

1 SITE PLAN - CAMPUS PLAN
A1.01 1 : 1000 (WHEN PLOTTED ON A1 SIZED SHEET)

LEGAL DESCRIPTION:
PART OF WESTERLY, NORTHERLY AND EASTERLY LIMIT OF PIN 04201-0191 AND ALL OF PIN 04201-0147 BEING
PART OF LOTS 15 AND 16 CONVESSION JUNCTION GORE AND PART OF ROAD ALLOWANCE BETWEEN LOTS 15 AND 16 CONVESSION JUNCTION GORE (CLOSED BY BY-LAW 174-88, INST. N451929) GEOGRAPHIC TOWNSHIP OF CLOUCESTER CITY OF OTTAWA

REFERENCE SURVEY:
BASED ON INFORMATION FROM A PLAN OF SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD. DATED JANUARY 6, 2021.
ADDITIONAL INFORMATION OBTAINED FROM A SURVEY PREPARED BY FAIRHALL MOFFATT & WOODLAND DATED DECEMBER 20, 2011.

MUNICIPAL ADDRESS:
1919 RIVERSIDE DRIVE, OTTAWA, ONTARIO.

ZONING INFORMATION:

SITE AREA: (ENTIRE HOSPITAL)	75,968 m²
SITE AREA: (SCHLEGEL VILLAGES)	20,571 m²
BUILDING AREA:	5,858 m²
BUILDING HEIGHT:	PHASE 1 LONG TERM CARE - 27.7 m PHASE 2 RETIREMENT HOME - 52.6 m
PARKETTE AREA:	517.0 m²
PARKLAND DEDICATION AREA:	2,486 m²
ZONE:	MAJOR INSTITUTIONAL
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X
SCHEDULE 2:	Within 300 m of a Rapid Transit Station

FLOOR SPACE INDEX CALCULATION:

HOSPITAL FLOOR AREA (EXCL. BASEMENT)	28,262 m²
MEDICAL BUILDING FLOOR AREA	5,030 m²
TOTAL EXISTING FLOOR AREA	33,292 m²
AREA BLOCK A EXISTING FSI	58,536 m² 0.57
AREA BLOCKS A, B, C & D EXISTING FSI	75,968 m² 0.44
PROPOSED SENIORS VILLAGE TOTAL PROPOSED AREA	27,711 m² 61,003 m²
PROPOSED FSI (INCLUDING BLOCKS A, B, C, D)	0.80
MAXIMUM PERMITTED	1.0

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
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- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

ZONING PROVISION	REQUIRED	PROVIDED
MAXIMUM GFA OF ANCILLARY USES	Max. 10% of total GFA	0
MIN. LOT WIDTH	No Minimum	9.4m
MIN. LOT AREA	No Minimum	20,571 m²
MIN. FRONT YARD SETBACK	7.5 m	3.99 m*
MIN. REAR YARD SETBACK	7.5 m	n/a
MIN. INTERIOR YARD SETBACK	3.0 m	10.5 m & 27.9 m
MAX. HEIGHT	No Maximum (more than 12 m from an R1-3 Zone)	Phase 1 - 27.7 m Phase 2 - 52.6 m
AMENITY AREA	Retirement Home: 250 Units x 6 m² = 1,500 m² Residential Care Facility: 10% of the GFA of each unit = 1,010 m²	2,847 m² LTC Garden, Village Courtyard, Common Garden & Area West of LTC
LANDSCAPED BUFFER	3.0 m at all property lines	1.5 m at West property line* 4.0 m North property line 6.5 m East property line

* indicates variance required

PARKING PROVISIONS:

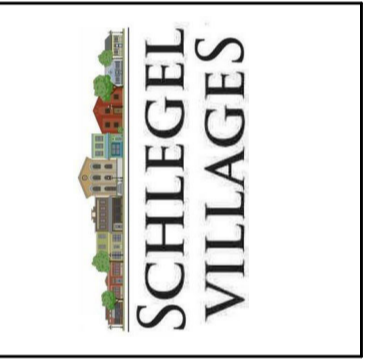
ZONING PROVISION	REQUIRED	PROVIDED
HOSPITAL (Area - 29,922 m²)	209 (Minimum 0.7 spaces/100 m²)	393
MEDICAL BUILDING (Area 3,380 m²)	68 (Minimum 2.0 spaces/100 m²)	39
Total Requirement for Existing	277	432

ZONING PROVISION	REQUIRED	PROVIDED
SCHLEGEL VILLAGES SITE		
Residential Care Units - 256	32 (0.125 per Unit)	
Retirement Home Units - 270	68 (0.25 per Unit)	
Residential Care Services (Area - 350 m²)	2 (0.5 spaces per 100m²)	
Retirement Home Services (Area - 350 m²)	4 (1.0 space /100 m2)	
Visitor Spaces	27 (0.1 spaces per Retirement Dwelling Unit)	
Total	133	311 (Including 66 underground spaces)
Typical Parking Space Dimensions	2.6 m x 5.2 m	2.6 m x 5.2 m
Reduced Size Parking Dimensions	2.4 m x 4.6 m 2.4 m x 5.2 m 2.6 m x 4.6 m	2.4 m x 4.6 m 2.4 m x 5.2 m 2.6 m x 4.6 m
Number of Reduced Size Spaces (40% of non visitor spaces)	99 spaces	116 spaces
Barrier-Free Parking	7 spaces (2% + 2)	11 spaces
Type A Spaces	3 spaces	7 spaces
Type B Spaces	4 spaces	6 spaces
Driveway Width	6.0 Minimum	6.0 Minimum
Drive Aisle Width	6.0 m Min. (Accessory to residential use) 6.7 m Min. (Accessory to other uses)	6.0 m & 6.7 m (refer to plans)
Minimum Parking Lot Landscaping	887 m² (15% of parking lot area)	3,972 m²

ZONING PROVISION	REQUIRED	PROVIDED
Minimum Required Bicycle Parking		
Retirement Home	68 spaces (0.25 per dwelling unit)	
Long Term Care Home	6 spaces (One space per 1,500 m² GFA)	
Total Bicycle Parking Spaces	74	76
Minimum Bicycle Parking Dimensions	0.6 m x 1.8 m	0.6 m x 1.8 m
Minimum Required Loading Spaces (Long Term Care Home)	2	2
Minimum Loading Space Dimensions	3.5 m x 7.0 m	3.5 m x 7.0 m
Loading Space Drive Aisle	9.0 m	8.6 m

Committee of Adjustment
Received | Reçu le
2023-06-07
City of Ottawa | Ville d'Ottawa
Comité de dérogation

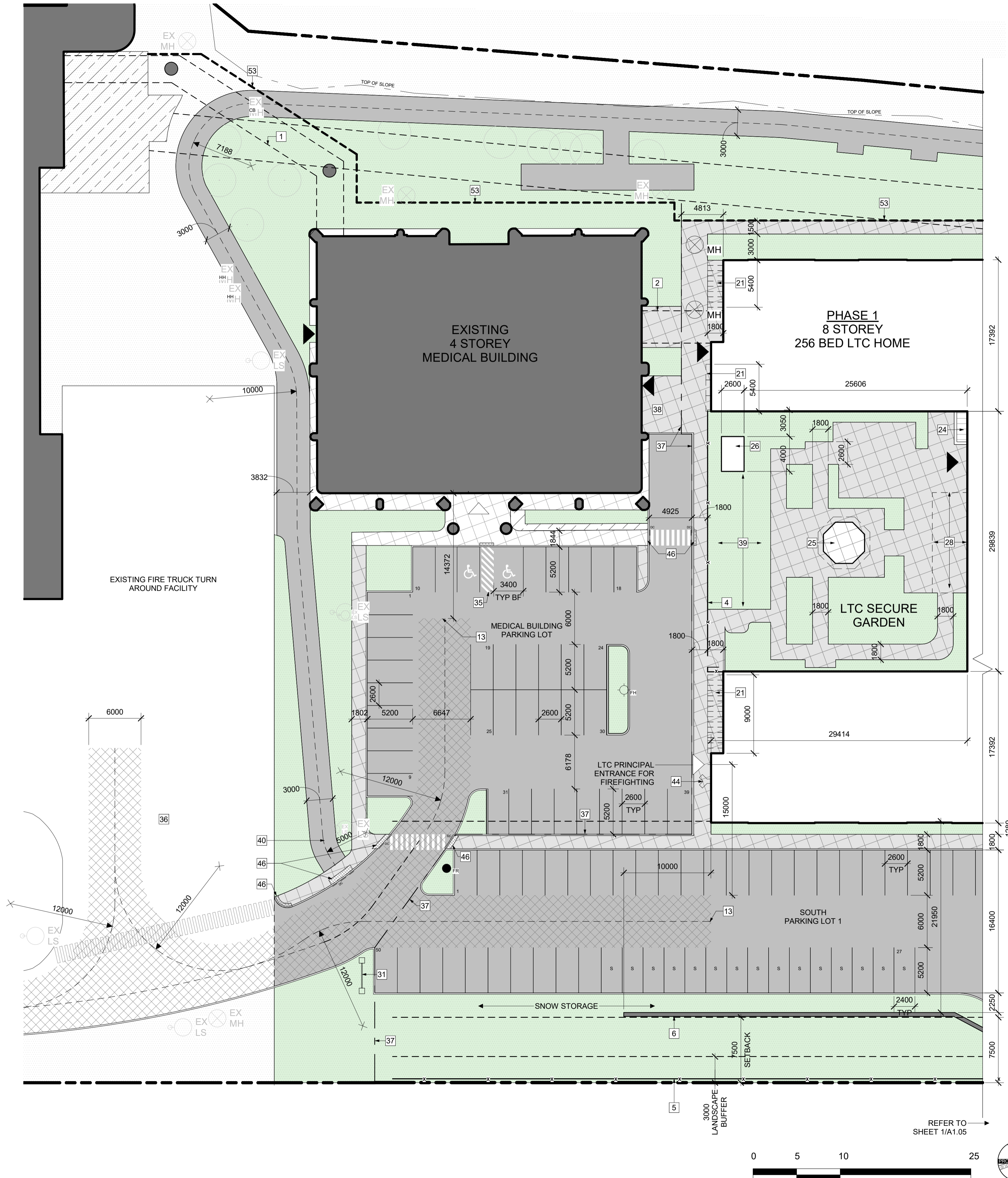
CSV ARCHITECTS
sustainable design - conception écologique
43R (4-3) R.F. Rogers/Markwitz & Co. P.O. Box 11111
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www.csv.ca
ISSUED FOR SITE PLAN CONTROL
ISSUED FOR SITE PLAN CONTROL - RE-SUBMISSION
2023-03-28
2023-03-14



SCHLEGEL VILLAGES OTTAWA
1919, 1967 RIVERSIDE DRIVE, OTTAWA, ONTARIO

CAMPUS PLAN AND ZONING INFORMATION

Project No.: 202090
Drawn By: MM
Plot Date: 2023-03-13
2023-05-01



SITE PLAN LEGEND:

- 1 EXISTING RAISED PEDESTRIAN LINK
- 2 NEW PEDESTRIAN LINK
- 3 LTC PORCH
- 4 NEW FENCE AND GATE
- 5 NEW 1829mm HIGH CHAIN LINK FENCE
- 6 NEW 450mm THICK, 2135mm HIGH CONCRETE CRASH WALL
- 7 BUS SHELTER
- 8 NOT IN USE
- 9 END OF FUTURE BIKE LANE
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- 31 SIGNAGE
- 32 EXISTING ROAD BARRIER
- 33 1100 mm HIGH GUARD
- 34 EXISTING UTILITY COVER AT SURFACE
- 35 ACCESS AISLE WITH TWSI STRIP AT END.
- 36 EXISTING FIRE TRUCK TURN AROUND FACILITY
- 37 BOUNDARY OF LEASED PARCEL
- 38 EXISTING LOADING / GARBAGE AREA
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- 40 NEW MULTI-USE PATHWAY, PAVEMENT MARKINGS PER FIGURE 4.19 OF THE OTM BOOK 18 PROVIDED.
- 41 EXISTING MULTI-USE PATHWAY
- 42 POND
- 43 DELIVERY TRUCK TURNAROUND FACILITY
- 44 SIAMESE CONNECTION
- 45 EXISTING ACCESS TO TRANSIT STATION
- 46 TACTILE WALKING SURFACE INDICATOR (TWSI) C/W DEPRESSED CURB
- 47 COMMUNICATIONS PULLBOX
- 48 1.6m HT FENCE WITH LOCKING GATE
- 49 STOP SIGN
- 50 MULTI-USE PATHWAY SIGNAGE (MUP)
- 51 NO BIKES SIGNAGE
- 52 AREA OF SERVICES RELOCATION
- 53 PARKLAND DEDICATION SEPARATION LINE
- 54 COMMON GARDEN
- 56 TACTILE WALKING SURFACE INDICATOR (TWSI)

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10. PHASE I LTC HOME SITE AREA = 11,100 sq m / 20,571 m² TOTAL = 54.0%

SITE PLAN LEGEND:

- EXISTING BUILDING
- EXISTING GRASS/SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- EXISTING SIDEWALK
- NEW ASPHALT PAVING
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- LIMIT OF WORK
- EXISTING LIGHT STANDARD
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- EXISTING UTILITY POLE
- EXISTING TRAFFIC LIGHT POLE
- FIRE ROUTE SIGN
- SIAMESE CONNECTION
- FIRE HYDRANT



1 SITE PLAN - MASTER PLAN
A1.03 1 : 250 (WHEN PLOTTED ON A1 SIZED SHEET)

43R(4-3) R.F. Rogers/Markwitz & Co. P. 04/04/21 N.B.F. : S 946 897 1441 ; z z z 2024

CSV ARCHITECTS
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ISSUED FOR SITE PLAN CONTROL
2023-10-24
ISSUED FOR SITE PLAN CONTROL - RE-SUBMISSION
2023-10-14
ISSUED FOR COORDINATION
2023-09-13



SCHLEGEL VILLAGES OTTAWA
1915, 1967 RIVERSIDE DRIVE, OTTAWA, ONTARIO

MASTER PLAN

Project No.: **202090**
Drawn By: Author
Plot Date: 2023-03-13
Author: 2023-05-01

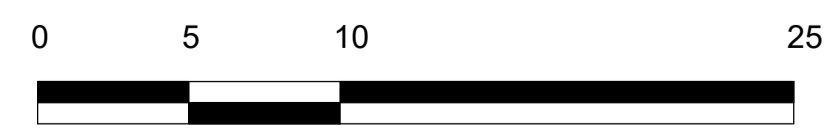


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43R(4-3) R.F. 1987 Riverside Drive, Ottawa, Ontario
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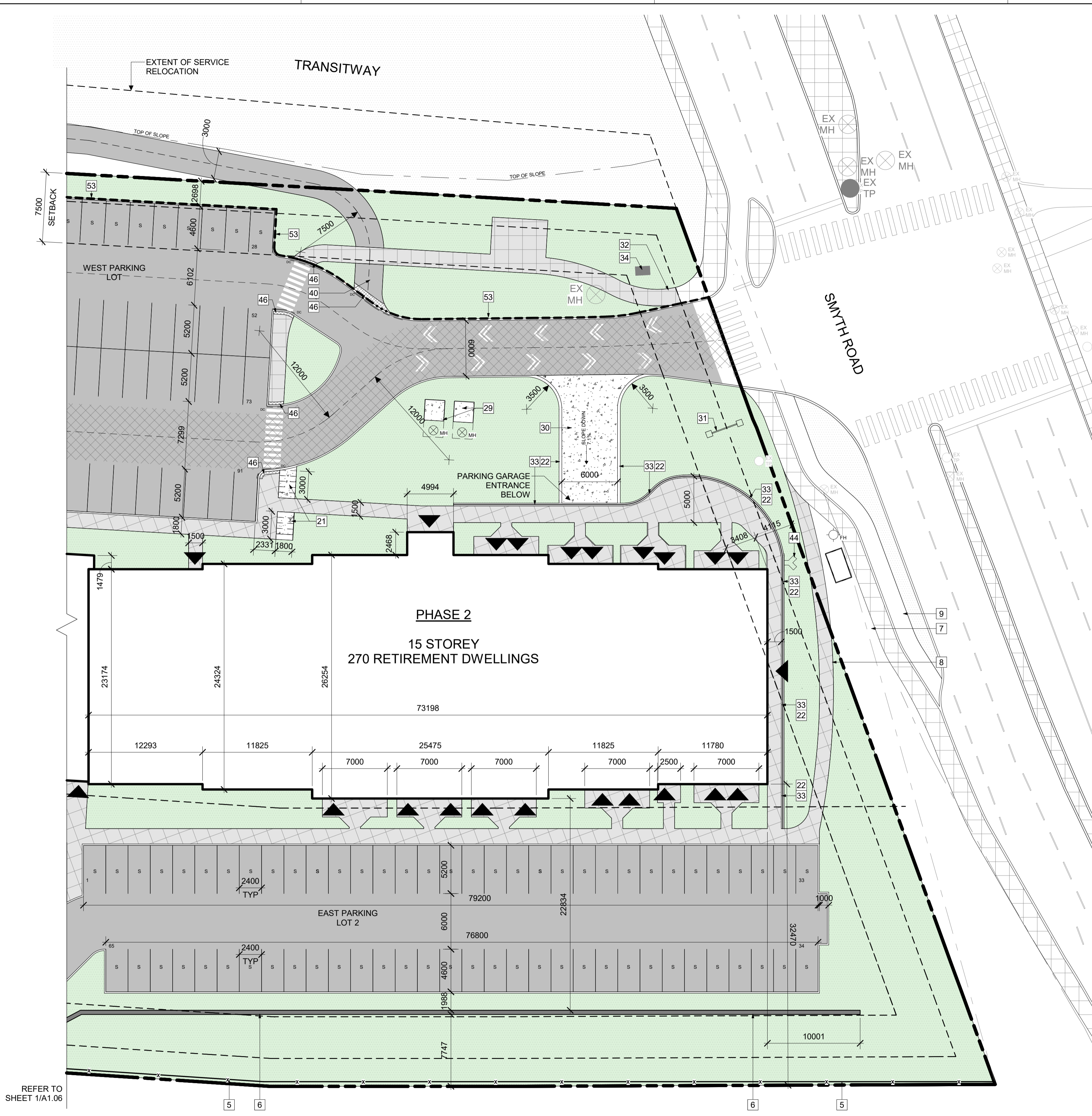
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SCHLEGEL VILLAGES OTTAWA
1915, 1987 RIVERSIDE DRIVE, OTTAWA, ONTARIO

MASTER PLAN

Project No.: **202090**
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Drawn By: Author
2023-03-13



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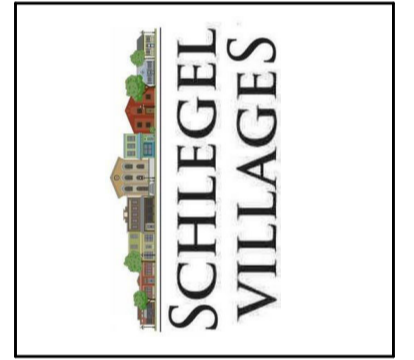
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2023-10-26	ISSUED FOR SITE PLAN CONTROL	2023-03-13
2023-10-14	ISSUED FOR SITE PLAN CONTROL - RE-SUBMISSION	2023-03-13
2023-09-13	ISSUED FOR COORDINATION	2023-03-13

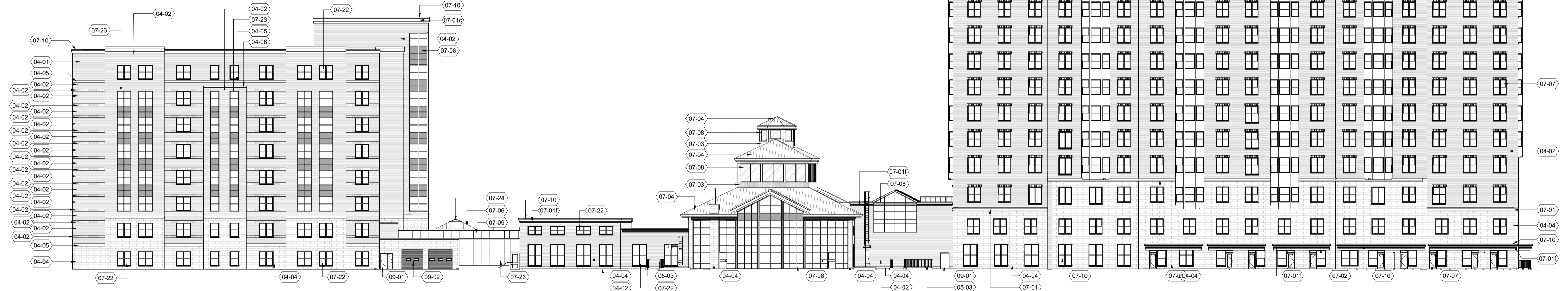


SCHLEGEL VILLAGES OTTAWA
1915, 1987 RIVERSIDE DRIVE, OTTAWA, ONTARIO

MASTER PLAN

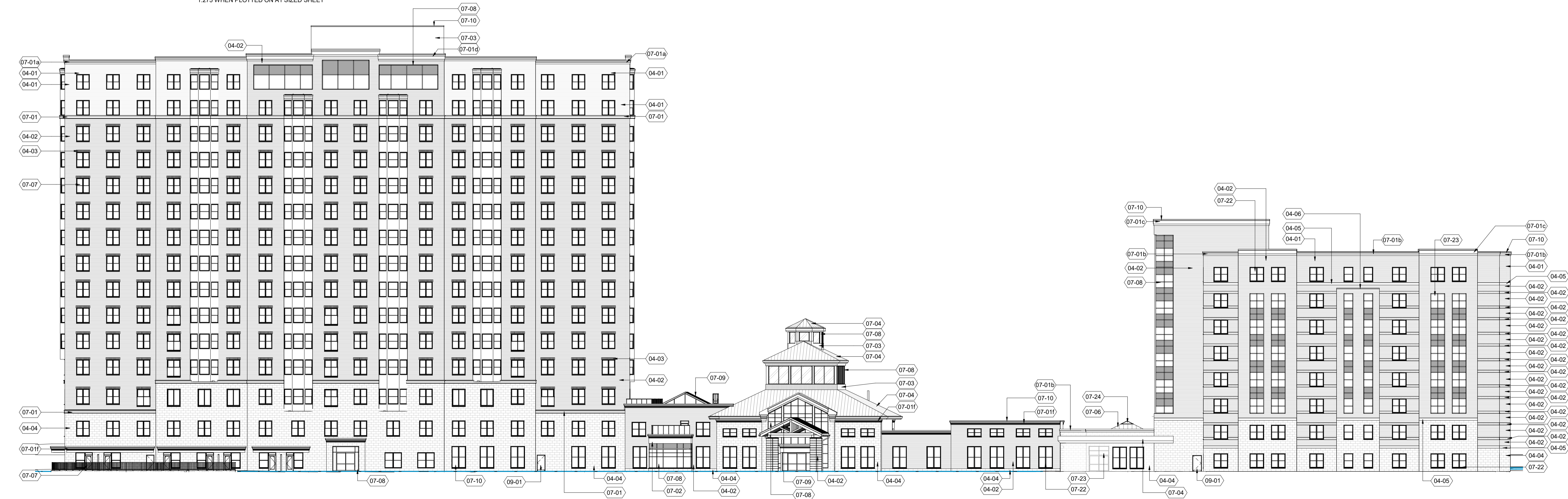
Project No.:	202090	Plot Date:	2023-03-13
Drawn By:	Author	Author:	2023-03-13

EXTERIOR ELEVATIONS MATERIALS SCHEDULE	
Key Value	Keynote Text
04-01	BRICK VENEER TYPE 1
04-02	BRICK VENEER TYPE 2
04-03	BRICK VENEER TYPE 3
04-04	ARCHITECTURAL BLOCK - SMOOTH FACE
04-05	ARCHITECTURAL BLOCK - ROUGH FACE
04-06	ARCH. STONE WINDOW HEADER
05-01	ALUMINUM + GLASS GUARDRAILS - RAILINGS, POSTS, PLATES
05-03	HDG STEEL GUARDRAILS
07-01	EIFS - MOULDINGS BAND
07-01a	EIFS - MOULDINGS CORNICE MOULDING TYPE 1
07-01b	EIFS - MOULDINGS CORNICE MOULDING TYPE 2
07-01c	EIFS - MOULDINGS CORNICE MOULDING TYPE 3
07-01d	EIFS - MOULDINGS CORNICE MOULDING TYPE 4
07-01f	EIFS - MOULDINGS CORNICE MOULDING TYPE 6
07-02	EIFS - WALLS
07-03	EIFS - MOULDINGS WINDOW MOULDINGS
07-04	METAL CLADDING EXTERIOR WALL @ TOWN SQUARE
07-06	METAL STANDING SEAM ROOF (BAY WINDOW)
07-07	METAL STANDING SEAM ROOF (TOWN CENTRE)
07-08	METAL STANDING SEAM ROOF (LOW ROOF GABLE PEAKS)
07-09	METAL CAP FLASHING (CURTAIN WALL)
07-10	METAL CAP FLASHING (EIFS MOULDINGS)
07-22	VINYL WINDOW + DOORS
07-23	ALUMINUM CURTAIN WALL FRAMING
07-24	
09-01	EXTERIOR HM DOORS
09-02	EXTERIOR HM FRAMES



EAST ELEVATION

0 2.5 5 10 25 m
1:275 WHEN PLOTTED ON A1 SIZED SHEET



WEST ELEVATION

0 2.5 5 10 25 m
1:275 WHEN PLOTTED ON A1 SIZED SHEET

110-700 Richmond St. London ON Canada N6A 5C7
P 519 432 6644 F 519 432 6737
cornerstonearchitecture.ca

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CORNERSTONE
ARCHITECTURE

2021-10-07 RE-ISSUED FOR PRELIMINARY DESIGN REVIEW
2021-10-25 ISSUED FOR SITE PLAN CONTROL

SCHLEGEL VILLAGES

Schlegel Villages Ottawa - LTC

SMYTH ROAD & RIVERSIDE DRIVE, OTTAWA, ON

OVERALL EXTERIOR ELEVATIONS

Project No.: 1000
Drawn By: JVO
Plot Date: 2021-10-25
YYYY-MM-DD

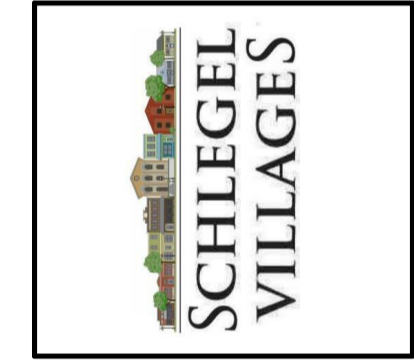
EL.01

EXTERIOR ELEVATIONS MATERIALS SCHEDULE	
Key Value	Keynote Text
04-01	BRICK VENEER TYPE 1
04-02	BRICK VENEER TYPE 2
04-03	BRICK VENEER TYPE 3
04-04	ARCHITECTURAL BLOCK - SMOOTH FACE
04-05	ARCHITECTURAL BLOCK - ROUGH FACE
04-06	ARCH. STONE WINDOW HEADER
05-01	ALUMINUM + GLASS GUARDRAILS - RAILINGS, POSTS, PLATES
05-03	HDG STEEL GUARDRAILS
07-01	EIFS - MOULDINGS BAND
07-01a	EIFS - MOULDINGS CORNICE MOULDING TYPE 1
07-01b	EIFS - MOULDINGS CORNICE MOULDING TYPE 2
07-01c	EIFS - MOULDINGS CORNICE MOULDING TYPE 3
07-01d	EIFS - MOULDINGS CORNICE MOULDING TYPE 4
07-01f	EIFS - MOULDINGS CORNICE MOULDING TYPE 6
07-02	EIFS - WALLS
07-03	EIFS - MOULDINGS WINDOW MOULDINGS
07-04	METAL CLADDING EXTERIOR WALL @ TOWN SQUARE
07-06	METAL STANDING SEAM ROOF (BAY WINDOW)
07-07	METAL STANDING SEAM ROOF (TOWN CENTRE)
07-08	METAL STANDING SEAM ROOF (LOW ROOF GABLE PEAKS)
07-09	METAL CAP FLASHING (CURTAIN WALL)
07-10	METAL CAP FLASHING (EIFS MOULDINGS)
07-22	VINYL WINDOW + DOORS
07-23	ALUMINUM CURTAIN WALL FRAMING
07-24	
09-01	EXTERIOR HM DOORS
09-02	EXTERIOR HM FRAMES

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2021-10-25 ISSUED FOR SITE PLAN CONTROL



Schlegel Villages Ottawa - LTC
SMYTH ROAD & RIVERSIDE DRIVE, OTTAWA, ON

OVERALL EXTERIOR ELEVATIONS

Project No.: 1000
Drawn By: JVO
Plot Date: 2021-10-25
YYYY-MM-DD

EL.02



NORTH ELEVATION 0 2.5 5 10 25 m
1:275 WHEN PLOTTED ON A1 SIZED SHEET



SOUTH ELEVATION 0 2.5 5 10 25 m
1:275 WHEN PLOTTED ON A1 SIZED SHEET