

Committee of Adjustment
 Received | Reçu le
 2023-05-24
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

BLOCK 26 P. I. N. PARCEL 26-1, SECTION 4M-795 10.30 A 04596-0325

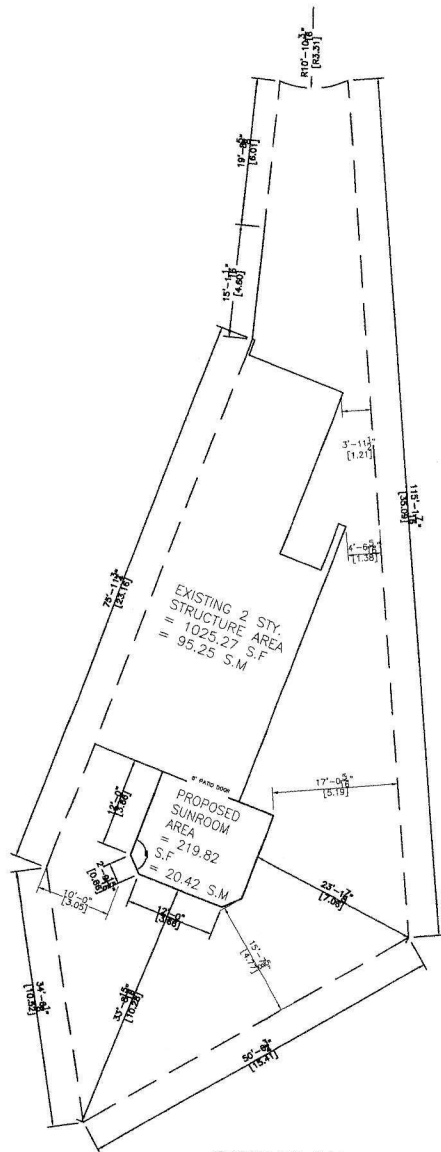
LONGFIELDS

BOULV

11 4 41 0455

WOODPARK P.I.N.

P.L.A.
P.I.N.



SITE PLAN
SCALE = 1:200



NOTES:

1. THE WALLS AND ROOF STRUCTURAL PANELS OF THE SUNROOM WILL BE PREFABRICATED BY LIFESTYLE SUNROOMS INC. AND WILL BE INSTALLED BY ITS TRAINED SKILLED INSTALLERS.
2. A PROFESSIONAL ENGINEER UNDERTAKES THE GENERAL REVIEW OF THE INSTALLATION.
3. A FINAL PROJECT REVIEW LETTER WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER THE COMPLETION.
4. (1). STAIRS RISER DIMENSIONS SHALL CONFIRM TO ARTICLES 9.8.4.2 AND 9.8.4.3 OF THE 2012 OBC WHICH STIPULATES THAT RISERS DESIGNED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 200 mm OR A MINIMUM RISE OF NO LESS THAN 125 mm AND A MAXIMUM RUN OF NO MORE THAN 355 mm OR A MINIMUM RUN OF NO MORE THAN 255 mm AND A MAXIMUM TREAD DEPTH OF 355 mm OR A MINIMUM TREAD DEPTH OF NO LESS THAN 235 mm.
4. (2). REQUIRED EXIT STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900 mm AS PER ARTICLE 9.8.2.1 OF THE 2012 OBC.
5. THE WIDTH OF THE LANDING IF REQUIRED SHALL BE NOT LESS THAN THE GREATER REQUIRED STAIR WIDTH WHERE ONE OR MORE OF THE STAIR WIDTHS DO NOT EXCEED THEIR RESPECTIVE REQUIRED WIDTHS, OR NOT LESS THAN THE LESSER ACTUAL STAIR WIDTH WHERE ALL OF THE WIDTHS OF THE STAIRS EXCEED THEIR RESPECTIVE REQUIRED WIDTHS AS PER ARTICLES 9.8.6.2 AND 9.8.6.3 OF THE 2012 OBC.
6. ALL HAND RAILS AND GUARDS SHALL BE BUILT AS PER OBC 2012 AND SUPPLEMENTARY STANDARD SB-7. EXTERIOR HANDRAIL AND GUARDS TO BE AT LEAST 900 mm OR 36" MEASURED VERTICALLY ABOVE THE NOSING OF ANY TREAD AND/OR PLATFORM NOT MORE THAN 1800 mm OR 5'-11" ABOVE THE FINISHED GROUND AS PER SUBSECTIONS 9.8.7 AND 9.8.8 OF 2012 OBC; ALL PICKET AND/OR GUARD SPACING MUST BE NO MORE THAN 100 mm OR 4" APART AS PER ARTICLE 9.8.8.5 OF THE 2012 OBC; ALL BALUSTERS TO BE SPACED NO MORE THAN 1200 mm OR 48" APART.
7. TO CARRY RAINWATER AWAY FROM THE SUNROOM, DOWNSPOUTS WILL BE INSTALLED AT THE OUTSIDE CORNERS OF ROOM IN ACCORDANCE TO ARTICLES 9.26.18.2, 7.3.3.7, AND 5.6.2.2 OF THE 2012 OBC.
8. ALL ADDITIONAL ASPECTS OF THE PROJECT WILL BE INSTALLED ACCORDING TO TACBOC DETAILS AND COMPLY WITH THE REQUIREMENTS STIPULATED BY THE 2012 OBC, INCLUDING DOORS (TO SECTION 9.6.); WINDOWS (TO SECTION 9.7.); SKYLIGHTS (TO SUBSECTION 9.7.7.); GLASSES (TO SUBSECTION 9.7.3.); WOOD FRAME CONNECTIONS, DECK FARMING, STICK BUILT WALLS AND SUBFLOORING (TO SUBSECTION 9.23.14); BUILT-UP BEAMS (TO ARTICLE 9.23.8.3); BUILT-UP COLUMNS (TO ARTICLE 9.17.4.2); ROOFING (TO SECTION 9.26.); ROOF DRAINS AND DOWNSPOUTS (TO SUBSECTION 9.26.18.); FLASHING (TO SUBSECTIONS 9.20.13 & 9.26.3 & 9.26.4); CLADDING (TO SECTION 9.27.); CAULKING (TO SUBSECTION 9.27.4.); INTERIOR FINISHING (TO SUBSECTION 9.29.); FLOORING (TO SECTION 9.30.); STAIRS, RAMPS, HANDRAILS AND GUARDS (TO SECTION 9.8.); LIGHTING OUTLETS (TO SECTION 9.34.).

LOT AREA	422.76 m ²	4550.53 ft ²
TOTAL EXISTING FLOOR AREA	95.25 m ²	1025.27 ft ²
PROPOSED SUNROOM AREA	20.42 m ²	220 ft ²
TOTAL EXISTING AND PROPOSED FLOOR AREA	115.67 m ²	1245 ft ²
TOTAL LOT COVERAGE	27 %	

THIS SITE PLAN IS
DRAWN PER THE OWNER INFORMATION



944 Crawford Dr.
Peterborough, Ontario K9J 3X2
www.lifestylesunrooms.com
Tel: 800-465-0593
Fax: 800-934-0822

PROJECT

**LIFESTYLE UNHEATED
SUNROOM ADDITION**

PROJECT ADDRESS

44 WOODPARKWAY
NEPEAN, OTTAWA
ONTARIO K2J 4B4

DRAWING TITLE

SITE PLAN

DRAWING NUMBER

01

REVISION	PROJECT#	DESIGN#
	02023	
MODEL TYPE		
125 AF RAME (5.5" ALUMINUM TOP ROOF)		

125 AF RAME (5.5" ALUMINUM TOP ROOF)

CLIENT

WARREN EDDY

DATE **SCALE**

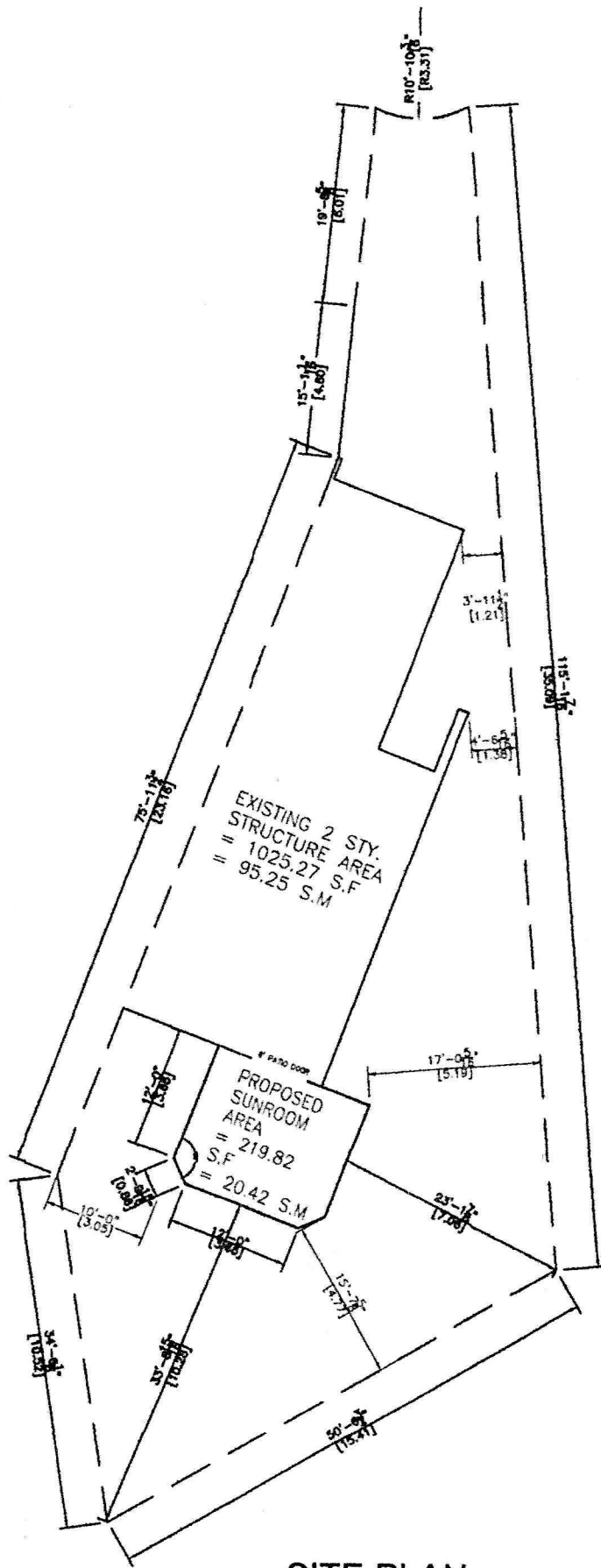
JAN 18 2023

DRAWN BY: **CHECKED BY:**

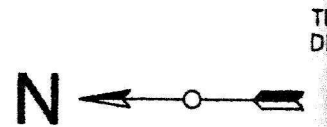
A.A. S.K. I.M. J.P.

LIFESTYLE ENGINEERING





SITE PLAN
 SCALE = 1:200



TR
 DF

*** NOTES:**

- HELICAL PILES ARE PER CCMC 13059-R AND THE ENCLOSED CALCULATIONS
- THE STRUCTURAL PANELS ARE ACCORDING TO BMEC#03-08-287 AND THE ENCLOSED CALCULATIONS



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 SUNROOM ADDITION**

PROJECT ADDRESS

44 WOODPARKWAY
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 ONTARIO K2J 4B4

DRAWING TITLE

DECK & ROOF PLAN

DRAWING NUMBER

02

REVISION	PROJECT#	DESIGN#
	02023	

MODEL TYPE

125 AFRAAME (5.5" ALUMINUM TOP ROOF)

CLIENT

WARREN EDDY

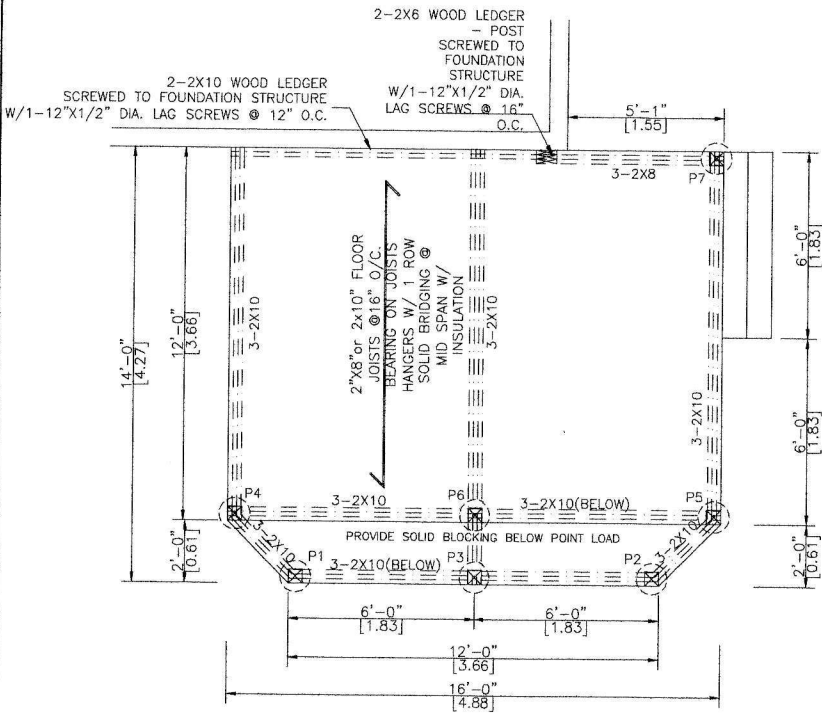
DATE SCALE

JAN 18 2023

DRAWN BY: CHECKED BY:

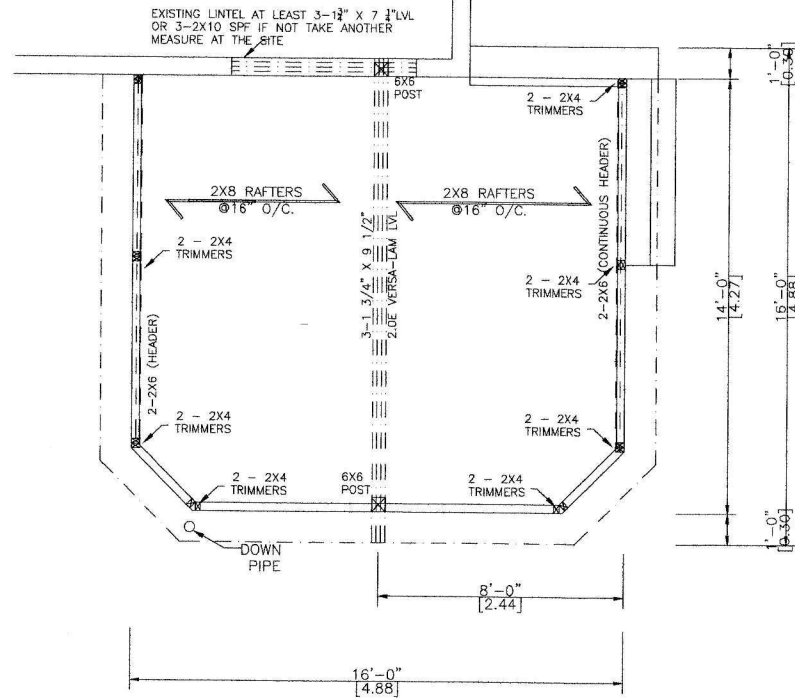
A.A. S.K. I.M. J.P.

LIFESTYLE ENGINEERING



PIERS & DECK PLAN

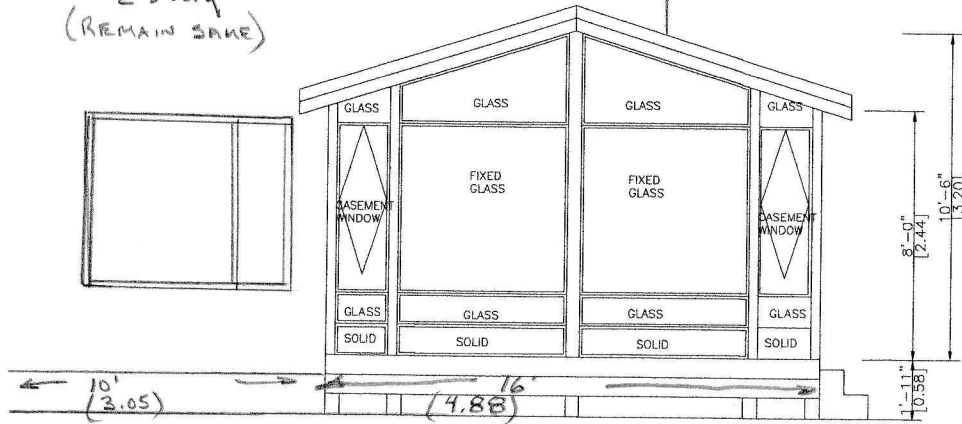
SCALE 1/4"=1'-0"



WALLS & ROOF PLAN

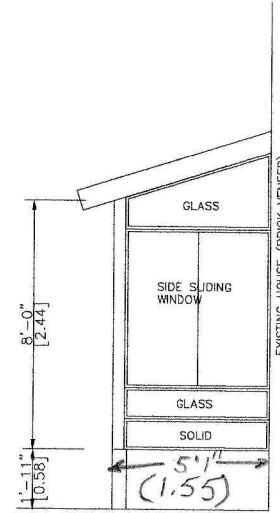
SCALE 1/4"=1'-0"

EXISTING
2 story
(REMAIN SAME)



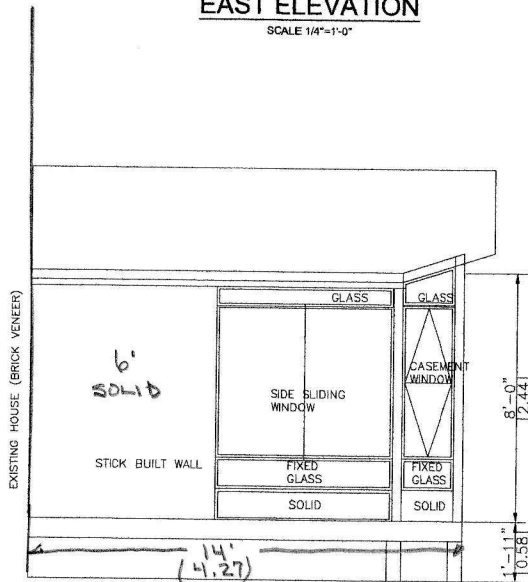
EAST ELEVATION

SCALE 1/4"=1'-0"



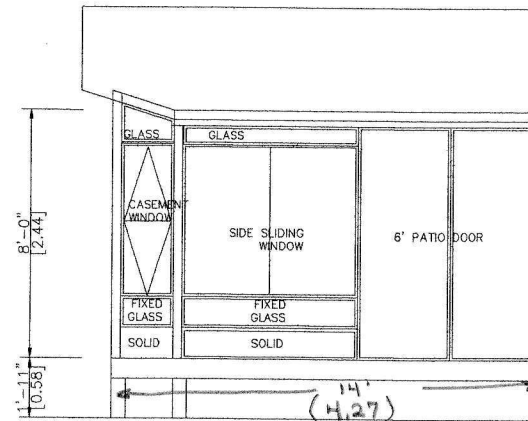
WEST ELEVATION

SCALE 1/4"=1'-0"



SOUTH ELEVATION

SCALE 1/4"=1'-0"



NORTH ELEVATION

SCALE 1/4"=1'-0"

Lifestyle
SUNROOMS

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SUNROOM ADDITION**

PROJECT ADDRESS

44 WOODPARKWAY
NEPEAN, OTTAWA
ONTARIO K2J 4B4

DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

03

REVISION	PROJECT#	DESIGN#
	02023	

MODEL TYPE
125 AFRAIME (5.5" ALUMINUM TOP ROOF)

CLIENT

WARREN KOPY

DATE	SCALE
JAN 18 2023	

DRAWN BY: A.A. S.K. I.M. **CHECKED BY:** J.P.

LIFESTYLE ENGINEERING

LIFESTYLE ENGINEERING



NOTE:

-HELICAL PILES MADE OF STEEL IN ACCORDANCE WITH ASTM A500 GRADE C AND CAN/CSA-G40.21-97 HEAT GALVANIZED WITH A GALVANIZATION RATING OF AT LEAST 610 g/m² ACCORDING TO THE CSA-G164M-92 STANDARDS. ALL HELICAL PILES MUST BE INSTALLED TO A DEPTH OF AT LEAST 48" OR GREATER BELOW GRADE LEVEL AND IN ACCORDANCE WITH THE TORQUE SPECIFICATIONS.(REFER TO STRUCTURAL CALCULATION)
 -ALL CONCRETE PIER DESIGNS BASED ON SOIL BEARING CAPACITY OF 1500 P.s.f. (REFER TO STRUCTURAL CALCULATIONS)



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PROJECT ADDRESS

44 WOODPARKWAY
 NEPEAN, OTTAWA
 ONTARIO K2J 4B4

DRAWING TITLE

A-A SECTION & SNOW ACCUMULATION

DRAWING NUMBER

04

REVISION	PROJECT#	DESIGN#
	02023	

MODEL TYPE

125 AFRAAME (5.5" ALUMINUM TOP ROOF)

CLIENT

WARREN EDDY

DATE	SCALE
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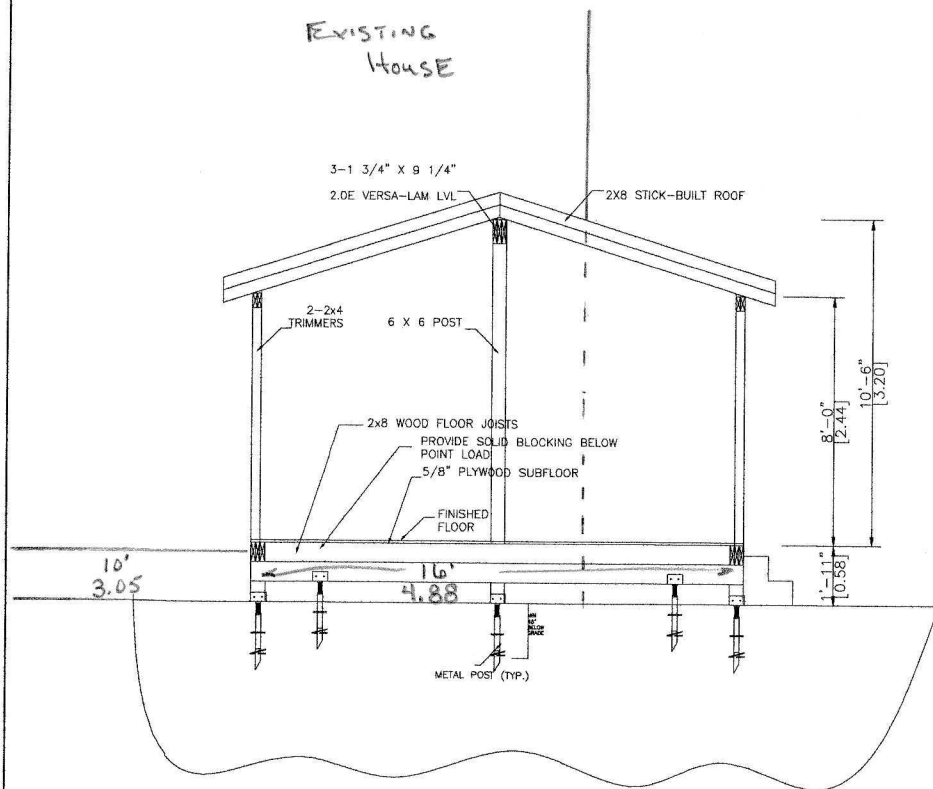
JAN 18 2023

DRAWN BY: A.A S.K I.M. **CHECKED BY:** J.P.

LIFESTYLE ENGINEERING

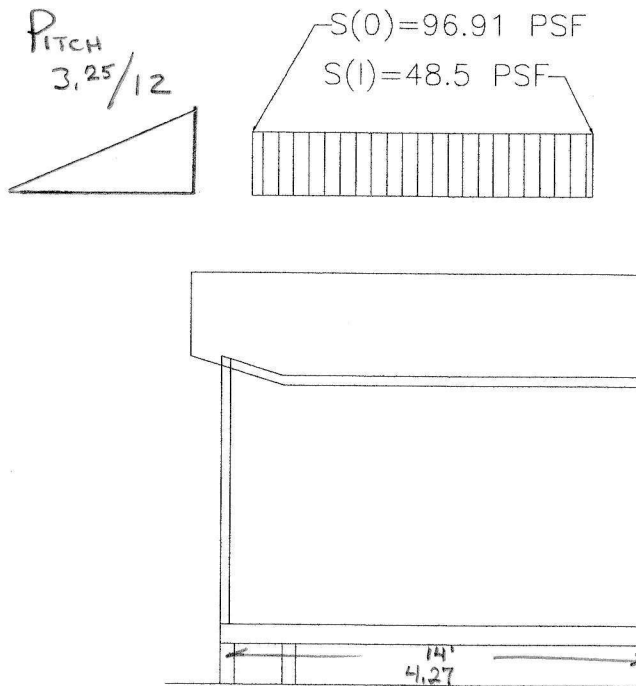


EXISTING HOUSE



A-A SECTION

SCALE= 1/4"=1'-0"



SNOW ACCUMULATION

REFER TO ATTACHED CALCULATION