

LEWIS STREET  
(PER REGISTERED PLAN 15558)

SURVEYOR'S REAL PROPERTY REPORT  
WITH TOPOGRAPHIC DETAILS  
PART 1 - PLAN SHOWING

**PART OF LOT 52**  
NORTH SIDE OF WAVERLEY STREET  
**REGISTERED PLAN 15558**  
CITY OF OTTAWA

SCALE 1 : 100  
5 0 5 metres

J.D. BARNES LIMITED  
© COPYRIGHT 2023

**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83 (CSRS) (2010.0).  
DISTANCES ARE GROUND.  
COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

**PART 2 - SURVEY REPORT**

**- DESCRIPTION**  
PART OF LOT 52 (NORTH SIDE OF WAVERLEY STREET) ON REGISTERED PLAN 15558, BEING ALL OF PIN 04117 -0153 (LT), IN THE CITY OF OTTAWA  
**- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY**  
NONE  
**- BOUNDARY FEATURES**  
NOTE THE LOCATION OF THE BOARD FENCE AND THE EAVES ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE THE LOCATION OF THE FRAME STEPS AND THE INTERLOCK BRICK WALKWAY ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE THE LOCATION OF THE EAVES ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE THE LOCATION OF THE EDGE OF ASPHALT AND THE EDGE OF GRAVEL ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

**LEGEND**

- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT SET
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - CPW DENOTES CONCRETE PIN AND WASHER
  - MEAS DENOTES MEASURED
  - Acc DENOTES ACCEPTED
  - RP DENOTES REGISTERED PLAN 15558
  - P DENOTES SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED JULY 19, 2017
  - P1 DENOTES PLAN SR-8099
  - P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FAIRHALL & MOFFATT DATED MAY 22, 1975
  - F.H. GOOD, O.L.S.
  - ADG DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
  - 1287 DENOTES FARLEY, SMITH & MURRAY SURVEYING LTD.
  - PROPERTY LINE
- N=NORTH / S=SOUTH / E=EAST / W=WEST

**TOPOGRAPHIC LEGEND**

- FDN DENOTES FOUNDATION
- CONC DENOTES CONCRETE
- C/L DENOTES CENTERLINE
- INT BR DENOTES INTERLOCK BRICK
- FF DENOTES FINISHED FLOOR
- EA DENOTES EDGE OF ASPHALT
- EG DENOTES EDGE OF GRAVEL
- BF DENOTES BOARD FENCE
- HP DENOTES HYDRO POLE
- GM DENOTES GAS METER
- WV DENOTES WATER VALVE
- MH\_HWELL DENOTES HANDWELL MANHOLE
- CB DENOTES CATCH BASIN
- OC DENOTES OVERHEAD CABLE
- EAVE DENOTES EAVE

Committee of Adjustment  
Received | Reçu le  
2024-01-10  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**ELEVATION NOTE:**

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.  
2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO GEODETIC SURVEY OF CANADA BENCHMARK 001970223 HAVING A PUBLISHED ELEVATION OF 70.474 METRES (CGVD28:78).

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON XX, 2023.

X  
DATE \_\_\_\_\_  
GEORGE ZERVOS  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-57938

**J.D. BARNES** SURVEYING  
LIMITED  
LAND INFORMATION SPECIALISTS  
62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: RP CHECKED BY: JL/GZ REFERENCE NO.: 16-10-093-01-V2  
PLOTTED: 11/30/2023 DATED: 11/30/23

PREPARED FOR: FALSETTO HOMES

FILE: G:\16-10-093\01\Drawing\TOP0\16-10-093-01-TOP0.dgn



WAVERLEY STREET  
(Formerly CHARLES STREET PER REGISTERED PLAN 15558)  
PIN 04117 -0336 (LT)

16-10-093-01-V2  
11/30/23  
11/30/23

DEVELOPED FROM

PLAN OF SURVEY OF  
PART OF LOT 52 REGISTERED PLAN 15558  
CITY OF OTTAWA

J.D. Barnes, 2023



GRAPHIC SCALE FOR REFERENCE ONLY  
ALL MEASUREMENTS ARE IMPERIAL WITH CORRESPONDING METRIC IN BRACKETS

ZONING: R4UC [478] - Proposed Use: Low-rise Apartment, maximum of 8 units

ZONING MECHANISM	REQUIRED	PROVIDED	COMMENTS
A) MINIMUM LOT AREA	300m <sup>2</sup>	215.8m <sup>2</sup>	84.2m <sup>2</sup> or 28% DEFICIENT
B) MINIMUM LOT WIDTH	10m	7.61m	2.39m or 24% DEFICIENT
C) MINIMUM LOT DEPTH	n/a	28.4m	
D) MINIMUM FRONT YARD SETBACK	1.5m	1.5m	
E) MINIMUM INTERIOR SIDE YARD SETBACK	WEST SIDE EAST SIDE	1.5m 1.5m	0.6m 1.2m 1.6m total (0.6m, 1.2m)
F) MINIMUM REAR YARD AREA (see by-law provision amendments outlined below)	As per section 144 by-law no. 2020-289	AREA n/a	65.0m <sup>2</sup>
G) MINIMUM REAR YARD SETBACK (see by-law provision amendments outlined below)	As per section 144 by-law no. 2020-289	DEPTH 8.5m	8.5m
H) MAXIMUM BUILDING HEIGHT	11m	11m	
I) AMENITY AREA	n/a	n/a	
J) VEHICLE PARKING	0	0	
K) BICYCLE STORAGE	0.5 PER UNIT	4	10

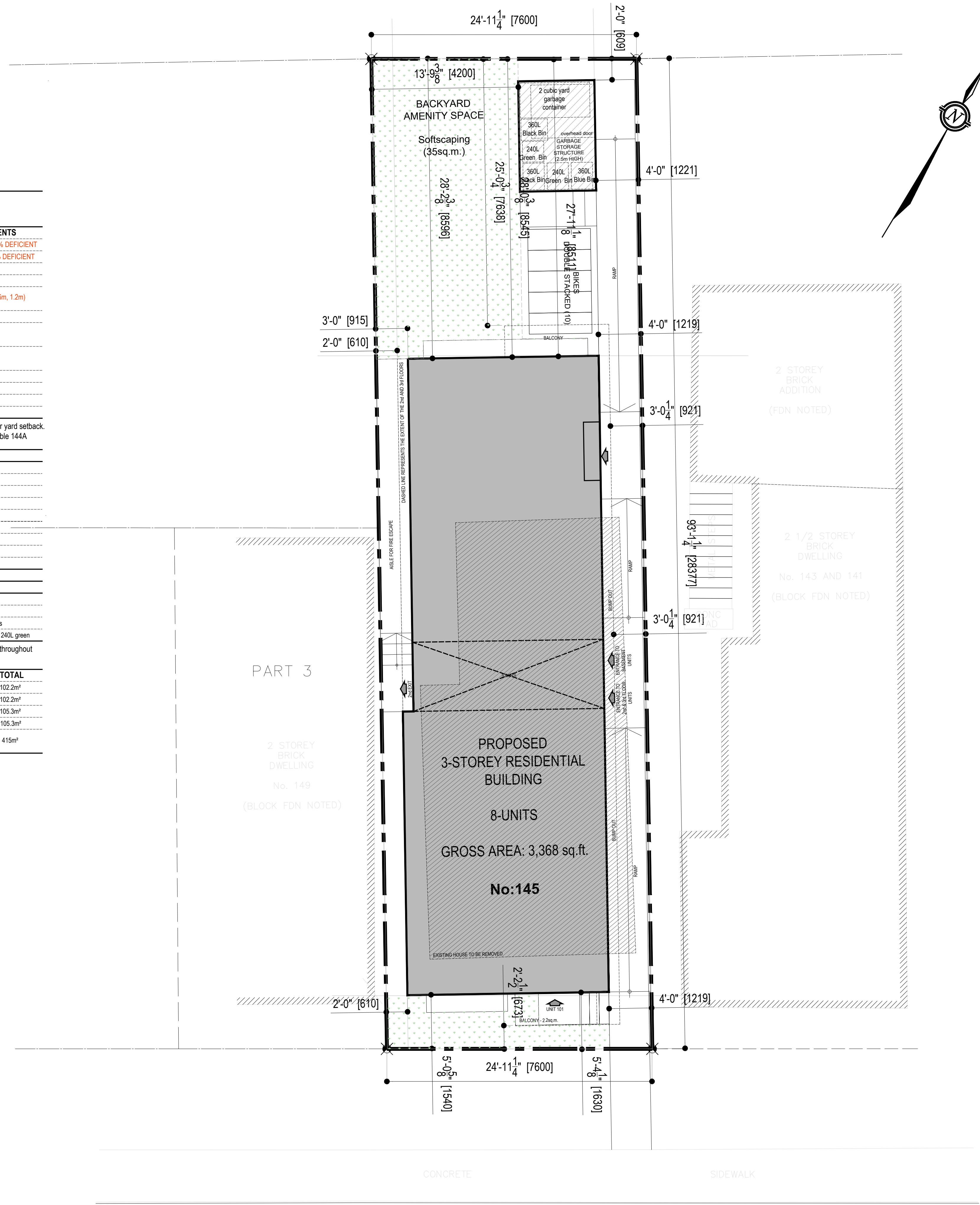
Section 144 - Alternative Yard Setbacks for Low-rise Residential Uses in the Greenbelt for the minimum required rear yard setback. The rear yard must comprise at least 25 percent of the lot area; and the minimum rear yard setback is pursuant to Table 144A.

PROPOSED SITE DEVELOPMENT INFO	COMMENTS
LOT AREA	215.8m <sup>2</sup>
BUILDING HEIGHT	11m
PARKING SPACES	0
NUMBER OF STOREYS	3 floors + 1 below grade
NUMBER OF UNITS	8 1-BEDROOM UNITS
LOT COVERAGE	47.3% building footprint 102.2m <sup>2</sup>
SOFT LANDSCAPING COVERAGE	FRONT 9m <sup>2</sup> REAR 35m <sup>2</sup>
HARD LANDSCAPING	50m <sup>2</sup>

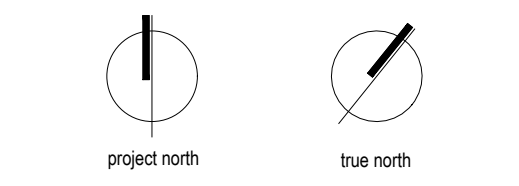
GARBAGE MANAGEMENT REQUIREMENT	REQUIRED	PROVIDED
GARBAGE	0.231 cubic yards per unit: 8x0.231=1.848	1 - 2 cubic yard garbage container
RECYCLING	for every 6 units provide 1 360L blue cart and 1 360L black cart	2-360L Blue carts and 2-360L Black carts
ORGANICS	container for each unit and 1 communal 240L green container per 50 units	container for each unit and 1 communal 240L green container

Property owner will be responsible for the removal and storage of snow for all walkways, exterior stairs, and driveway throughout the winter

BUILDING AREA (gross areas)	TOTAL
BASEMENT	102.2m <sup>2</sup>
GROUND FLOOR	102.2m <sup>2</sup>
SECOND FLOOR	105.3m <sup>2</sup>
THIRD FLOOR (PROPOSED)	105.3m <sup>2</sup>
TOTAL AREAS	415m <sup>2</sup>



All drawings and related documents are the copyright of Muzaiko Architecture and must be returned upon request. Reproduction of drawings and related documents in part or whole is unlawful and forbidden without the written permission of Muzaiko Architecture.



issue	description	date
A	Issued for Minor Variances	2023.08.15

145 Waverley Street  
APARTMENTS

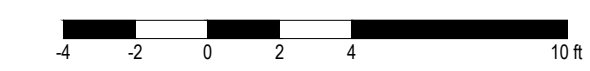
Drawing title

SITEPLAN

drawn by	P.A.
scale	3/16"=1'-0"
date	2023-10
project number	
drawing number	

A0.01 rev A

01 | SITEPLAN

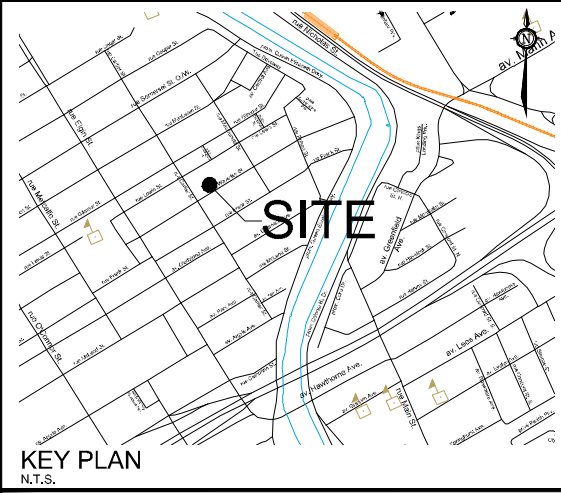
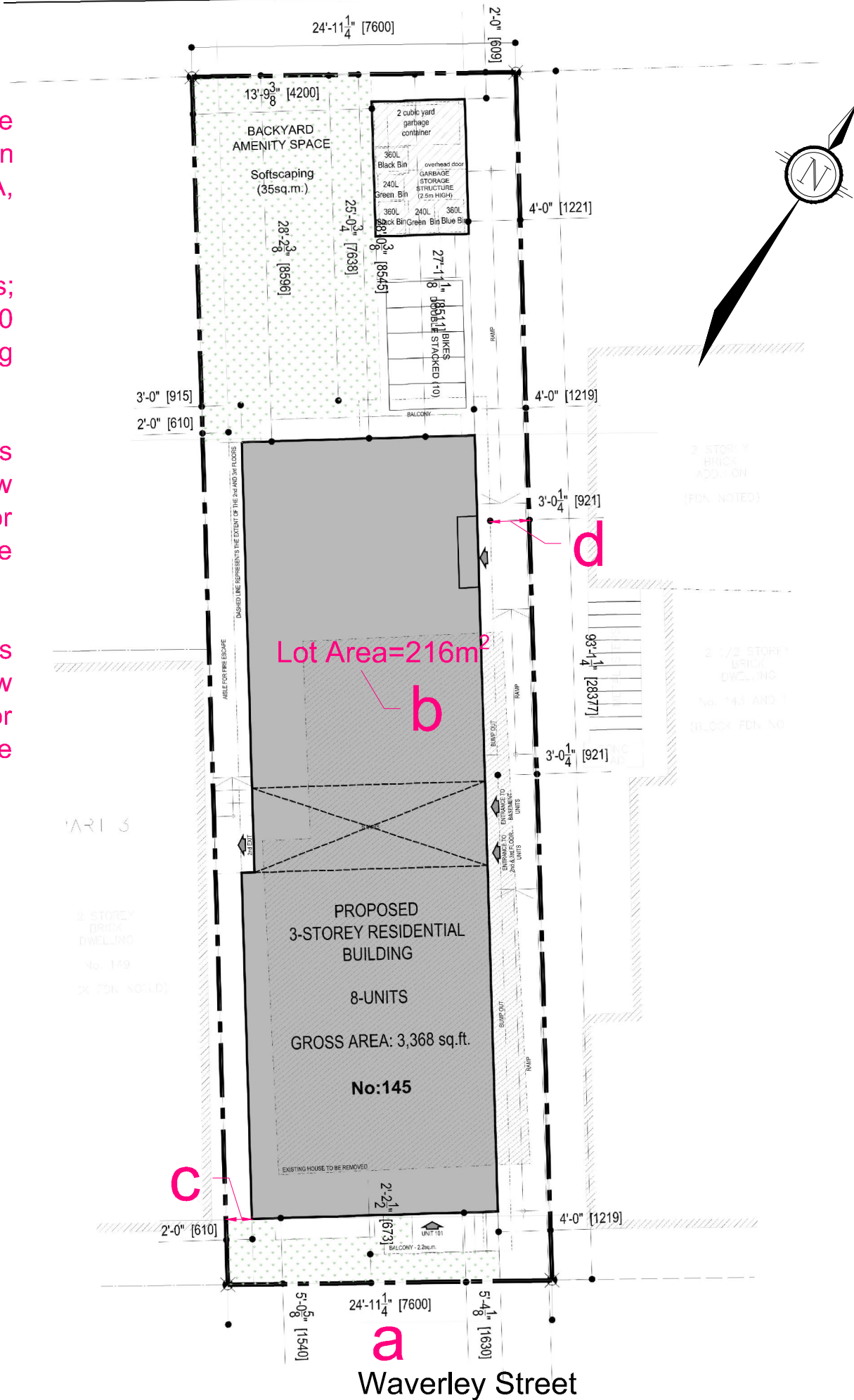


WAVERLEY STREET  
(Formerly CHARLES STREET PER REGISTERED PLAN 15558)

## Minor Variance Applications

- a) To permit a reduced lot width of 7.6 metres; whereas the By-law requires a minimum lot width of 10.0 metres for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UC, Column IV).
- b) To permit a reduced lot area of 216 square metres; whereas the By-law requires a minimum lot area of 300 square metres for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UC, Column V).
- c) To permit a reduced interior side yard setback of 0.6 metres on the west side of the Subject Site; whereas the By-law requires a minimum interior side yard setback of 1.5m for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UC, Column X).
- d) To permit a reduced interior side yard setback of 0.9 metres on the east side of the Subject Site; whereas the By-law requires a minimum interior side yard setback of 1.5m for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UC, Column X)

**Committee of Adjustment**  
 Received | Reçu le  
**Revised | Modifié le : 2024-01-16**  
 City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**



# MINOR VARIANCE APPLICATION

145 WAVERLEY STREET

PART OF LOT 52  
REGISTERED PLAN 15558  
CITY OF OTTAWA

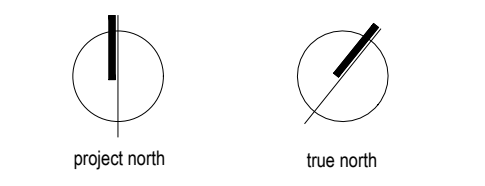
1 : 125

No.	REVISION	DATE	BY
1.	PREPARED FOR MINOR VARIANCE APPLICATION	JAN 08/24	JK

 Engineers, Planners & Landscape Architects Suite 200, 240 Michael Cowpland Drive Ottawa, Ontario, Canada K2M 1P6 Telephone: (613) 254-9643 Facsimile: (613) 254-5867 Website: www.novatech-eng.com	ISSUED
	JANUARY, 2024
	PROJECT No. 123146
	DRAWING No. 123146-MV



All drawings and related documents are the copyright of Muzaiko Architecture and must be returned upon request. Reproduction of drawings and related documents in part or whole is unlawful and forbidden without the written permission of Muzaiko Architecture.



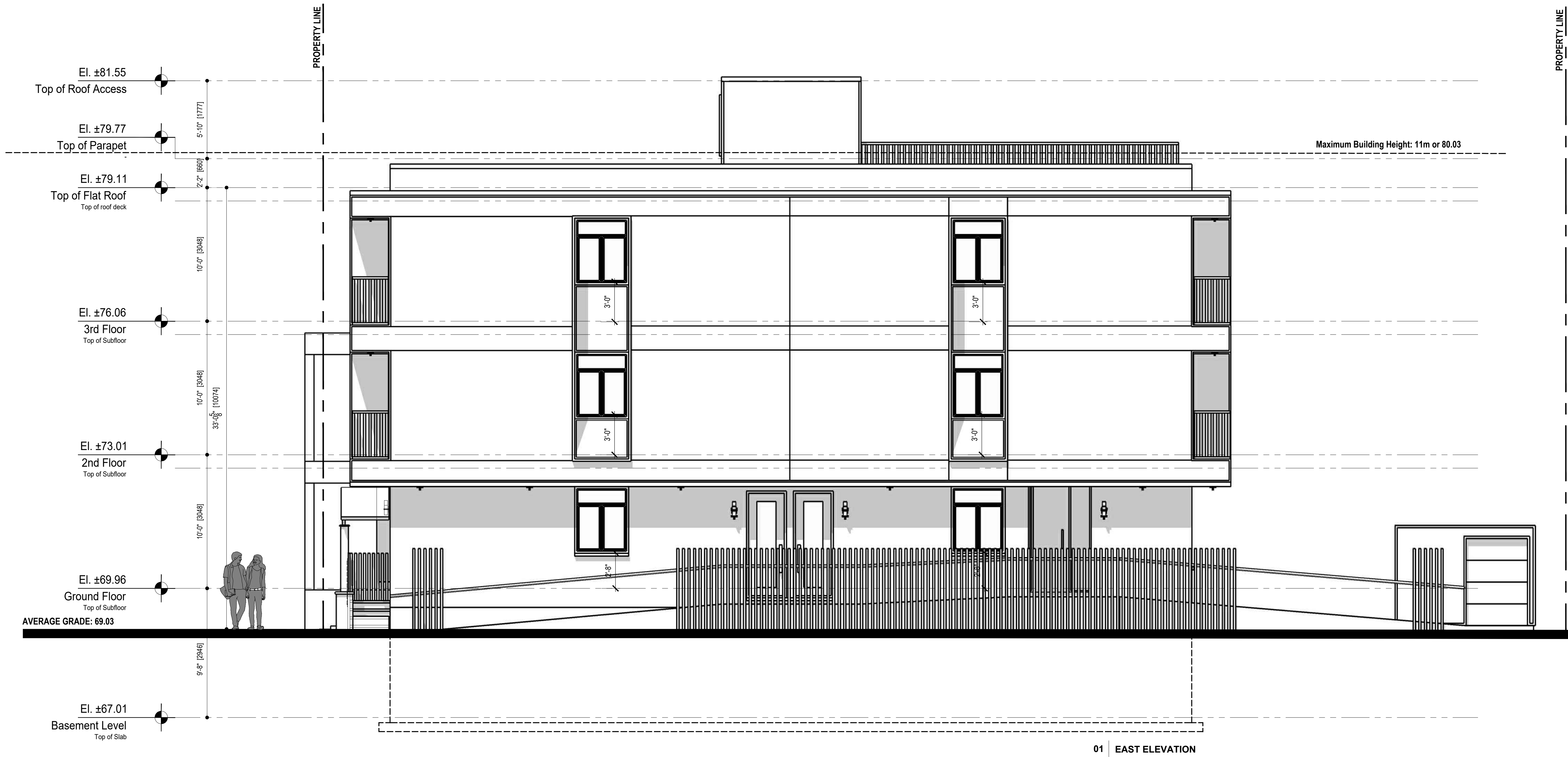
G		
F		
E		
D		
C		
B		
A	Issued for Minor Variances	2023.08.15
issue	description	date

**145 Waverly Street APARTMENTS**

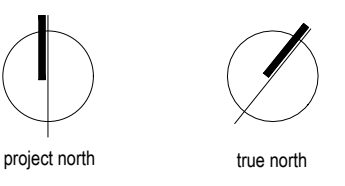
**ELEVATIONS**

drawn by	P.A.
scale	1/4"=1'-0"
date	2023-10
project number	
drawing number	

**A2.01** \_rev A



All drawings and related documents are the copyright of Muzaiko Architecture and must be returned upon request. Reproduction of drawings and related documents in part or whole is unlawful and forbidden without the written permission of Muzaiko Architecture.



G		
F		
E		
D		
C		
B		
A	Issued for Minor Variances	2023.08.15
issue	description	date

145 Waverly Street  
APARTMENTS

ELEVATIONS

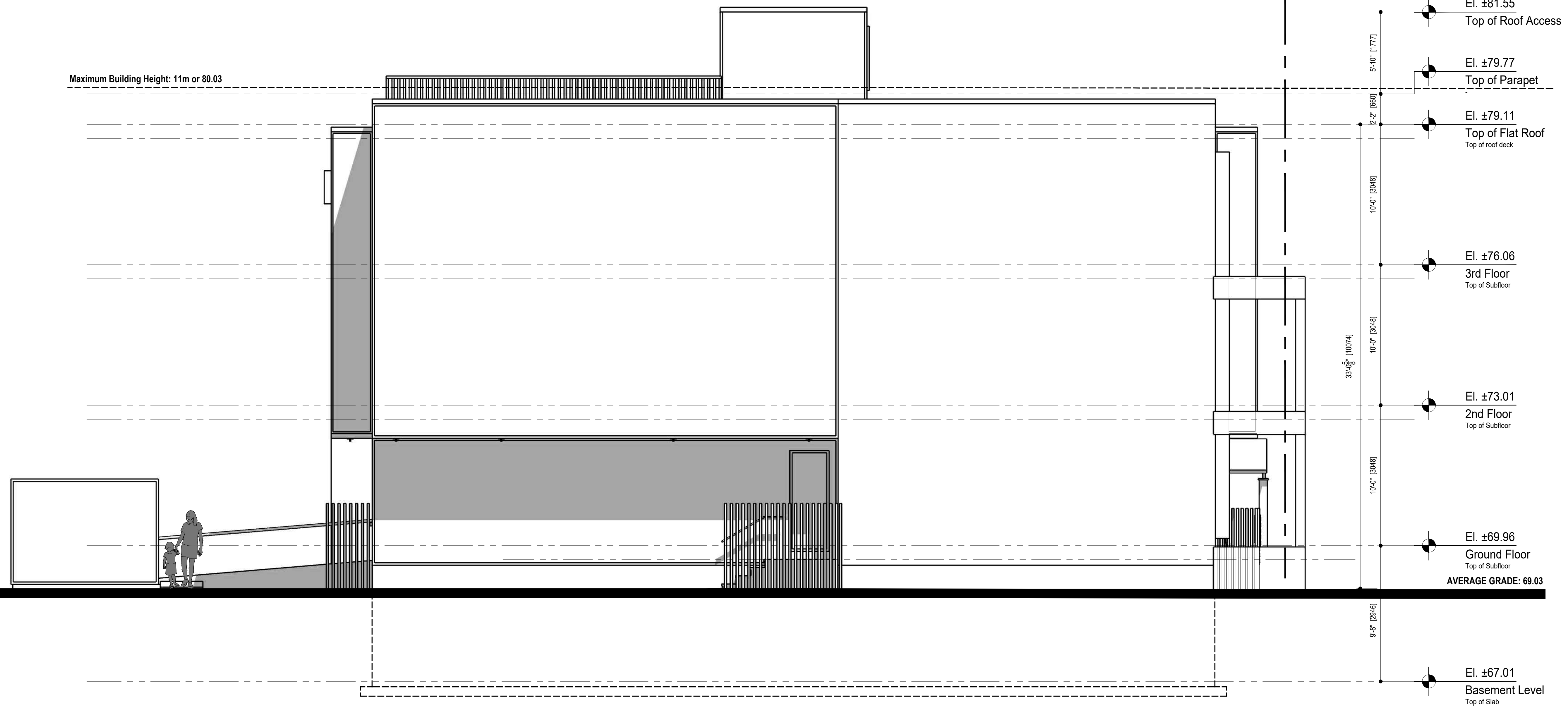
drawn by	P.A.
scale	1/4"=1'-0"
date	2018-03
project number	
drawing number	

A2.02 \_rev A

PROPERTY LINE

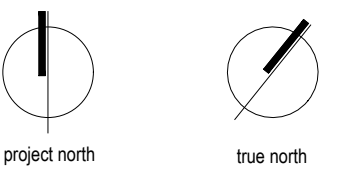
PROPERTY LINE

Maximum Building Height: 11m or 80.03



01 WEST ELEVATION

All drawings and related documents are the copyright of Muzaiko Architecture and must be returned upon request. Reproduction of drawings and related documents in part or whole is unlawful and forbidden without the written permission of Muzaiko Architecture.



issue	description	date
A	Issued for Minor Variances	2023.08.15

145 Waverly Street  
APARTMENTS

ELEVATIONS

drawn by	P.A.
scale	1/4"=1'-0"
date	2018-03
project number	-
drawing number	-

A2.03 \_rev A