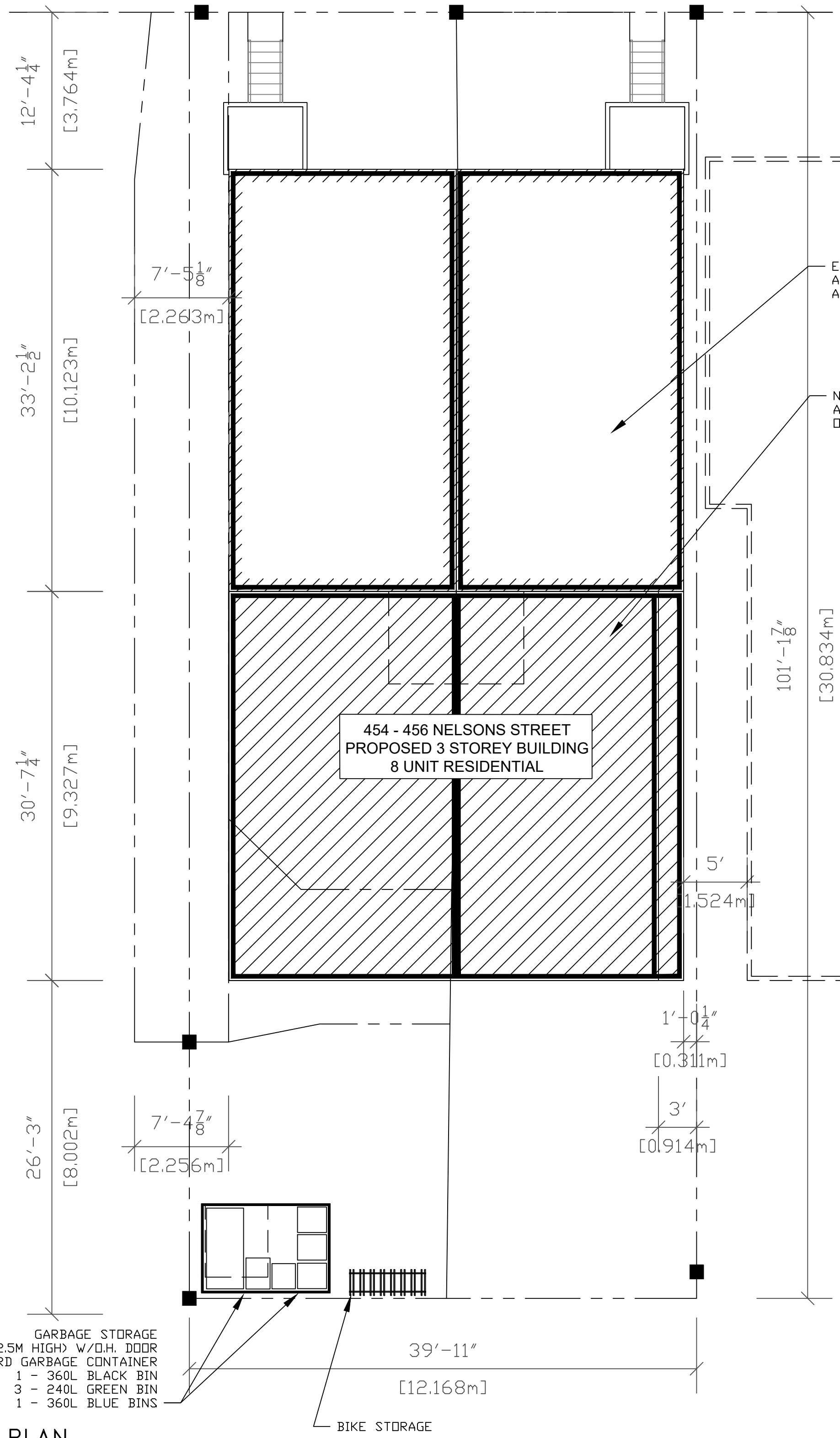
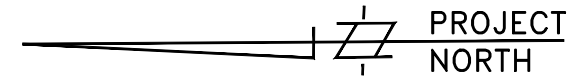


NELSON STREET

4'-3 3/4" [1.314m] 3'-1 1/8" [0.942m] 17'-11" [5.462m] 18'-10 7/8" [5.764m]



454 - 456 NELSONS STREET  
PROPOSED 3 STOREY BUILDING  
8 UNIT RESIDENTIAL

- GARBAGE STORAGE  
(2.5M HIGH) W/DH. DOOR  
2 CU YRD GARBAGE CONTAINER  
1 - 360L BLACK BIN  
3 - 240L GREEN BIN  
1 - 360L BLUE BINS

BIKE STORAGE

1 SITE PLAN  
A1 NTS

Committee of Adjustment  
Received | Reçu le  
Revised | Modifié le : 2024-03-04  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

PLASTIC MATERIAL - CHROMULEX  
HAUCE - 0.004 INCH  
POLY - 0.002 INCH  
PROCESS - PHOTOGRAPHIC

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE REGISTRY ACT. **PLAN 5 R A653**  
RECEIVED & DEPOSITED  
Oct 31 1979  
Wm J Webster  
WM J WEBSTER OLS

Plan of Survey of LOT 29, & PART OF LOT 28 (west Nelson Street) REGISTERED PLAN 45224 CITY OF OTTAWA Regional Municipality of Ottawa-Carleton SURVEYED BY WM. J. WEBSTER OLS. 1979 SCALE 1:200

METRIC MEASUREMENTS SHOWN ON THIS PLAN ARE IN METRES AND MAY BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE  
I HEREBY CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE THEREUNDER.  
THIS SURVEY WAS COMPLETED ON THE 2nd DAY OF October, 1979.  
Wm J Webster Oct 31/79  
WM J WEBSTER OLS DATE

LEGEND (IF APPLICABLE)  
C 1/4" DENOTES SHORT STANDARD IRON BARS  
C 1/2" DENOTES STANDARD IRON BARS  
R 1/4" DENOTES ROUND IRON BARS  
R 1/2" DENOTES ROUND IRON BARS  
WIT DENOTES WITNESS  
ACC DENOTES ACCEPTED  
ACT DENOTES ACTUAL  
PL DENOTES PLAN  
MEAS DENOTES MEASURED  
FD DENOTES FOUND  
CG DENOTES CUT CROSS  
PROP DENOTES PROPORTION  
A.B.U. DENOTES ANNS AND O'SULLIVAN OLS.

NOTES  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WEST LIMIT OF NELSON STREET AS SHOWN ON R-1855, HAVING A BEARING OF N 30° 45' 00" W.

CAUTION  
THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

PART	LOT	INST	AREA m²	PLAN	REMARKS
2	29	708079	75.679	45224	
6	29	708079	39.943	45224	
1	29	708079	178.368	45224	
4	28	708079	32.189	45224	RIGHT OF WAY
3	29	708079	23.931	45224	RIGHT OF WAY
5	29	708079	18.553	45224	

FROM THE OFFICE OF  
WM. J. WEBSTER LTD.  
Ontario Land Surveyor  
Ottawa - Ontario

ZONING: R4UB [480] - Proposed Use: Low-rise Apartment 8 units

ZONING MECHANISM	REQUIRED	PROVIDED	COMMENTS
A) MINIMUM LOT AREA	300m²	409m²	
B) MINIMUM LOT WIDTH	10m	13.46m	
C) MINIMUM LOT DEPTH	n/a	31.0m	
D) MINIMUM FRONT YARD SETBACK	4.5m	3.76m	existing building setback
E) MINIMUM INTERIOR SIDE YARD SETBACK	NORTH SIDE	1.5m	0.30m
	SOUTH SIDE (Basement & Ground)	1.5m	0.31m
	SOUTH SIDE (Second & Third)	1.5m	0.90m
F) MINIMUM REAR YARD AREA (see by-law provision amendments outlined below)	As per section 144 by-law no. 2020-289	AREA 92.6m²	92.6m²
G) MINIMUM REAR YARD SETBACK (see by-law provision amendments outlined below)	As per section 144 by-law no. 2020-289	DEPTH 9.2m	8.0m
H) MAXIMUM BUILDING HEIGHT	11m	10.97m	
I) AMENITY AREA	n/a	n/a	
J) VEHICLE PARKING	0	0	
K) BICYCLE STORAGE	0.5 PER UNIT	4	12

Section 144 - Alternative yard setbacks for low-rise residential uses in the greenbelt for the minimum required rear yard setback. The rear yard must comprise of at least 25 percent of the lot area; and the minimum rear yard setback is pursuant to Table 144A.

PROPOSED SITE DEVELOPMENT INFO	COMMENTS
LOT AREA	409m²
BUILDING HEIGHT	10.97m
PARKING SPACES	0
NUMBER OF STOREYS	3
NUMBER OF UNITS	EXISTING: 2 NEW: 6
- THREE-BEDROOM UNITS	2
- FOUR-BEDROOM UNITS	0
- FIVE-BEDROOM UNITS	0
LOT COVERAGE	51.5%
SOFT LANDSCAPING	FRONT 41m²
COVERAGE	REAR 84m²
HARD LANDSCAPING	51m²

GARBAGE MANAGEMENT REQUIREMENT	REQUIRED	PROVIDED
GARBAGE	0.231 cubic yards per unit: 8x0.231=1.84	1-2 cubic yard container
RECYCLING	For every six units provide one 360L blue cart and 360L black cart	two-360L blue carts and two-360L black carts
ORGANICS	Container for each unit and 1 communal 240L green container per 50 units	container for each unit and 1 communal 240L green container

Property owner will be responsible for the removal and storage of snow for all walkways, exterior stairs, and driveway throughout the winter.

BUILDING AREA (gross areas)	EXISTING	ADDITION	TOTAL
BASEMENT	105.4m²	101m²	206.4m²
GROUND FLOOR	105.4m²	101m²	206.4m²
SECOND FLOOR	110m²	101m²	211m²
THIRD FLOOR	0m²	211m²	211m²
TOTAL AREAS	321m²	514m²	835m²

Name of Project: **PROPOSED RESIDENTIAL BUILDING RENOVATION & ADDITION**  
Location: 454 - 456 Nelson Street, Ottawa, ON, K1N 7S8

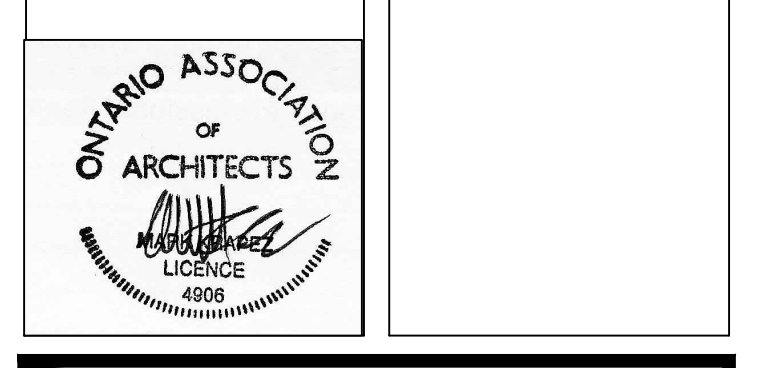
Item	Ontario Building Code Data Matrix - Division B - Parts 3 & 9	OBC Reference
1.	PROJECT DESCRIPTION <input type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9 B-1.1.2 B-9.10.1.3
2.	MAJOR OCCUPANCY(S): GROUP C	B-3.1.2.1.(1) B-9.10.2
3.	BUILDING AREA (m2) EXISTING: 110.41 NEW: 212.18	A-1.4.1.2 A-1.4.1.2
4.	GROSS AREA (m2) EXISTING: 331.23 NEW: 848.72	A-1.4.1.2 A-1.4.1.2
5.	NUMBER OF STOREYS ABOVE GRADE: 3 BELOW GRADE: 1	B-3.2.1.1 & A-1.4.1.2 A-1.1.2.4
7.	NUMBER OF STREETS/ACCESS ROUTES: 1	B-3.2.2.10 & B-3.2.5.4
8.	BUILDING CLASSIFICATION: 3.2.2.47 AND 3.2.2.61	B-3.2.2.20-83 B-9.10.4
9.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	B-3.2.2.20-83 B-9.10.8 B-3.2.1.5 B-3.2.2.17
10.	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	B-3.2.9 N/A
11.	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	B-3.2.4 B-9.10.18.2
12.	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	B-3.2.5.7 B-9.31.3
13.	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	B-3.2.6 N/A
14.	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	B-3.2.20-83 B-9.10.6
15.	MEZZANINE(S) AREA m2 -	B-3.2.1.1.(3)-(9) B-9.10.4.1
16.	TOTAL OCCUPANCY LOAD BASED ON: <input type="checkbox"/> m2/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING BASEMENT OCCUPANCY: - 2 SLEEPING PER ROOM LOAD: 16 PERSONS 1st FLOOR OCCUPANCY: - 2 SLEEPING PER ROOM LOAD: 16 PERSONS 2nd FLOOR OCCUPANCY: - 2 SLEEPING PER ROOM LOAD: 16 PERSONS 3rd FLOOR OCCUPANCY: - 2 SLEEPING PER ROOM LOAD: 16 PERSONS	B-3.1.17 B-9.9.1.3
17.	BARRIER FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	B-3.8 B-9.5.2
18.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	B-3.3.1.2.(1) & B-3.3.1.19.(1) B-9.10.8 B-9.10.9 B-9.10.23
19.	REQUIRED FIRE RESISTANCE RATING (F.R.R.) FLOORS 3/4 HOURS ROOF 3/4 HOURS MEZZANINE N/A HOURS	LISTED DESIGN No. or DESCRIPTION (SG-2) B-3.2.2.20-83 & B-3.2.1.4 B-9.10.8 B-9.10.9 B-9.10.23
20.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	B-3.2.3 B-9.10.14 & B-9.10.15
21.	OTHER	

The Architect is not responsible for the accuracy of the survey, structural, mechanical, electrical or any engineering information shown on the drawings. Refer to the appropriate engineering drawings before proceeding with the Work. report any discrepancies between Architectural and Engineering drawings to the Architect before proceeding with the Work. Contractor is to verify and check all dimensions and report any errors or omissions to the Architect. Construction must conform to all applicable codes and requirements of Authorities having jurisdiction. This drawing is not to be scaled. All dimensions, setbacks to lot lines and as built conditions to be confirmed on site by Ontario Land Surveyor. Floor datums taken from existing plans prepared by W.M. Webster Limited. Ontario Land Surveyor

To be verified by independent surveyor before commencing construction. No geotechnical or environmental investigations have been conducted on site. Contractor is responsible for the verification of existing soil conditions with structural engineer on record, XXXXXXXXXXXXXXXX.

MATERIAL LEGEND

Resubmission to COA	date
Resubmission to COA	3/04/24
Resubmission to COA	2/16/24
Committee of Adjustments	12/18/23
issued/revisions	date



LANDMARK ARCHITECTURE ARCHITECT INC.  
2521 Escarpment phone (519)215-3080  
Caledon, Ontario landmark@sig-net.ca  
L7K 1G3

project:  
Addition & Renovation  
454 - 456 Nelson Street  
Ottawa, Ontario

dwg. title:  
**EXISTING SITE PLAN**

scale: AS NOTED  
date: Dec. 2023  
drawn by: R.Z.

plotted: 12/16/24  
reviewed by: M.K.

client no.  
project no.  
Drawing Number  
**A1**

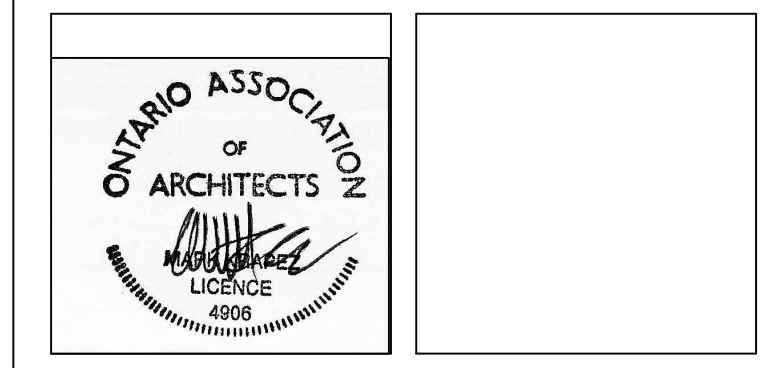


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Resubmission to COA	3/04/24
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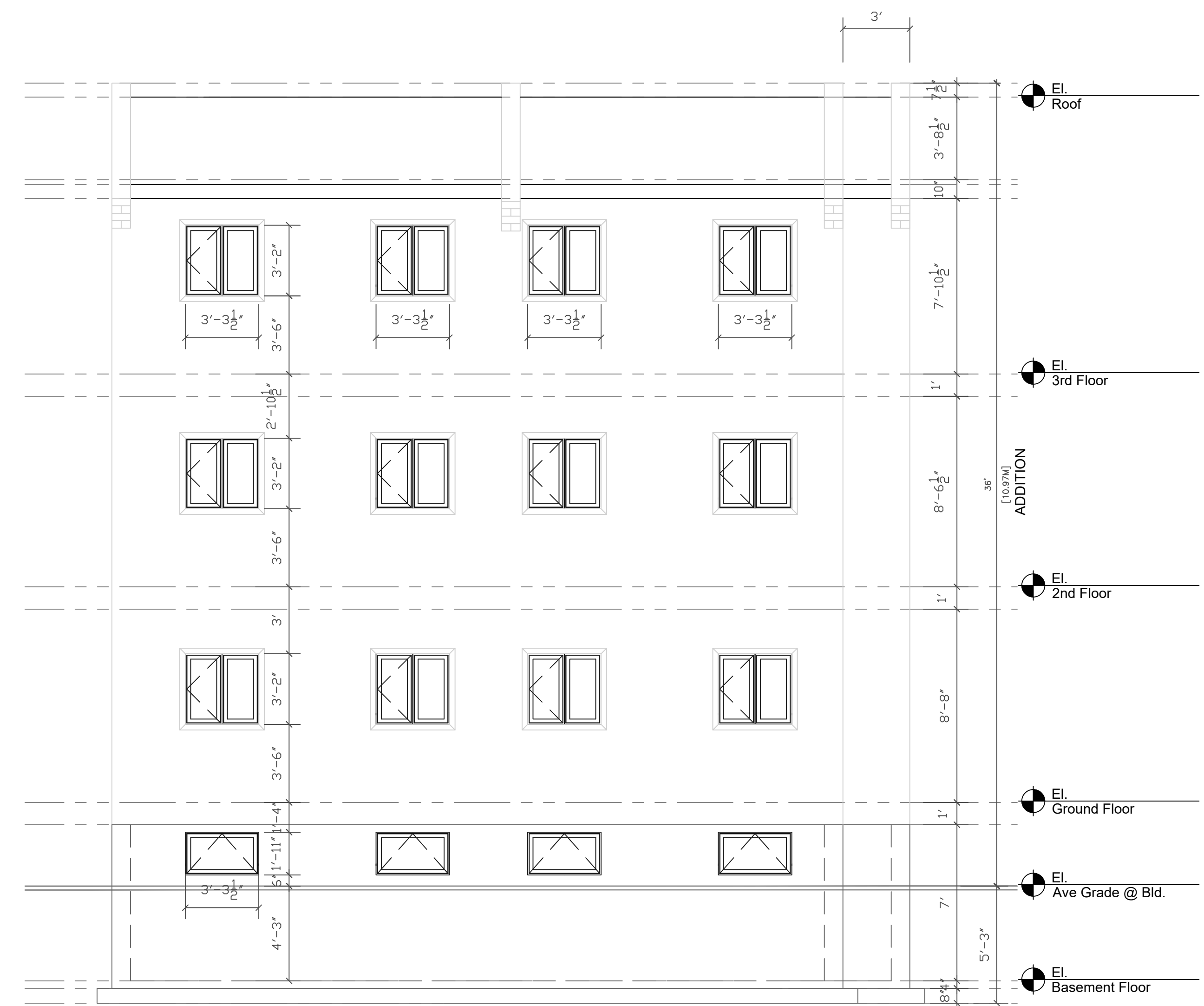
dwg. title:  
**WEST AND EAST ELEVATIONS**

scale: AS NOTED  
 date: Dec. 2023  
 drawn by: R.Z.  
 plotted: 12/16/24  
 reviewed by: M.K.

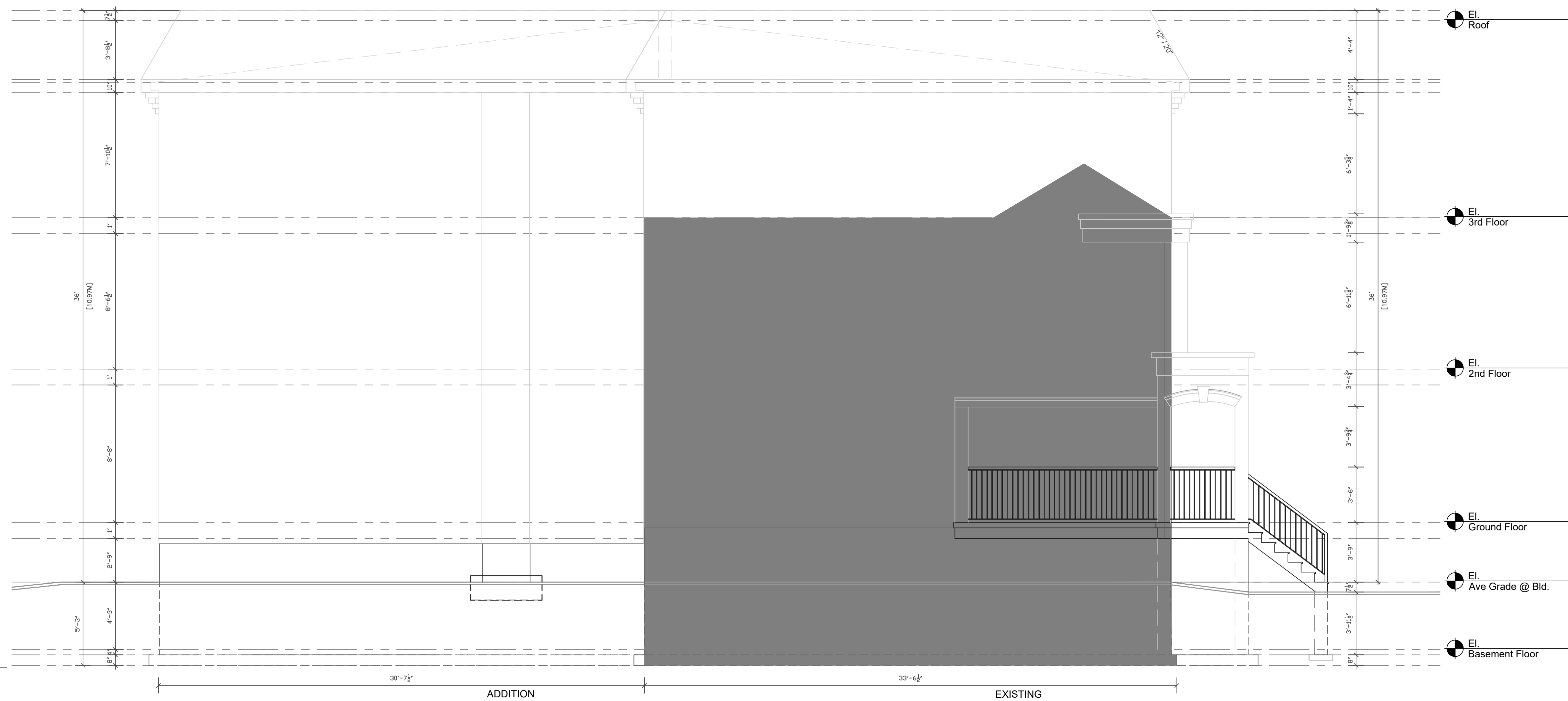
client no.	Drawing Number
project no.	<b>A6</b>



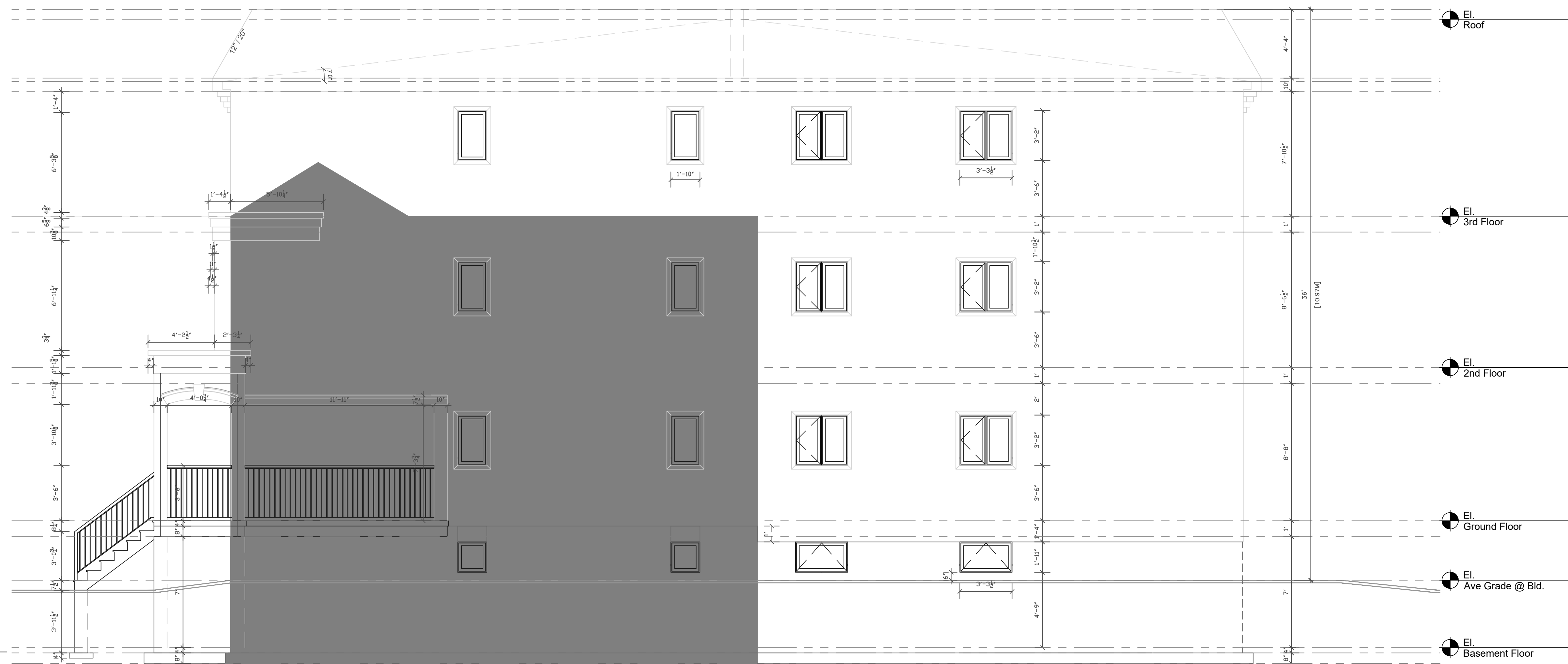
1 WEST ELEVATION  
 A6 1/4" = 1' 0"



1 EAST ELEVATION  
 A6 1/4" = 1' 0"



1 NORTH ELEVATION  
3/16" = 1' 0"



2 SOUTH ELEVATION  
3/16" = 1' 0"

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MATERIAL LEGEND

Material	Description

Resubmission to COA	3/04/24
Resubmission to COA	2/16/24
Committee of Adjustments	12/18/23
issued/revisions	date



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Caledon, Ontario landmark@zing-net.ca  
L7K 1G3

project:  
Addition & Renovation  
454 - 456 Nelson Street  
Ottawa, Ontario

dwg. title:  
**NORTH AND SOUTH ELEVATIONS**

scale: AS NOTED  
date: Dec. 2023  
drawn by: R.Z.  
plotted: 12/16/24  
reviewed by: M.K.

client no.	Drawing Number
project no.	<b>A7</b>