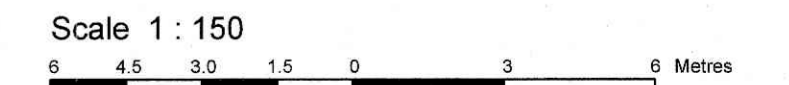


LOT 42 (EAST EDISON AVENUE) REGISTERED PLAN 204 CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.



Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT: 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them. 2. The survey was completed on the 9th day of February, 2024.

March 11, 2024 Date T. Harwick Ontario Land Surveyor

Notes & Legend

- Denotes Survey Monument Planted, Survey Monument Found, SIB Standard Iron Bar, SSIB Short Standard Iron Bar, IB Iron Bar, (WIT) Witness, Meas. Measured, (AOG) Annis, O'Sullivan, Vollebek Ltd., (P1) Registered Plan 204, (P2) (AOG) Plan dated November 15, 1991, (P3) (1992) Plan dated January 7, 2019, (P4) (847) Plan dated June 16, 1972, (P5) (857) Plan dated September 10, 2010, (P6) (MMM) Plan dated April 15, 2011, (P7) (AOG) Plan dated July 21, 2021, (P8) Plan 4R-27571, (N1) (847) Field Notes dated June 14, 1972 Ref. 21-204, (N2) (AOG) Field Notes dated October 15, 1991 Ref. 204-25, CLF Chain Link Fence, BF Board Fence, MF Metal Fence, TWSI Tactile Walking Surface Indicator, C/L Centreline, T/G Top of Grate, CB Catch Basin, CBI Catch Basin - Inlet, MH-ST Maintenance Hole (Storm Sewer), MH-S Maintenance Hole (Sanitary), W Water Valve, FH Fire Hydrant, OHW Overhead Wires, UP Utility Pole, GM Gas Meter, HM Hydro Meter, S Sign, AC Air Conditioner, Shrub, Deciduous Tree, Coniferous Tree, Diameter, Location of Elevations, Location of Top of Curb Elevations

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-69228 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1028, Section 29 (3).

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°31'40" counter-clockwise was applied to bearings on plans (P1) and (P2), a rotation of 0°00'55" counter-clockwise was applied to bearings on plan (P3), and a rotation of 0°00'25" clockwise was applied to bearings on plan (P8).

ELEVATION NOTES

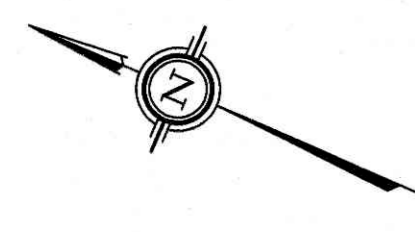
- 1. Elevations shown are geodetic, derived from City of Ottawa Vertical Control Monument No. N-10 (Index No. 80), having an elevation of 80.081, and are referred to the CGVD28 geodetic datum. 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

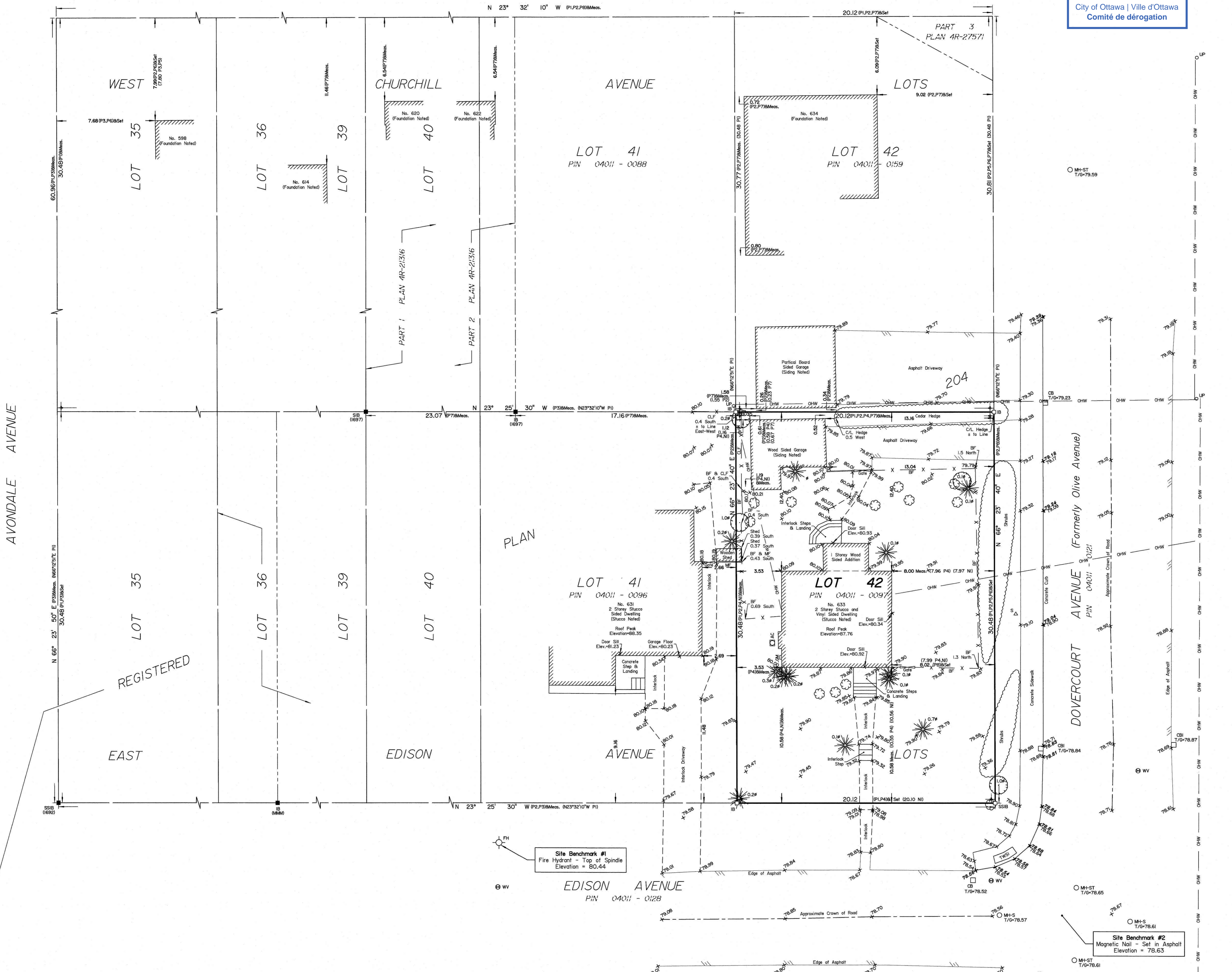
Topographic data was collected under Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

© Annis, O'Sullivan, Vollebek Ltd. 2024. THIS PLAN IS PROTECTED BY COPYRIGHT! ANNIS, O'SULLIVAN, VOLLEBEK LTD. 14 Concourse Gate, Suite 500 Nepean, Ont. K2E 7S6 Phone: (613) 727-0950 / Fax: (613) 727-1079 Email: nepean@ovltd.com Job No. 24149-24, Sht. L42, RP204 D.F.



CHURCHILL AVENUE NORTH (Formerly MAIN STREET)

Committee of Adjustment Received | Reçu le 2024-06-24 City of Ottawa | Ville d'Ottawa Comité de dérogation

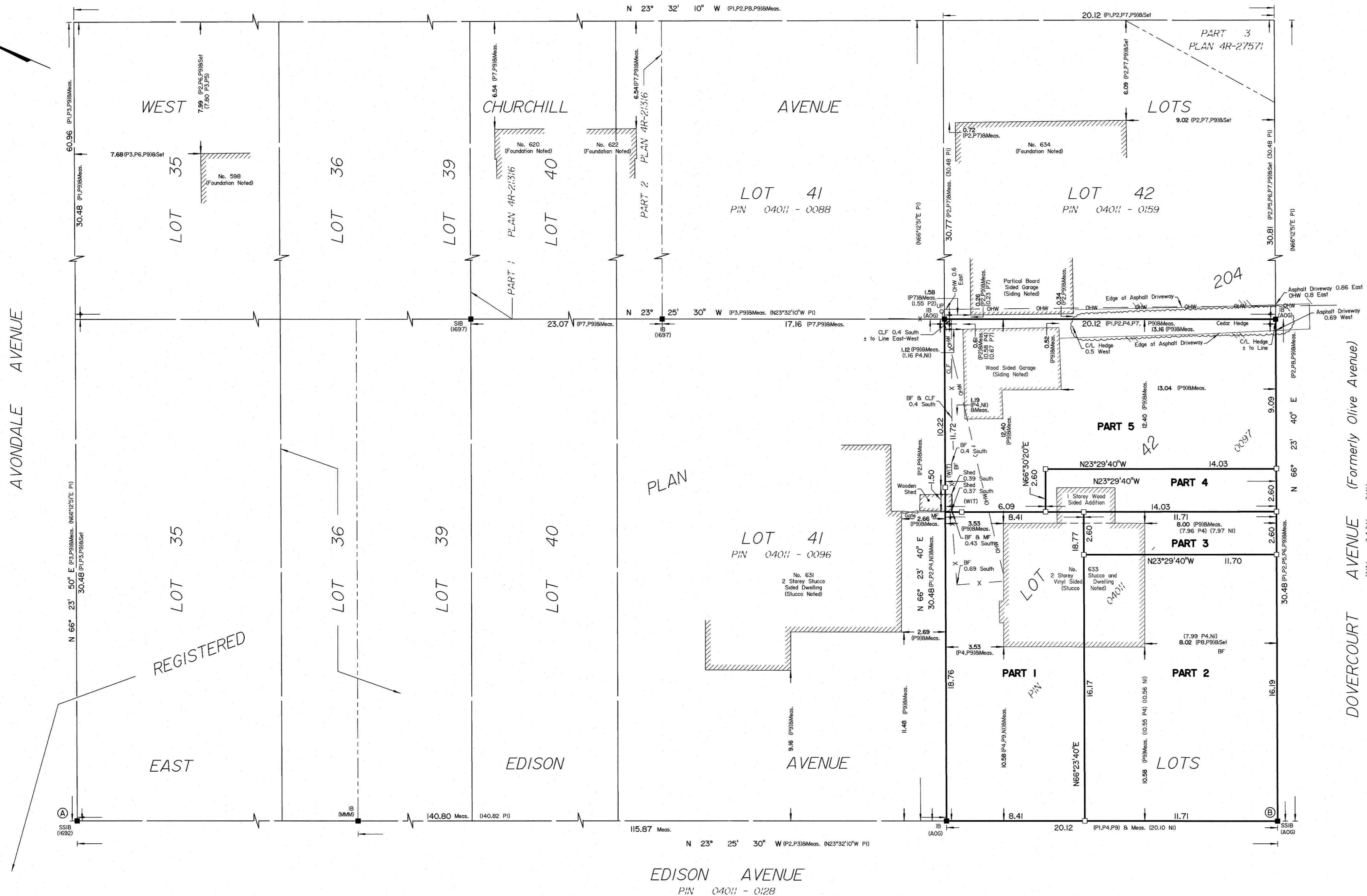


Site Benchmark #1 Fire Hydrant - Top of Spindle Elevation = 80.44

Site Benchmark #2 Magnetic Nail - Set in Asphalt Elevation = 78.63



CHURCHILL AVENUE NORTH (Formerly MAIN STREET)



SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
157.8	1			
189.3	2			
30.5	3	42	204	ALL OF 04011-0097
36.5	4			
199.1	5			

DRAFT PLAN OF SURVEY OF  
**LOT 42**  
 (EAST EDISON AVENUE)  
 REGISTERED PLAN 204  
 CITY OF OTTAWA  
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

**Notes**  
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999930.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N23°23'30"W and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°31'40" counter-clockwise was applied to bearings on plans (P1) and (P2), a rotation of 0°00'55" counter-clockwise was applied to bearings on plan (P3), and a rotation of 0°00'25" clockwise was applied to bearings on plan (P8).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

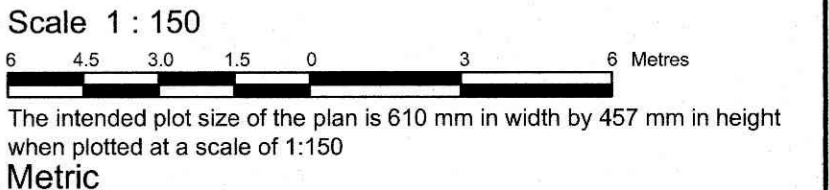
Point A	Northing	5027191.26	Eastings	361496.76
Point B	Northing	5024915.16	Eastings	373971.65
Point A	Northing	5027547.87	Eastings	363474.31
Point B	Northing	5027400.23	Eastings	363538.27

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

**Surveyor's Certificate**  
 I CERTIFY THAT:  
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.  
 2. The survey was completed on the \_\_\_ day of \_\_\_\_\_, 2024.

Date \_\_\_\_\_ T. Hartwick  
 Ontario Land Surveyor

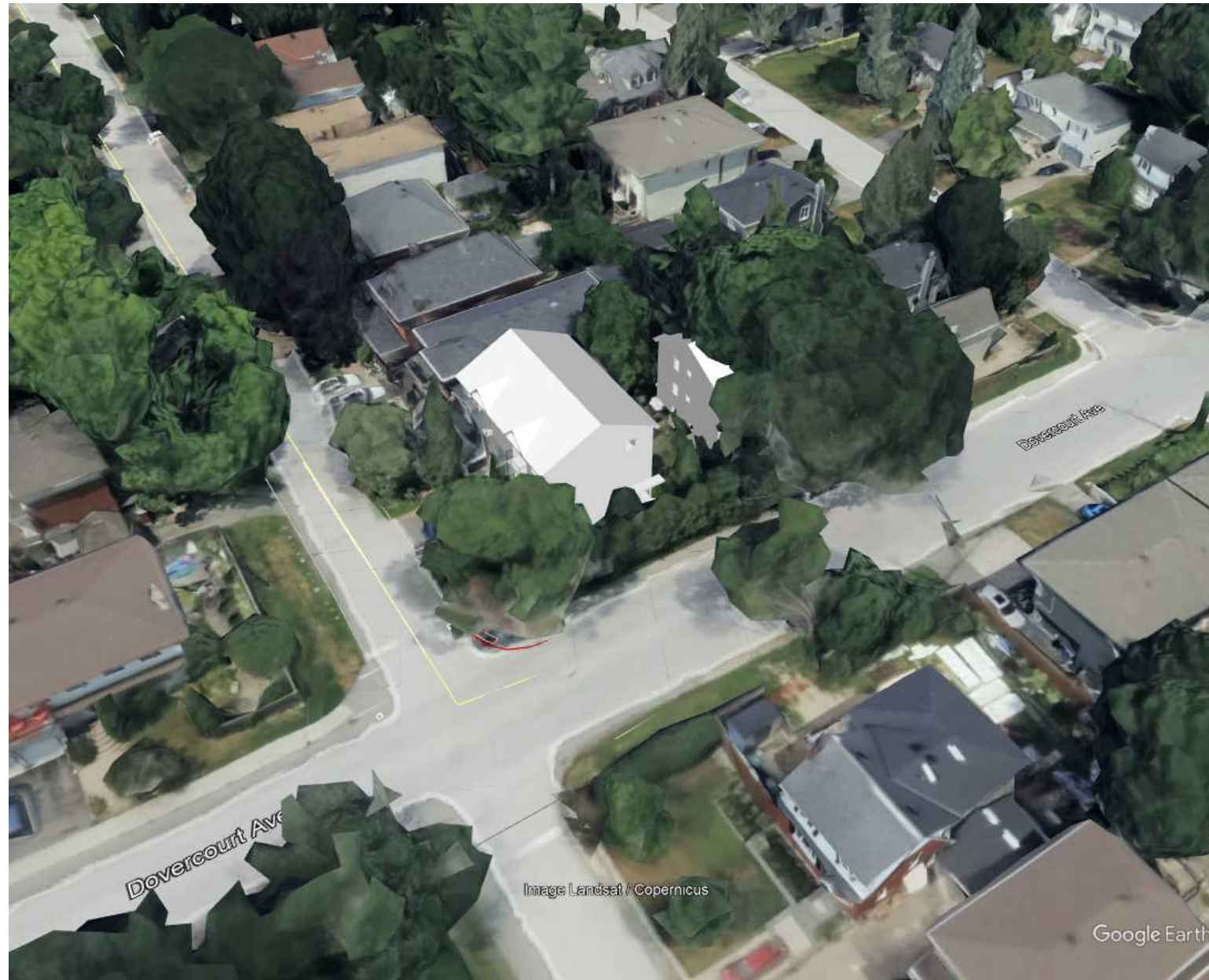
- Legend**
- Denotes Survey Monument Planted
  - Survey Monument Found
  - SIB Standard Iron Bar
  - SSIB Short Standard Iron Bar
  - IB Iron Bar
  - (WIT) Witness
  - Mes. Measured
  - (AOG) Annis, O'Sullivan, Vollebek Ltd.
  - (P1) Registered Plan 204
  - (P2) (AOG) Plan dated November 15, 1991
  - (P3) (1692) Plan dated January 7, 2019
  - (P4) (647) Plan dated June 16, 1972
  - (P5) (857) Plan dated September 10, 2010
  - (P6) (MMM) Plan dated April 15, 2011
  - (P7) (AOG) Plan dated July 21, 2021
  - (P8) Plan 4R-27571
  - (P9) (AOG) Plan dated March 11, 2024
  - (NI) (647) Field Notes dated June 14, 1972 Ref. 21-204
  - (N2) (AOG) Field Notes dated October 15, 1991 Ref. 204-25
  - CLF Chain Link Fence
  - BF Board Fence
  - OHW Overhead Wires
  - UP Utility Pole
  - C/L Centreline



**DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.**

This plan of survey relates to AOLS Plan Submission Form Number V-





I Sub-Zone	II Prohibited Uses	III Principal Dwelling Types	IV Minimum Lot Width (m) <sup>11</sup>	V Minimum Lot Area (m <sup>2</sup> ) <sup>12</sup>	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Side Yard Setback (m)	IX Minimum Rear Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI End-notes (see Table 162B)
R4-UA (By-law 2020-290)		Detached	7.5	225	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	10, 11, 12, 13
		Linked-detached	7.5	225	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	10, 11, 12, 13
		Semi-detached	6	180	10	4.5	4.5	varies <sup>4</sup>	1.2	10, 11, 12, 13
		Long Semi-detached	10	300	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	11, 12, 13
		Duplex	7.5	225	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	11, 12, 13
		Townhouse	4.5	135	10	4.5	4.5	varies <sup>4</sup>	1.2	10, 11, 12, 13
		Three Unit Stacked	10	300	11	4.5	4.5	varies <sup>4</sup>	1.2	11, 12, 13
		Low-rise Apartment, maximum of 8 units	14	420	11	4.5	4.5	varies <sup>4</sup>	1.5	11, 12, 13
		PUD	NA	1,400	as per dwelling type	4.5	4.5	varies <sup>4</sup>	varies <sup>1</sup>	1, 10, 11, 12, 13

### Urban Exceptions 2,601-2,700

I Exception Number	II Applicable Zones	Exception Provisions		
		III Additional Land Uses Permitted	IV Land Uses Prohibited	V Provisions
2686 (By-law 2021-75)	R4-UA[2686] H(8.5)		-Apartment dwelling, low rise containing more than 6 dwelling units	-Minimum interior side yard setback: 1.5 m -Minimum lot width for all uses except semi-detached and townhouse dwelling: 10 m -Minimum lot area for all uses except semi-detached and townhouse dwelling: 300 m <sup>2</sup> -Townhouse dwelling subject to the same lot width, lot area, and yard setback standards as a semi-detached dwelling.



633 EDISON AVE  
Project  
Modulink



Zoning R4UA[2686]H(8.5)  
 A0-A1: 20.11 m (65.98 ft)  
 A1-A2: 30.67 m (100.63 ft)  
 A2-A3: 20.10 m (65.96 ft)  
 A3-A0: 30.65 m (100.55 ft)  
 Total Perimeter: 101.54 m (333.12 ft)  
 Total Area: 616.43 m<sup>2</sup> (6635.16 ft<sup>2</sup>) (0.06 ha)



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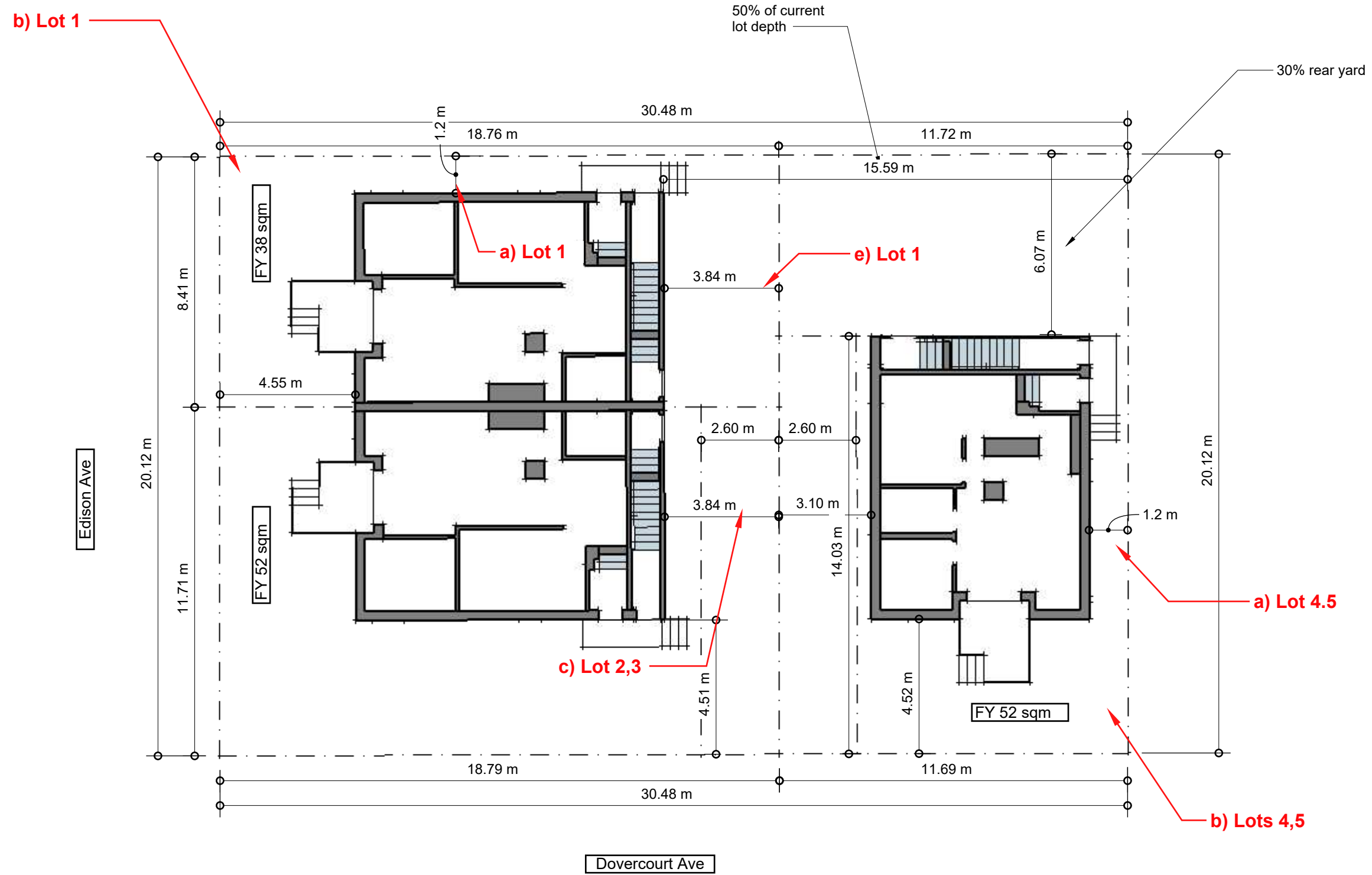
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**A.02**





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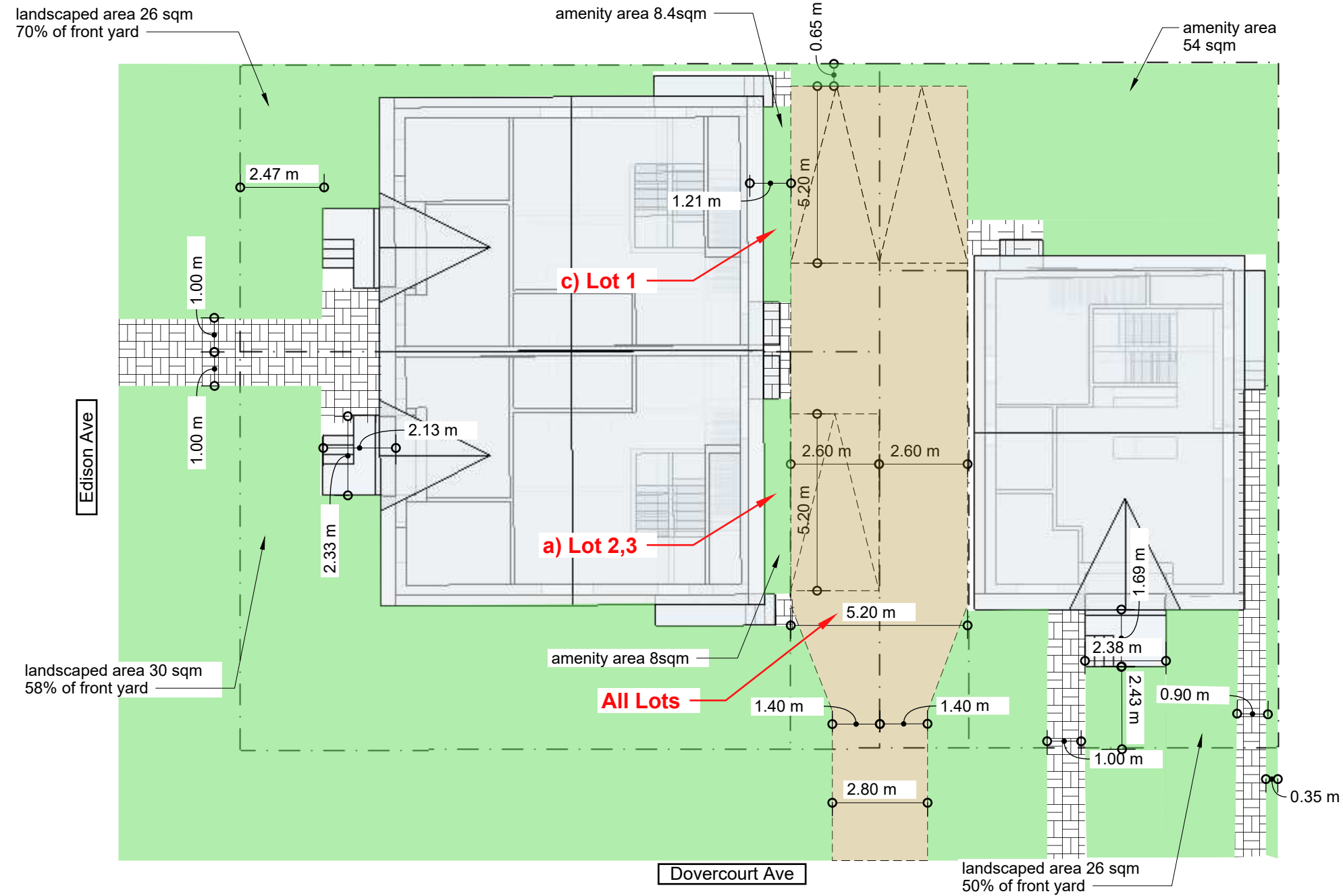
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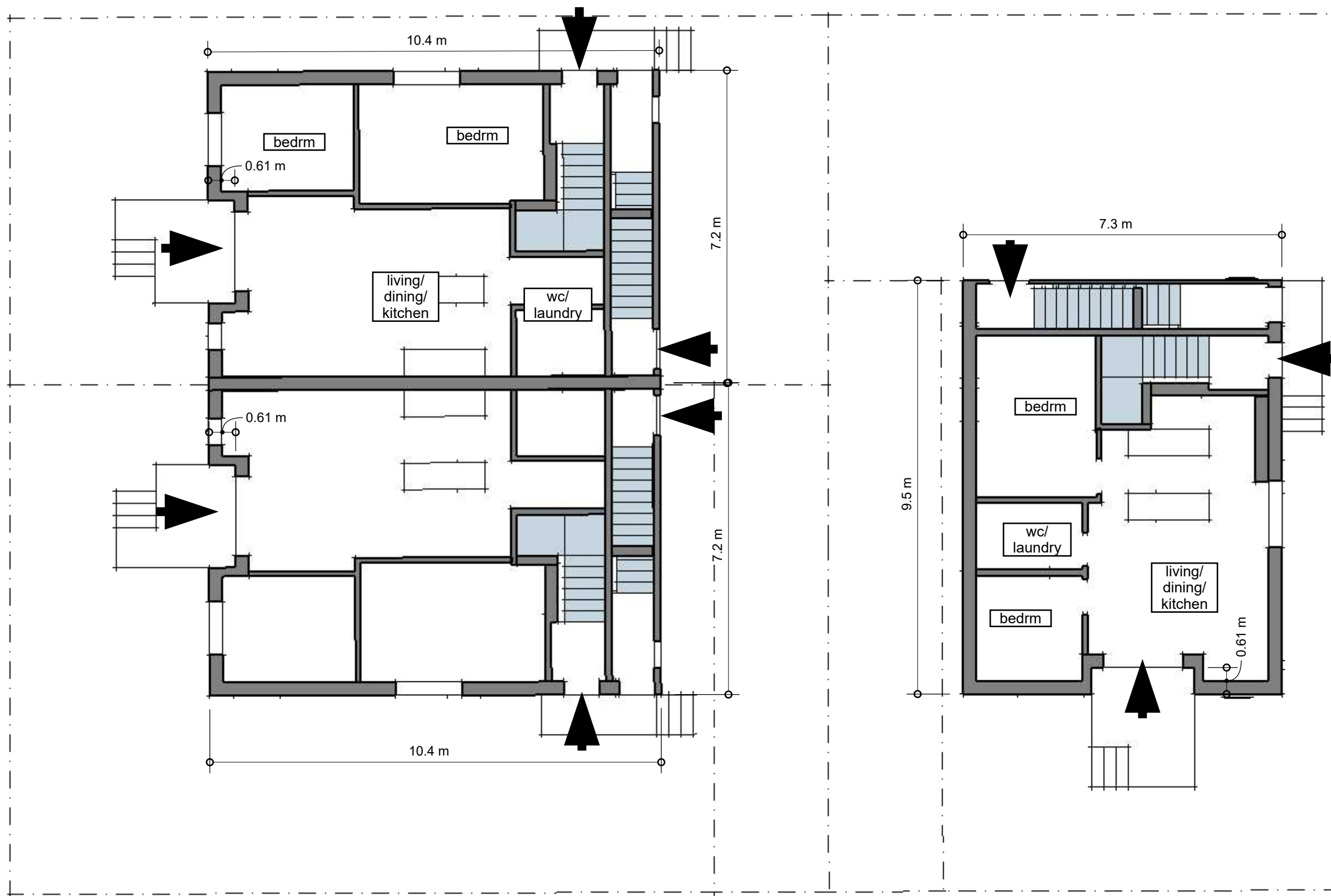
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**A.04**



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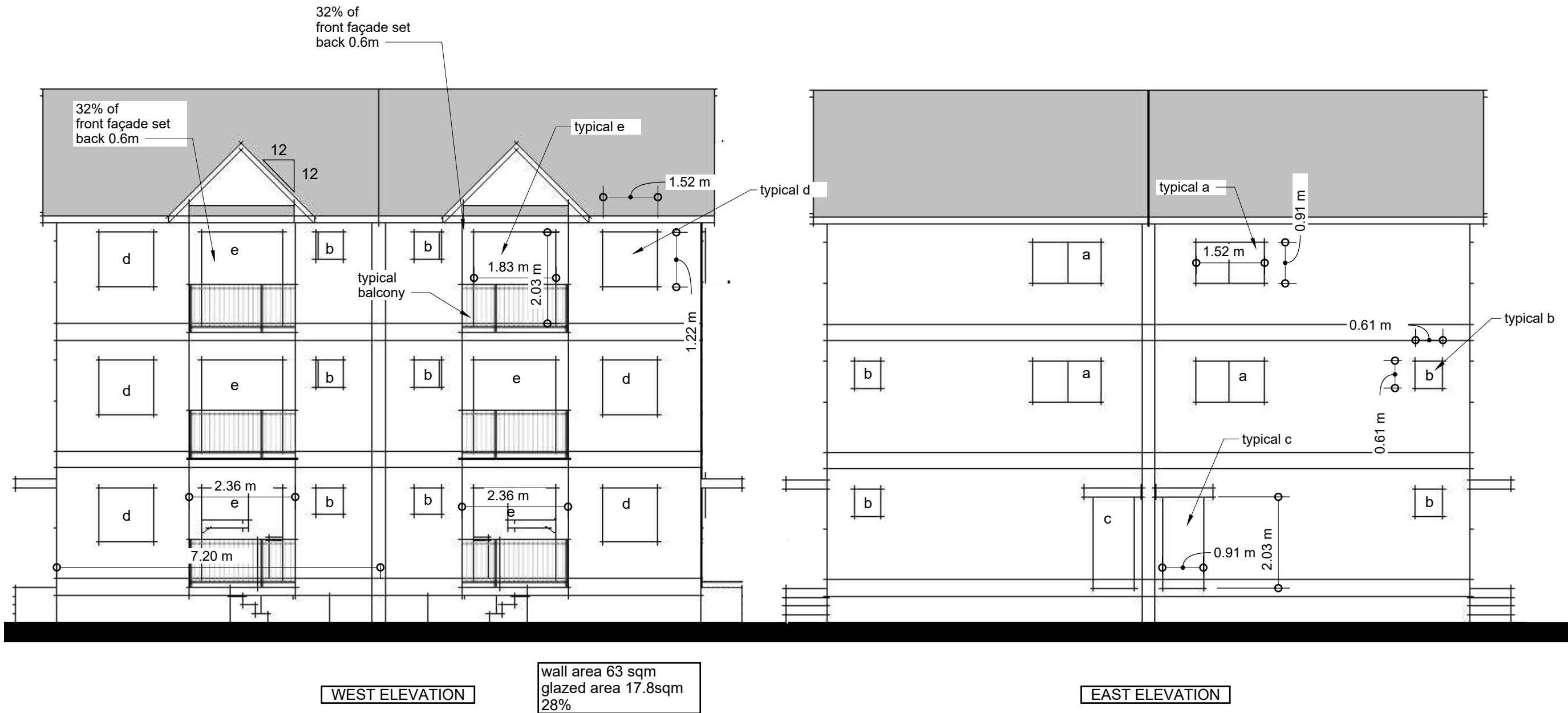
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**A.07**



WEST ELEVATION

wall area 63 sqm  
glazed area 17.8sqm  
28%

EAST ELEVATION





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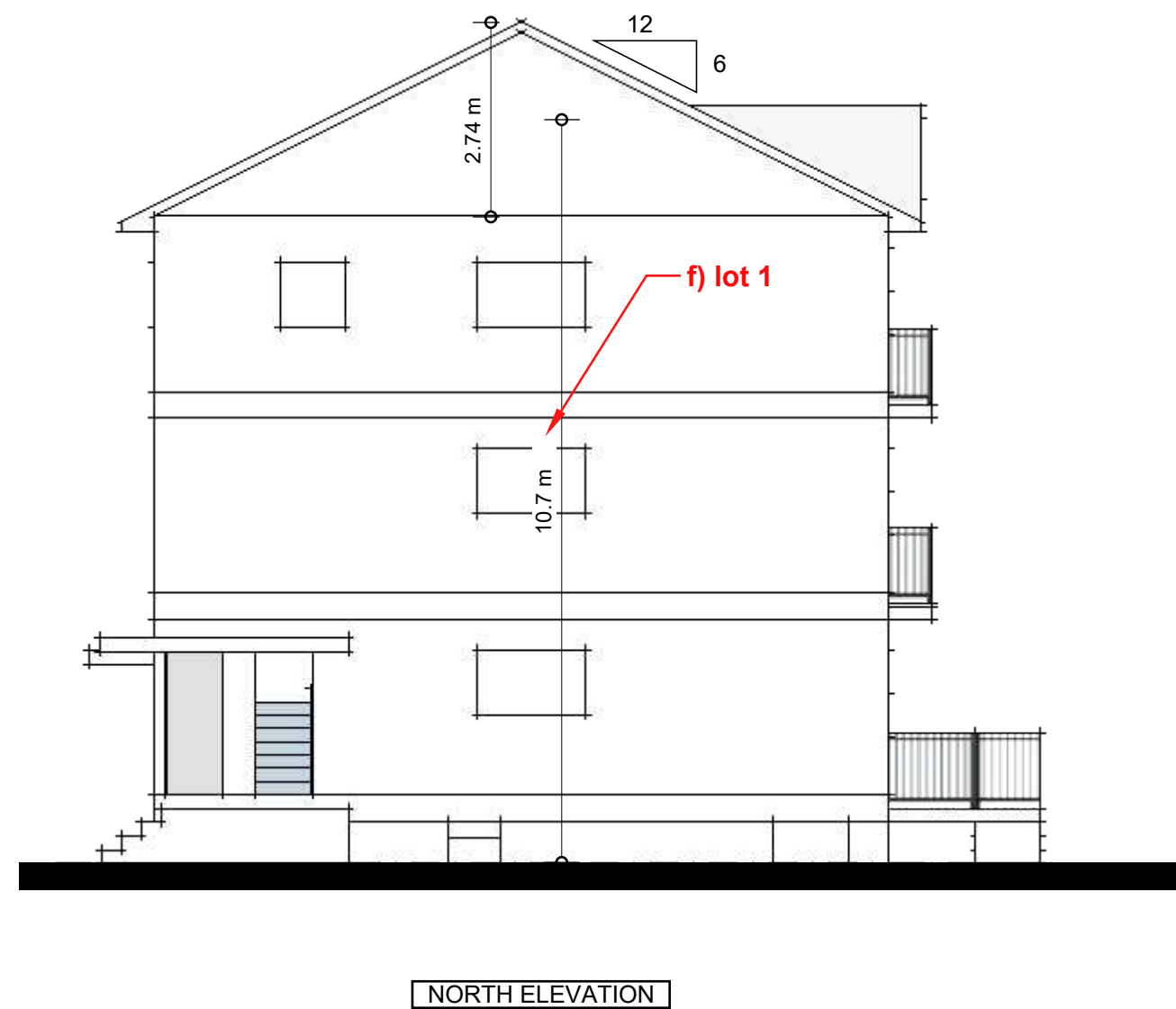
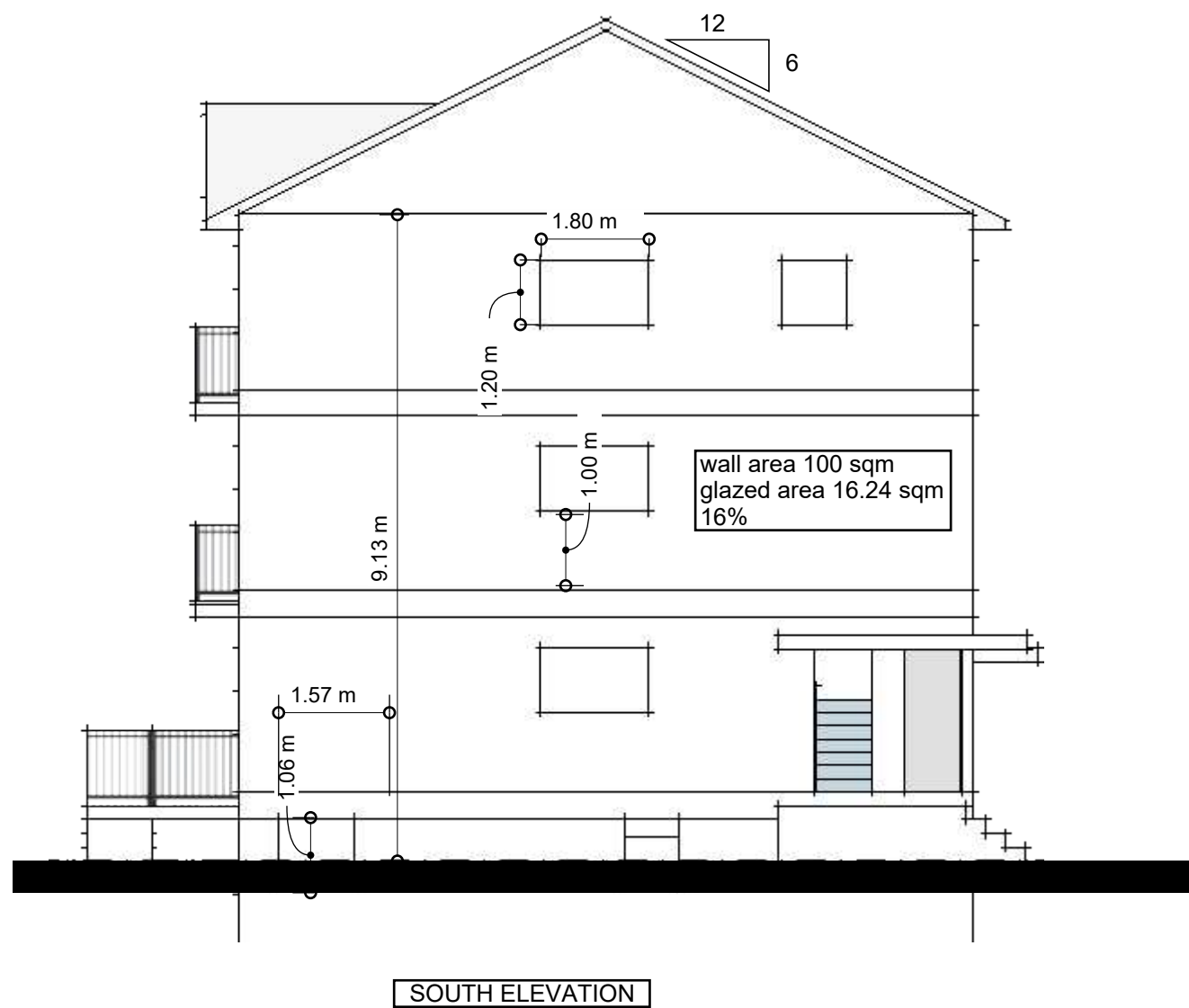
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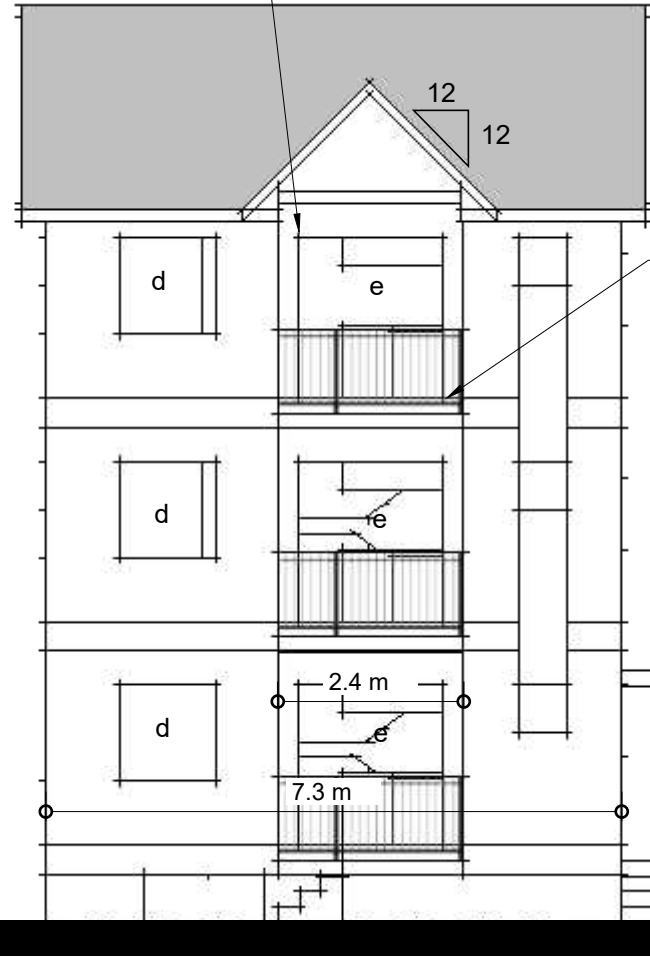
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**A.09**

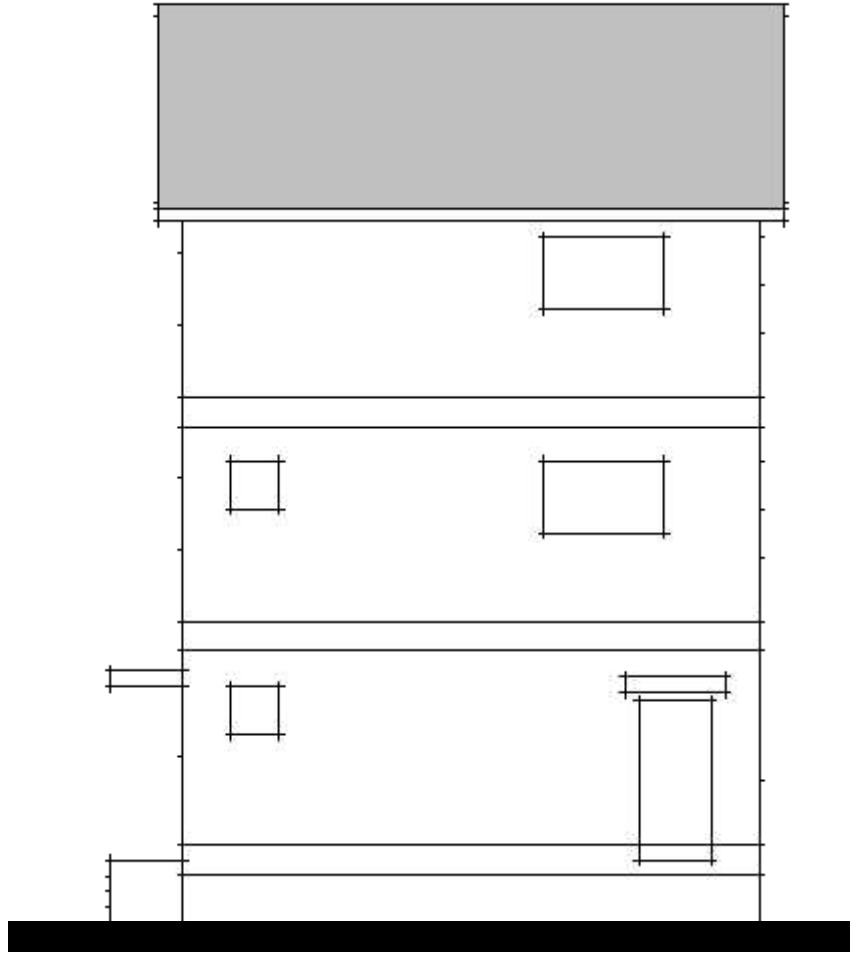
32% of  
front façade set  
back 0.6m



typical balcony

wall area 63 sqm  
glazed area 16.8sqm  
27%

**SOUTH ELEVATION**

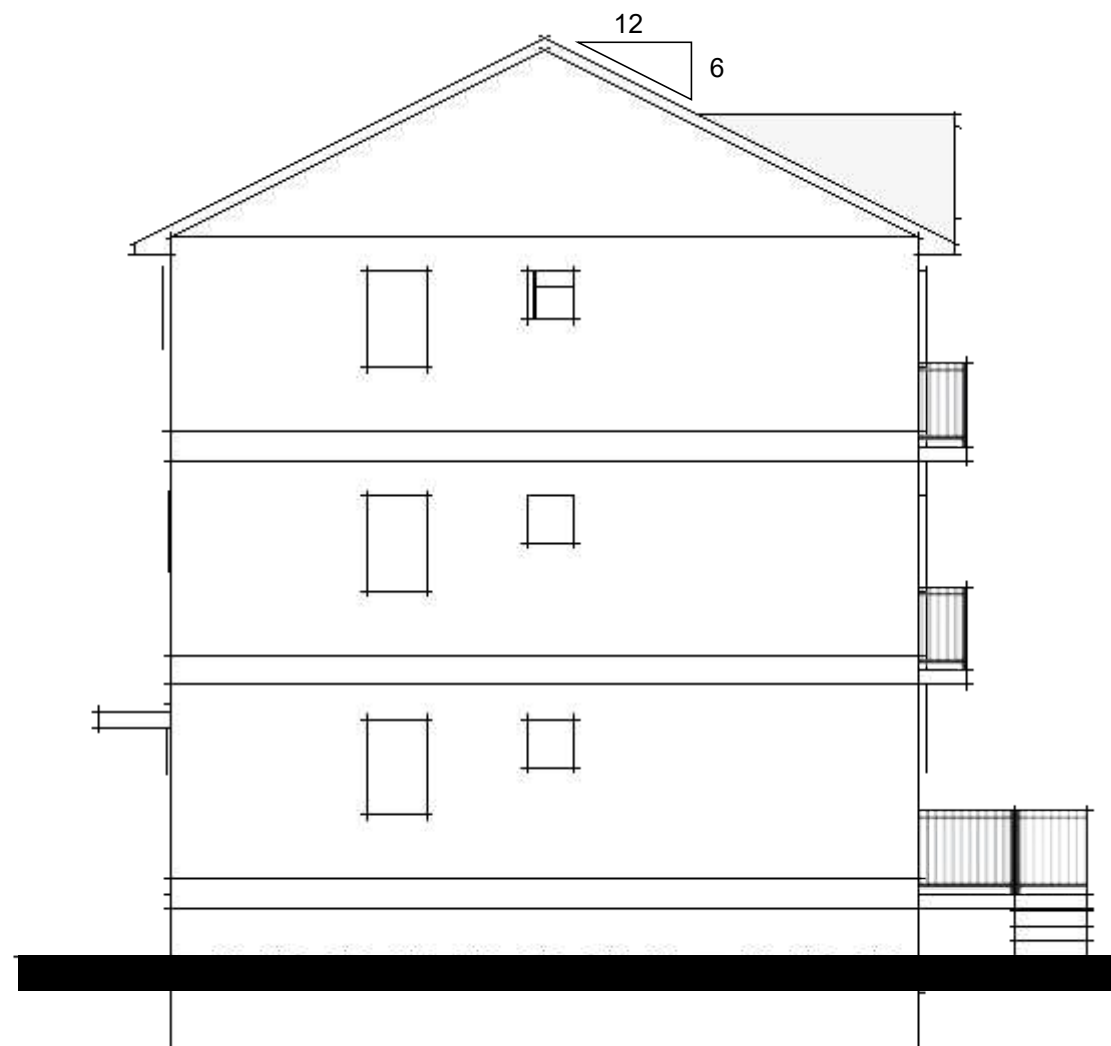


**NORTH ELEVATION**

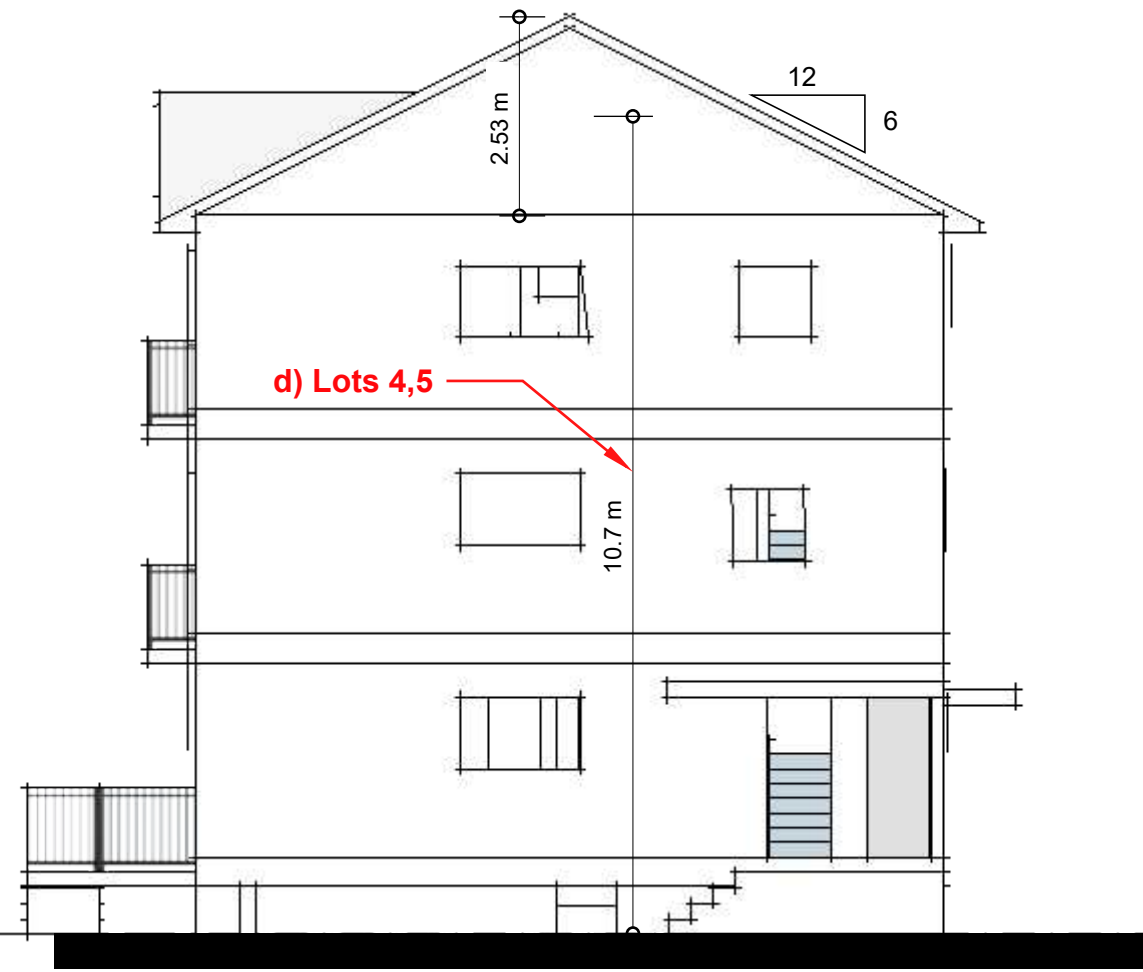


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WEST ELEVATION



NORTH ELEVATION

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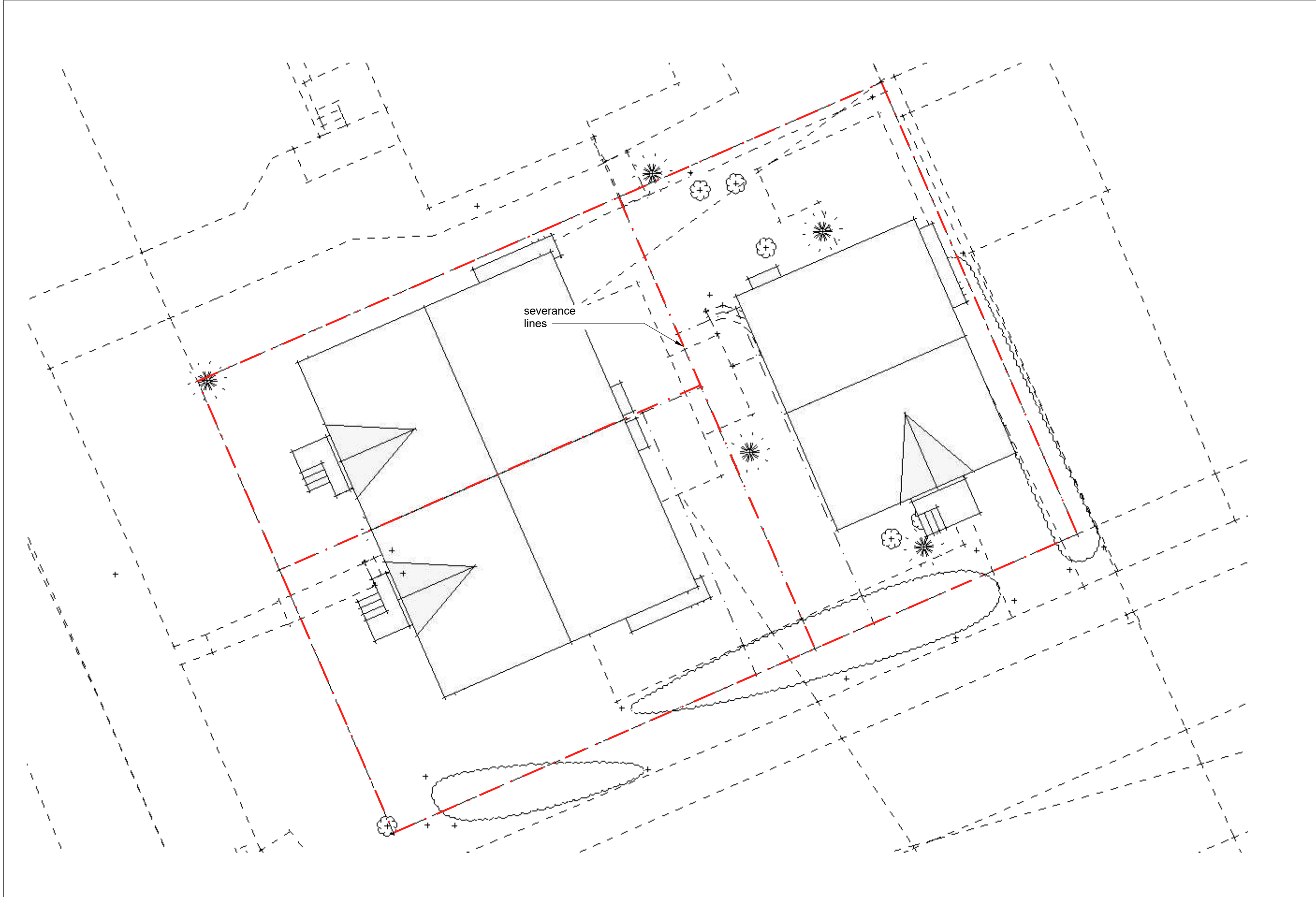
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**June 21, 2024**  
**severance lines**