



MIROCA DESIGN
INCORPORATED SINCE 1986
CUSTOM HOME DESIGN
PROJECT MANAGEMENT

30 CONCOURSE GATE
UNIT 47
OTTAWA, ONTARIO
K2E 7V7
TEL: (613) 274-2653
FAX: (613) 274-7085
CONTACT@MIROCADESIGN.COM
WWW.MIROCADESIGN.COM

Committee of Adjustment
Received | Reçu le

2023-04-25

City of Ottawa | Ville d'Ottawa
Comité de dérogation

GENERAL NOTES:

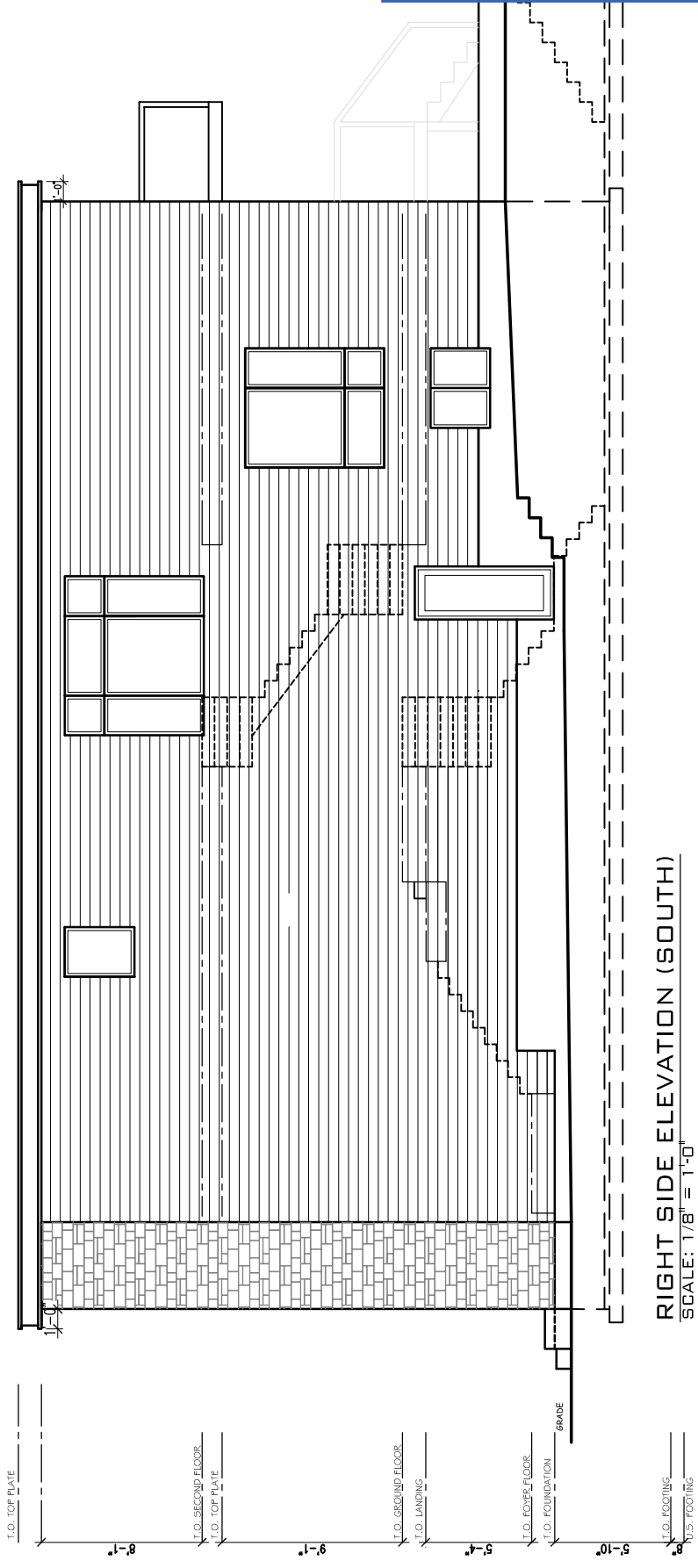
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS TO THE CONSULTANT.
2. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY REGULATIONS, AND BY-LAWS.
3. FOOTINGS DESIGNED FOR 2000 P.S.F. GRANULAR MATERIAL AND COMPACTION SHALL BE INSTALLED PRIOR TO POURING CONCRETE.
4. DO NOT SCALE THE DRAWINGS.

REVISIONS	
NO.	DESCRIPTION & DATE
1	

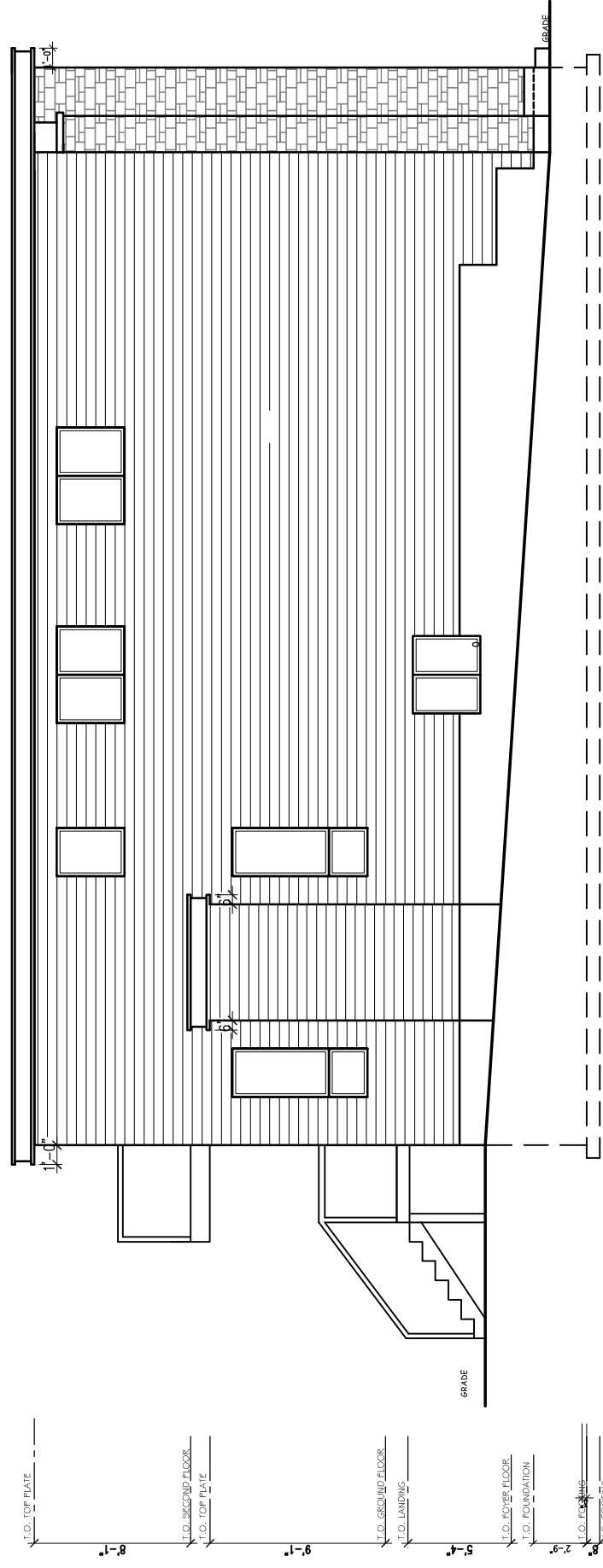
JOB TITLE:
PROPOSED TWO STOREY SINGLE
FAMILY DWELLING
481 WENTWORTH
PART 1
CITY OF OTTAWA

SHEET TITLE:
ELEVATIONS

SCALE: AS SHOWN DWG NO.
DRAWN: S.S.
CHECKED:
DATE:
A1.1



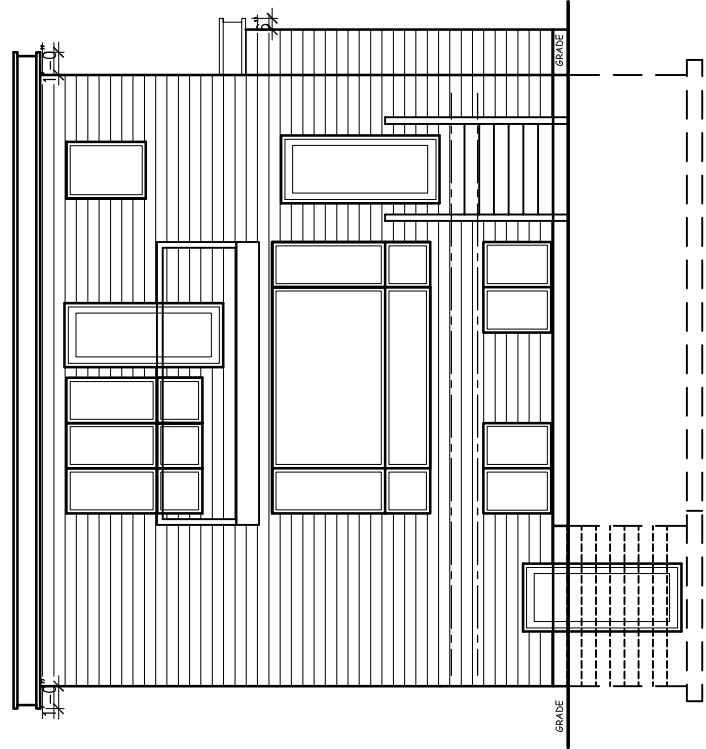
RIGHT SIDE ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"



FRONT ELEVATION (WSET)
SCALE: 1/8" = 1'-0"



REAR ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



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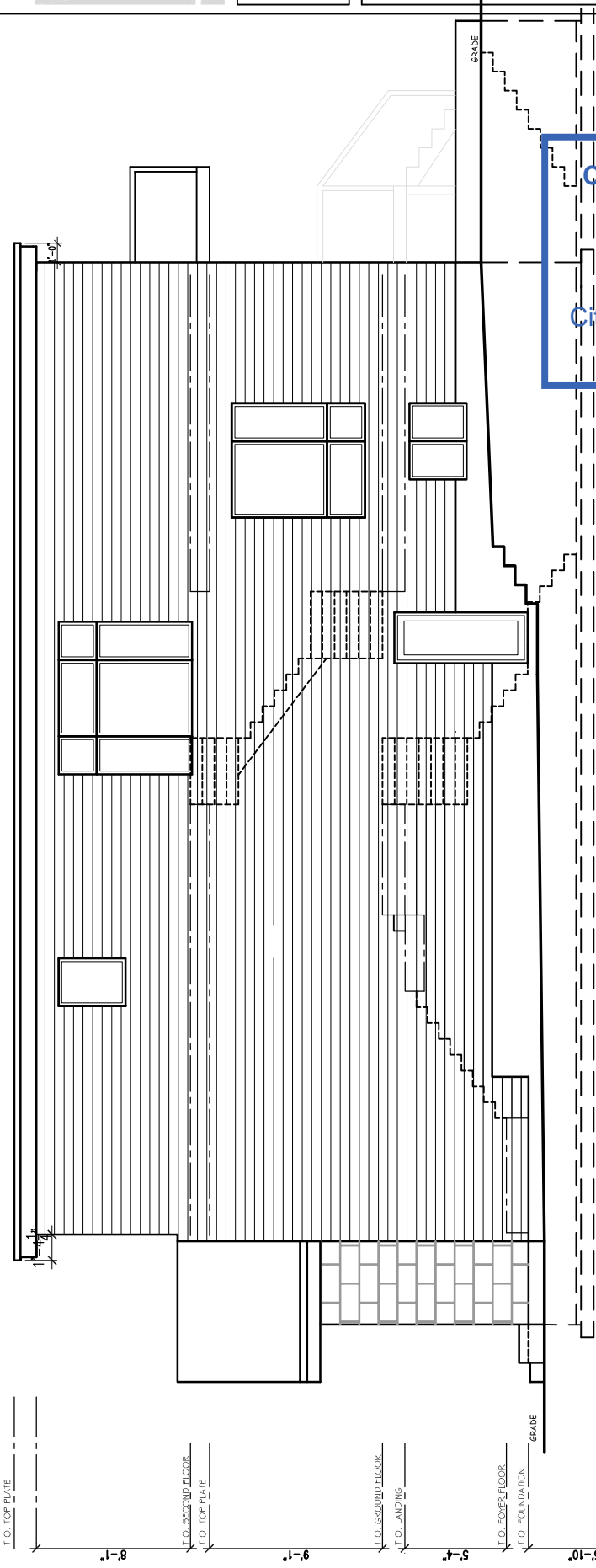
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND MATERIALS TO THE CONSULTANT.
2. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE REGULATIONS, AND BY-LAWS.
3. FOOTINGS DESIGNED FOR 2000 P.S.F. GRADE. ALL FOUNDATION MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSULTANT'S RECOMMENDATIONS FOR POURING CONCRETE.
4. DO NOT SCALE THE DRAWINGS.

JOB TITLE:
PROPOSED TWO STOREY SINGLE FAMILY DWELLING
481 WENTWORTH PART 2
CITY OF OTTAWA

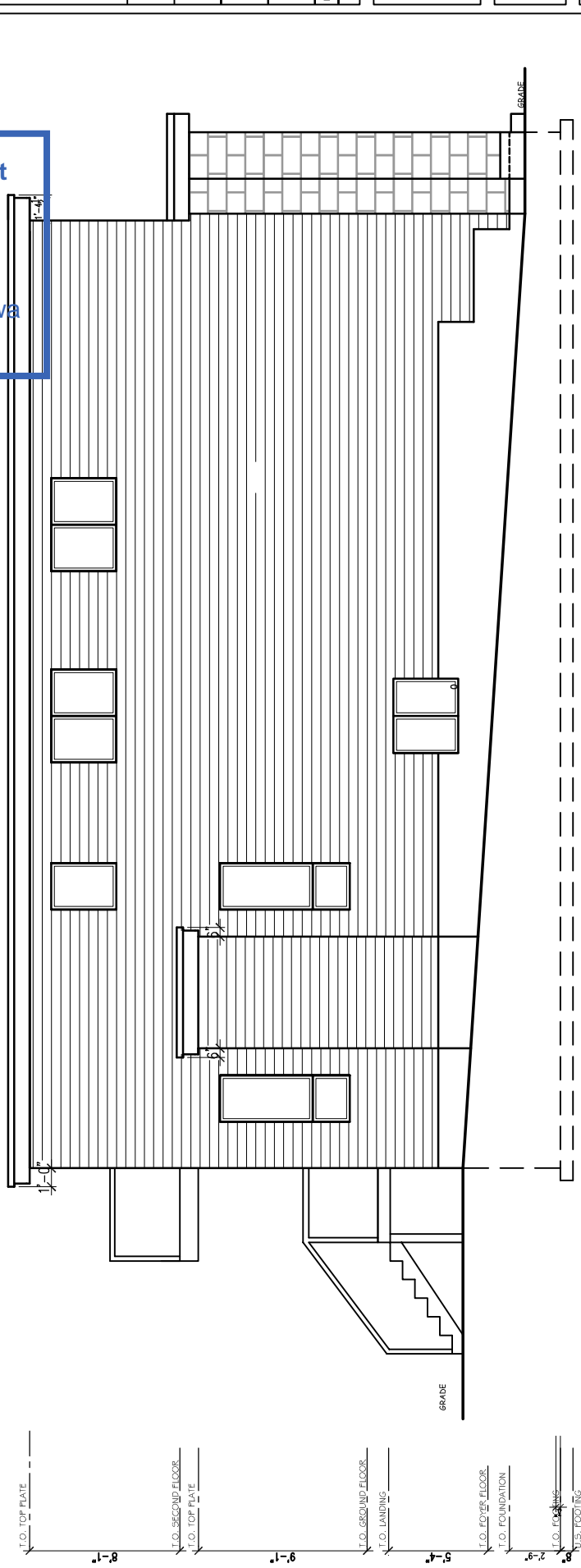
SHEET TITLE:
ELEVATIONS

SCALE: AS SHOWN DWG NO.
DRAWN: S.S.
CHECKED:
DATE:

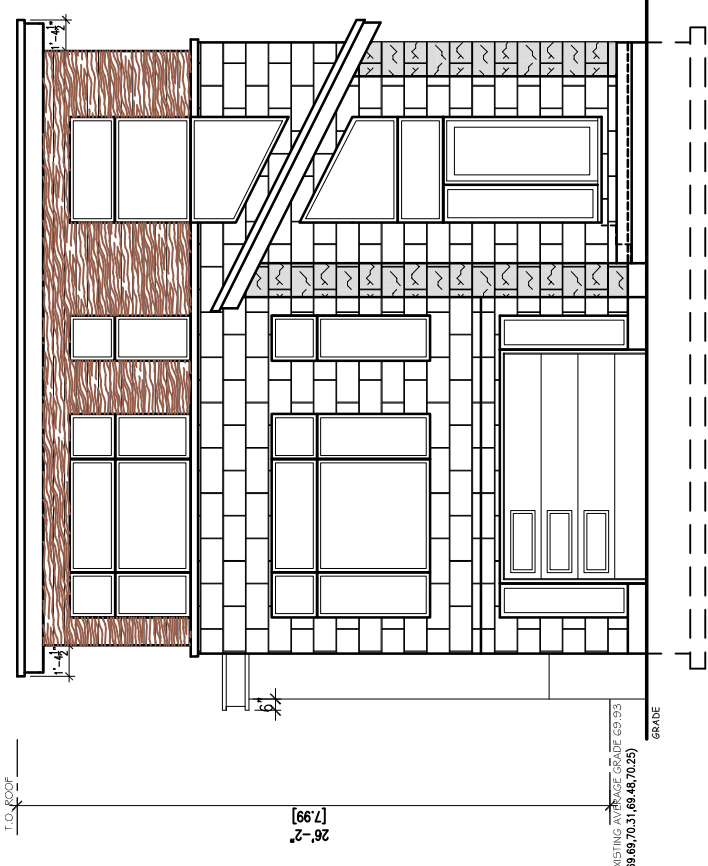
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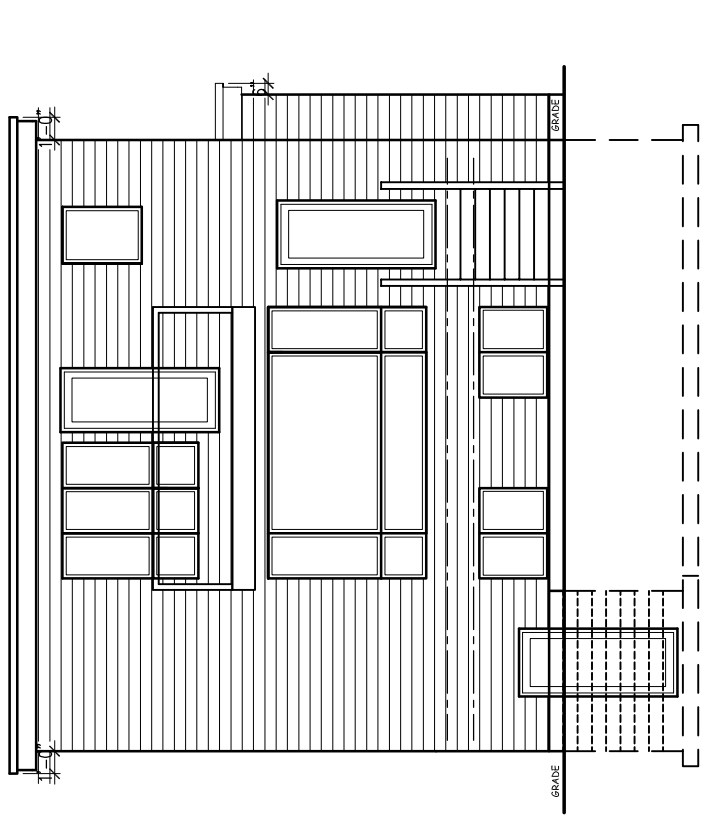
RIGHT SIDE ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

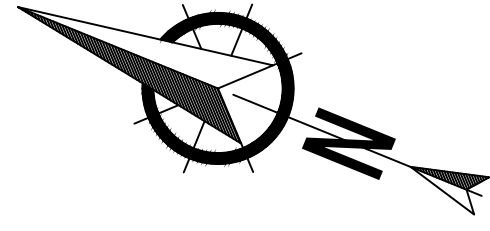


FRONT ELEVATION (WSET)
SCALE: 1/8" = 1'-0"



REAR ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

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I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 DATE: _____

PLAN 4R- RECEIVED AND DEPOSITED
 DATE: _____

DANIEL ROBINSON
 ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF
 OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 57 & 58	324	ALL OF 03966 - 0033	348.6
2	PART OF 58			348.8

PLAN OF SURVEY OF
LOT 58 AND PART OF LOT 57
REGISTERED PLAN 324
CITY OF OTTAWA
 FARLEY, SMITH & DENIS SURVEYING LTD. 2022
 Scale 1: 100

Metric Note
 Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99991.

Bearing Note
 Bearings are grid, are referred to the easterly limit of Wentworth Avenue having a bearing of N 22° 09' 05" W as shown on Plan 4R-32496 and are derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).

POINT ID	NORTHING	EASTING
(A)	5025661.39	361261.56
(B)	5025576.61	361296.08
01919680005	5027191.26	361496.76
01919750705	5016816.93	360806.84

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
- The survey was completed on the xxx day of xxxxxxx, 2022.

Date: _____ Daniel Robinson
 Ontario Land Surveyor

- Notes & Legend**
- Denotes Survey Monument Planted
 - SIB Survey Monument Found
 - Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - Meas Measured
 - (P1) Registered Plan 324
 - (P2) Plan 4R-32496
 - (P3) Plan by (1287) dated August 2, 1996 (Job No. 249-96)
 - UP Utility Pole
 - GM Gas Meter
 - AC Air Conditioner
 - CLF Chain Link Fence
 - BF Board Fence
 - CRW Concrete Retaining Wall
 - SRW Stone Retaining Wall
 - TRW Timber Retaining Wall
 - C/L Centreline
 - Property Line
 - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
 - Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.



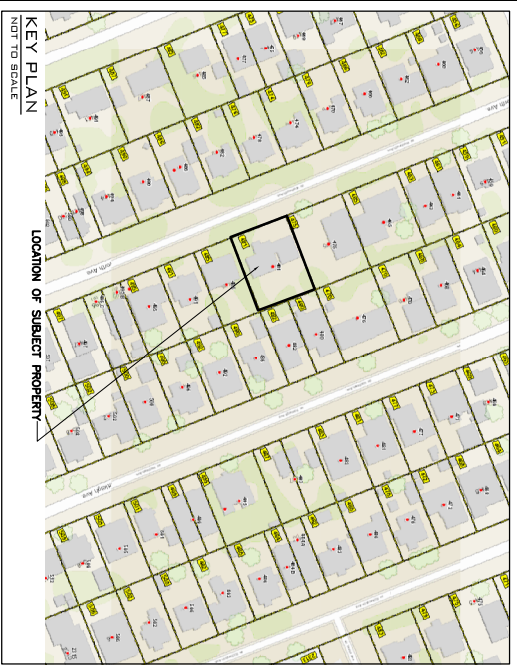
REGISTERED

WENTWORTH AVENUE
 P. I. N. 03966 - 0118

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXXX.
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
 CANADA LAND SURVEYORS
 Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
 TEL. (613) 727-8226 E-mail: fdsurveys@bellnet.ca

FILE No.: 673-22

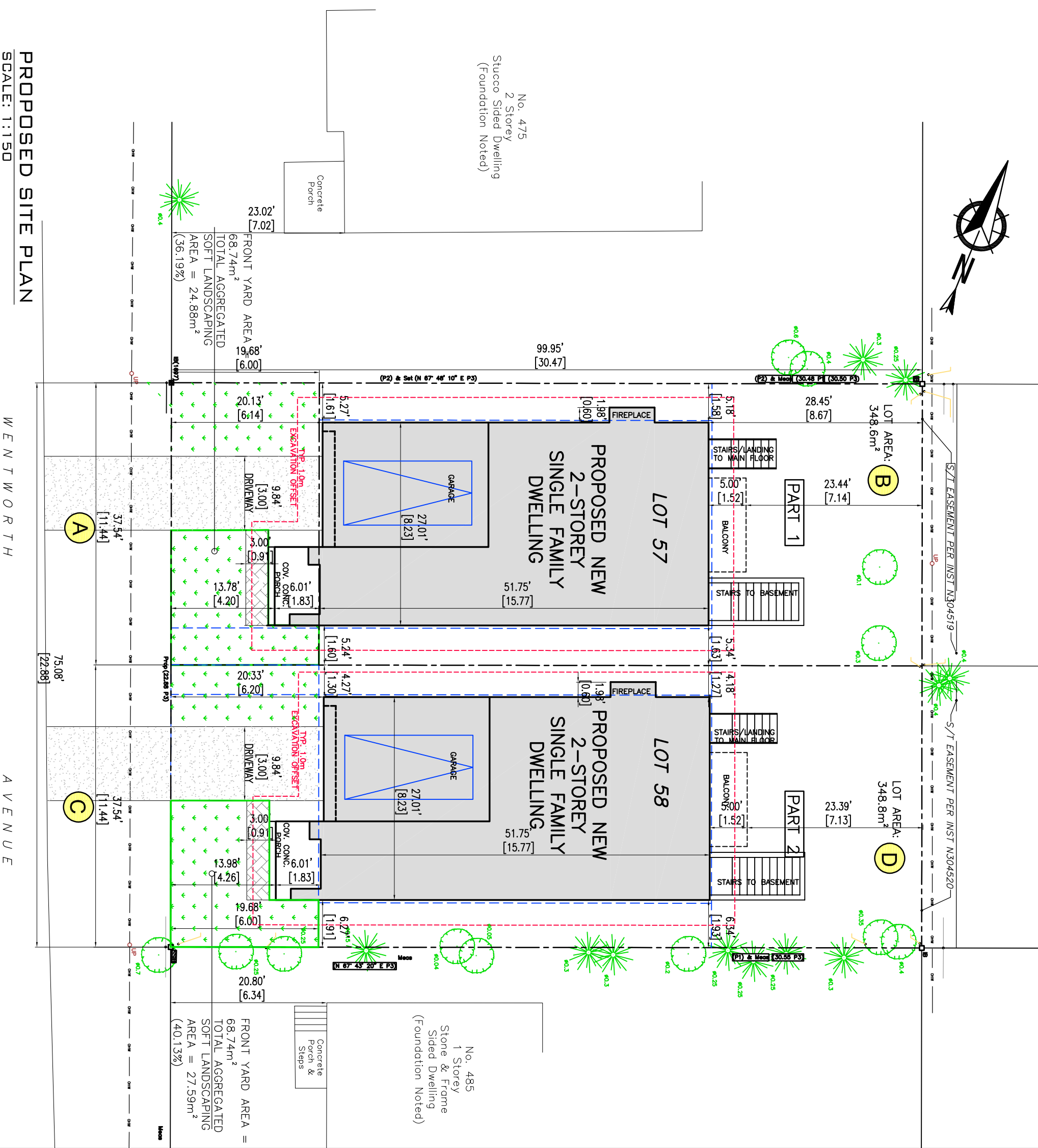


LOCATION OF SUBJECT PROPERTY

PROJECT INFORMATION	
ADDRESS	481 WENTWORTH AVE OTTAWA, ON. K2B 5J9
LEGAL DESCRIPTION	LOT 58 AND PART OF LOT 57 REGISTERED PLAN 324 PIN: 03966-0033 WARD 7, BAY
ZONING	ZONING BYLAW 2008-250 R2F SECTION 139 - LOW-RISE RESIDENTIAL IN ALL NEIGHBOURHOODS WITHIN THE GREENBELT SECTION 140 - LOW-RISE RESIDENTIAL DEVELOPMENT WITHIN THE MATURE NEIGHBOURHOODS OVERLAY SECTION 144 - ALTERNATIVE YARD SETBACKS AFFECTING LOW-RISE RESIDENTIAL IN THE R1 TO R4 ZONES WITHIN THE GREENBELT

DEVELOPMENT STANDARDS		
SITE PROVISIONS	BY-LAW REQUIREMENTS	PROVIDED
MIN. LOT WIDTH	15m	UNIT 1 11.445m
MIN. LOT AREA	450m ²	UNIT 1 348.6m ²
MAX. BUILDING HEIGHT	8m	UNIT 1 7.99m
MIN. FRONT YARD SETBACK	6m	UNIT 1 6.14m
MIN. CORNER YARD SETBACK	4.5m	N/A
MIN. REAR YARD SETBACK	28% (8.53m)	UNIT 1 28% (8.67m)
MIN. REAR YARD AREA	25% (87.2m ²)	UNIT 1 28.4% (99.09m ²)
MIN. INTERIOR YARD SETBACK	TOTAL IS 3m WITH ONE YARD, NO LESS THAN 1.2m	UNIT 1 1.61m + 1.60m = 3.21m
MAX. LOT COVERAGE	N/A	N/A
MIN. SOFT LANDSCAPING OF THE FRONT YARD AREA OF THE CORNER YARD AREA	35%	UNIT 1 36.19%
MAXIMUM DRIVEWAY WIDTH	3m SINGLE	UNIT 1 3m

MINOR VARIANCES REQUESTED		
UNIT 1	A) To permit a reduced lot width of 11.44 metres, whereas the By-law requires a minimum lot width of 15 metres. [Table 156A] B) To permit a reduced lot area of 348.6 square metres, whereas the By-law permits a minimum lot area of 450 square metres. [Table 156A]	PROVIDED UNIT 1 11.445m
UNIT 2	C) To permit a reduced lot width of 11.44 metres, whereas the By-law requires a minimum lot width of 15 metres. [Table 156A] D) To permit a reduced lot area of 348.6 square metres, whereas the By-law permits a minimum lot area of 450 square metres. [Table 156A]	PROVIDED UNIT 2 11.445m



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JOB TITLE: 481 WENTWORTH PART 1 & 2 OTTAWA, ON. PROPOSED 2-STORY SINGLE FAMILY DWELLINGS	SHEET TITLE: PROPOSED SITE PLAN
SCALE: AS SHOWN DWG NO.: 51.1	DATE: 2024