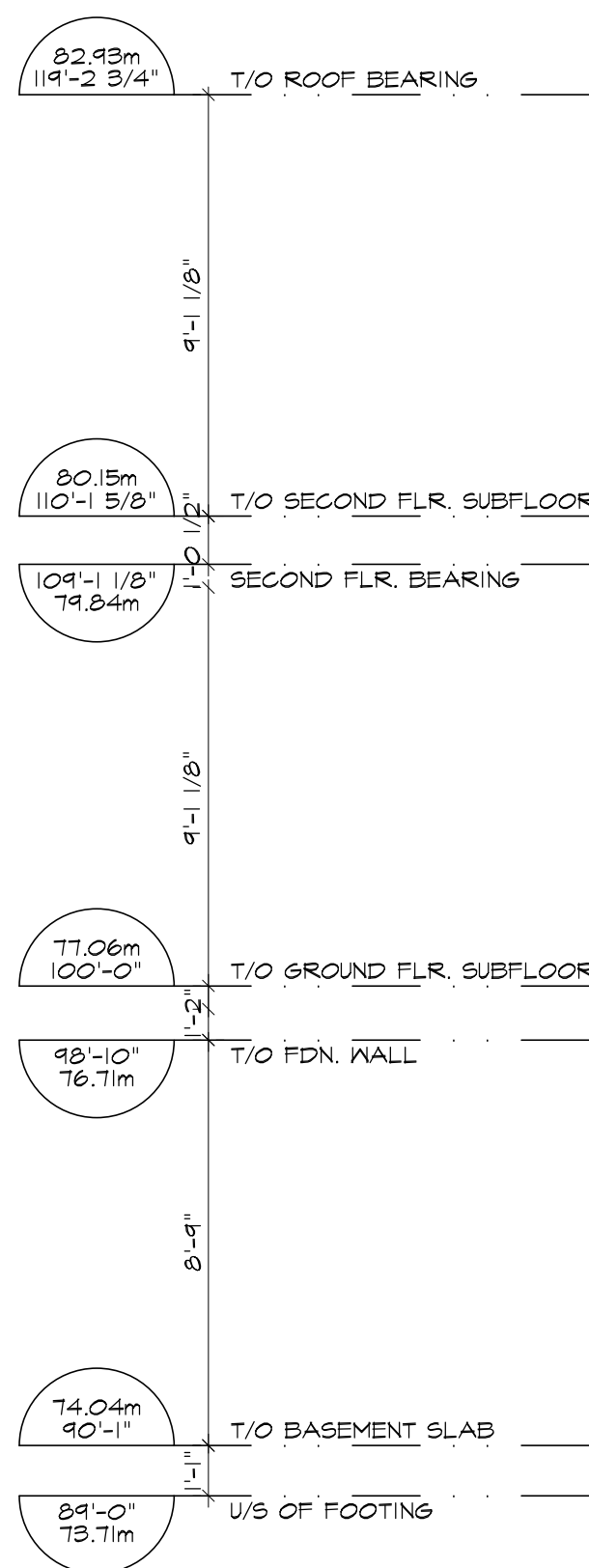
SEAL: _____ NORTH: _____

HIGHCROFT SEMI
489-491 HIGHCROFT AVENUE
OTTAWA, ONTARIO, K1Z 5J3

DRAWING: FRONT ELEVATION RIGHT SIDE ELEVATION		EL1
DATE:	OCTOBER 2023	
SCALE:	AS NOTED	
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0553	SHEET NO.:



1 REAR (EAST-NORTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE (NORTH-NORTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"

Committee of Adjustment
Received | Reçu le
2024-01-31
City of Ottawa | Ville d'Ottawa
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ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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DO NOT SCALE DRAWINGS.

2	ISSUED FOR COA APPLICATION	2024.01.16
1	ISSUED TO CONSULTANTS	2024.01.05
NO.	REVISION	DATE

SEAL: _____ NORTH: _____

HIGHCROFT SEMI
489-491 HIGHCROFT AVENUE
OTTAWA, ONTARIO, K1Z 5J3

DRAWING:
REAR ELEVATION
LEFT SIDE ELEVATION

DATE:	OCTOBER 2023	SHEET NO.:	EL2
SCALE:	AS NOTED		
DRAWN:	PK		
CHECKED:	PR		
JOB NO.	0553		

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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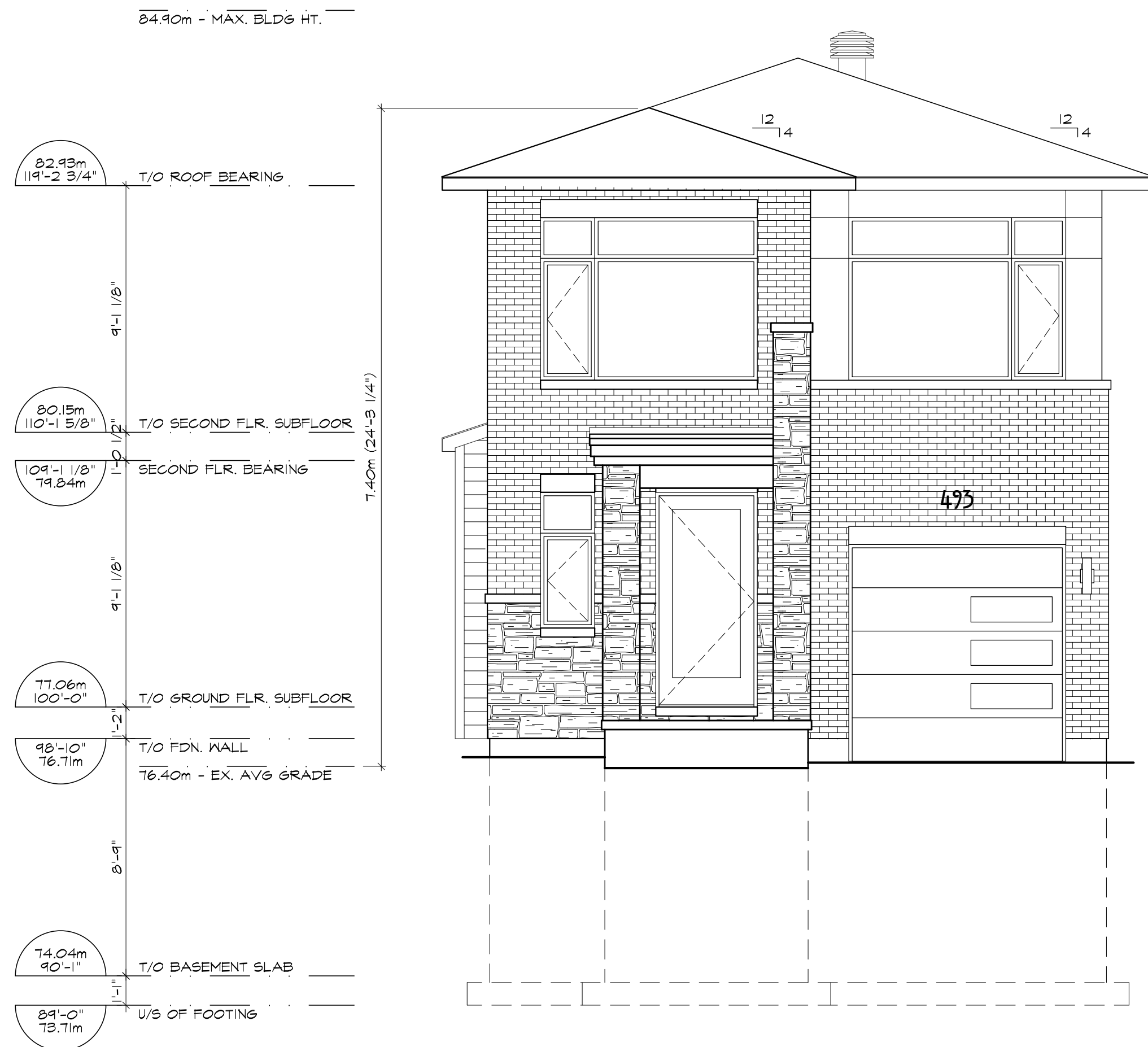
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DO NOT SCALE DRAWINGS.

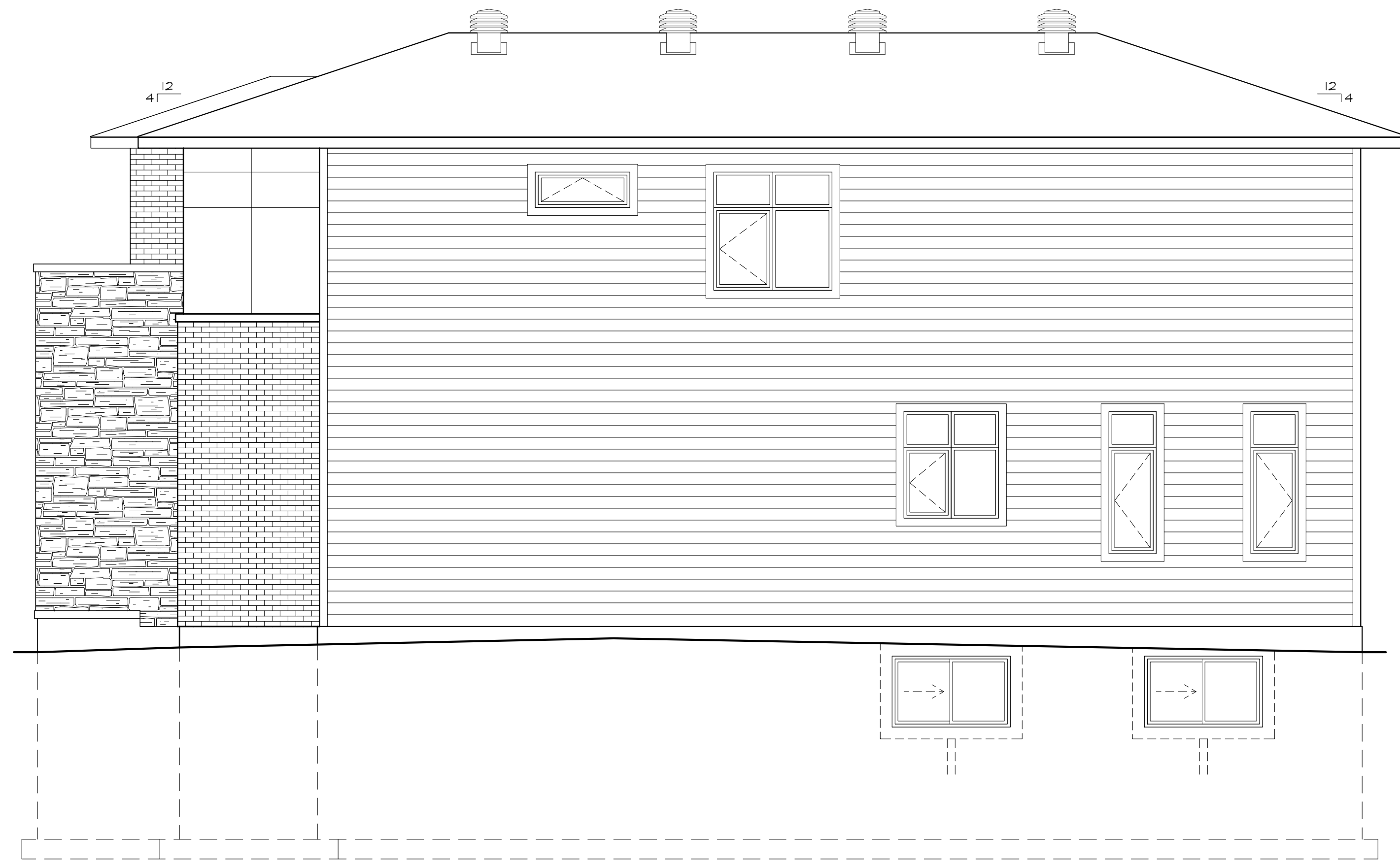
Committee of Adjustment
Received | Reçu le

2024-01-31

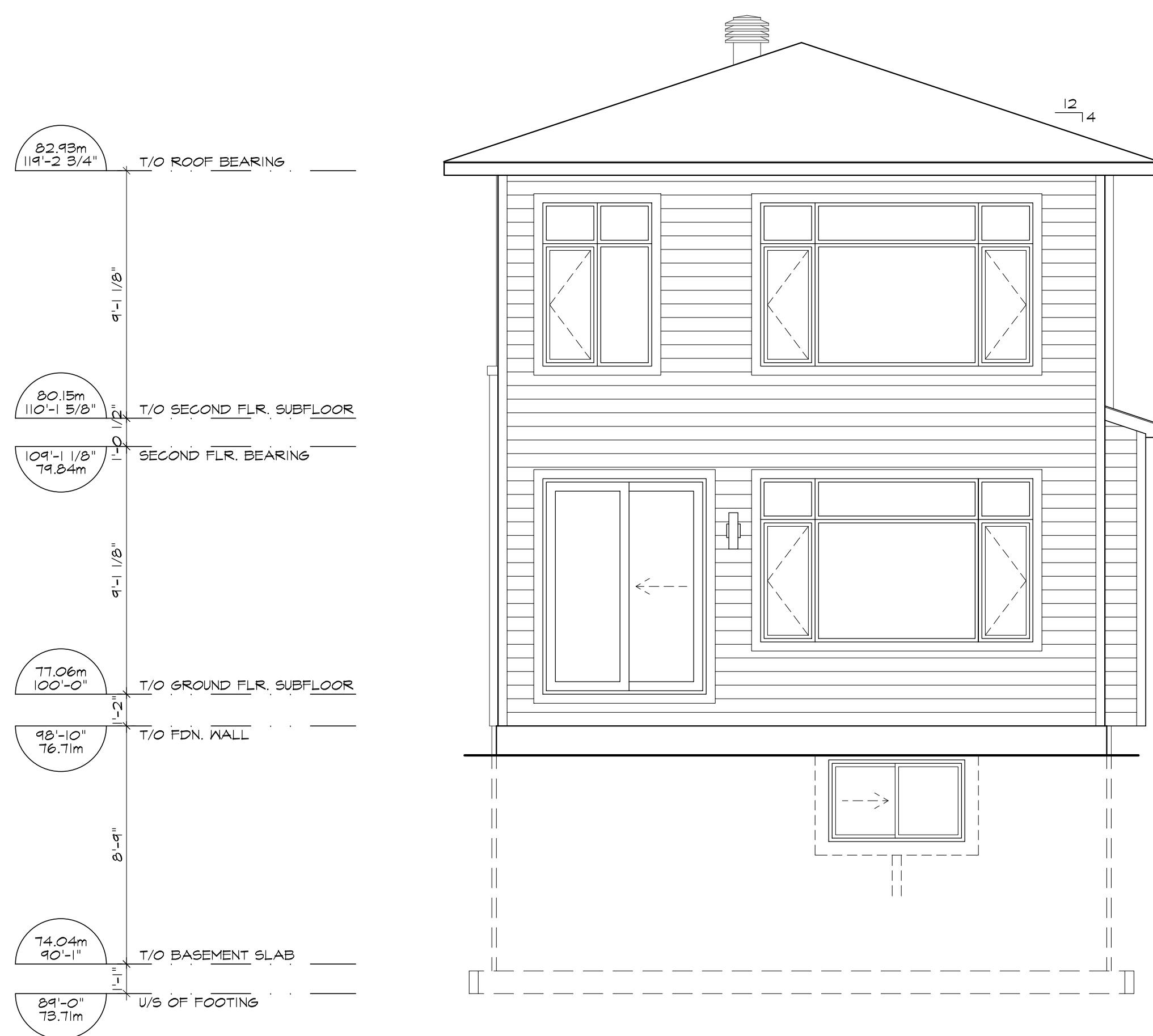
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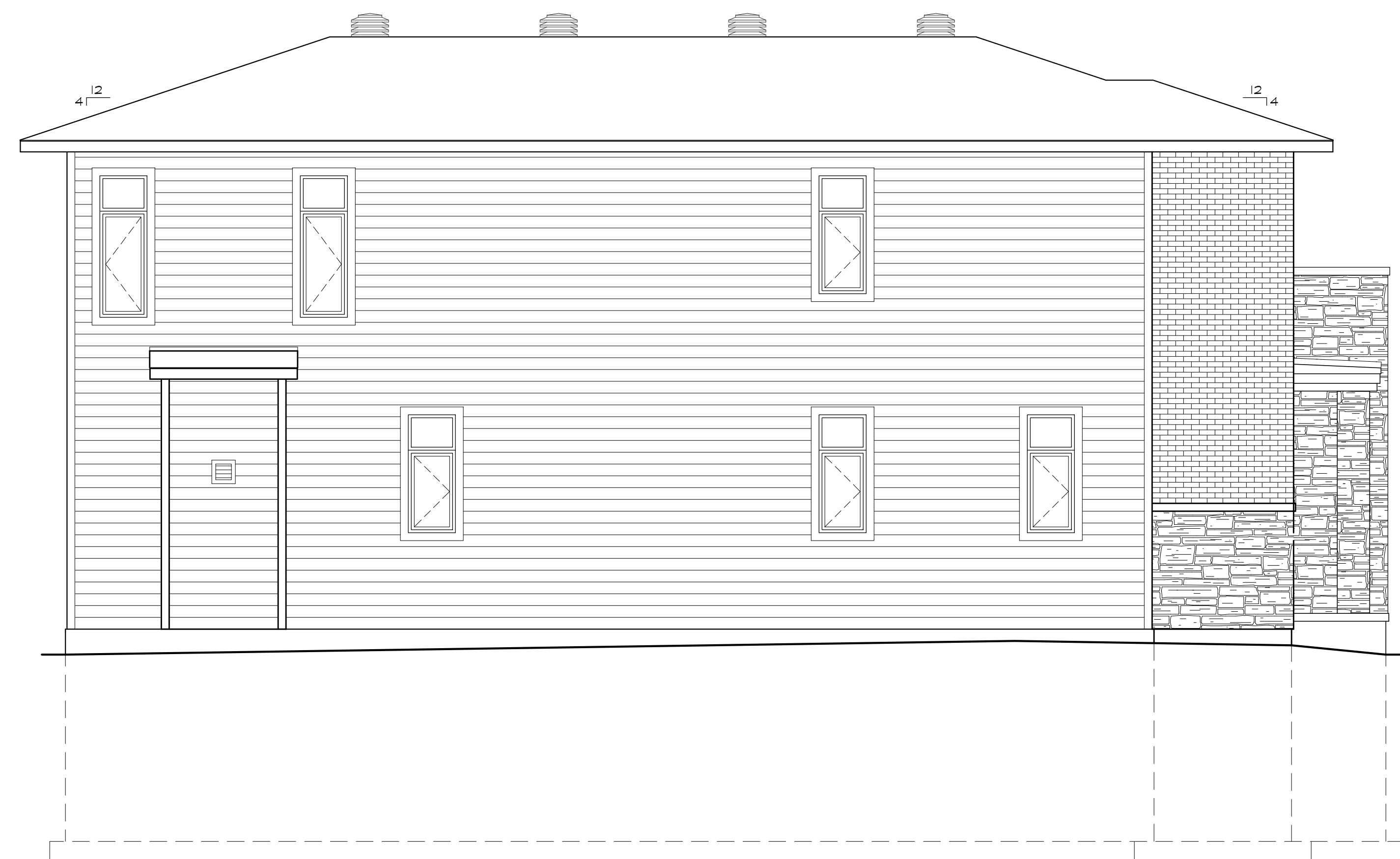
1 FRONT (WEST-SOUTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE (SOUTH-SOUTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR (EAST-NORTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT SIDE (NORTH-NORTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
2	ISSUED FOR COA APPLICATION	2024.01.16
1	ISSUED TO CONSULTANTS	2023.01.05

SEAL: _____ NORTH: _____

HIGHCROFT HOUSE
493 HIGHCROFT AVENUE
OTTAWA, ONTARIO, K1Z 5J3

DRAWING: ELEVATIONS	
DATE: OCTOBER 2023	SHEET NO.:
SCALE: AS NOTED	EL 1
DRAWN: PK	
CHECKED: PR	
JOB NO. 0553	