

- GENERAL
 - USE BAR SCALE TO CONFIRM ACTUAL PLOT SCALE.
 - EXISTING AND NEW ELEVATIONS AND INVERTS SHOWN ARE GEODETIC AND ARE IN METERS.
 - EXISTING ELEVATIONS AND LOCATIONS, INVERTS AND SIZES OF EXISTING SERVICES ARE NOT NECESSARILY SHOWN ON PLAN AND THOSE SHOWN ARE DERIVED FROM AVAILABLE INFORMATION AND MUST BE CONFIRMED ON SITE BEFORE COMMENCING CONSTRUCTION. REPORT ANY DIFFERENCES TO ENGINEER.
 - SITE BOUNDARIES AND EXISTING GRADES AND OTHER FEATURES DERIVED FROM TOPOGRAPHIC SURVEY PREPARED BY FAIRHALL MOFFATT & WOODLAND LIMITED JOB NO. 163500.
 - REFER TO ARCHITECTURAL / LANDSCAPE SITE PLANS FOR EXACT LOCATIONS OF BUILDINGS, PAVED AREAS, SIDEWALKS ETC.
 - REINSTATE ADJACENT PROPERTIES TO PRE-CONSTRUCTION CONDITIONS.
 - REINSTATE CITY PROPERTIES TO CITY STANDARDS AND TO CITY OF OTTAWA'S SATISFACTION.
 - ALL CITY PROPERTY, DAMAGED AS A RESULT OF THIS WORK, SHALL BE REINSTATED TO THE CITY'S SATISFACTION.
 - ALL RELEVANT WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS.
 - ONTARIO PROVINCIAL STANDARDS & SPECIFICATIONS WILL APPLY WHERE NO CITY STANDARDS ARE AVAILABLE.
 - 1.11 ALL PROPOSED RETAINING WALLS SHALL BE SETBACK A MINIMUM 0.15m FROM PROPERTY LINE. ALL PROPOSED RETAINING WALLS GREATER THAN 1.0m IN HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN ONTARIO.
- EROSION AND SEDIMENT CONTROL
 - THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATER COURSE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL USING FILTER CLOTH UNDER THE GRATE OF CATCH BASINS AND MANHOLES COVERS AND INSTALLING SILT FENCES AND OTHER EFFECTIVE SEDIMENT TRAPS.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION AT ALL MUNICIPAL CATCH BASINS ADJACENT TO THE SITE AND AT ANY MANHOLES OR CATCH BASINS THAT WILL RECEIVE DISCHARGE FROM DE-WATERING OPERATIONS AND ALL NEW CATCH BASINS AS THEY ARE INSTALLED, INSTALL SEDIMENT CAPTURE FILTER SOCK INSERTS (TERRAFIX GEOSYNTHETICS INC SILTSACK OR APPROVED EQUAL). INSPECT AT THE END OF EACH DAY AND AFTER EACH RAINFALL, REMOVE SEDIMENT AS RECOMMENDED BY THE MANUFACTURER. IMMEDIATELY REPAIR OR REPLACE ANY DAMAGED FILTER SOCK INSERTS. DO NOT REMOVE UNTIL CONSTRUCTION IS COMPLETE.
 - CONSTRUCTION IS CONSIDERED COMPLETE WHEN THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - ALL STRUCTURES HAVE BEEN BUILT.
 - ALL HARD SURFACES HAVE BEEN CONSTRUCTED.
 - ALL PROPOSED GRASSED AREAS ARE EITHER SOODED OR HAVE A FULL COVERAGE OF WELL ESTABLISHED TURF AND HAVE HAD A MINIMUM OF ONE FULL GROWING SEASON (MAY 15TH TO SEPTEMBER 15TH).
 - THERE ARE NO AREAS OF EXPOSED EARTH.
 - ALL STOCKPILED MATERIALS HAVE BEEN REMOVED.
 - REMOVE EROSION AND SEDIMENT CONTROL MEASURES WHEN CONSTRUCTION IS COMPLETE.
- GRADING & DRAINAGE
 - NEW GRADES TO MATCH EXISTING AT PROPERTY LINE. NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOUR'S PROPERTY DURING AND AFTER CONSTRUCTION. THERE WILL BE NO ALTERATION TO EXISTING GRADE AND DRAINAGE PATTERNS ON PROPERTY LINE.
 - ALL AREAS SHALL BE GRADED TO ENSURE ADEQUATE DRAINAGE AWAY FROM BUILDINGS TO CATCH BASINS, SWALES, DITCHES AND OTHER APPROVED DISPOSAL AREAS. GRADES TO BE GRADUAL BETWEEN FINISHED SPOT ELEVATIONS SHOWN ON DRAWINGS TO PREVENT PONDING.
- SITE SERVICES
 - WATER METER SHALL BE INSTALLED AS PER CITY OF OTTAWA DWG. NO. W30. ALL WATER SERVICE MATERIALS AND CONSTRUCTION METHODS TO CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
 - PROVIDE A MINIMUM 2.4 m COVER OVER NEW WATER SERVICE CONNECTION. WHERE THE MINIMUM COVER IS NOT POSSIBLE, INSULATE AS PER CITY OF OTTAWA DWG. NO. W22. PROVIDE A MINIMUM 300mm VERTICAL SEPARATION BETWEEN SEWERS AND WATER SERVICE CONNECTIONS AND BETWEEN WATERMAIN AND SEWER SERVICE CONNECTIONS.
 - CONNECTION TO WATERMAIN BY CITY OF OTTAWA, CONTRACTOR SHALL PROVIDE EXCAVATION, BACKFILL, AND REINSTATEMENT.
 - WATER SERVICE CONNECTION SHALL BE COPPER ASTM B88 TYPE "K" SOFT. WATER SERVICE CONNECTIONS SHALL BE CONSTRUCTED OF A SINGLE RUN OF PIPE WITH NO JOINTS OR FITTINGS BETWEEN THE STREET LINE OR SOURCE OF SUPPLY ON THE PROPERTY AND THE INSIDE FACE OF THE BUILDING.
 - CONNECT PROPOSED SANITARY AND STORM SEWER SERVICE CONNECTIONS TO EXISTING MUNICIPAL SEWERS USING A PRE-FABRICATED SADDLE CONNECTION.
 - SEWER MATERIAL SHALL BE PVC SDR-28 AND SHALL CONFORM TO CSA B182.2 AND SHALL HAVE A MINIMUM 2% SLOPE WITH RUBBER GASKETS.
 - BEDDING AND SURROUND MATERIAL FOR SEWERS SHALL BE OPSG GRANULAR A. BEDDING AND SURROUND MATERIAL FOR WATERMAIN AND WATER SERVICE CONNECTIONS SHALL BE OPSG GRANULAR A OR OPSG GRANULAR M. RE-CYCLED GRANULAR MATERIALS ARE NOT PERMITTED.
 - THE SANITARY BUILDING DRAIN SHALL BE INSTALLED WITH A FULL-PORT BACKWATER VALVE TO CITY OF OTTAWA STANDARDS AND TO CITY OF OTTAWA DWG. NO. S14.1.
 - THE STORM BUILDING DRAIN SHALL BE INSTALLED WITH A BACKWATER VALVE TO CITY OF OTTAWA STANDARDS AND TO CITY OF OTTAWA DWG. NO. S14.
 - TRENCH DRAIN AND AREA DRAIN SUMP & PUMP:
 - SUBMERSIBLE EFFLUENT PUMP WITH AN IMPELLER CAPABLE OF HANDLING 3/4 INCH (19mm) SOLIDS COMPLETE WITH ON/OFF FLOAT CONTROLS; 30 USgpm @ 23 FEET HEAD (115 L/MIN @ 7.0m); F. E. MYERS ME3F 1/3 HP OR EQUAL. SUMP SHALL BE A MINIMUM 600mm IN DIAMETER AND A MINIMUM 600mm DEEP. ANCHOR SUMP TO PREVENT UPLIFT FROM HYDROSTATIC PRESSURES. PROVIDE A HIGH WATER ALARM. DISCHARGE PIPE SHALL BE SELF-DRAINING. DISCHARGE OUTSIDE ONTO A CONCRETE SPLASH PAD.
 - FOUNDATION DRAIN SUMP & PUMP: SUBMERSIBLE SUMP PUMP WITH AN IMPELLER CAPABLE OF HANDLING 1/2 INCH (12mm) SOLIDS COMPLETE WITH ON/OFF & ALARM FLOAT CONTROLS; 20 USgpm @ 18 FEET HEAD (77 L/MIN @ 5.5m); F. E. MYERS MDC33 1/3 HP OR EQUAL. SUMP SHALL BE A MINIMUM 600mm IN DIAMETER AND A MINIMUM 600mm DEEP. ANCHOR SUMP TO PREVENT UPLIFT FROM HYDROSTATIC PRESSURES. PROVIDE A HIGH WATER ALARM. DISCHARGE PIPE SHALL BE SELF-DRAINING. DISCHARGE OUTSIDE ONTO A CONCRETE SPLASH PAD.
- CONSTRUCTION
 - PRIOR TO COMMENCING WORK:
 - OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE AUTHORITIES.
 - SIZE, DEPTH AND LOCATION OF EXISTING UTILITIES AND STRUCTURES AS INDICATED ARE FOR GUIDANCE ONLY. EXISTING UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON PLANS. COMPLETENESS AND ACCURACY ARE NOT GUARANTEED. NOTIFY ALL APPLICABLE OWNERS, UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION OF PROPOSED WORK AND LOCATE AND CLEARLY IDENTIFY ALL EXISTING SERVICES, UTILITIES AND STRUCTURES ON AND ADJACENT TO SITE. CONFIRM LOCATIONS OF BURIED SERVICES AND UTILITIES BY CAREFUL TEST EXCAVATIONS AND REPORT ANY DIFFERENCES TO THE ENGINEER.
 - COORDINATE AND SCHEDULE WORK WITH THE AUTHORITIES AND OTHER TRADES.
 - MAINTAIN AND PROTECT FROM DAMAGE, SERVICES, UTILITIES AND STRUCTURES ENCOUNTERED.
 - PROTECT EXISTING BUILDINGS, TREES AND OTHER PLANTS, LAWN, FENCING, SERVICE POLES, WIRES, PAVEMENT, SURVEY BENCH MARKS AND MONUMENTS AND OTHER SURFACE FEATURES FROM DAMAGE WHILE WORK IS IN PROGRESS. DO NOT DISTURB SOIL WITHIN BRANCH SPREAD OF TREES OR SHRUBS THAT ARE TO REMAIN.
 - PROVIDE TRAFFIC CONTROL AND SAFETY MEASURES INCLUDING ANY NECESSARY PERSONNEL AND THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE AND BARRIERS.
 - SHORE AND BRACE EXCAVATIONS, PROTECT SLOPES AND BANKS AND PERFORM ALL WORK IN ACCORDANCE WITH OCCUPATIONAL HEALTH AND SAFETY ACT AND OTHER AUTHORITIES HAVING JURISDICTION.
 - CUT PAVEMENT AND / OR SIDEWALK NEATLY ALONG LIMITS OF PROPOSED EXCAVATION IN ORDER THAT SURFACE MAY BREAK EVENLY AND CLEANLY.
 - MAINTAIN RECORD DRAWINGS AND RECORD ACCURATELY DEVIATIONS FROM THE ORIGINAL CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES MADE BY CHANGE ORDER OR ADDITIONAL INSTRUCTION. RECORD DRAWINGS SHALL INCLUDE BUT NOT NECESSARILY LIMITED TO CHANGES OF DIMENSION AND DETAIL, AND HORIZONTAL AND VERTICAL LOCATIONS OF UNDERGROUND UTILITIES AND APPURTENANCES REFERENCED TO A PERMANENT SURFACE STRUCTURE.
 - REINSTATE PAVEMENTS AND SIDEWALKS DISTURBED BY EXCAVATION TO THICKNESS, STRUCTURE AND ELEVATION WHICH EXISTED BEFORE EXCAVATION.
 - CLEAN AND REINSTATE AREAS AFFECTED BY THE WORK.

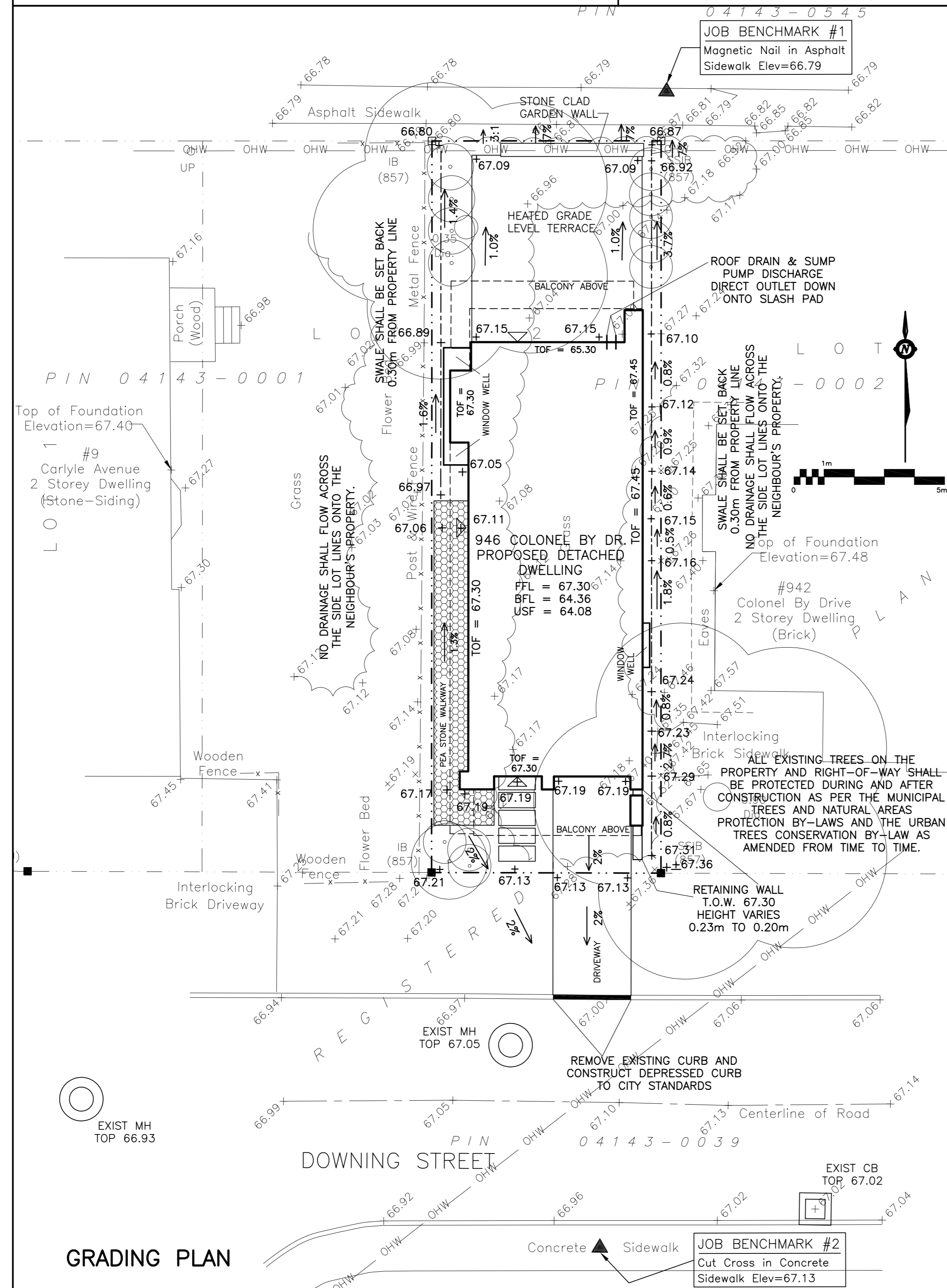
Committee of Adjustment
Received | Reçu le
2024-06-21
City of Ottawa | Ville d'Ottawa
Comité de dérogation

TYPICAL WALKWAY SECTION AT
SIDE PROPERTY LINE
N.T.S.

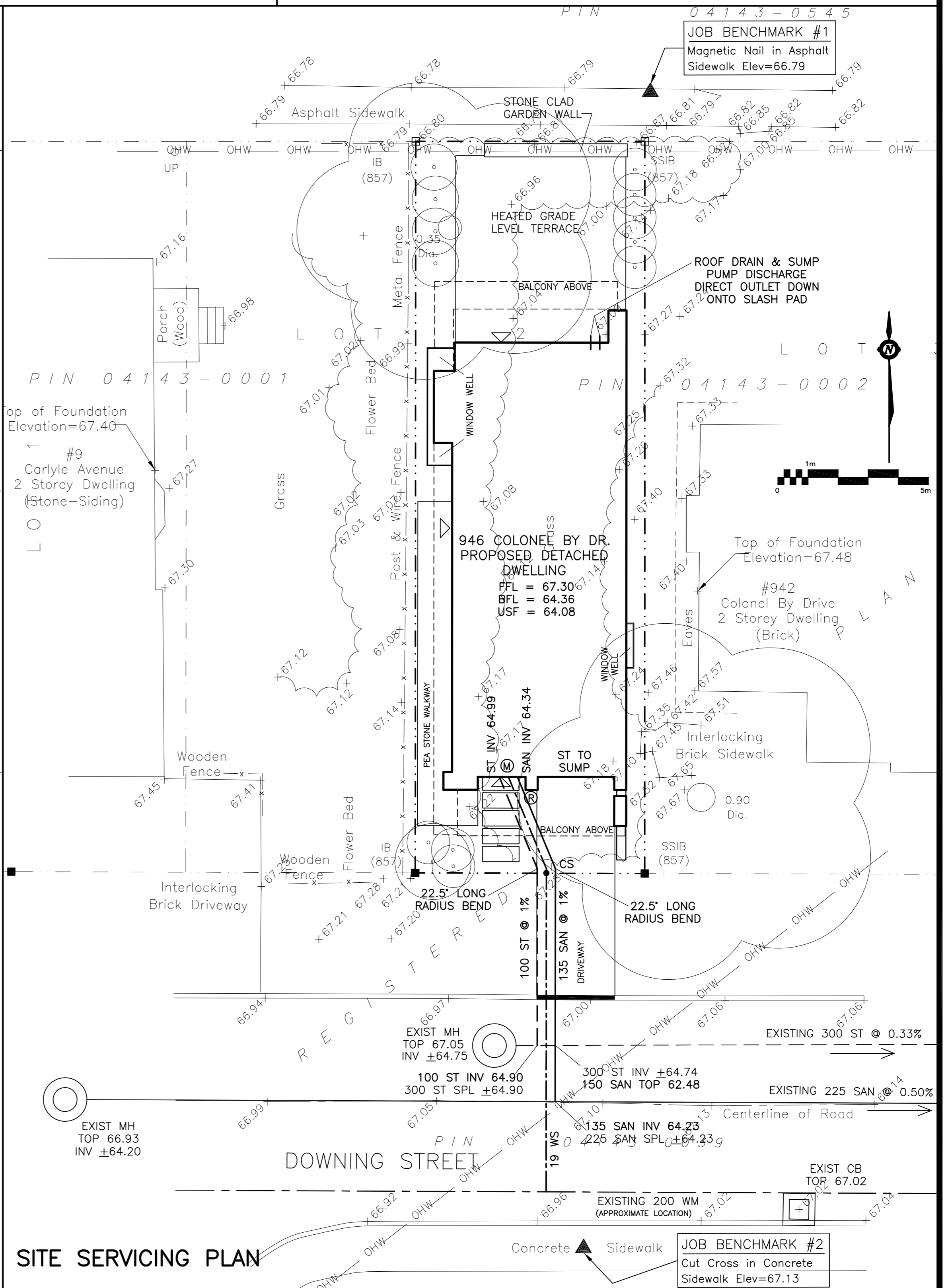
TYPICAL SWALE SECTION AT
SIDE PROPERTY LINE
N.T.S.

INSULATION OF WATER SERVICE
CONNECTIONS
AT OPEN STRUCTURES
AND AS PER CITY OF OTTAWA DRAWING NO. W23
N.T.S.

| D (DISTANCE TO CB OR MH WALL) | INSULATION THICKNESS |
|-------------------------------|----------------------|
| 1800 TO 2400mm | 50mm |
| 1500 TO 1800mm | 75mm |
| 1200 TO 1500mm | 100mm |
| 900 TO 1200mm | 125mm |



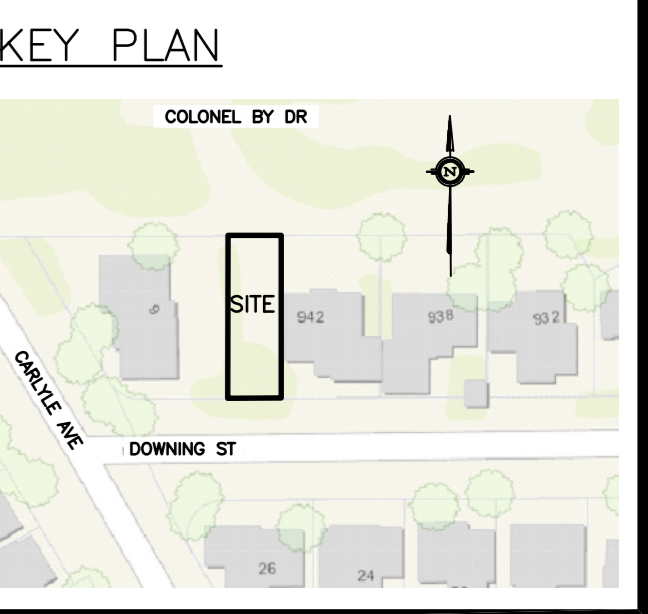
GRADING PLAN



SITE SERVICING PLAN

DRAWING LEGEND

- CB [] CATCH BASIN
- MH [] MANHOLE
- CB/MH [] CATCH BASIN/MANHOLE
- WS/W [] WATER SERVICE / WATERMAIN
- SAN [] SANITARY SEWER
- ST [] STORM SEWER
- CS [] CURB STOP
- FH [] FIRE HYDRANT
- W [] WATER METER
- R [] REMOTE WATER METER READOUT
- UP [] UTILITY POLE
- [] EXISTING GRADE ELEVATION
- + [] PROPOSED GRADE ELEVATION
- [] EXISTING SLOPE OF GRADE
- [] SLOPE OF GRADE
- [] SWALE/DITCH (CENTERLINE)
- [] PROPERTY LINE
- FFL [] FIRST FLOOR ELEVATION
- TOF [] TOP OF FOUNDATION ELEVATION
- BFL [] BASEMENT FLOOR ELEVATION
- USF [] UNDERSIDE OF FOOTING ELEVATION



| No. | Date | REVISION |
|-----|-----------|--------------------------|
| 3 | MAY 6-16 | RE-ISSUED FOR APPROVAL |
| 2 | JUN 29-15 | ISSUED FOR APPROVAL |
| 1 | JUN 26-15 | ISSUED FOR CLIENT REVIEW |

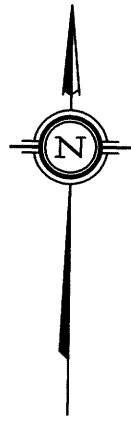
D. B. GRAY ENGINEERING INC.
Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain
700 Long Point Circle Tel: 613-425-8044
Ottawa, Ontario K1T 4E9 dgray@rogers.com

Project
**PROPOSED
SINGLE DWELLING
946 COLONEL BY DRIVE
OTTAWA, ONTARIO**

Drawing Title
**SITE SERVICING &
GRADING PLAN**

Engineer's Seal
D.B. GRAY
17016502
MAY 6-16
PROVINCE OF ONTARIO
NOT VALID UNLESS SIGNED & DATED

Drawn D.B.G.
Hor. Scale 1:100
Vert. Scale
Date JUN 26-15
Job 14080
Drawing No.
**C-1
of 1**



COLONEL BY DRIVE
PART OF LOT K CONCESSION C (RIDEAU FRONT)
Geographic Township of Nepean

PART 1 PLAN 4R-2501
P I N 0 4 1 4 3 - 0 5 4 5

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-07-09
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 2
REGISTERED PLAN 189366
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.
Scale 1 : 150



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act, Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 15th day of July, 2016.

Aug 17 / 2016 *Andre Roy*
Date Andre Roy
Ontario Land Surveyor

PART 2

1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
No rights-of-way or easements were found to be registered against the subject property.
2. PROPERTY IMPROVEMENTS
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
4. ADDITIONAL REMARKS
The building ties are to the unparted concrete foundation walls.

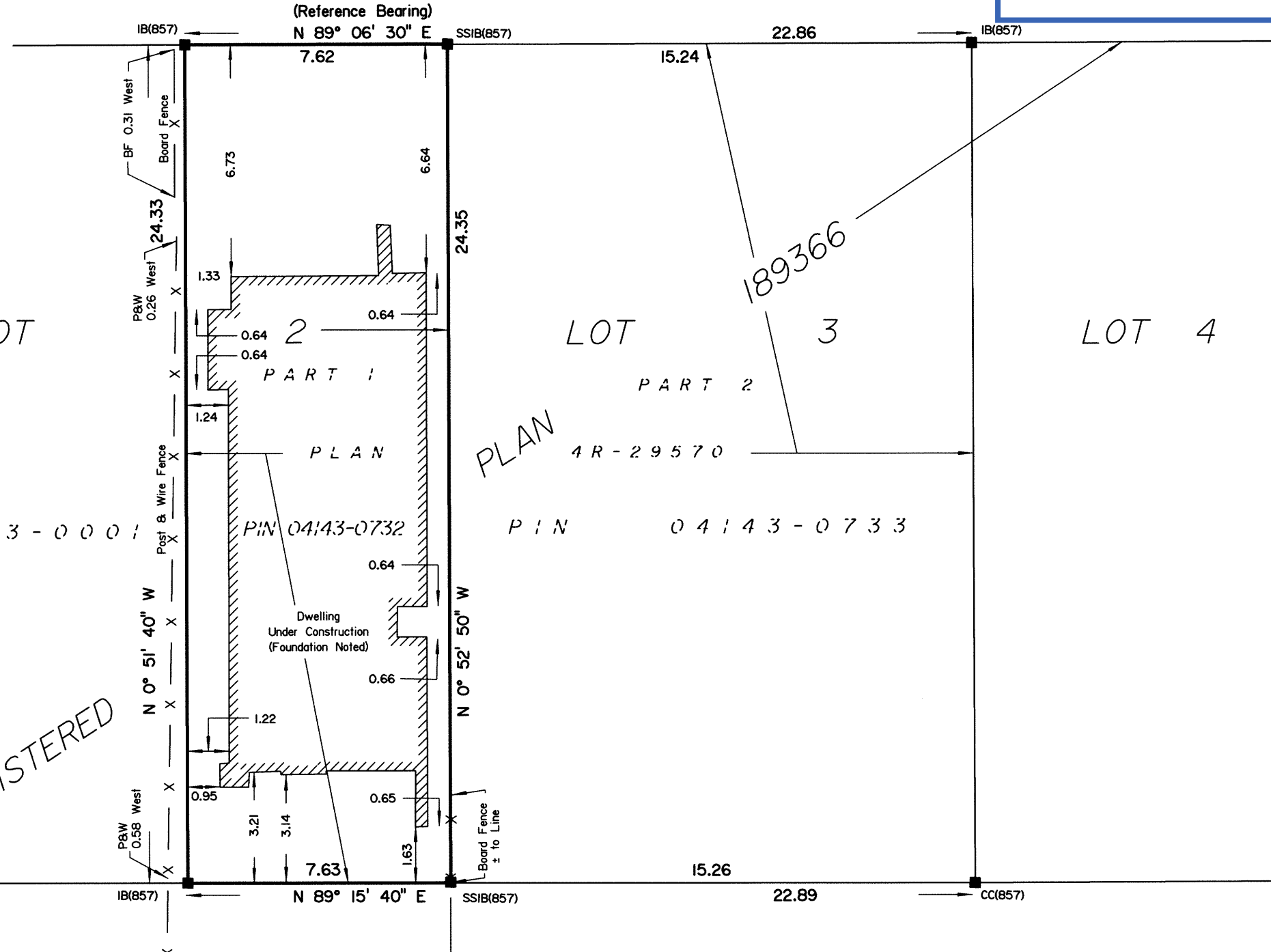
ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to TC United ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

- Denotes Survey Monument Planted
- " Survey Monument Found
- CC " Cut Cross
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- P&W " Post & Wire Fence
- BF " Board Fence

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1975303

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29 (3).



P I N 0 4 1 4 3 - 0 0 0 1

P I N 0 4 1 4 3 - 0 7 3 2

P I N 0 4 1 4 3 - 0 7 3 3

DOWNING STREET
P I N 0 4 1 4 3 - 0 0 3 9

Bearings are grid, derived from Northerly limit of Part 1 on Plan 4R-29570 shown to be N 89°06'30" E and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude)NAD-83 (original).

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com

Ontario Land Surveyors Job No. I6597-16 TC United Pt1 2 Plan 189366 DUC DI A.M.



Committee of Adjustment
Received | Reçu le

Revised | Modifié le : 2024-07-09

City of Ottawa | Ville d'Ottawa
Comité de dérogation



HOBIN
ARCHITECTURE

946 COLONEL BY DRIVE

New Addition - Level 4

JUNE 26, 2024

Request for Minor Variance

946 Colonel By Drive, Ottawa, ON | Zoning: R3Q[2118]H(9)

VARIANCE 1: To permit a building height of 11.74 m

- Whereas:
 1. The Zoning by law 2008-250 states that the maximum building height permitted is 9 m.
 2. Part 2 Section 60 (3.a.) states an addition to a building in an area to which a heritage overlay applies is permitted only if: the height of the walls and the height and slope of the roof of the addition do not exceed those of the building.
- Design Rationale:

The addition / additional building height of 2.74m is proposed to be step-back from the front and rear walls of the existing house by 4.9 m (16 ft) resulting in a close 2:1 ratio. The proposed GFA of the addition is 37.5 m² (404 ft²) = less than 50% of the floor area below.

As a result, the proposed design:

 1. Preserves the emphasis of the existing 9 m building height along the streetscape.
 2. Reduces the visual appearance of the proposed addition from the street level below.

VARIANCE 2: To permit a reduced setback for the level 4 terrace.

- Whereas: Part 2 Section 55 Table 55 (8.a.ii) states where a terrace is not located on the roof of the uppermost storey and meets or exceeds an area equivalent to 25 per cent of the gross floor area of the storey it is adjacent to and most equal to in height: minimum 1.5 m from any exterior wall of the building.
- Design Rationale:

The proposed level 4 terrace setback of 2'-6" (0.762 m) (50% of the required setback) is located along the eastern property line. This reduced setback is located within a tight side yard and sheltered by mature trees that reduce its visibility from adjacent neighbours and surrounding street level.

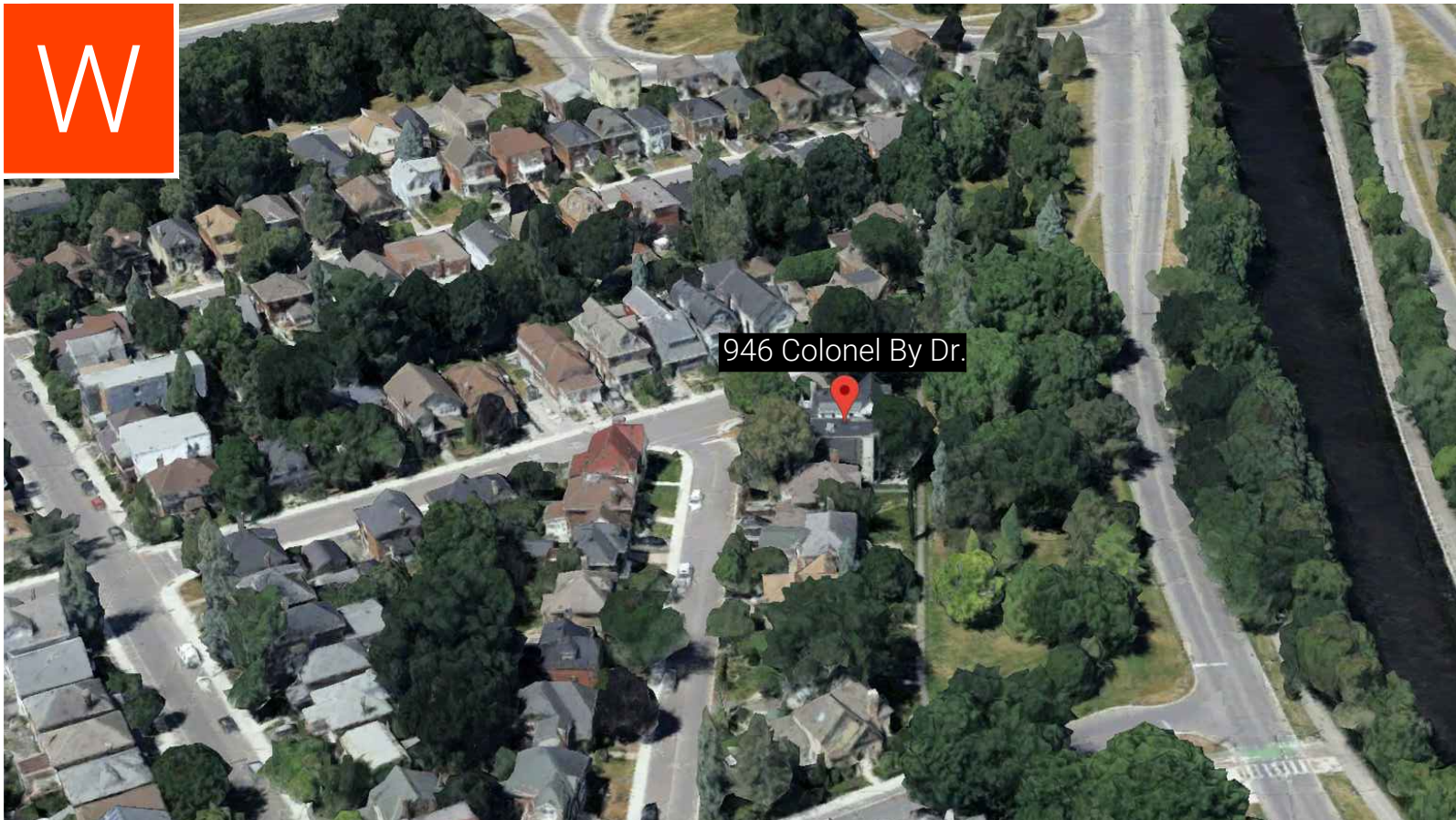
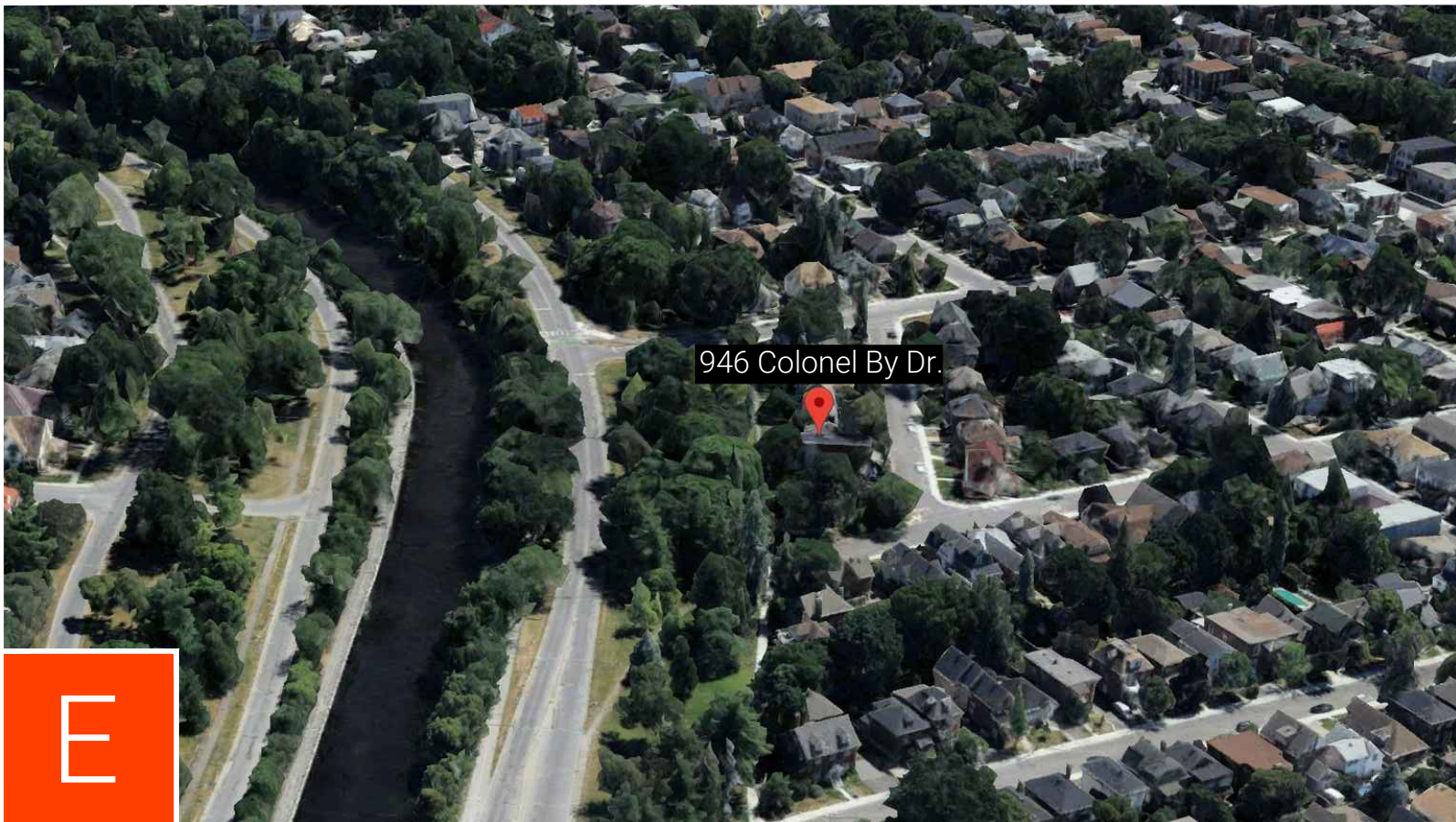
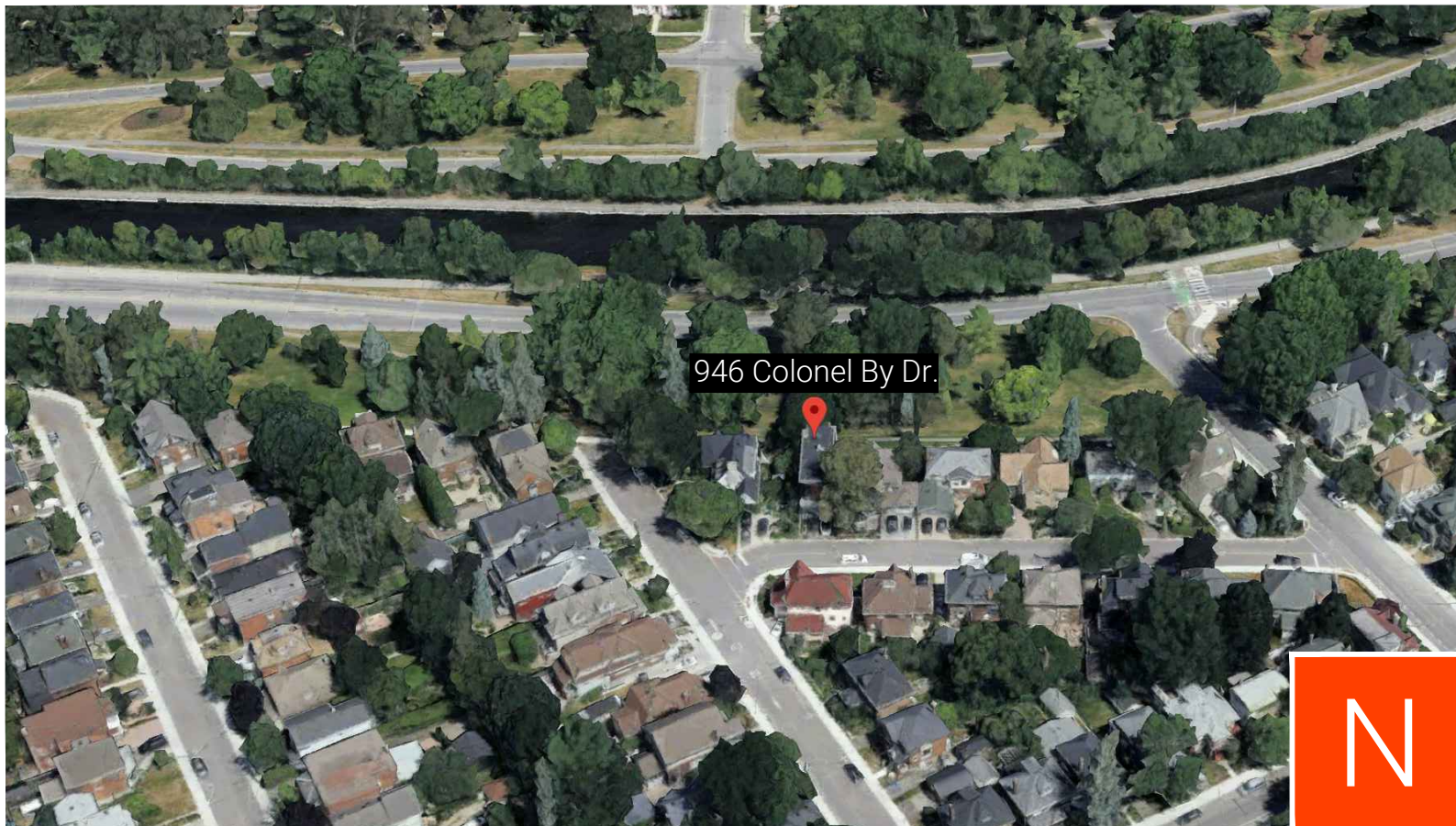
As a result, conditions of impact, privacy, and overlook are minimal.



946 Colonel By Dr.

New Addition - Level 4

JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

Context Aerial

JUNE 26, 2024



Colonel By Drive

998 Colonel By Dr.

992 Colonel By Dr.

990 Colonel By Dr.

9 Carlyle Ave.

946 Colonel By Dr.

942 Colonel By Dr.

930 Colonel By Dr.

rue Seneca St.

av. Carlyle Ave.

12 Carlyle Ave.

16 Carlyle Ave.

18 Carlyle Ave.

20 Carlyle Ave.

22 Carlyle Ave.

24 Carlyle Ave.

26 Carlyle Ave.

rue Downing St.

26 Downing St.

24 Downing St.

22 Downing St.

29 Carlyle Ave.

149 Aylmer Ave.

av. Fulton Ave.

av. Carlyle Ave.

av. Aylmer Ave.

30 Carlyle Ave.



946 Colonel By Dr.

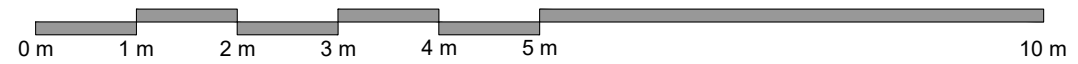
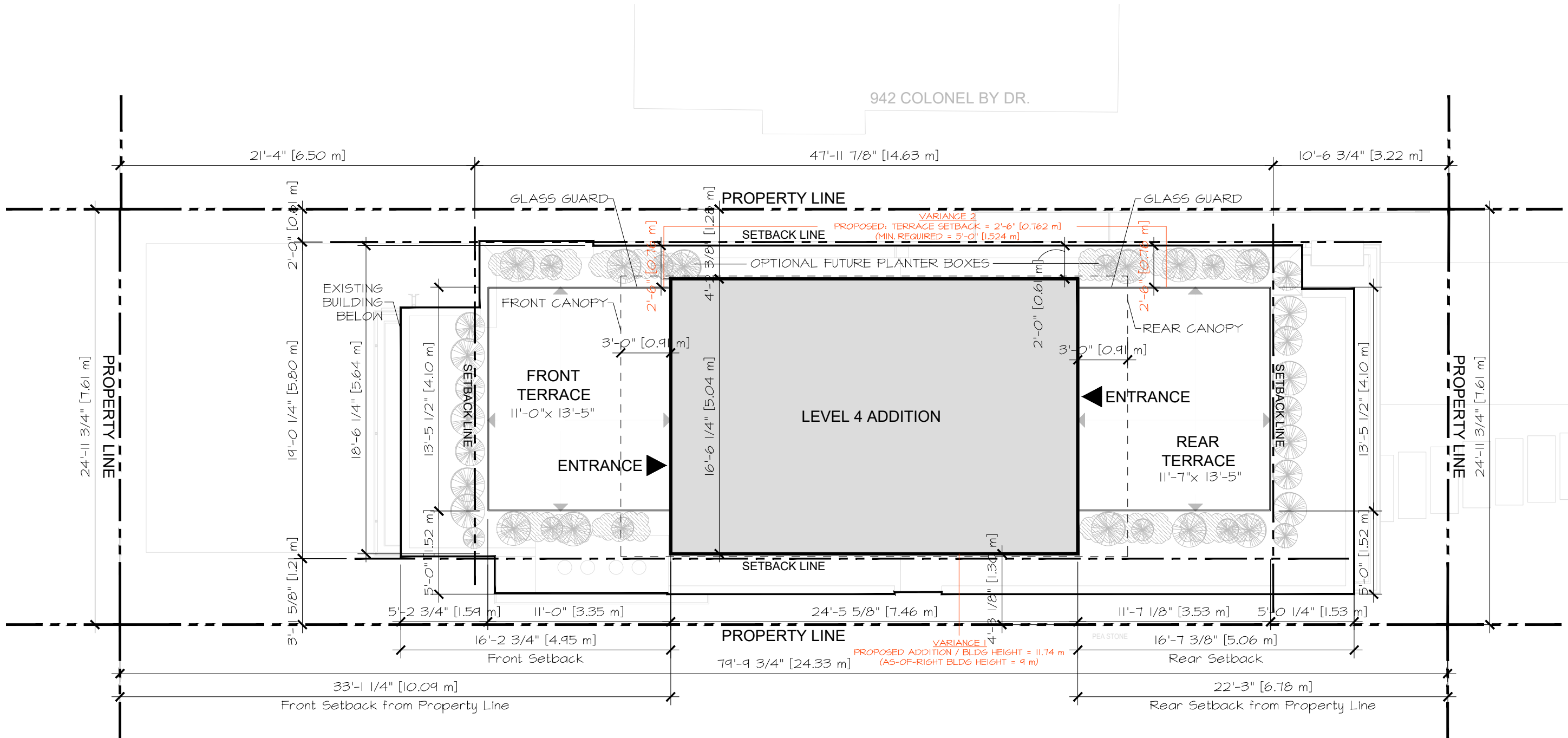
New Addition - Level 4

- NO CONCERNS
- SOME CONCERNS
- OPOSED
- NO RESPONSE



Neighbourhood Survey Map

JUNE 26, 2024

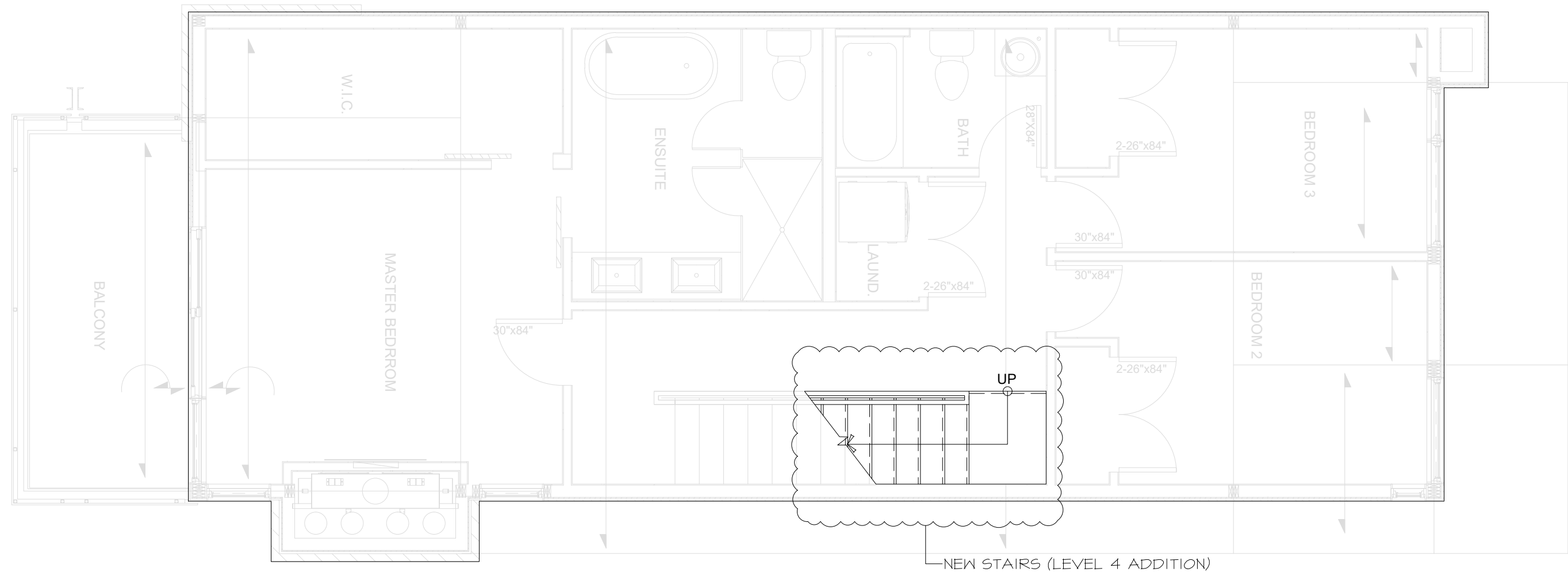


946 Colonel By Dr.

New Addition - Level 4

Site Plan
SCALE : 1:75
JUNE 26, 2024

LEVEL 3 GFA: 897 ft² [83.32 m²]



946 Colonel By Dr.

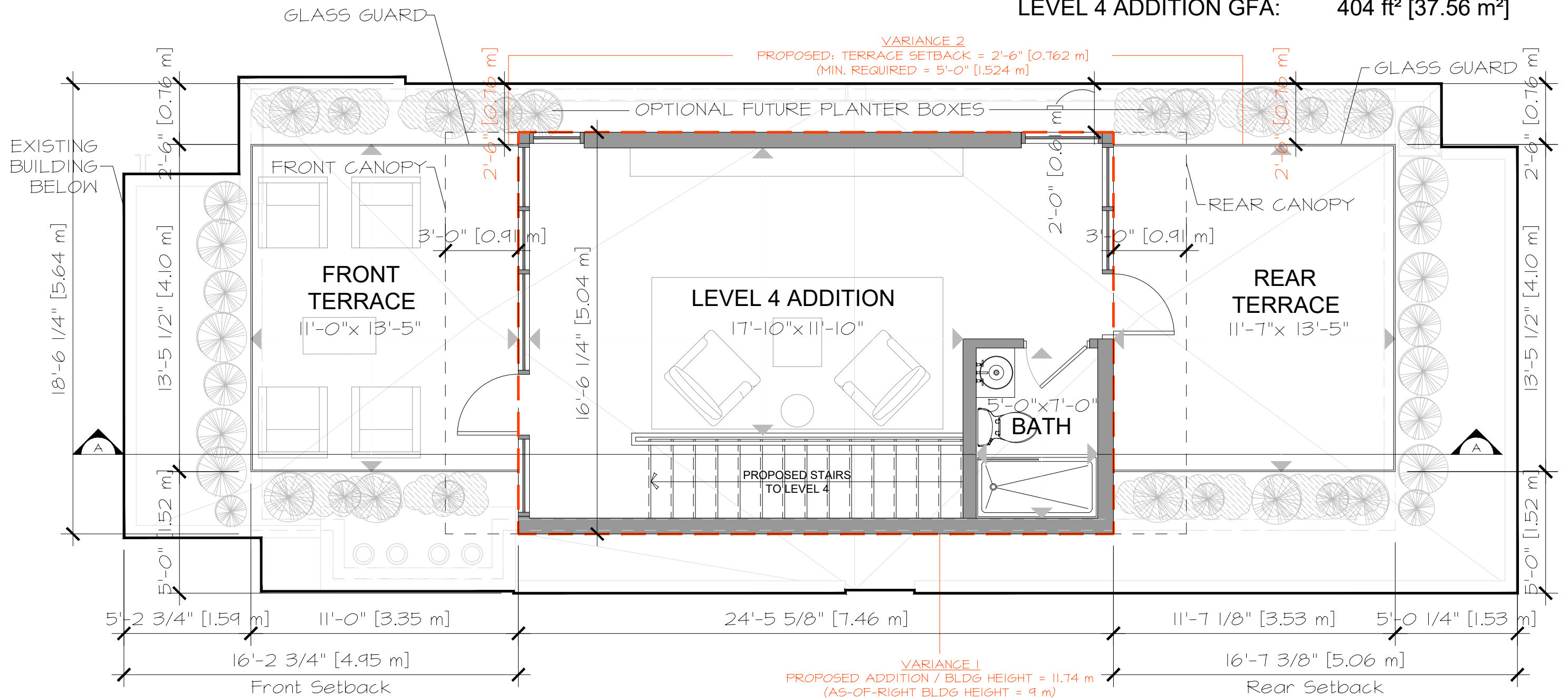
New Addition - Level 4



Level 3 Plan

SCALE : 1:50
JUNE 26, 2024

FRONT TERRACE GFA: 148 ft² [13.75 m²]
REAR TERRACE GFA: 156 ft² [14.49 m²]
TOTAL TERRACE GFA: 304 ft² [28.24 m²]
LEVEL 4 ADDITION GFA: 404 ft² [37.56 m²]



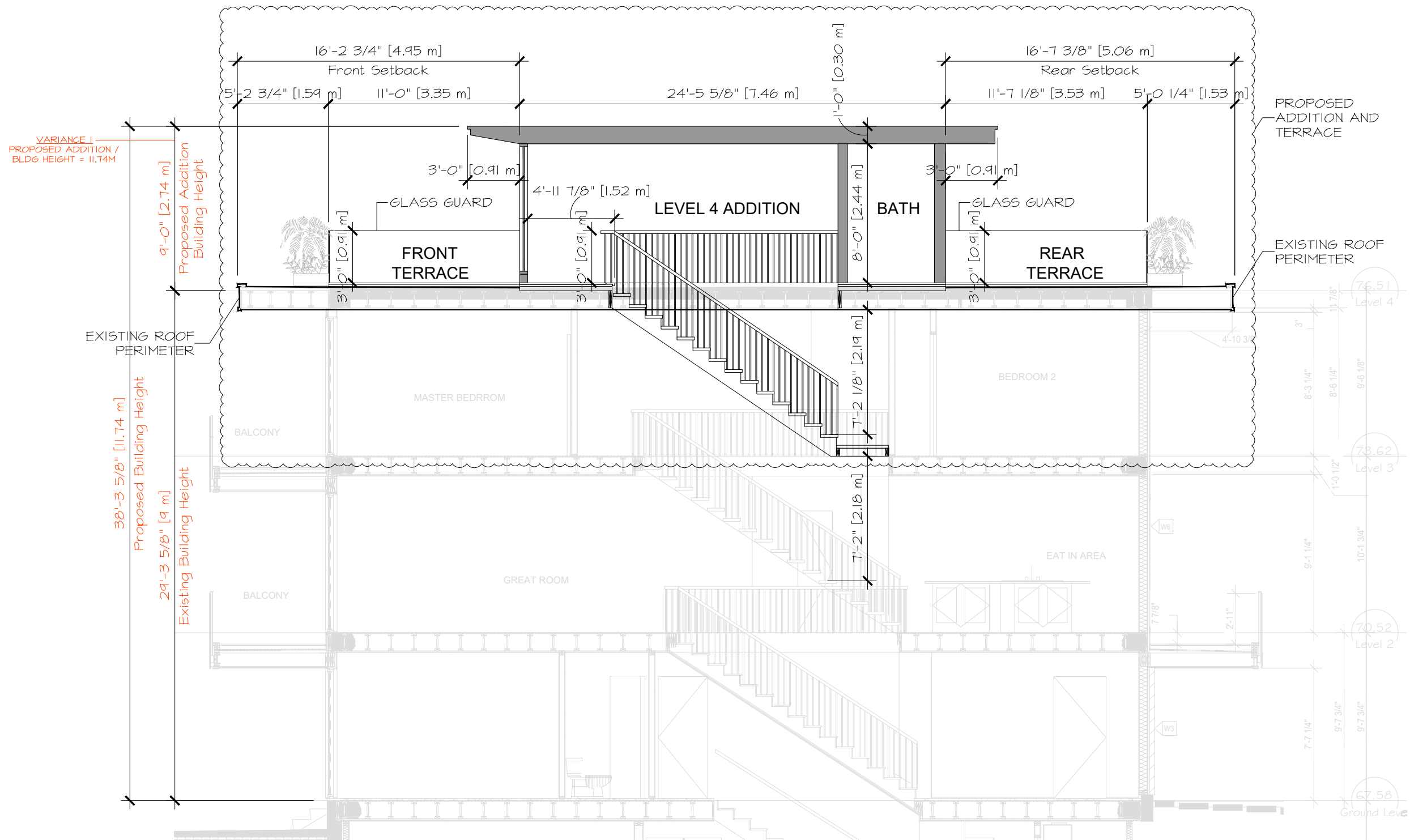
946 Colonel By Dr.

New Addition - Level 4



Level 4 Plan

SCALE: 1:50
JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

Section A - Proposed Stair Access to Level 4 Addition

SCALE : 1:75
 JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

West Elevation

SCALE : 1:75
JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

North Elevation

SCALE : 1:75
JUNE 26, 2024



VARIANCE I
 PROPOSED ADDITION /
 BLDG HEIGHT = 11.74M



946 Colonel By Dr.

New Addition - Level 4

East Elevation

SCALE : 1:75
 JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

South Elevation

SCALE : 1:75
JUNE 26, 2024



STREET VIEW - COLONEL BY DR.



HOBIN

946 Colonel By Dr.

New Addition - Level 4

ELEVATION - North West, Colonel By Dr.

JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

ELEVATION - North West, Colonel By Dr.

JUNE 26, 2024



STREET VIEW - DOWNING ST.



Downing St.



946 Colonel By Dr.

New Addition - Level 4

ELEVATION - South West, Downing St.

JUNE 26, 2024



946 Colonel By Dr.

New Addition - Level 4

ELEVATION - South East, Downing St.

JUNE 26, 2024



Downing St.

946 Colonel By Dr.



STREET VIEW - DOWNING ST.

STREETVIEW - Downing St Looking West



946 Colonel By Dr.

New Addition - Level 4

JUNE 26, 2024



DOWNING ST.

COLONEL BY DR.



946 Colonel By Dr.

New Addition - Level 4

AERIAL VIEW - North East

JUNE 26, 2024



DOWNING ST.

COLONEL BY DR.

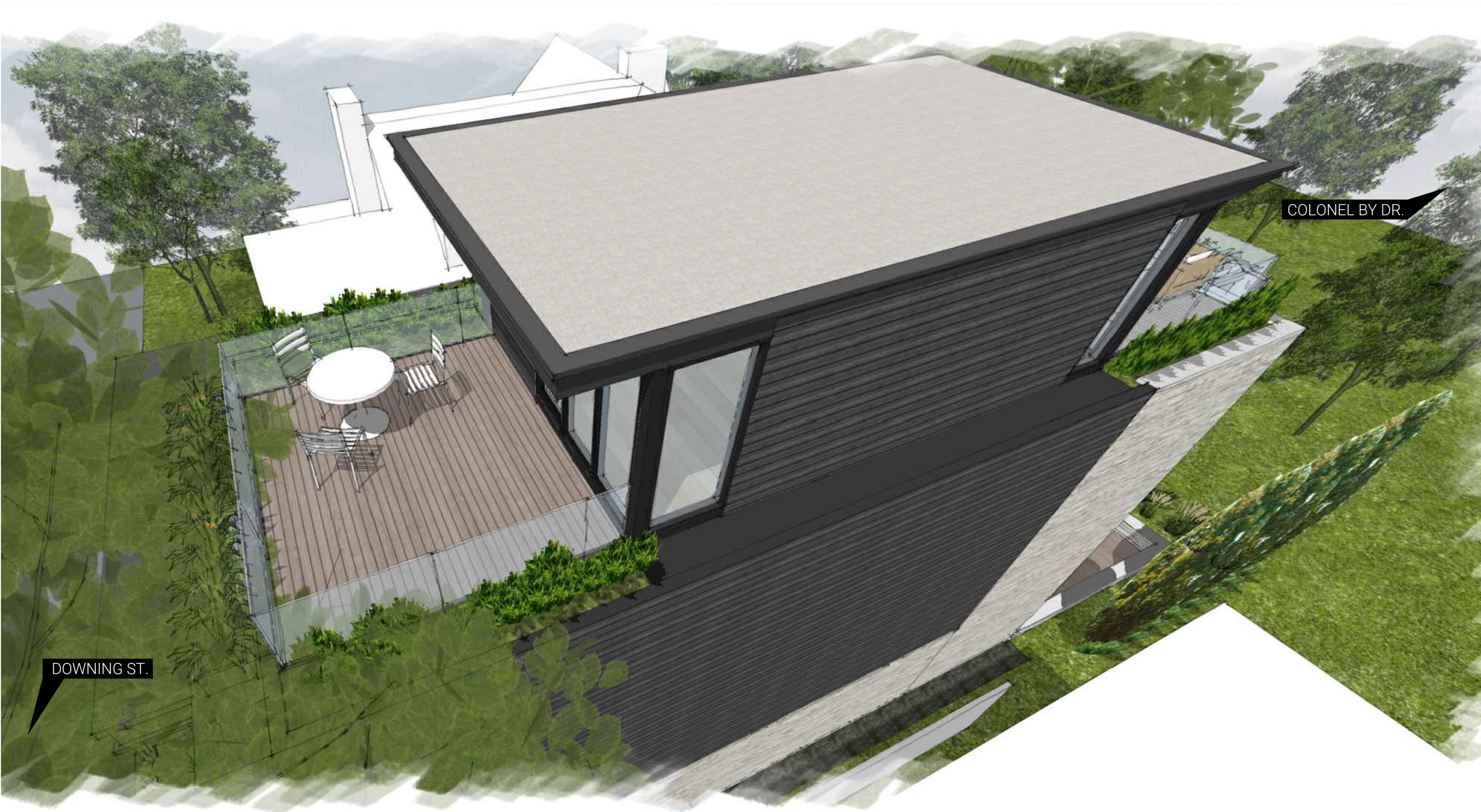


946 Colonel By Dr.

New Addition - Level 4

AERIAL VIEW - East

JUNE 26, 2024



COLONEL BY DR.

DOWNING ST.



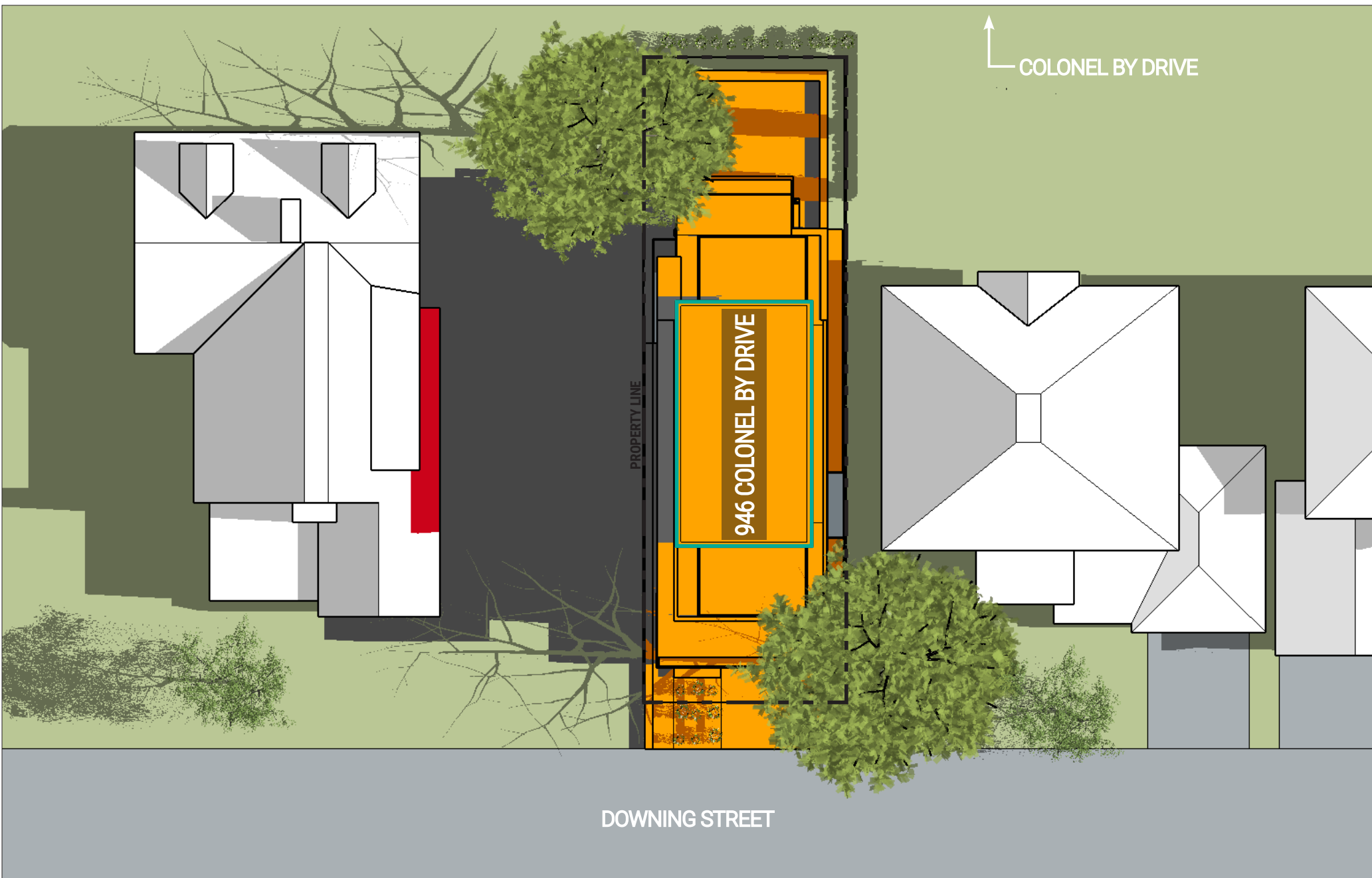
HOBIN

946 Colonel By Dr.

New Addition - Level 4

AERIAL VIEW - South East

JUNE 26, 2024



COLONEL BY DRIVE

PROPERTY LINE

946 COLONEL BY DRIVE

DOWNING STREET

- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

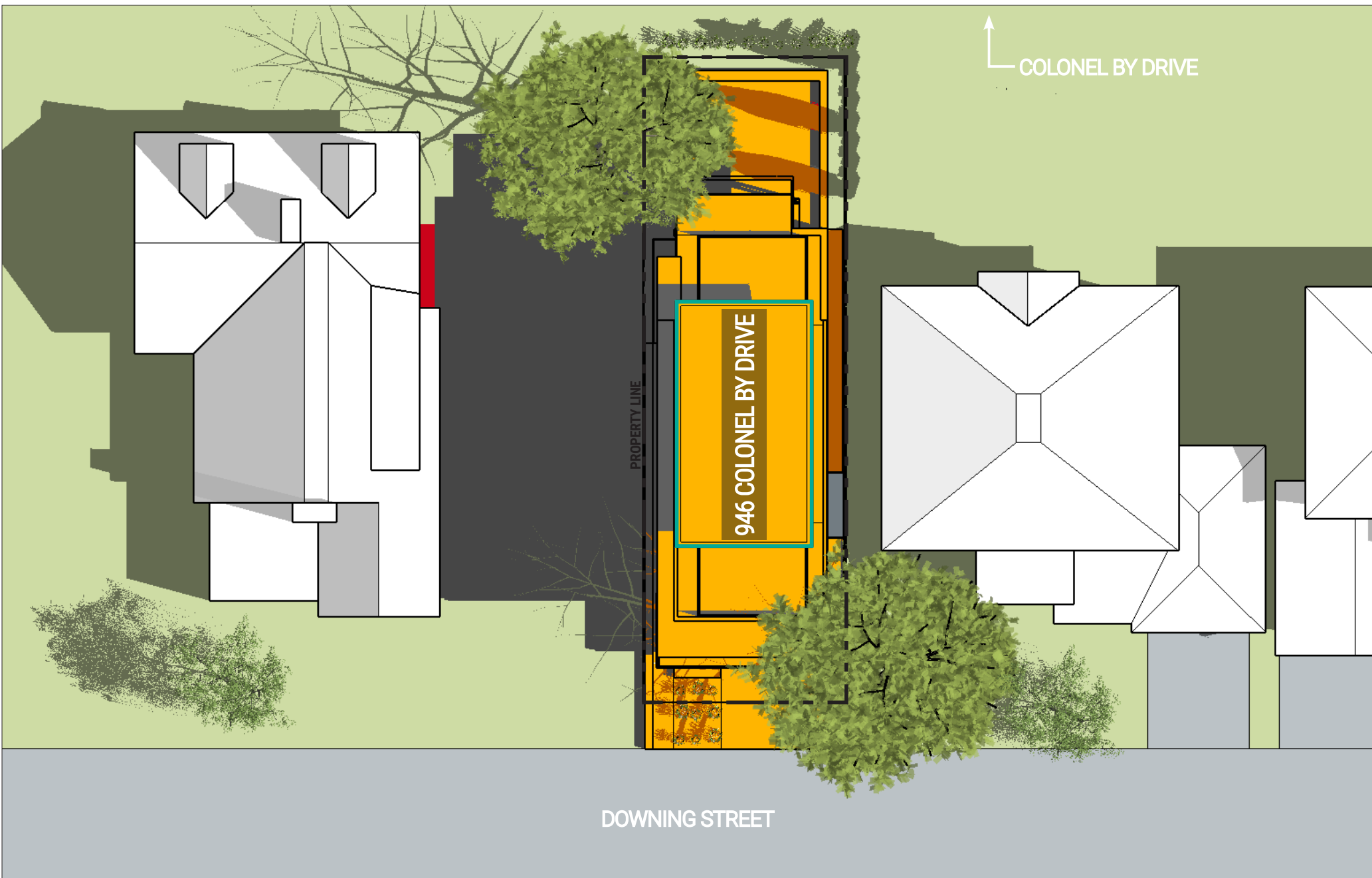


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 9:00am
 Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 1 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

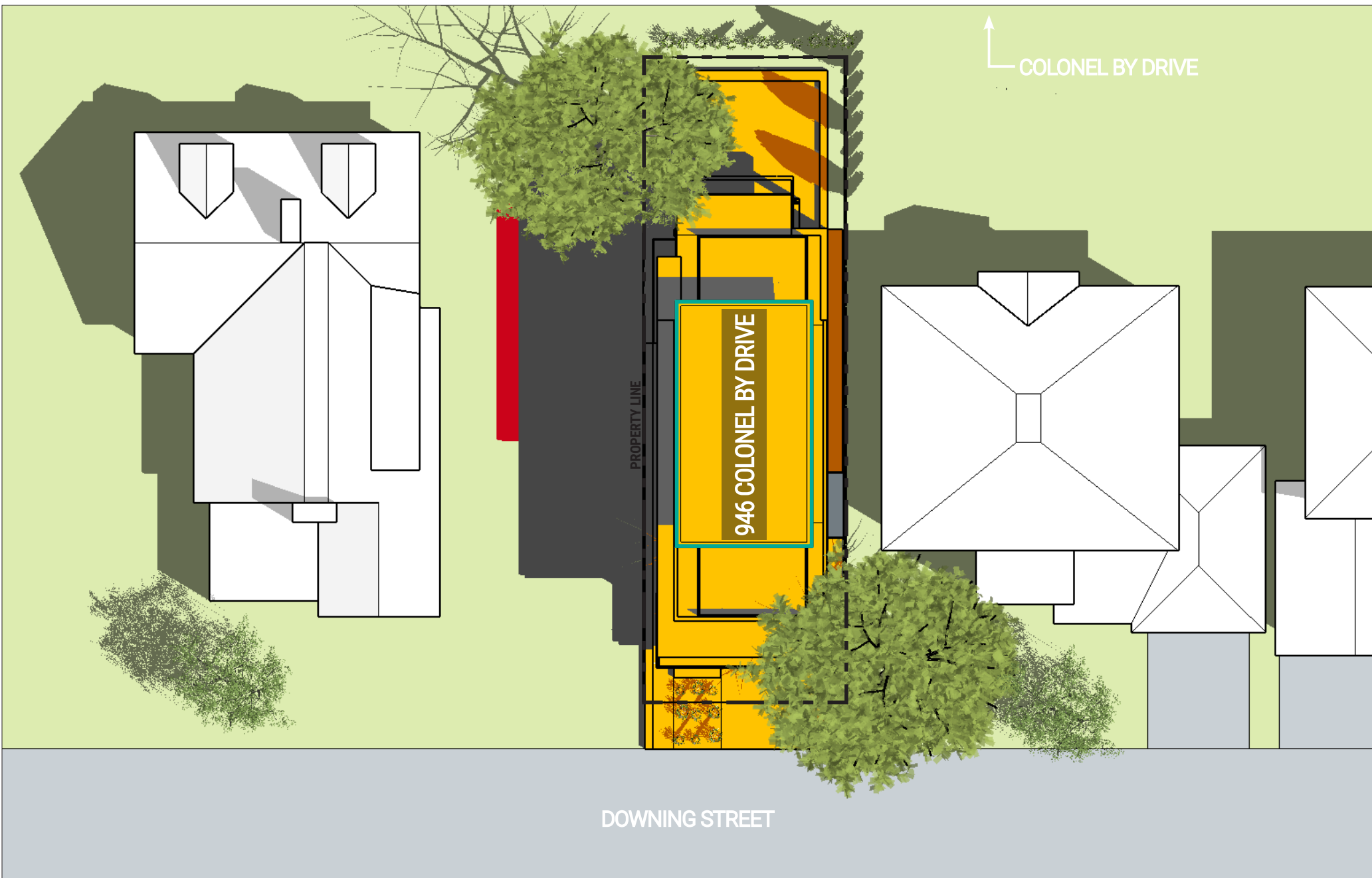


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 10:00am
Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 2 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

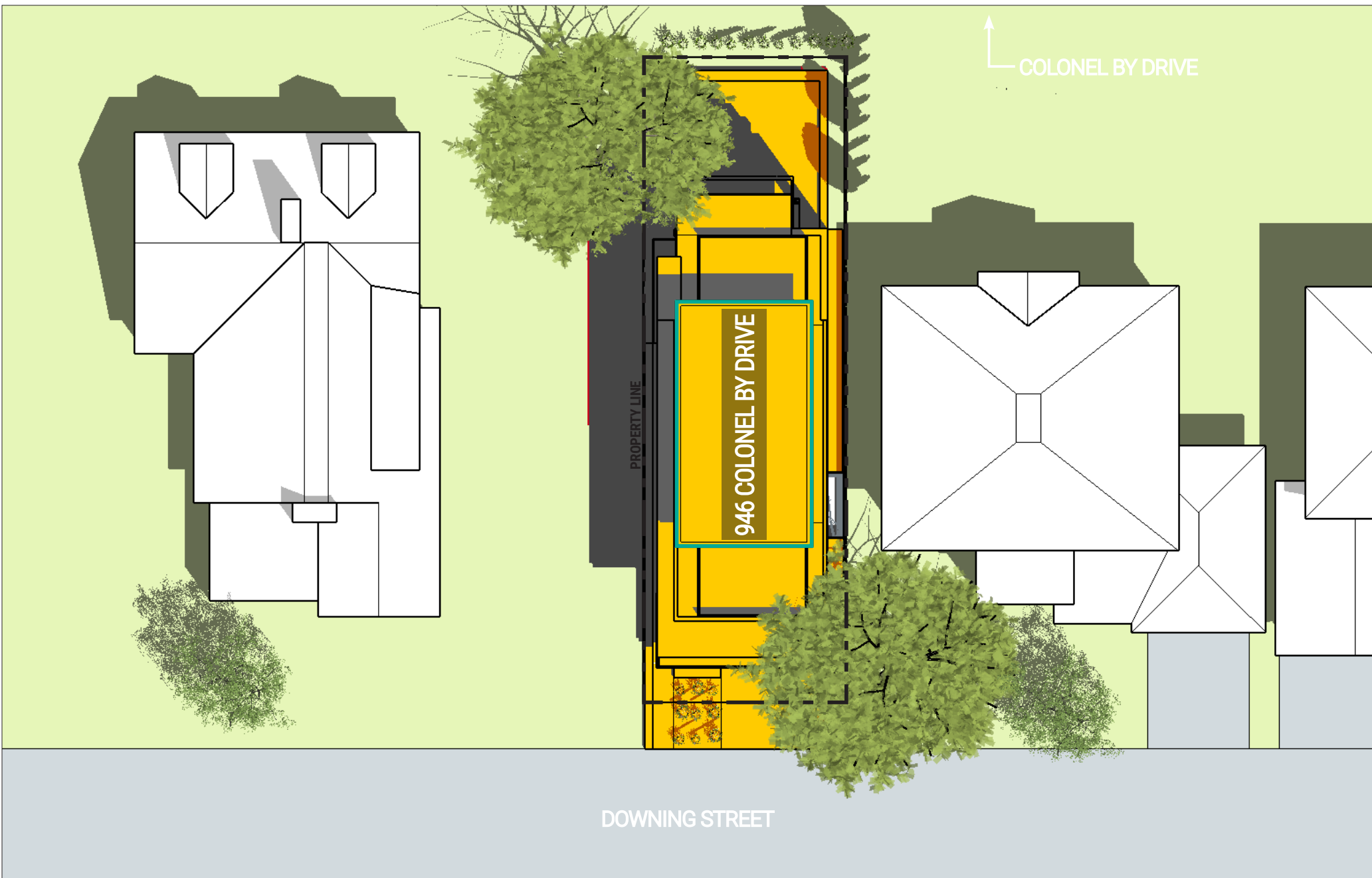


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 11:00am
 Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 3 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

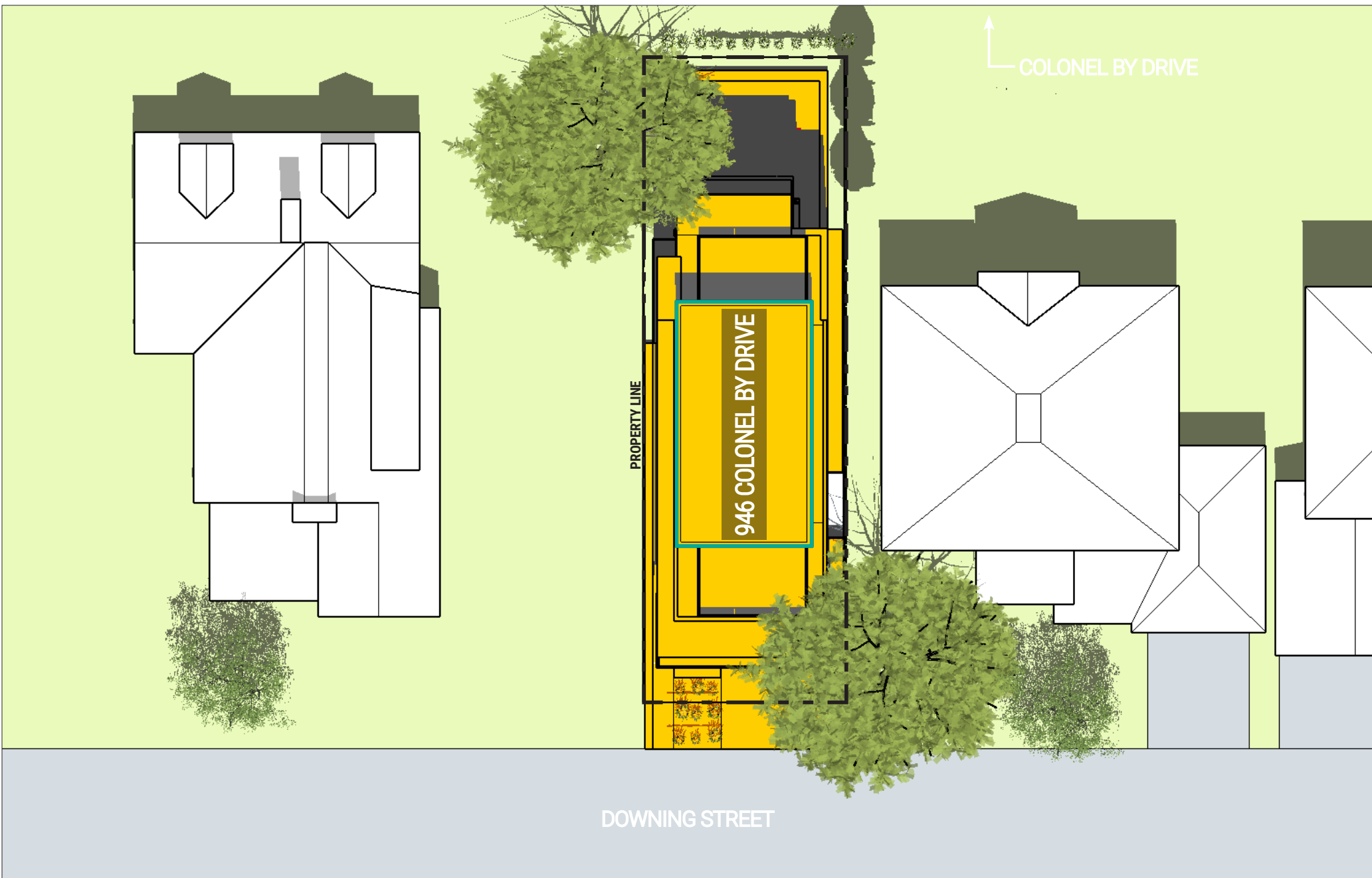


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 12:00am
Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 4 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

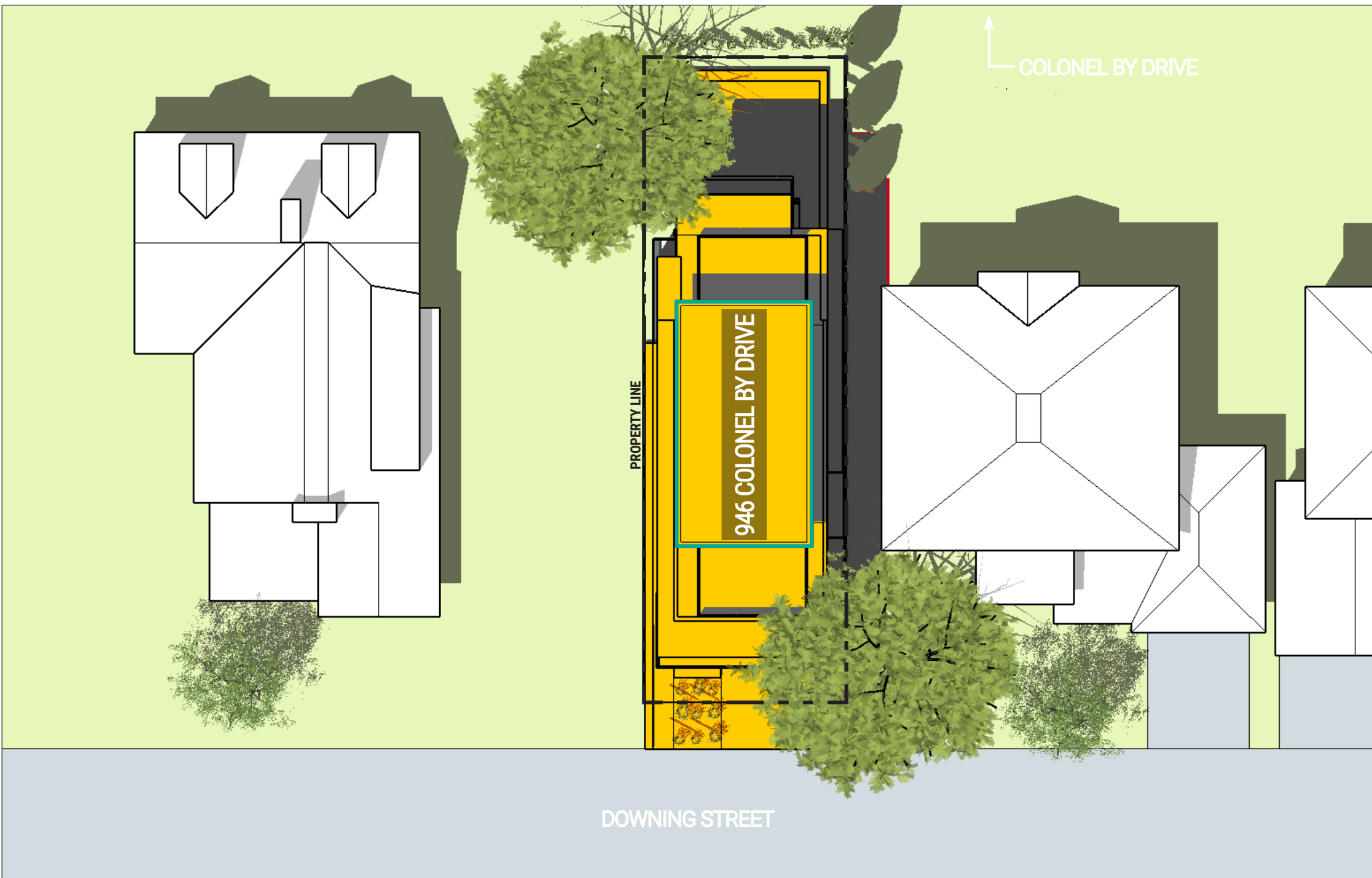


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 1:00pm
 Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 5 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

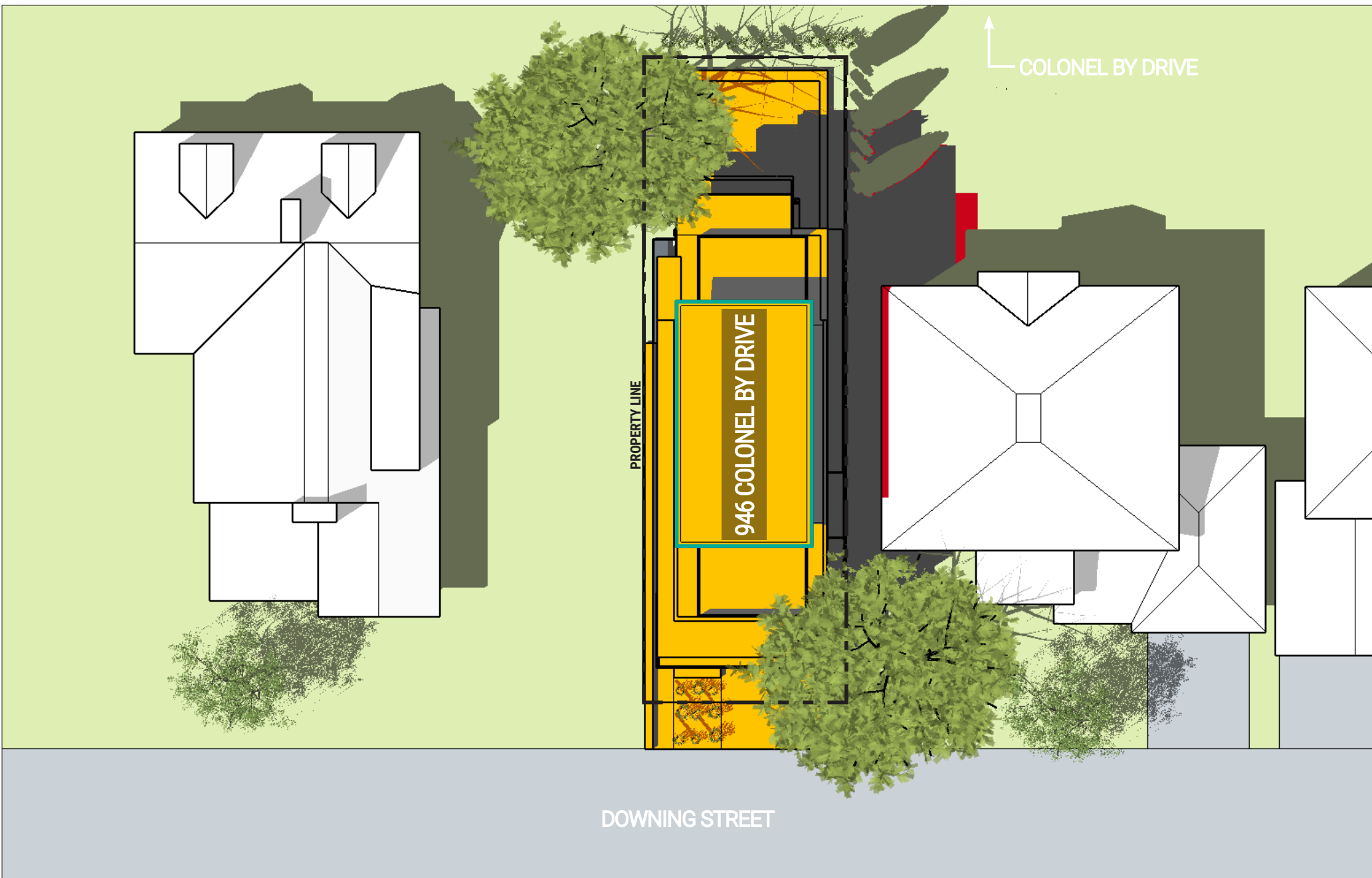


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 2:00pm
Eastern Daylight Time (EDT) = Universal Time, 4 hours
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- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow

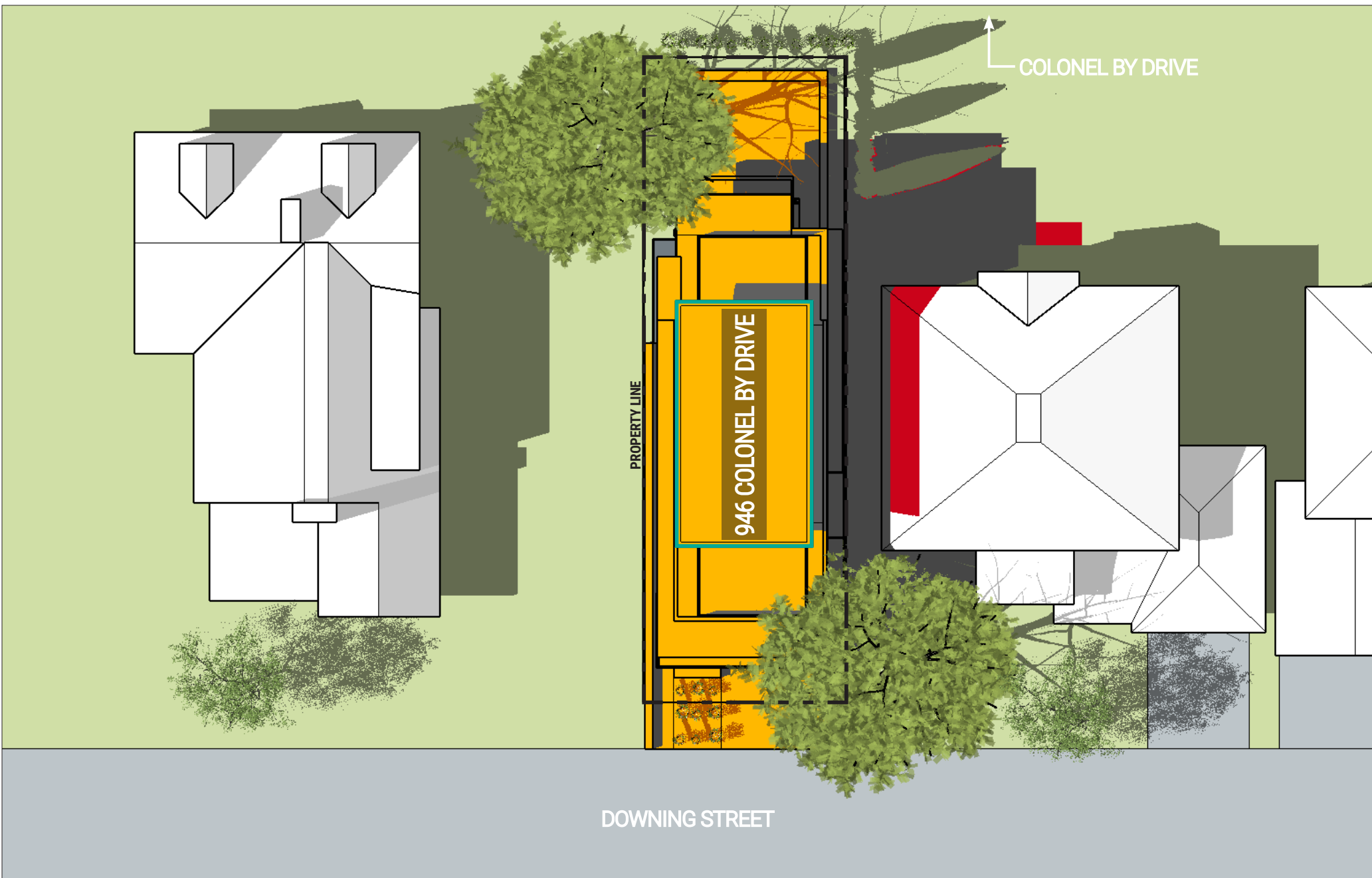


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 3:00pm
Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 7 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - 946 Colonel By Drive
 - New Net Shadow
 - Existing Shadow

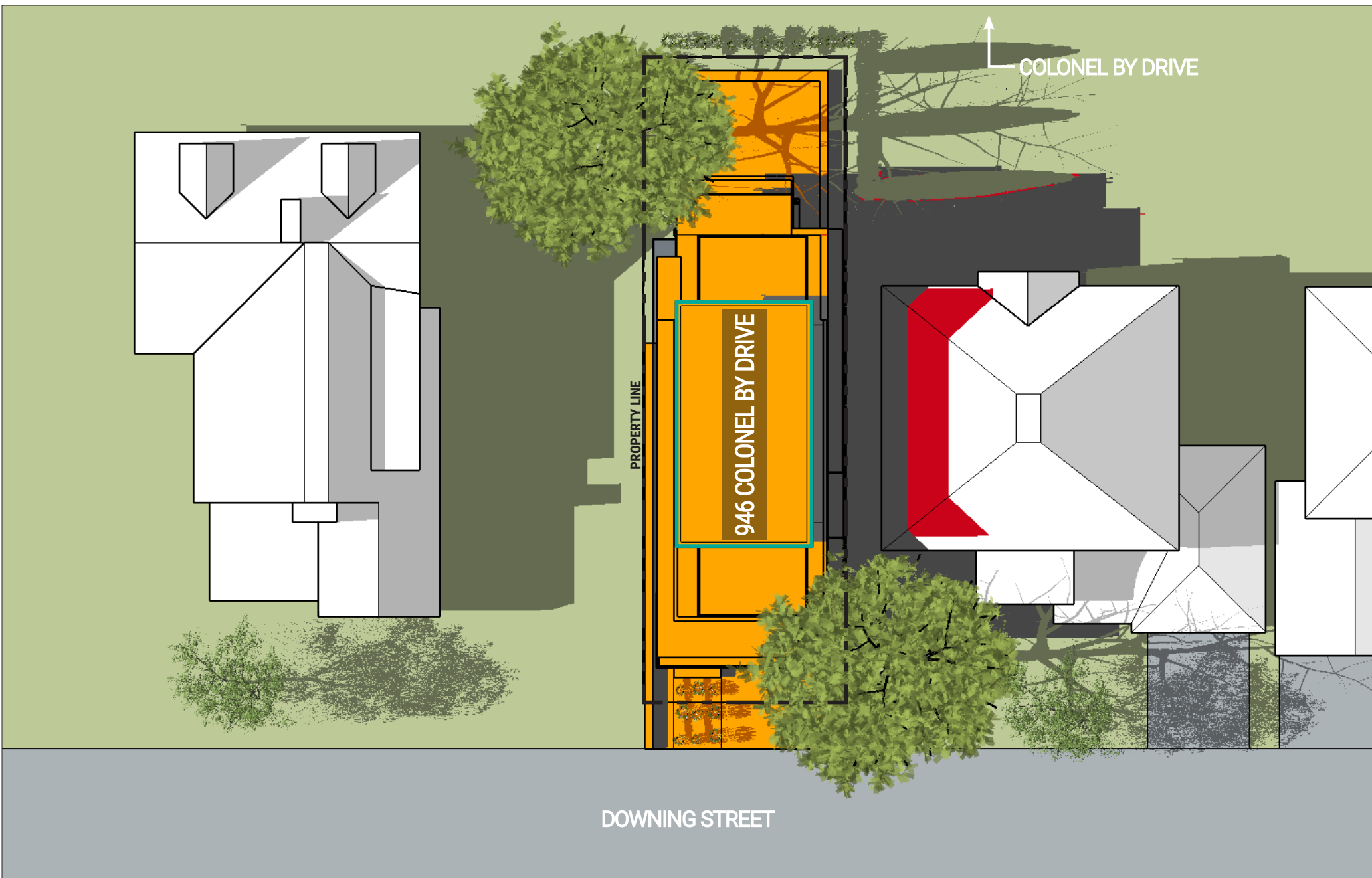


HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 4:00pm
Eastern Daylight Time (EDT) = Universal Time, 4 hours
 Page 8 of 9



- LEGEND:**
- Proposed Level 4 Addition
 - New Net Shadow
 - 946 Colonel By Drive
 - Existing Shadow



HOBIN **946 COLONEL BY DRIVE**
 New Addition - Level 4
 Top-View Shadow Analysis

Company: Hobin Architecture
Prepared by: Cristina Hoang
Date: June 05, 2024

Application No.: _____
Application Type: _____
Scale: 1/16" = 1'-0"

Figure test time:
JUNE 21 4:00pm
Eastern Daylight Time (EDT) = Universal Time, 4 hours
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