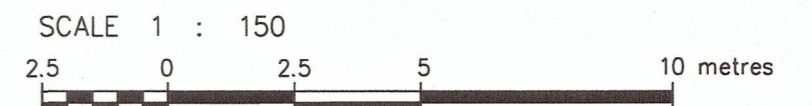


SURVEYOR'S REAL PROPERTY REPORT  
 PART 1 - PLAN SHOWING  
**LOT 71**  
 AND  
**PART OF LOT 70**  
 AND  
**PART OF THE REAR PASSAGE**  
 (LYING BETWEEN PERCY STREET AND LYON STREET)  
**REGISTERED PLAN 4M-19**

CITY OF OTTAWA  
 J.D. BARNES LIMITED  
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**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE MTM GRID AND ARE REFERRED TO THE NORTHERLY LIMIT OF POWELL AVENUE AS SHOWN ON PLAN 4R-33613, HAVING A BEARING OF N 59°08'00" E.

DISTANCES ARE GROUND.

COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

**PART 2 - SURVEY REPORT**

**- DESCRIPTION**  
 LOT 71 ON REGISTERED PLAN 4M-19 AND PART OF THE REAR PASSAGE (LYING BETWEEN PERCY STREET AND LYON STREET) BEING ALL OF PIN 04134-0277 (LT) AND PART OF LOT 70 ON REGISTERED PLAN 4M-19 AND PART OF THE REAR PASSAGE (LYING BETWEEN PERCY STREET AND LYON STREET) BEING ALL OF PIN 04134-0279 (LT), IN THE CITY OF OTTAWA

**- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY**  
 PIN 04134-0277 (LT) IS SUBJECT TO AN EASEMENT OVER PART 3, PLAN 4R-33613 AS IN INST. No. LT202187.

PIN 04134-0279 (LT) IS SUBJECT TO EASEMENTS OVER PART 4, PLAN 4R-33613 AS IN LT202187 AND OVER PART 5, PLAN 4R-33613 AS IN INST. No. LT925

**- BOUNDARY FEATURES**

NOTE LOCATION OF THE BOARD FENCE, THE OVERHEAD CABLES, THE OVERHANG, THE AIR CONDITIONER AND THE ASPHALT DRIVEWAY ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY.

NOTE LOCATION OF THE BOARD FENCE, THE TIMBER RETAINING WALL AND THE OVERHEAD CABLES ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY.

NOTE LOCATION OF THE METAL FENCE, THE STUCCO GARAGE AND OVERHANG, THE OVERHEAD CABLES AND THE PAVING STONES ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY.

NOTE LOCATION OF THE PAVING STONES ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY.

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
SSIB	DENOTES	SHORT STANDARD IRON BAR
PB	DENOTES	PLASTIC BAR
CC	DENOTES	CUT CROSS
CPW	DENOTES	CONCRETE PIN AND WASHER
MEAS	DENOTES	MEASURED
Acc.	DENOTES	ACCEPTED
No.	DENOTES	NUMBER
WIT	DENOTES	WITNESS
RP	DENOTES	REGISTERED PLAN 4M-19
P1	DENOTES	PLAN 4R-2990
P2	DENOTES	PLAN 4R-17768
P3	DENOTES	PLAN 4R-33613
JDB	DENOTES	J.D. BARNES LTD.
857	DENOTES	FAIRHALL, MOFFATT & WOODLAND LTD.
INST	DENOTES	INSTRUMENT
BF	DENOTES	BOARD FENCE
MF	DENOTES	METAL FENCE
TRW	DENOTES	TIMBER RETAINING WALL
EA	DENOTES	EDGE OF ASPHALT
PS	DENOTES	PAVING STONE
AC	DENOTES	AIR CONDITIONER
OH	DENOTES	OVERHANG
PIN	DENOTES	PROPERTY IDENTIFICATION NUMBER
-OC-	DENOTES	OVERHEAD CABLE

N=NORTH / S=SOUTH / E=EAST / W=WEST

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON DECEMBER 8, 2020.

JULY 20, 2021  
 DATE

*George Zervos*  
 GEORGE ZERVOS  
 ONTARIO LAND SURVEYOR

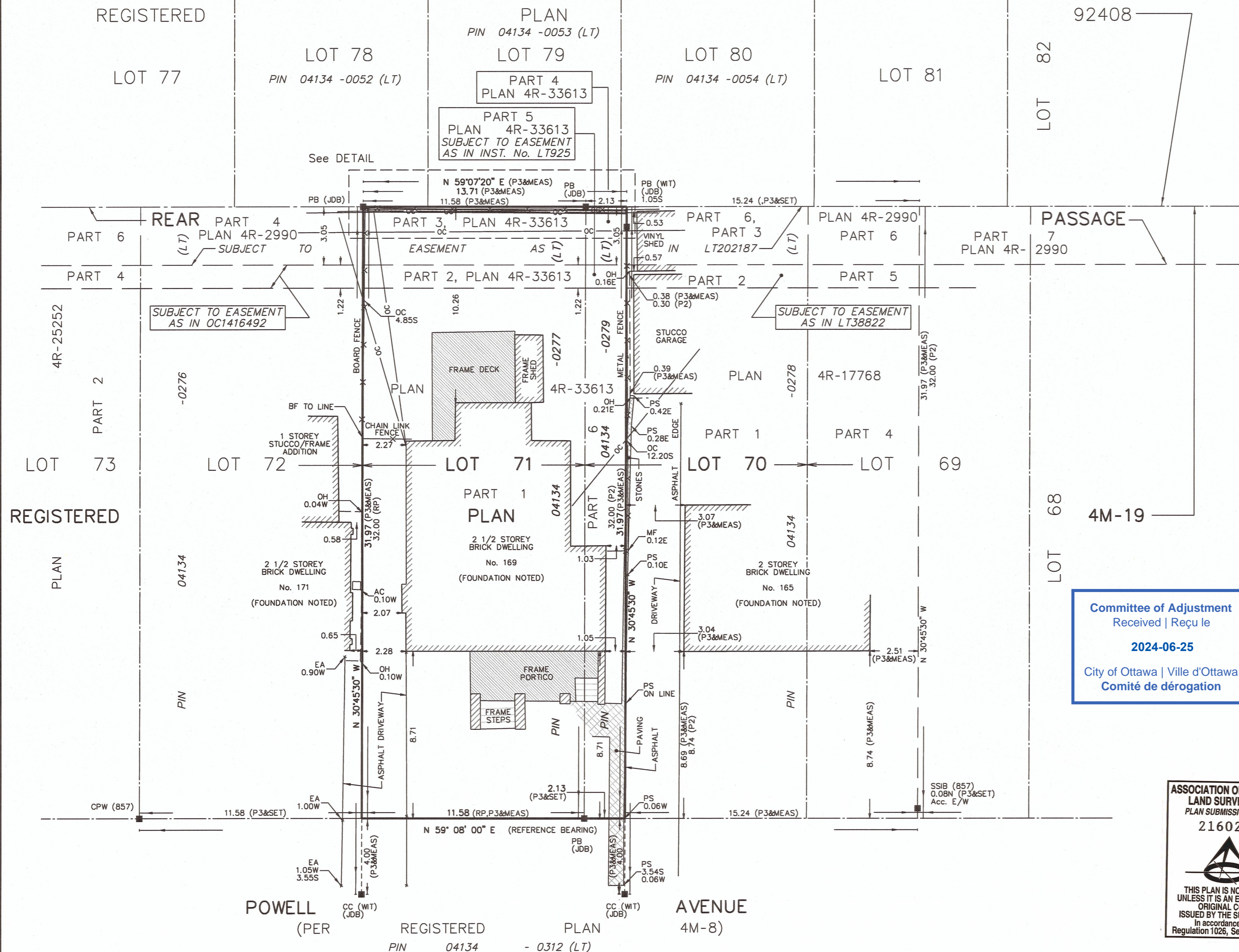
ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 2160234

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

J.D. BARNES LIMITED  
 SURVEYING MAPPING GIS  
 LAND INFORMATION SPECIALISTS  
 62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9  
 T: (613) 751-7264 F: (613) 254-8659 www.jdbarnes.com

RP	DRAWN
CZ	CHECKED
07/20/21	DATED
20-10-181-00	Ref. No.

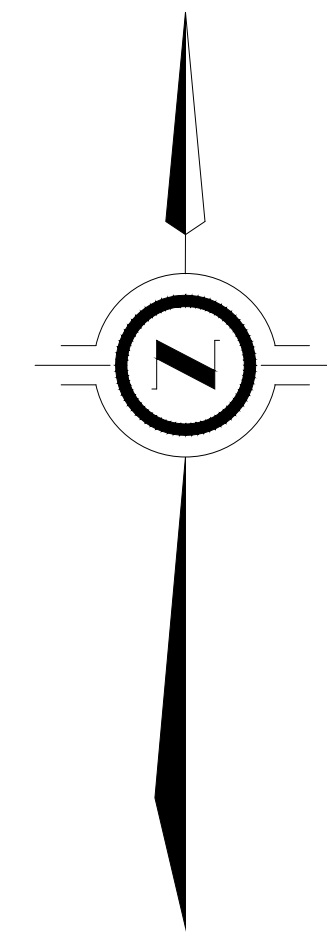
PREPARED FOR: PATRICK SZLANTA



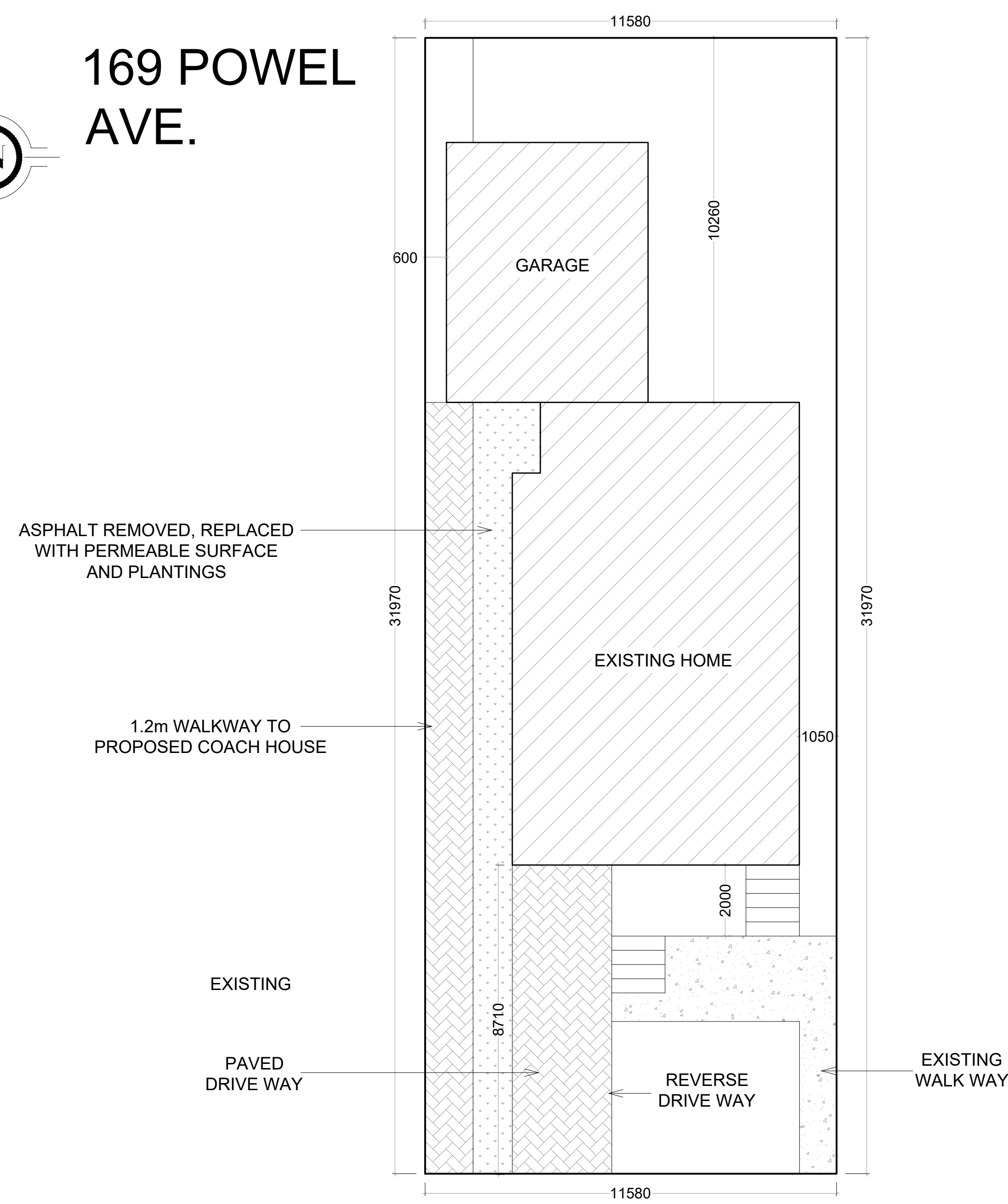
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Committee of Adjustment  
 Received | Reçu le  
**2024-06-25**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



169 POWEL  
 AVE.



**SITE PLAN**  
 SCALE 1:100 @ ARCH D (914mm x610mm)

**GENERAL NOTES:**

1.

7			
6			
5			
4			
3			
2			
1			

REV.	DESCRIPTION:	BY:	DATE:
------	--------------	-----	-------

STATUS:  
**CONSTRUCTION ISSUE**

DESIGNED BY:

PROJECT ADDRESS:

CLIENT:

ARCHITECT:

DRAWING TITLE:

**SITE/ SURVEY PLAN**

SCALE: AS SHOWN	DATE:	DRAWN:	CHECKED:
PROJECT NO.	DRAWING NO:	REVISION:	
		<b>A01</b>	



**PROPOSED FRONT ELEVATION**

SCALE 1:30 @ @ ARCH D (914mm x610mm)

**GENERAL NOTES:**

1.

7			
6			
5			
4			
3			
2			
1			

REV. DESCRIPTION: BY: DATE:

STATUS:

**CONSTRUCTION ISSUE**

DESIGNED BY:

PROJECT ADDRESS:

CLIENT:

ARCHITECT:

DRAWING TITLE:

**PROPOSED FRONT ELEVATION**

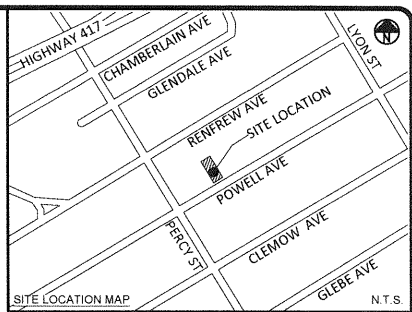
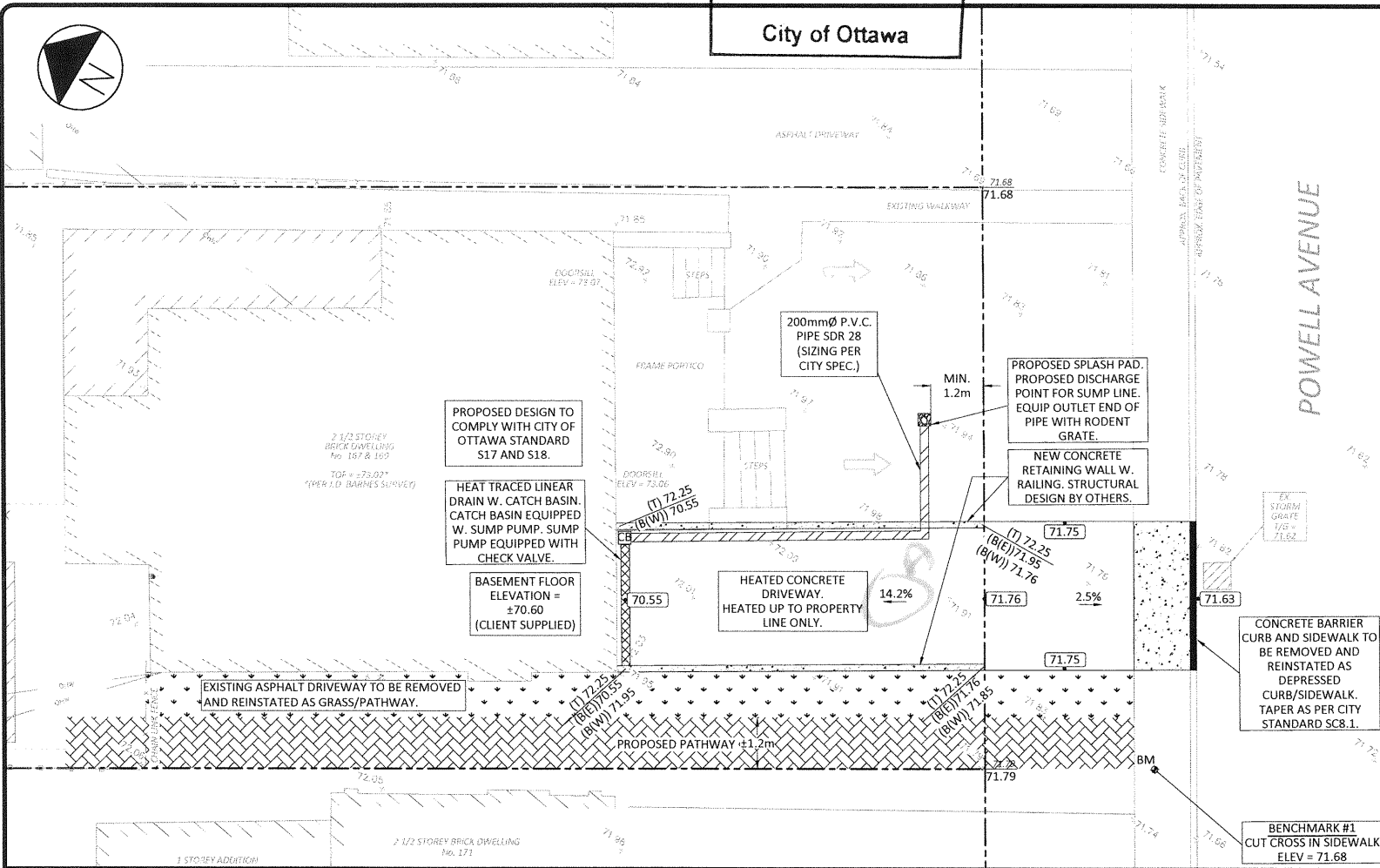
SCALE: AS SHOWN DATE: DRAWN: CHECKED:

PROJECT NO. DRAWING NO. REVISION:

**A02**

JUN 24 2024

City of Ottawa



SITE LOCATION MAP  
SCALE BAR 0 2 4m  
ALL DIMENSIONS ARE IN METRES. DO NOT SCALE DRAWING  
PAGE SIZE 11" x 17" SCALE 1:100

SHADE GROUP INC.  
4625 MARCH ROAD  
ALMONTE, ONTARIO  
K0A 1A0  
t: 613-889-9733 e: monica@shadegroup.ca  
**SHADE GROUP**

LEGEND

---	PROPERTY LINE
- - - -	EX. EDGE OF ASPHALT
- - - -	EX. FENCE LINE
- - - -	EX. BOARD FENCE
- - - -	EX. OVERHEAD UTILITIES
- - - -	EX. STRUCTURE
•	EX. SPOT ELEVATION
○	EX. UTILITY POLE
→	EX. OVERLAND FLOW ROUTE
---	EXISTING PROPOSED PROPERTY LINE ELEVATION
---	EXISTING PROPOSED DESIGN GRADE POINT
---	OVERLAND FLOW, SLOPE AND DIRECTION
(T) 72.25	RETAINING WALL ELEVATIONS
(B(E)) 71.76	(T) - TOP; (B(E)) - BOTTOM, EAST SIDE;
(B(W)) 71.85	(B(W)) - BOTTOM, WEST SIDE

01	REVISED PER CITY COMMENTS	APRIL 08, 2024
00	ISSUED TO CLIENT	MARCH 15, 2024
REV.	DESCRIPTION	DATE



CUSTOMER	PATRICK SZLANTA
PROJECT ADDRESS	169 POWELL AVE OTTAWA, ON K1S 2A2
PROJECT TITLE	PROPOSED SUB-GRADE ENTRANCE/DRIVEWAY
DRAWING TITLE	GRADING AND DRAINAGE PLAN

GENERAL NOTES

- ALL TOPOGRAPHY, GROUND ELEVATIONS AND SURVEY DATA ARE SHOWN FOR INFORMATION PURPOSES ONLY AND IMPLY NO GUARANTEE OF ACCURACY. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THIS PLAN HAS BEEN PREPARED IN REFERENCE TO THE SURVEYOR'S REAL PROPERTY REPORT PART 1 - PLAN SHOWING LOT 71 AND PART OF LOT 80 AND PART OF THE REAR PASSAGE - REGISTERED PLAN 4M-19 DATED JULY 20, 2021, WHICH REFERS TO PLAN 4R-33613 DATED JANUARY 20, 2021. BOTH PREPARED BY J.D. BARNES LIMITED.
- TOPOGRAPHIC INFORMATION WAS SUPPLIED BY J.D. BARNES VIA EMAIL ON 2023/06/06. ADDITIONAL TOPOGRAPHIC INFORMATION WAS COLLECTED BY SHADE GROUP INC. ON MARCH 6, 2024, USING A SPECTRA SP60 GNSS RECEIVER.
- THIS PLAN HAS BEEN PREPARED IN REFERENCE TO INFORMATION PROVIDED BY THE OWNER. THIS IS NOT A SITE PLAN.
- THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.
- LAYOUT BY OTHERS.
- THIS PLAN HAS BEEN PROVIDED IN SUPPORT OF A PERMIT FOR THE WORKS SHOWN HEREIN. IT HAS NOT BEEN PREPARED TO ADDRESS ANY PRE-EXISTING ON-SITE OR OFF-SITE DRAINAGE CONCERNS, IF APPLICABLE.

- COMPILED DATA IS LIMITED TO APPLICABILITY AS IT RELATES TO THE PROPOSED PERMIT APPLICATION.
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- RETAINING WALL DESIGN BY OTHERS.
- CONTRACTOR TO FIELD FIT TERMINATION POINTS OF RETAINING WALL. RETAINING WALL TO BE MIN. 0.3m ABOVE SURROUNDING GRADE.
- CONCRETE HEATED DRIVEWAY DESIGN BY OTHERS.
- GIVEN OTTAWA'S COMPLEX WEATHER CONDITIONS, SHADE GROUP CANNOT GUARANTEE THE SUCCESS OF SUBGRADE ENTRANCES FROM A DRAINAGE PERSPECTIVE. INDUSTRY RECOMMENDED PRACTICES HAVE BEEN PROPOSED FOR THE MANAGEMENT OF RUNOFF, HOWEVER IN LARGE STORM EVENTS, OR SIGNIFICANT SNOWFALL/SNOWMELT EVENTS, RUNOFF MAY STILL ENTER THE SUBGRADE ENTRANCE. INSTALLATION OF PROPER DOOR SEALS AND CONTINUED ON-GOING MAINTENANCE OF THE SUMP PUMP, CATCH BASIN, AND LINEAR DRAIN WILL BE PERTINENT TO THE SUCCESS OF THE PROPOSED WORKS.
- ANY CHANGES MADE TO THIS PLAN ARE TO BE VERIFIED AND APPROVED BY SHADE GROUP INC.
- SHADE GROUP INC. CANNOT WARRANTY OR GUARANTEE WORKS INSTALLED BY OTHERS AND NOT OVERSEEN BY SHADE GROUP INC.