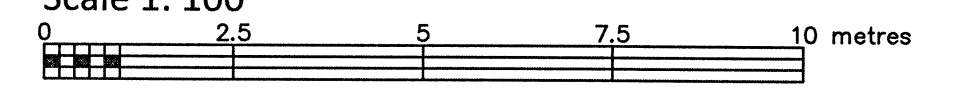


QUEEN MARY STREET

TOPOGRAPHIC PLAN OF SURVEY OF LOTS 654 AND 655 REGISTERED PLAN 342 CITY OF OTTAWA FARLEY, SMITH & DENIS SURVEYING LTD. 2022 Scale 1: 100



Metric Note Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99995.

Bearing Note Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 3°12'50" counter-clockwise was applied to bearings on P4.

For bearing comparisons, a rotation of 0°04'20" clockwise was applied to bearings on P2, P3 & P5.

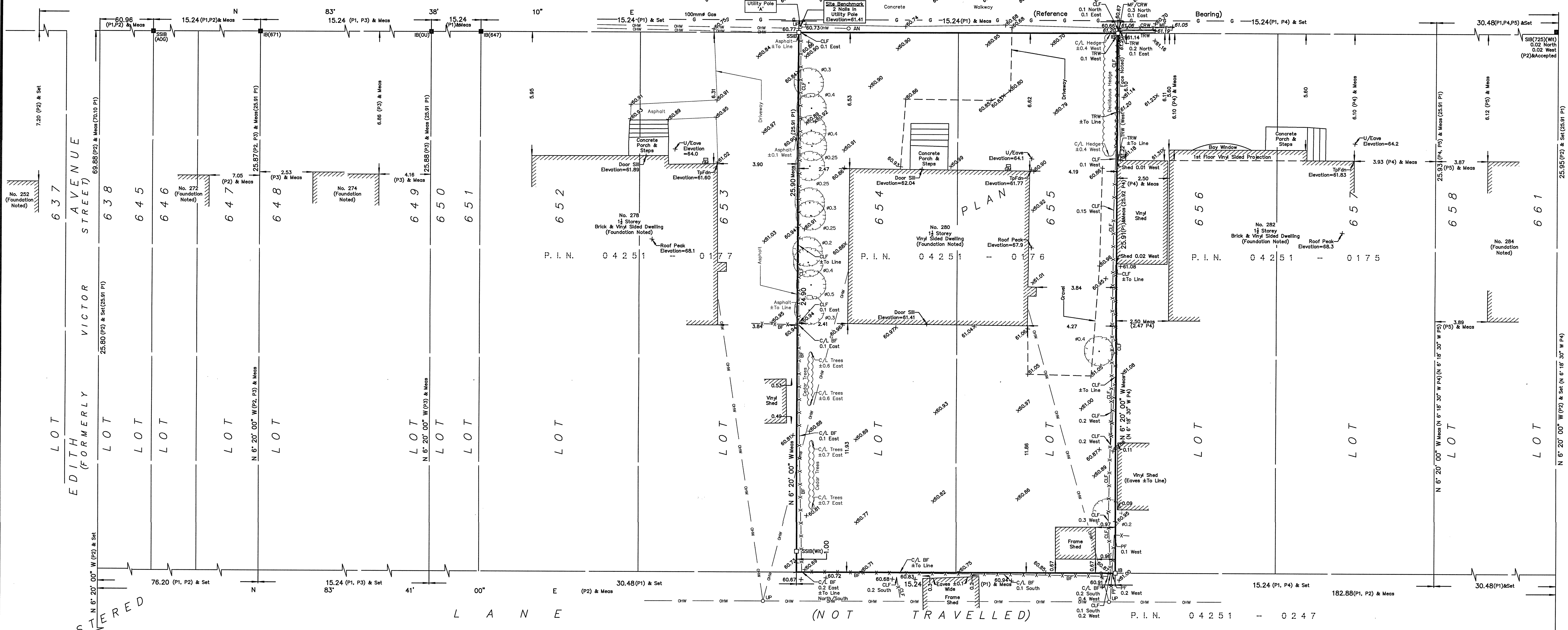
Elevation Notes 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978, (Monument No. 198434761) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: 6013p&P01, A9D-3, E-17-05 & E-17-12. 4. Sanitary and storm sewer grades and inverts were derived/compiled from: Field measurement, City of Ottawa 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

- Notes & Legend Denotes Survey Monument Planted, Survey Monument Found, Standard Iron Bar, Short Standard Iron Bar, Iron Bar, Witness, Origin Unknown, Measured, Registered Plan 342, Plan by (AOG) dated December 12, 2018 (Job No. 17880-18), Plan by (SC) dated May 27, 2021 (Proj. No. 161614356-110), Plan by (1319) dated June 5, 1986 (Ref. No. 2-342-C), Plan by (725) dated June 17, 1985 (Ref. No. 352-85), Maintenance Hole (Storm), Maintenance Hole (Sanitary), Underground Storm Sewer, Underground Sanitary Sewer, Underground Water, Underground Gas, Overhead Wires, Utility Pole, Anchor, Catch Basin, Gas Meter, Diameter, Chain Link Fence, Board Fence, Metal Fence, Plastic/Vinyl Fence, Concrete Retaining Wall, Timber Retaining Wall, Invert, Top of Pipe, Underside of Eave, Top of Foundation, Centreline, Location of Elevations, Top of Concrete Curb/Retaining Wall Elevation, Property Line, Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=394.8 sq.m.

Table with 3 columns: Overhead Wire Elevations at Utility Pole A, Top of Utility Pole = 72.06, Top Wire = 70.16, Bottom Wire = 69.90



REGISTERED LOT 762

PRINCE ALBERT STREET LOT 883B LOT 884

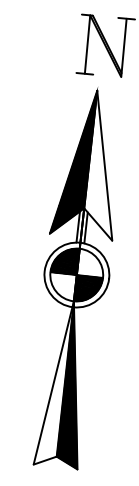
Committee of Adjustment Received | Reçu le 2023-08-15 City of Ottawa | Ville d'Ottawa Comité de dérogation

Surveyor's Certificate I certify that: 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 24th day of October, 2022. Date: Oct 28, 2022 Jamie Leslie Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-38775 FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL. (613) 727-8226 E-mail: fdsurveys@bellnet.ca

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2023-08-15  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

QUEEN MARY STREET

P. I. N. 0 4 2 5 1 - 0 2 4 8

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.  
DATE: \_\_\_\_\_  
DANIEL ROBINSON  
ONTARIO LAND SURVEYOR

PLAN 4R-  
RECEIVED AND DEPOSITED  
DATE: \_\_\_\_\_  
REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF  
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 654			143.3
2	PART OF 654 & PART OF 655	342	ALL OF 04251-0176	108.3
3	PART OF 655			107.0
4				36.3

PLAN OF SURVEY OF  
LOTS 654 AND 655  
REGISTERED PLAN 342  
CITY OF OTTAWA  
FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 100  
0 2.5 5 7.5 10 metres

Metric Note  
Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99995.

Bearing Note  
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 3°21'50" counter-clockwise was applied to bearings on P4.  
For bearing comparisons, a rotation of 0°04'20" clockwise was applied to bearings on P2, P3 & P5.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5032021.11	371004.21
(B)	5032029.55	371079.94
01919680105	5024915.16	373971.65
019198434761	5036178.12	372436.11

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- Notes & Legend
- Denotes Survey Monument Planted
  - Denotes Survey Monument Found
  - SIB Standard Iron Bar
  - SSIB Short Standard Iron Bar
  - IB Iron Bar
  - (Wit) Witness
  - (OU) Origin Unknown
  - Meas Measured
  - (P1) Registered Plan 342
  - (P2) Plan by (AGJ) dated December 12, 2018 (Job No. 17880-18)
  - (P3) Plan by (SGJ) dated May 27, 2021 (Proj. No. 161614356-110)
  - (P4) Plan by (1319) dated June 5, 1986 (Ref. No. 2-342-C)
  - (P5) Plan by (725) dated June 17, 1985 (Ref. No. 352-85)
  - (P6) Plan by (1692) dated October 28, 2022 (File No. 499-22)
  - OW Overhead Wires
  - UP Utility Pole
  - AN Anchor
  - Φ Diameter
  - CLF Chain Link Fence
  - BF Board Fence
  - MF Metal Fence
  - PF Plastic Vinyl Fence
  - CRW Concrete Retaining Wall
  - TRW Timber Retaining Wall
  - C/L Centreling
  - Property Line
  - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

This plan of survey relates to AOLS Plan Submission Form Number \_\_\_\_\_

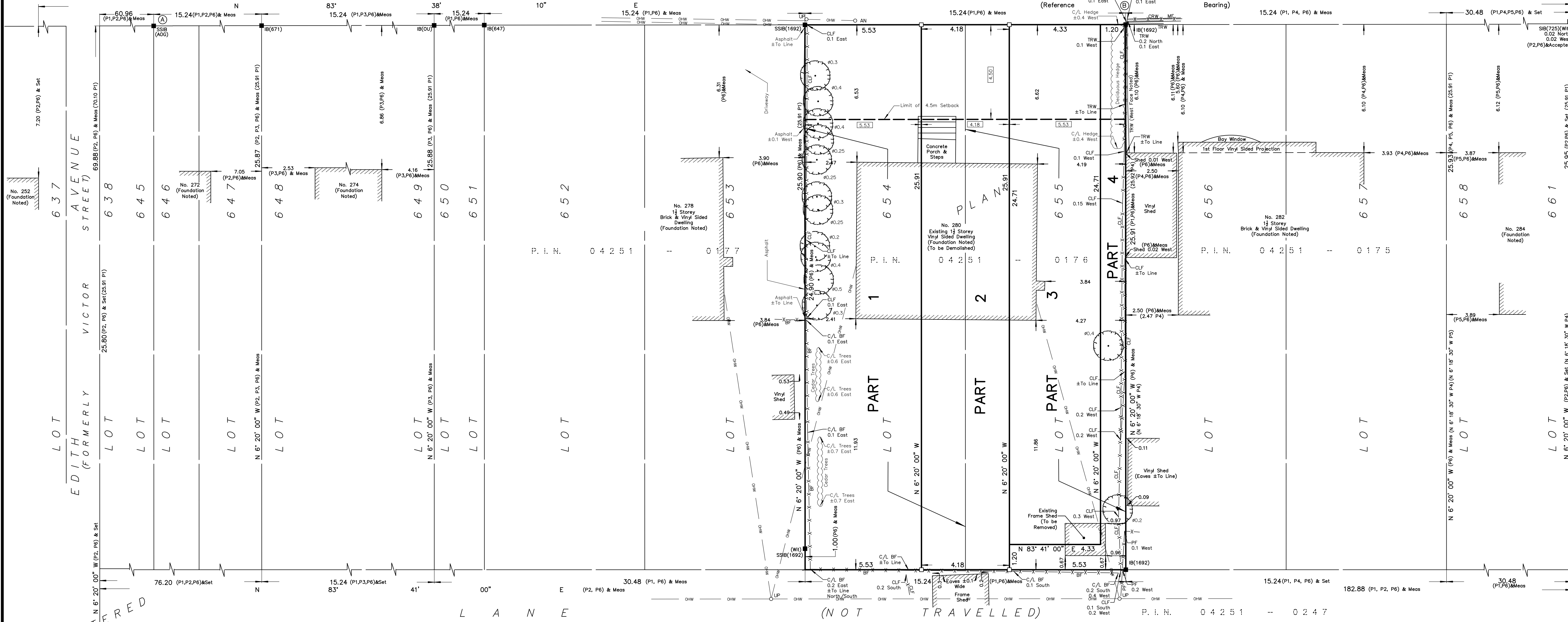
Surveyor's Certificate

I certify that:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveys Act and the Land Titles Act and the Regulations made under them.  
2. The survey was completed on the \_\_\_ day of \_\_\_\_\_, 2023.

Date \_\_\_\_\_ Daniel Robinson  
Ontario Land Surveyor

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS  
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca



PRINCE ALBERT STREET  
LOT 883B  
LOT 884



R4UC	width	area	height	FY	CY	RY	IY	notes
Townhouse	4.5	135	10	4.5	4.5	varies4	1.2	10,11, 12, 13

10 Where the building has a peaked roof having a slope of 1 in 3 (4/12 pitch) or steeper, the maximum building height is 11 m.

4 For lots located within S. 342 and whose rear lot line abuts an R1, R2, R3 or R4 zone, see Part V, Section 144 – Alternative Yard Setbacks for Low-rise Dwellings in the Greenbelt

(iii) greater than 25 metres 30 per cent of the lot depth



**Committee of Adjustment**  
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 2023-08-15  
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Scale

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CJ

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August 14, 2023

Rough Site

**A.01**



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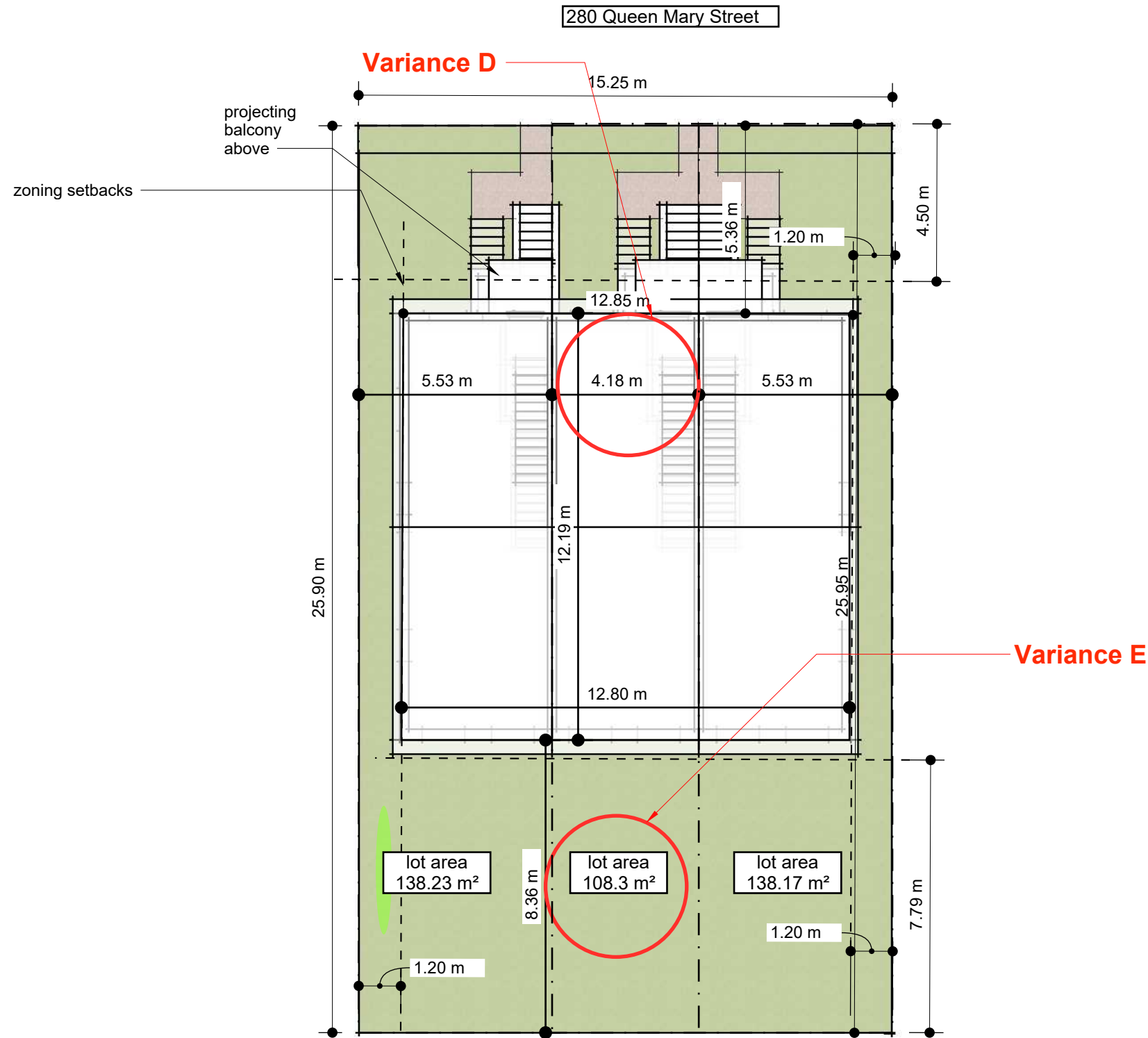
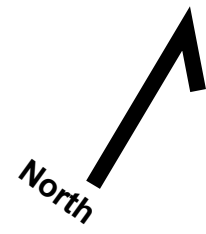
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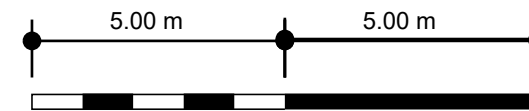
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Site Plan

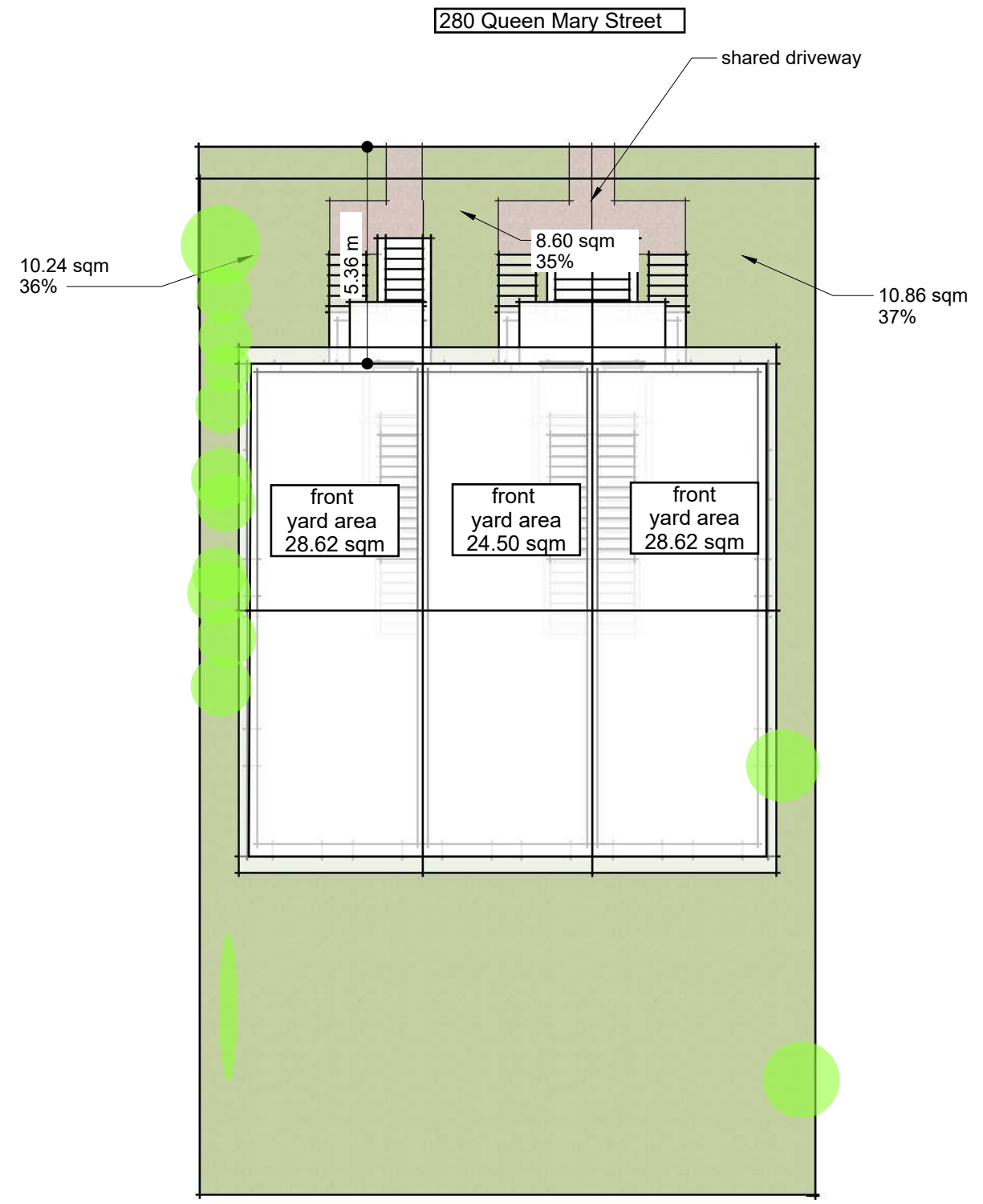
**A.02**



**For each Townhouse**  
**Variance A - permit multi front entrances**  
**Variance B - permit 2 secondary dwelling units**  
**Variance C - permit secondary dwelling units to be 55% gross floor area**



3 identical Townhouses  
 each townhouse  
 - 550 sqft per floor  
 - basement 1 bedroom, front entrance below grade  
 - 1st floor 1 bedroom, front entrance, rear yard  
 - 2cd and 3rd floor, 3 bedrm plus study (1100sqft 2 floors)  
 total gross floor area above grade 4,950 sqft,  
 1650 sqft finished basement



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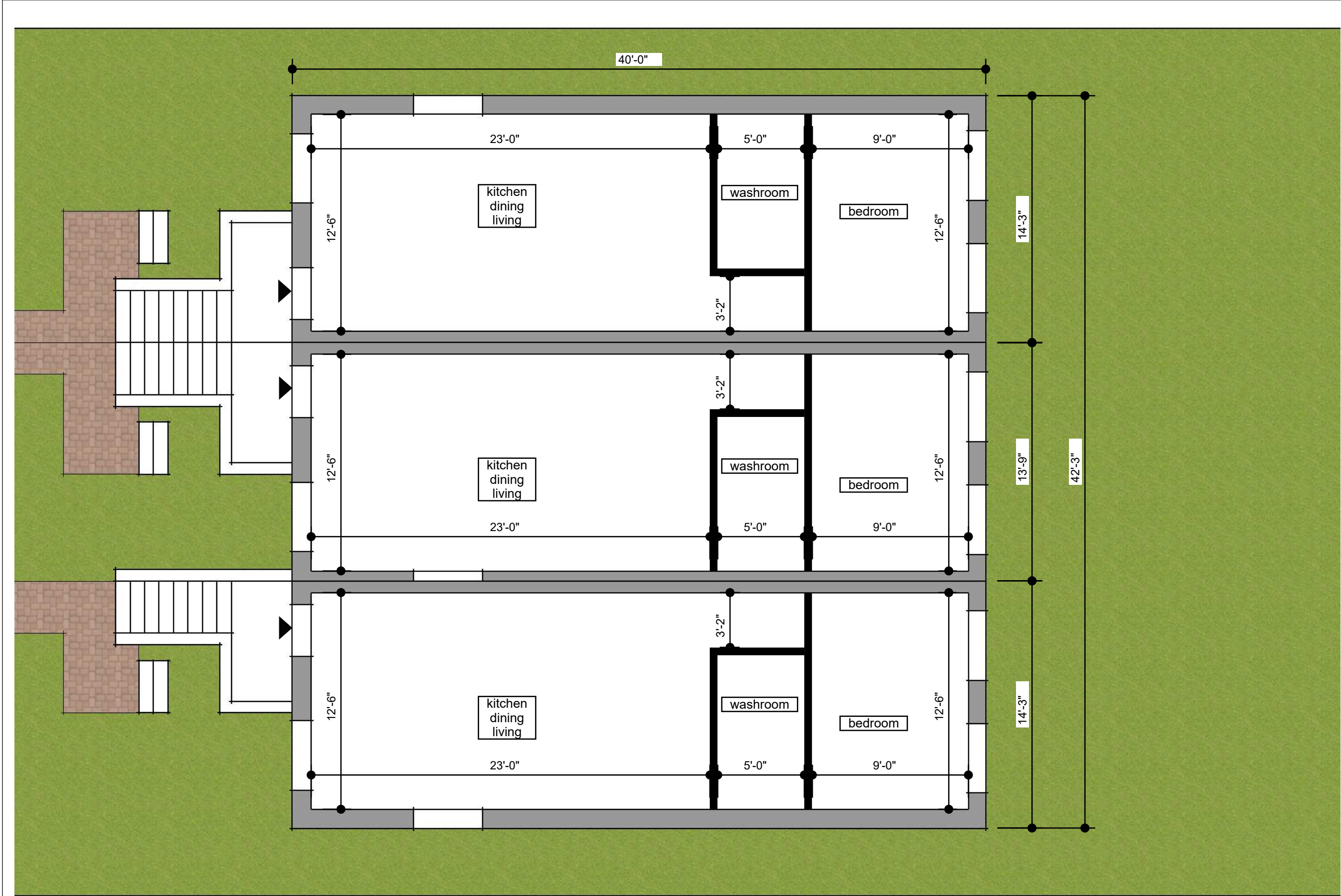
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August 14, 2023  
 Landscaping



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Basement Layout

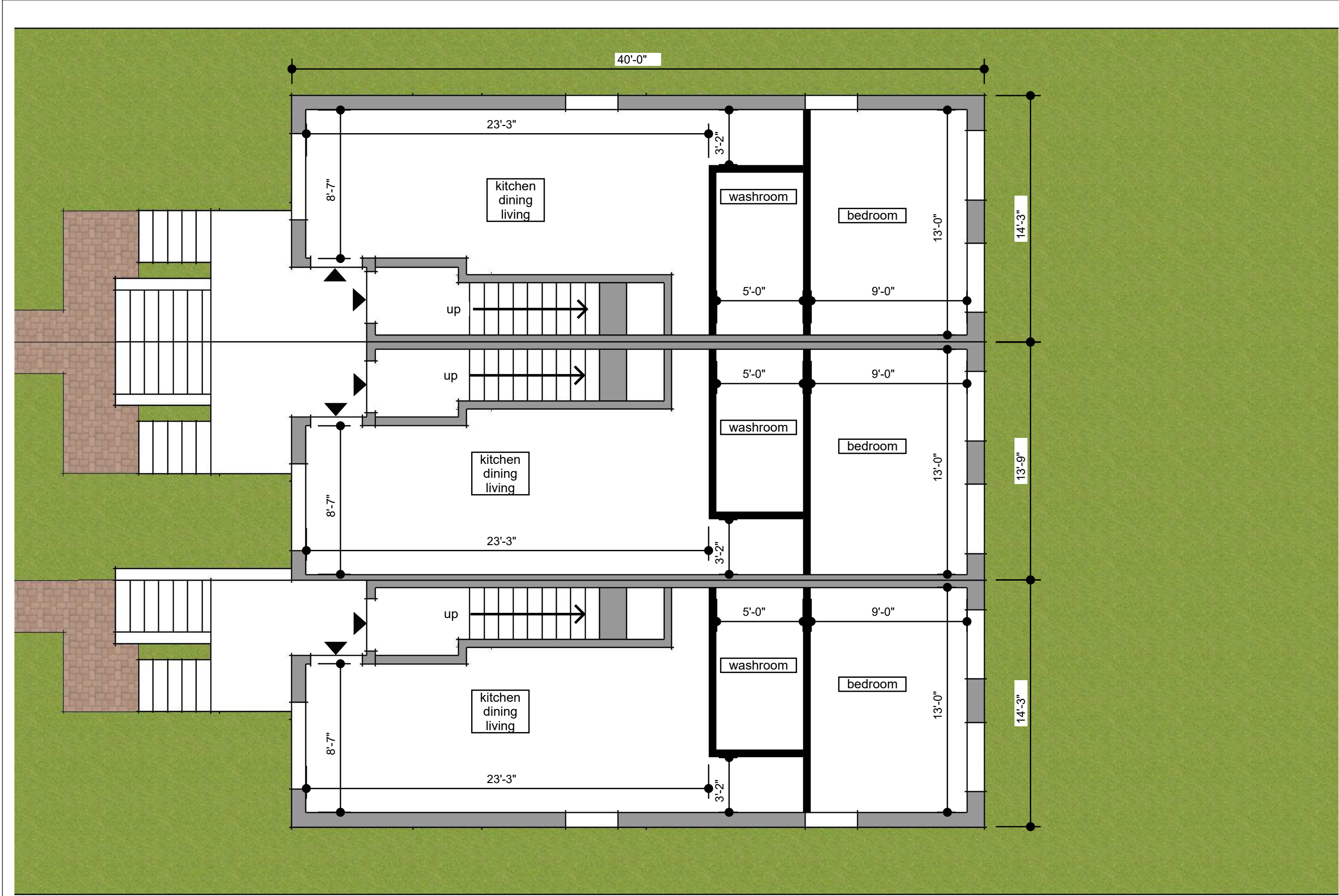
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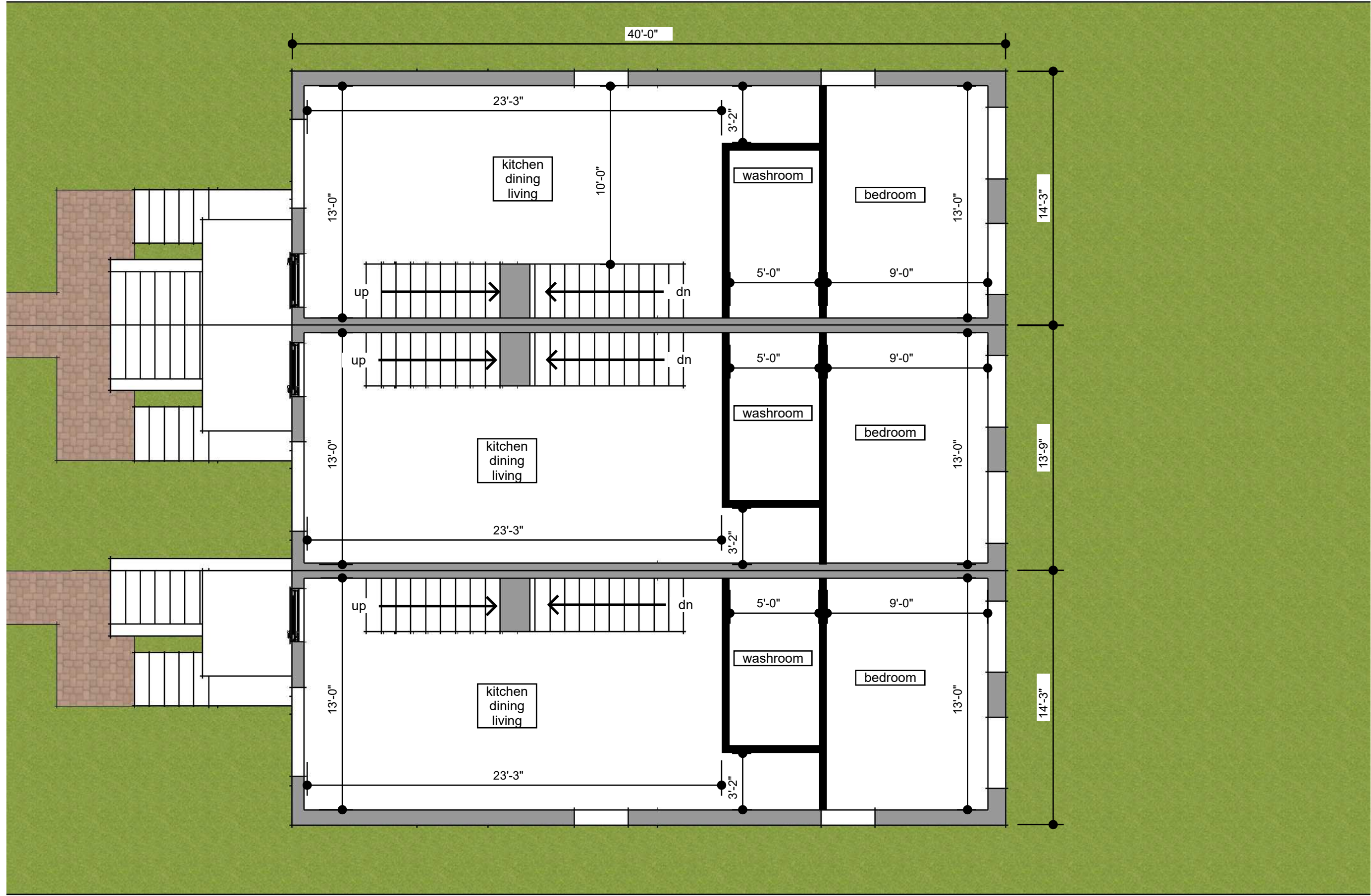
First Layout

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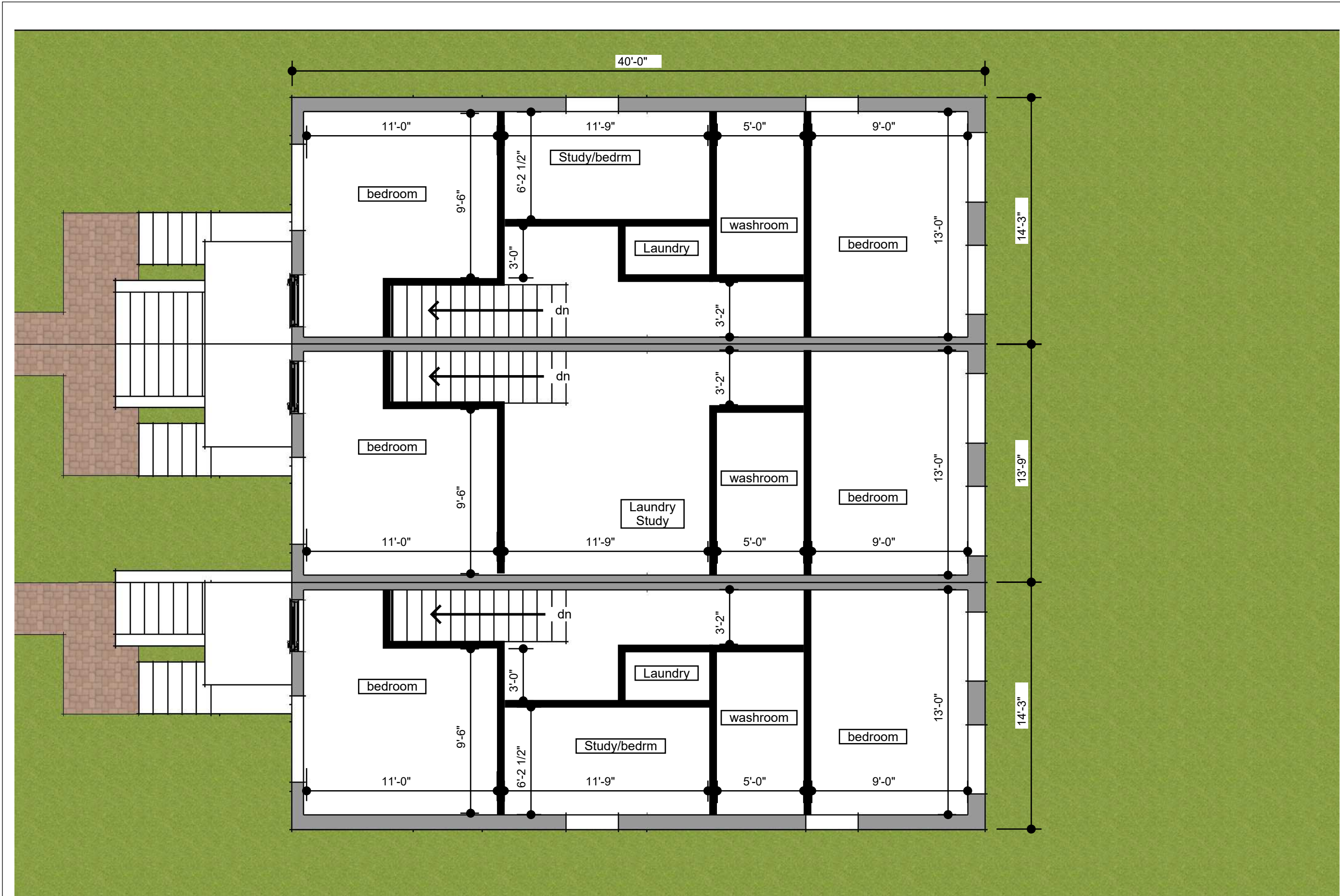
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Third Layout

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**August 14, 2023**  
**Street**

**A.08**





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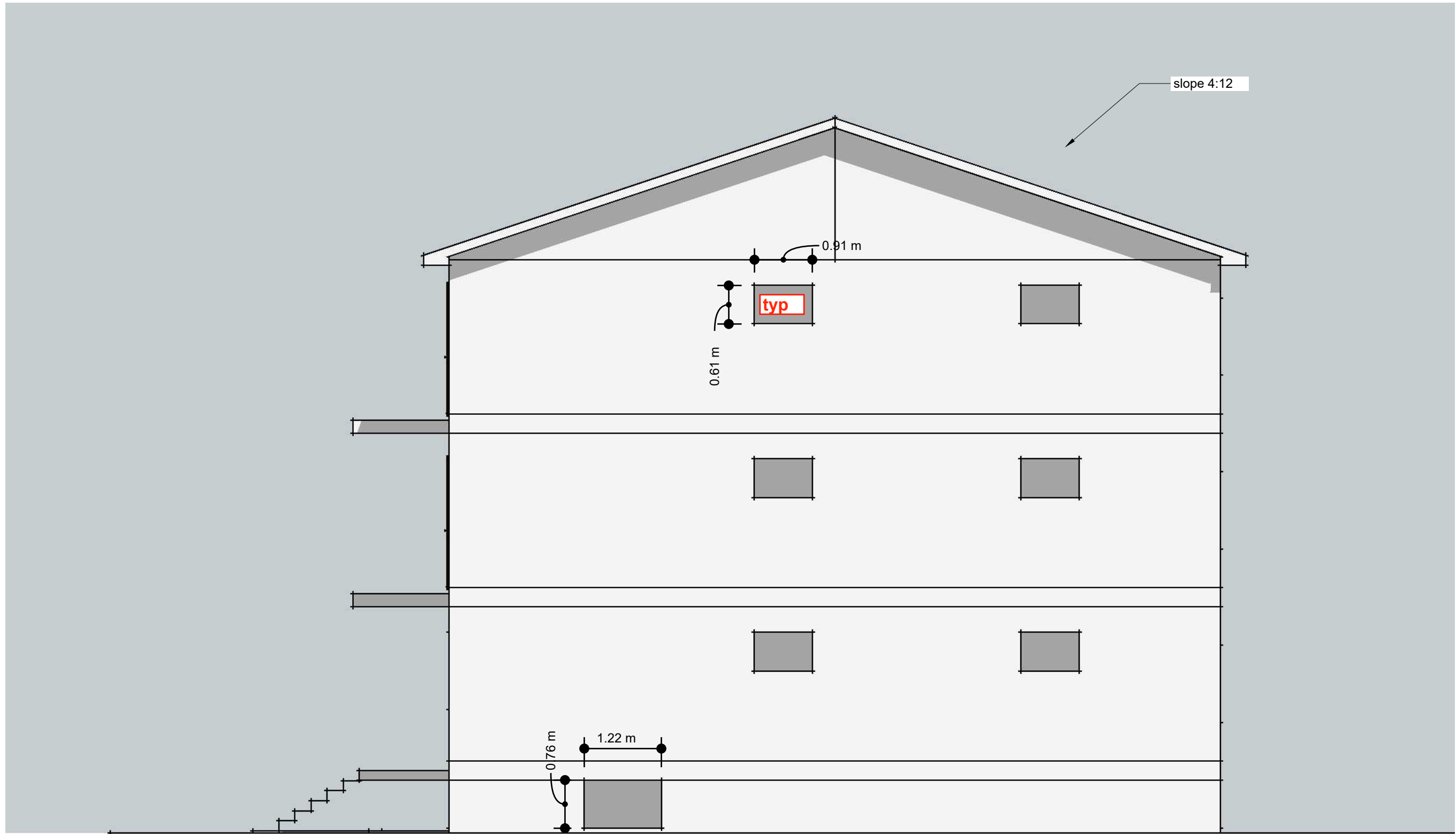
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2022 0000

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Right

**A.09**





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Rear

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Scale  
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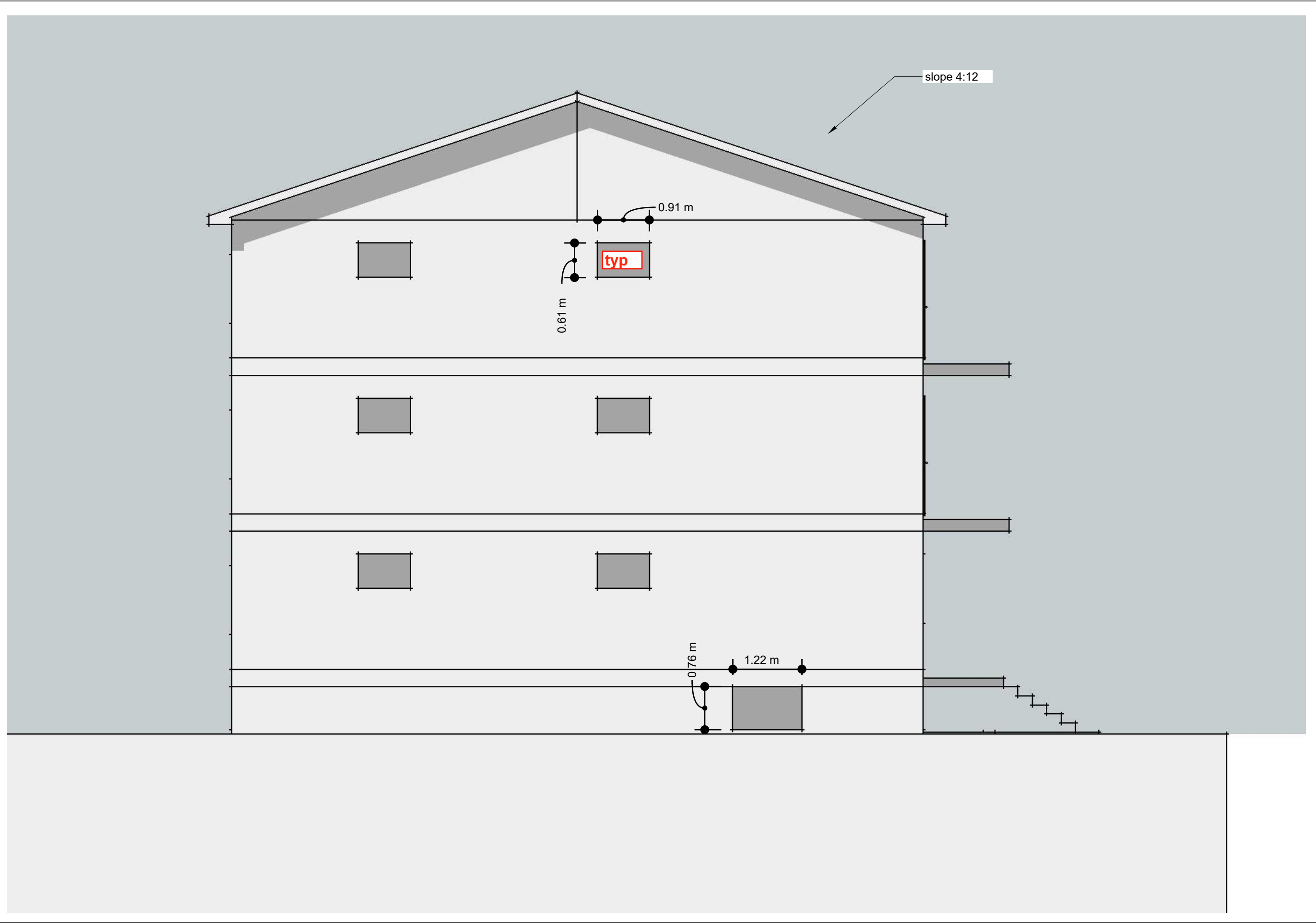
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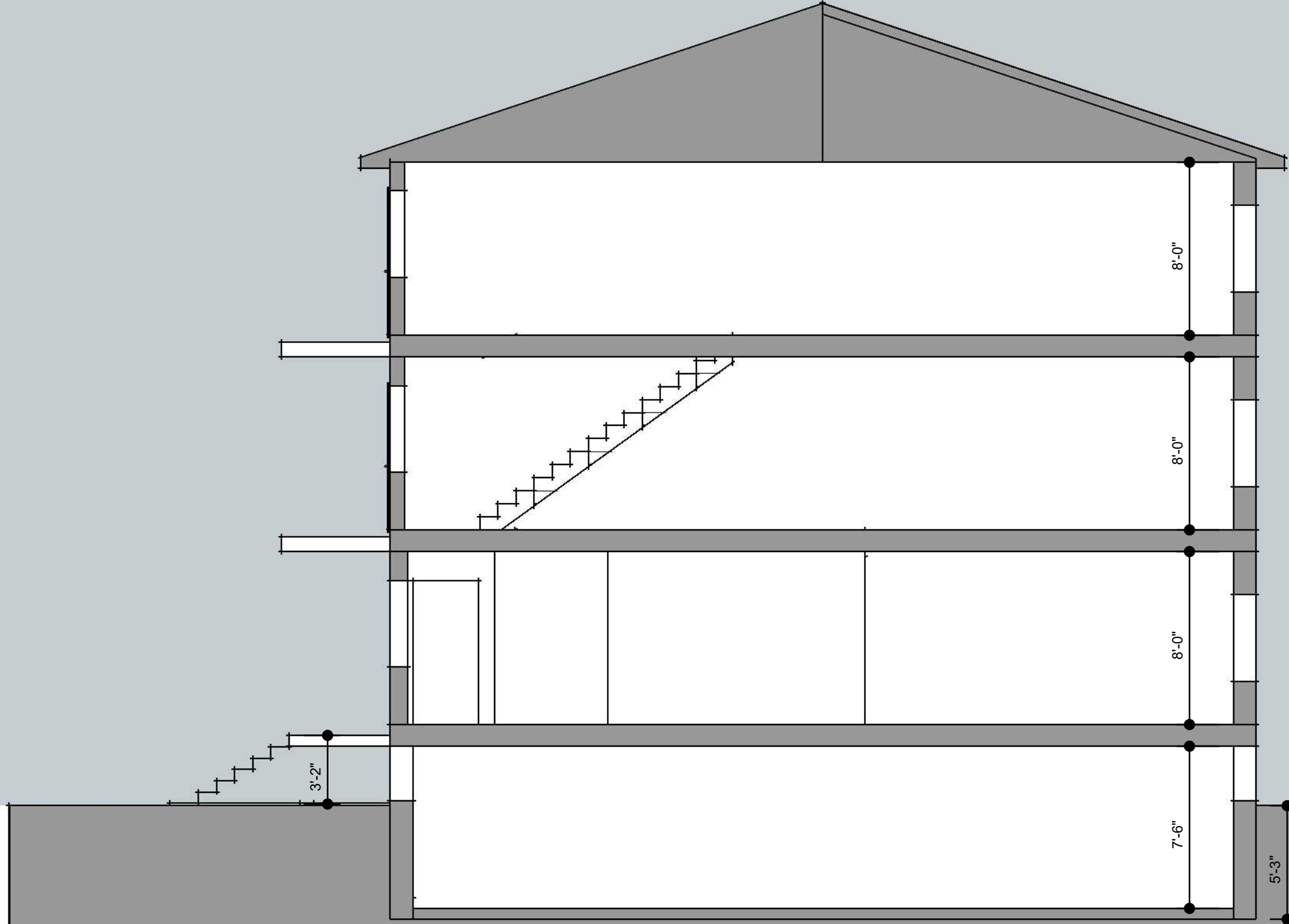
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Section Stairs

**A.12**





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Section Stairs

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2022 0000

Scale  
3/16" = 1'0"

