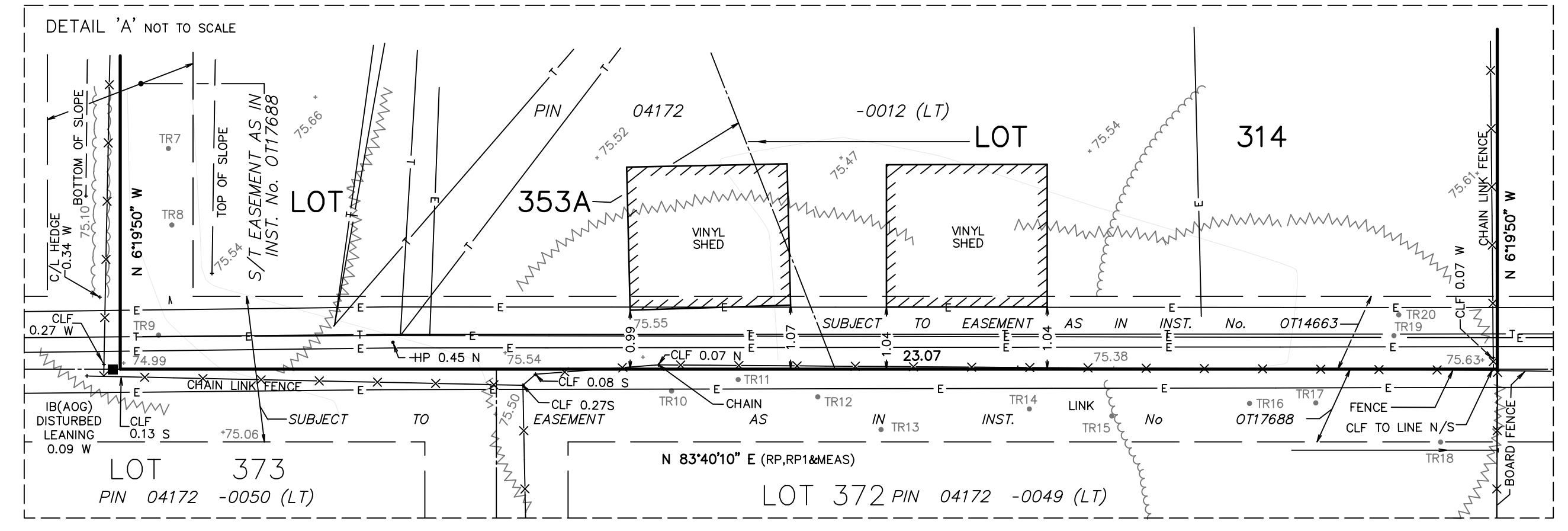
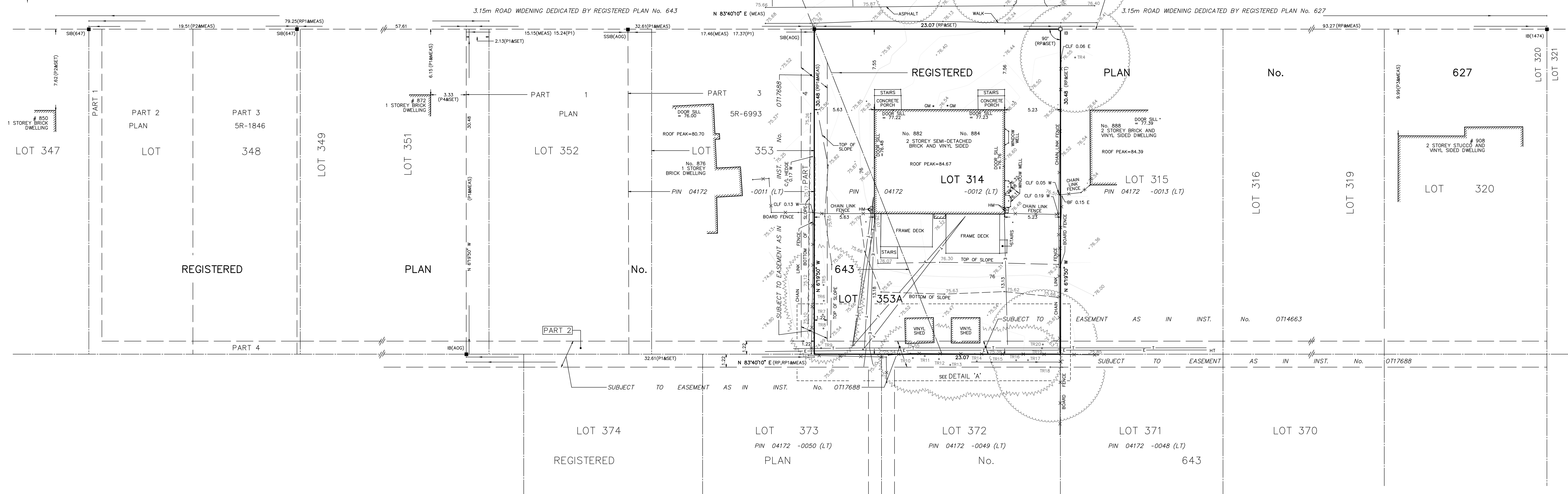


SAN MH LID=74.68 SAN MH LID=76.15 SAN MH LID=77.98 NOT TO SCALE

Committee of Adjustment  
Received | Reçu le  
2024-06-17  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

SMYTH ROAD  
(ROAD ALLOWANCE BETWEEN LOTS 15 AND 16 JUNCTION GORE)  
PIN 04261



SURVEYOR'S REAL PROPERTY REPORT  
PART 1 PLAN OF SURVEY OF  
**LOT 353A**  
**REGISTERED PLAN No. 643**  
AND  
**LOT 314**  
**REGISTERED PLAN No. 627**  
CITY OF OTTAWA  
SCALE 1 : 150  
0 5 10 20 metres

J.D. BARNES LIMITED  
© COPYRIGHT 2023  
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**PART 2 - SURVEY REPORT**  
- DESCRIPTION  
LOT 353A REGISTERED PLAN 643, LOT 314 REGISTERED PLAN 627 BEING PIN 04172-0012(LT) IN THE CITY OF OTTAWA.  
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY  
SUBJECT TO EASEMENT AS IN INSTRUMENT NUMBERS 0114663 AND 0117688  
- BOUNDARY FEATURES  
NOTE LOCATION OF TREES AROUND SUBJECT PROPERTY AS NOTED IN TREE SCHEDULE.  
NOTE LOCATION OF CHAIN LINK FENCES AND BOARD FENCES ALONG PORTIONS OF EAST, WEST AND SOUTHERLY LIMITS.  
NOTE LOCATION OF OVERHEAD TELEPHONE AND HYDRO CABLES ALONG SOUTHERLY LIMIT.  
NOTE LOCATION OF CEDAR HEDGE ALONG WESTERLY LIMIT.

**NOTES**  
BEARINGS ARE MTM GRID, DERIVED FROM PUBLISHED CONTROL POINTS 0191960302 AND 001196530389; MTM ZONE 09, NAD83 (ORIGINAL).  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999950.  
FOR BEARING COMPARISONS, A ROTATION OF 0°34'50" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLAN RP, RP1, P1, P2, P3, P4 AND P5 TO ROTATE TO GRID BEARINGS.  
ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION.  
COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.  
TOPOGRAPHIC INFORMATION WAS COLLECTED IN WINTER CONDITIONS. SNOW AND ICE COVER PRECLUDE DETERMINING LOCATIONS AND ELEVATIONS OF SOME TOPOGRAPHIC DATA THAT IS OTHERWISE VISIBLE.

**LEGEND**  
■ DENOTES SURVEY MONUMENT FOUND  
□ DENOTES SURVEY MONUMENT SET  
SIB DENOTES STANDARD IRON BAR  
IB DENOTES IRON BAR  
MEAS DENOTES MEASURED  
A06 DENOTES ANNIS, O'SULLIVAN, VOLLEBECK LTD.  
B47 DENOTES H.R. FARLEY, O.L.S.  
1474 DENOTES M.E. RENAUD, O.L.S.  
CLF DENOTES CHAIN LINK FENCE  
BF DENOTES BOARD FENCE  
HP DENOTES HYDRO POLE  
C/L DENOTES CENTER LINE  
RP DENOTES REGISTERED PLAN No. 627  
RP1 DENOTES REGISTERED PLAN No. 643  
P1 DENOTES PLAN 5R-6993  
P2 DENOTES PLAN 5R-1846  
P3 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY M.E. RENAUD O.L.S., DATED JULY 27, 1998  
P4 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY LYN COLE O.L.S., DATED OCTOBER 30, 1989  
P5 DENOTES PLAN 5R-2494

**ELEVATIONS**  
ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM COG028.78 AND ARE DERIVED FROM THE PUBLISHED BENCH MARK No 001196530389 HAVING A PUBLISHED ELEVATION OF 67.097 METRES.

**TOPOGRAPHIC LEGEND**  
□ HM DENOTES HYDRO METER  
□ GM DENOTES GAS METER  
○ SAN MH DENOTES SANITARY MANHOLE  
○ STM MH DENOTES STORM MANHOLE  
— T — DENOTES OVERHEAD TELECOM WIRE  
— E — DENOTES OVERHEAD HYDRO WIRE  
— SAN — DENOTES UNDERGROUND SANITARY LINE  
○ DENOTES DECIDUOUS TREE  
● DENOTES CONIFEROUS TREE

| TREE SCHEDULE |          |            |                             |           |
|---------------|----------|------------|-----------------------------|-----------|
| ID            | Diam (m) | Radius (m) | Distance from Property Line | Note      |
| TR1           | 0.17     | 3          | 3.6 N                       | Deciduous |
| TR2           | 0.17     | 3          | 3.7 N                       | Deciduous |
| TR3           | 0.17     | 3          | 5 N                         | Deciduous |
| TR4           | 0.6      | 5          | 1.3 E                       | Deciduous |
| TR5           | 0.4      | 3.5        | 0.8 E                       | Conifer   |
| TR6           | 0.4      | 3.5        | 0.8 E                       | Conifer   |
| TR7           | 0.25     | 3          | 0.8 E                       | Conifer   |
| TR8           | 0.25     | 3          | 0.8 E                       | Conifer   |
| TR9           | 0.2      | 1          | 0.6 E, 0.5 N                | Conifer   |
| TR10          | 0.2      | 3          | 0.3 S                       | Conifer   |
| TR11          | 0.3      | 3          | 0.2 S                       | Conifer   |
| TR12          | 0.3      | 3          | 0.4 S                       | Conifer   |
| TR13          | 0.3      | 3          | 1.0 S                       | Conifer   |
| TR14          | 0.4      | 3          | 0.6 S                       | Conifer   |
| TR15          | 0.2      | 3          | 0.8 S                       | Conifer   |
| TR16          | 0.25     | 3          | 0.5 S                       | Conifer   |
| TR17          | 0.25     | 3          | 0.5 S                       | Conifer   |
| TR18          | 0.25     | 3          | 1.2 S                       | Conifer   |
| TR19          | 0.25     | 5          | 0.9 N, 1.6 W                | Deciduous |
| TR20          | 0.25     | 5          | 0.5 N, 1.7 W                | Deciduous |

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON FEBRUARY 16, 2023.

FEBRUARY 21, 2023  
DATE  
SHAWN LEROUX  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-41973

**J.D. BARNES** SURVEYING MAPPING GIS LIMITED  
LAND INFORMATION SPECIALISTS  
62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: CE CHECKED BY: SL REFERENCE NO.: 22-10-136-00  
PLOTTED: 2/21/2023 DATED: 02/16/2023

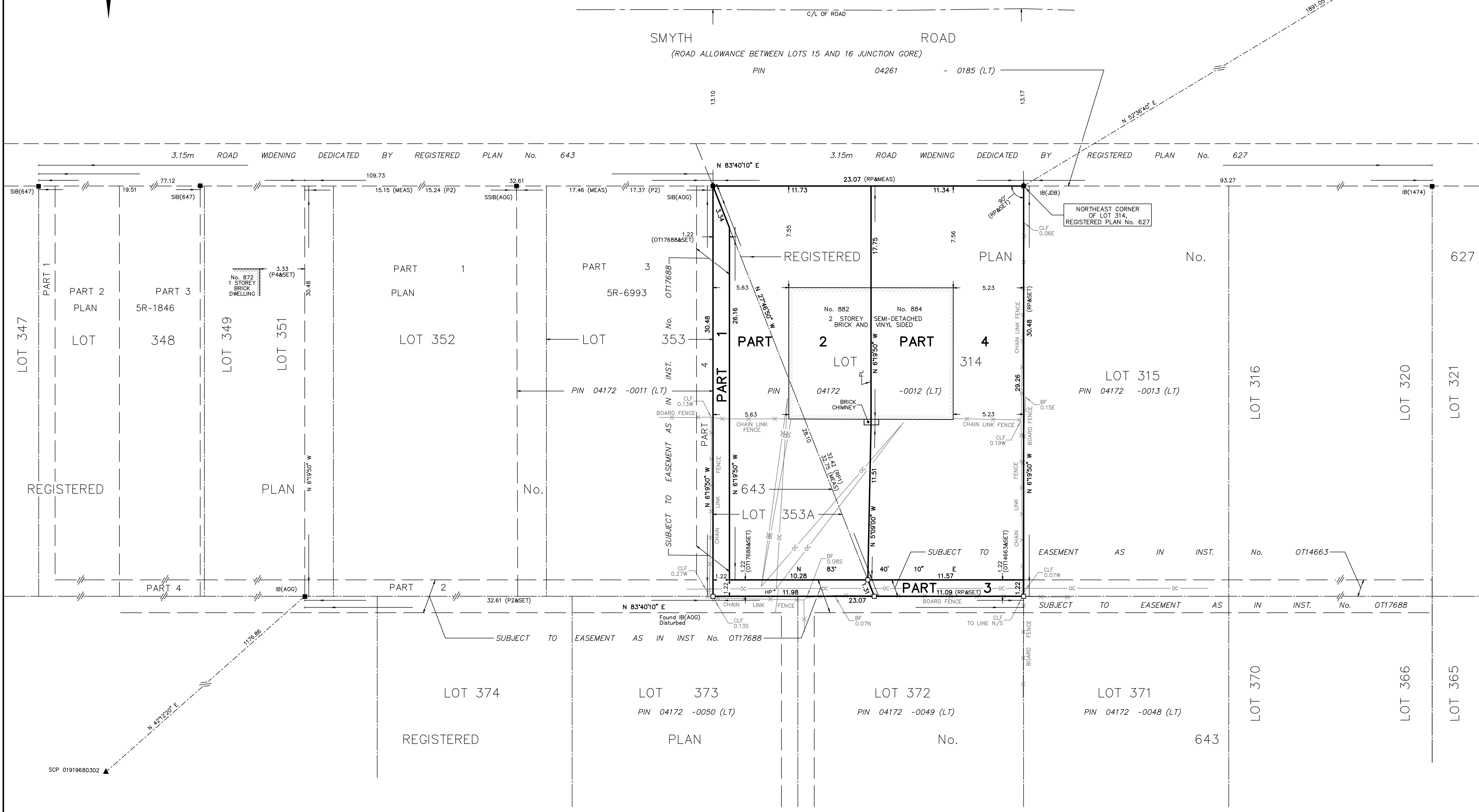
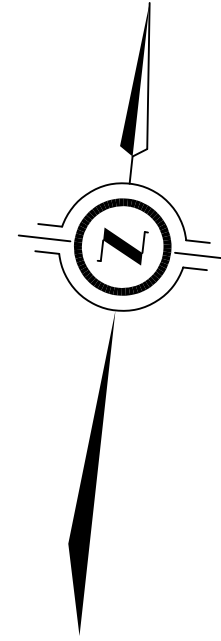


# DRAFT PLAN FOR SEVERANCE

| SCHEDULE |              |      |                           |             |
|----------|--------------|------|---------------------------|-------------|
| PART     | LOT          | PLAN | PIN                       | AREA sq. m. |
| 1        | PART OF 353A | 643  | ALL OF<br>04172-0012 (LT) | 48.1        |
| 2        | PART OF 314  | 627  |                           | 308.2       |
| 3        | PART OF 353A | 643  |                           | 13.8        |
| 4        | PART OF 314  | 627  |                           | 333.1       |

PART 1 IS SUBJECT TO EASEMENT AS IN INSTRUMENT NUMBER OT17688  
 PART 3 IS SUBJECT TO EASEMENT AS IN INSTRUMENT NUMBER OT14663

Committee of Adjustment  
 Received | Reçu le  
 2024-06-17  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



PLAN OF SURVEY OF  
**LOT 353A**  
 REGISTERED PLAN No. 643  
 AND  
**LOT 314**  
 REGISTERED PLAN No. 627  
 CITY OF OTTAWA

SCALE 1 : 150  
 2.5 0 2.5 5 10 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 915mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150

J.D. BARNES LIMITED  
 METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**  
 BEARINGS ARE MTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 01919680302 AND 001196530389, MTM ZONE 9, NAD83 (ORIGINAL).  
 FOR BEARING COMPARISONS, A ROTATION OF 0°34'50" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLANS RP, RP1, P2 AND P3.  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999950.  
 BUILDING TIES ARE TO CONCRETE FOUNDATIONS UNLESS OTHERWISE SHOWN.

| INTEGRATION DATA  |            |              |  |
|---|------------|--------------|--|
| SPECIFIED CONTROL POINTS (SCP): MTM ZONE 9, NAD83 (ORIGINAL).     |            |              |  |
| COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.REG 216/10. |            |              |  |
| POINT ID  | EASTING    | NORTHING     |  |
| SCP 01919680302   | 372 123.54 | 5 028 419.24 |  |
| SCP 001196530389  | 374 468.50 | 5 030 475.61 |  |

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
 THE RESULTANT TIE BETWEEN SCP'S 01919680302 AND 001196530389 IS 3119.05m. (GROUND), N 48°45'10" E

| LEGEND |   |
|--------|---|
| ■      | DENOTES SURVEY MONUMENT FOUND   |
| □      | DENOTES SURVEY MONUMENT SET   |
| SSIB   | DENOTES SHORT STANDARD IRON BAR   |
| SIB    | DENOTES STANDARD IRON BAR   |
| IB     | DENOTES IRON BAR  |
| MEAS   | DENOTES MEASURED  |
| A06    | DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.   |
| 647    | DENOTES H.R. FARLEY, O.L.S.   |
| 1474   | DENOTES M.E. RENAUD, O.L.S.   |
| JDB    | DENOTES J.D. BARNES LTD.  |
| RP     | DENOTES REGISTERED PLAN No. 627   |
| RP1    | DENOTES REGISTERED PLAN No. 643   |
| P2     | DENOTES PLAN SR-6993  |
| P3     | DENOTES PLAN SR-1846  |
| P4     | DENOTES SURVEYOR'S REAL PROPERTY REPORT BY LYN COLE, O.L.S., DATED OCTOBER 30, 1989 |
| PL     | DENOTES PART LIMIT WITHIN DEMISING WALL   |
| C/L    | DENOTES CENTER LINE   |
| PIN    | DENOTES PROPERTY IDENTIFICATION NUMBER  |
| BF     | DENOTES BOARD FENCE   |
| CLF    | DENOTES CHAIN LINK FENCE  |
| HP     | DENOTES HYDRO POLE  |
| -OC-   | DENOTES OVERHEAD UTILITY CABLE  |

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON , 2023.

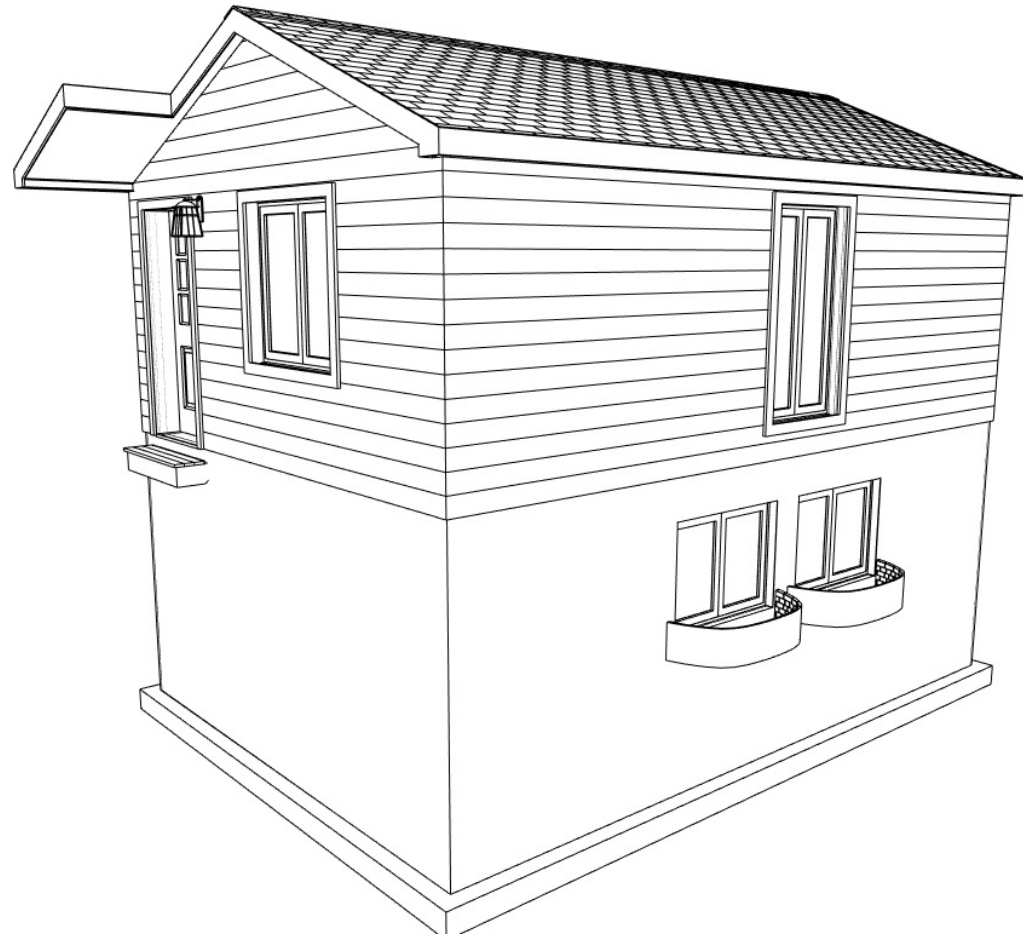
DRAFT DATE \_\_\_\_\_  
 SHAWN LEROUX  
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-XXXXX

**J.D. BARNES** SURVEYING MAPPING GIS LIMITED  
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 62 STEACIE DRIVE, SUITE 103, OTTAWA, ON K2K 2A9  
 T: (613) 731-7244 F: (613) 731-8955 www.jdbarnes.com

|              |                |                             |
|--------------|----------------|-----------------------------|
| DRAWN BY: RP | CHECKED BY: SL | REFERENCE NO.: 22-10-136-00 |
|--------------|----------------|-----------------------------|

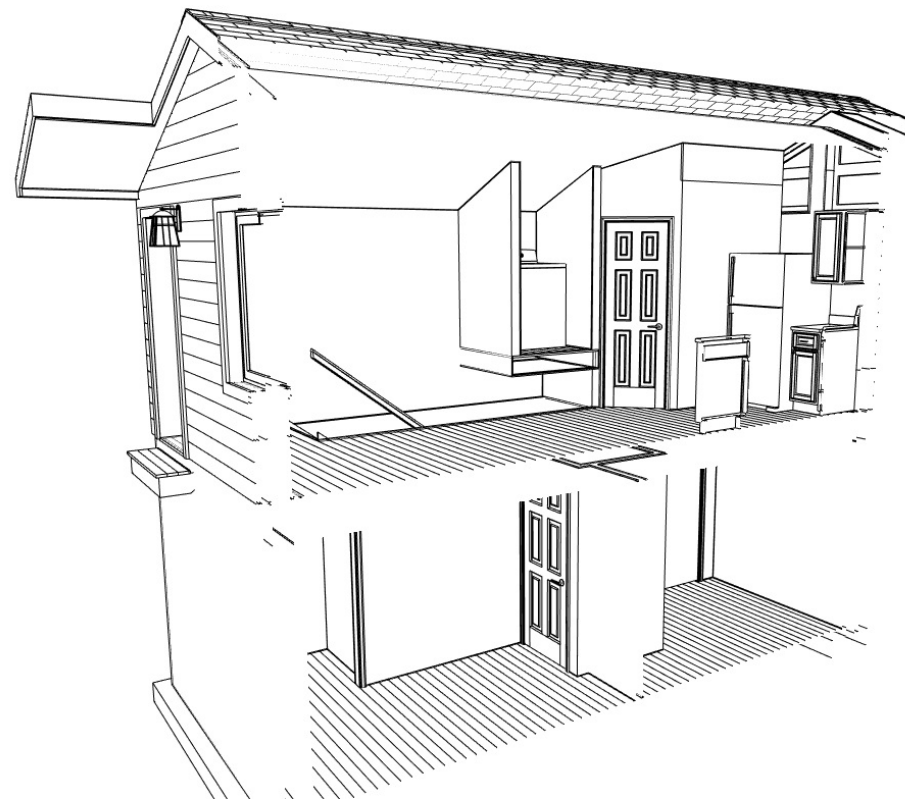
FILE: G:\22-10-136\00\Drawing\PLAN\22-10-136-00-RPLAN.dgn DATED: 03/09/2023  
 PLOTTED: 3/9/2023



Committee of Adjustment  
Received | Reçu le

Revised | Modifié le : 2024-06-17

City of Ottawa | Ville d'Ottawa  
Comité de dérogation



LABEL

- A0
- A1.0
- A3.0
- A3.1
- A3.2
- A4.0
- A4.1
- A4.2
- A4.3
- A5.0
- A5.1

LAYOUT PAGE TABLE

| LABEL | TITLE                         |
|-------|-------------------------------|
|       | PERSPECTIVES                  |
|       | CONSTRUCTION NOTES & ASSEMBLY |
|       | SITE PLAN                     |
|       | PROPOSED BASEMENT FLOOR PLAN  |
|       | PROPOSED GROUND FLOOR PLAN    |
|       | PROPOSED ROOF PLAN            |
|       | EXTERIOR ELEVATION (FRONT)    |
|       | EXTERIOR ELEVATION (SIDE)     |
|       | EXTERIOR ELEVATION (REAR)     |
|       | EXTERIOR ELEVATION (SIDE)     |
|       | BUILDING SECTION              |
|       | BUILDING SECTION              |

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND VERIFIED.
- DESIGN IS IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE. ALL FABRICATIONS AND ERECTION SHALL BE IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE.
- HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.
- TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/ OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE AT THE OWNER'S AND/ OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE DESIGNER/ ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

**DISCLAIMER NOTE:**

- DUSTIN DESIGN & DRAFTING COMPANY IS NOT RESPONSIBLE FOR ANY PURCHASES REGARDING THE CONSTRUCTION (FLOOR & ROOF MATERIALS, WINDOWS & DOORS MATERIALS OR ANY OTHER TYPE OF MATERIALS IN ORDER TO BUILD THIS BUILDING).
- NONE OF THESE MATERIALS SHOULD BE PURCHASED UNTIL THE PERMIT PLANS HAS BEEN APPROVED BY THE CITY.
- THE OWNER(S) AND/OR CONTRACTOR(S) IS TAKING FULL RESPONSIBILITY ON THESE PURCHASES AND THE CONSEQUENCES THAT MAY OCCUR OF THESE DECISIONS.

Dustin Poole  
BCIN# 37560  
FIRM# 100988  
613-795-2860

*Dustin Poole*

QUALIFICATION INFO:  
SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

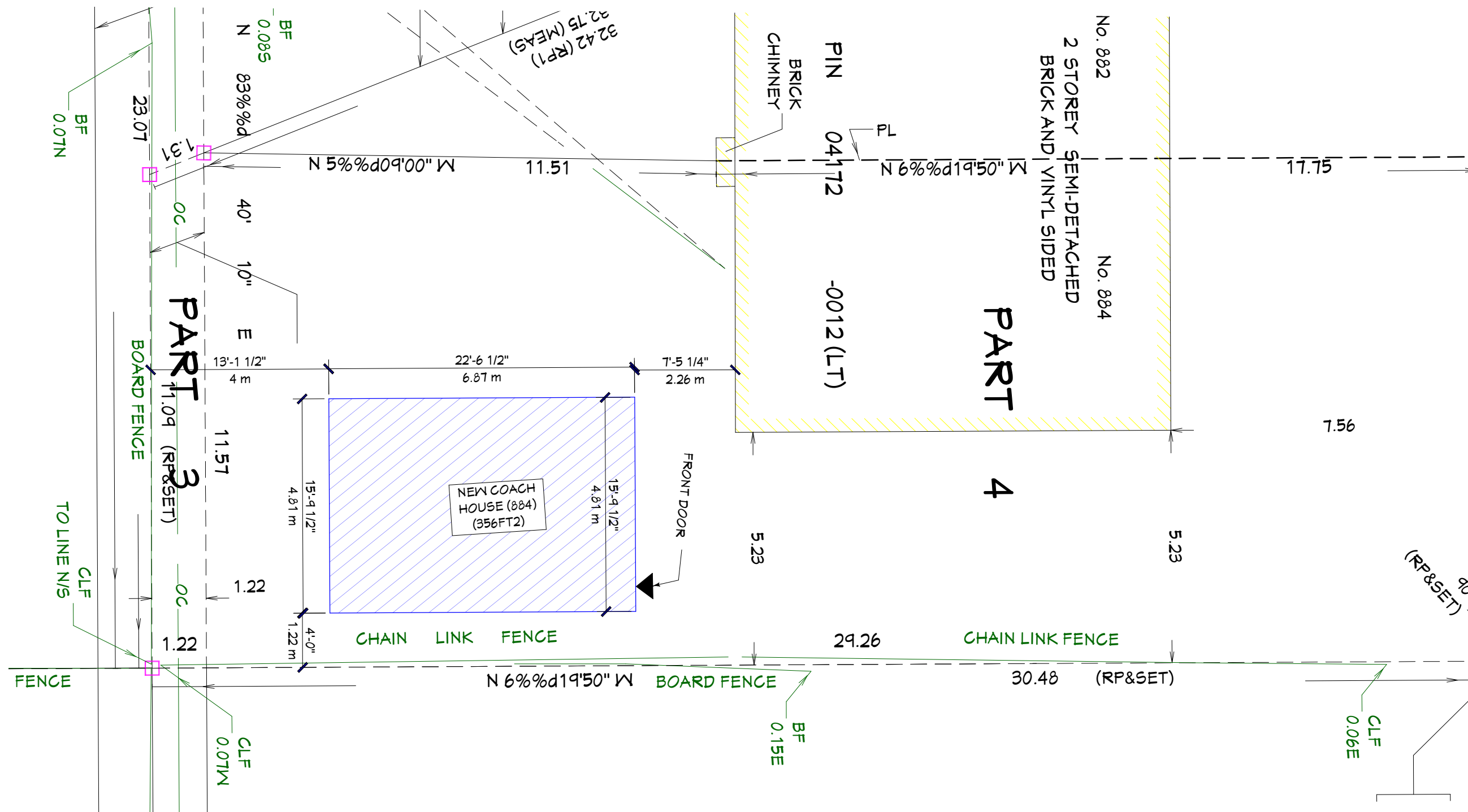
FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

| #  | DESCRIPTION                       | YY/MM/DD |
|----|-----------------------------------|----------|
| 02 | ISSUED FOR PERMIT BUILDING PERMIT | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |

|                     |                |                         |
|---------------------|----------------|-------------------------|
| PROJECT             |                |                         |
| 884 Smyth Rd        |                |                         |
| RESIDENTIAL DRAWING | OTTAWA ONTARIO |                         |
| PERSPECTIVES        |                |                         |
| TYPE                | SCALE          | NTS                     |
| ADDITION            |                |                         |
| DESIGNED BY         | DRAWN BY       | SHEET                   |
|                     | DP             |                         |
| DATE                |                | OF [ENT. # PG'S IN SET] |
| NOV 13, 2023        |                |                         |







3.15m ROAD WIDENING DEI

23.07 (RP&MEAS)

11.34

90° (RP&SET)

IB(JDB)

|    |                                   |          |
|----|-----------------------------------|----------|
| 02 | ISSUED FOR PERMIT BUILDING PERMIT | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |
| #  | DESCRIPTION                       | YY/MM/DD |

PROJECT

**884 Smyth Rd**

RESIDENTIAL DRAWING

OTTAWA ONTARIO

|                             |                          |
|-----------------------------|--------------------------|
| <b>SITE PLAN</b>            |                          |
| TYPE<br><b>ADDITION</b>     | SCALE<br><b>AS SHOWN</b> |
| DESIGNED BY                 | DRAWN BY<br><b>DP</b>    |
| DATE<br><b>NOV 13, 2023</b> | <b>A1.0</b>              |
| OF [ENT. # PG'S IN SET]     |                          |

**GENERAL NOTES:**

- SMOKE ALARMS TO HAVE A VISUAL SIGNALING COMPONENT AND CONFORM TO NFPA 72 - 10.5.3
- ALTERATIONS TO ELECTRICAL REQUIRE A PERMIT FROM ESA 1-877-3727233
- ALL 2-PLY LINTELS TO HAVE MIN. 1 1/2" END BEARING
- CERAMIC TILE REQUIRES 5/8" UNDERLAY
- WATER RESISTANT FLOORING REQUIRED IN BATHROOMS, LAUNDRY ROOMS, KITCHENS, GENERAL STORAGE AREAS & ENTRANCE (OBC 9.30.1.2.)

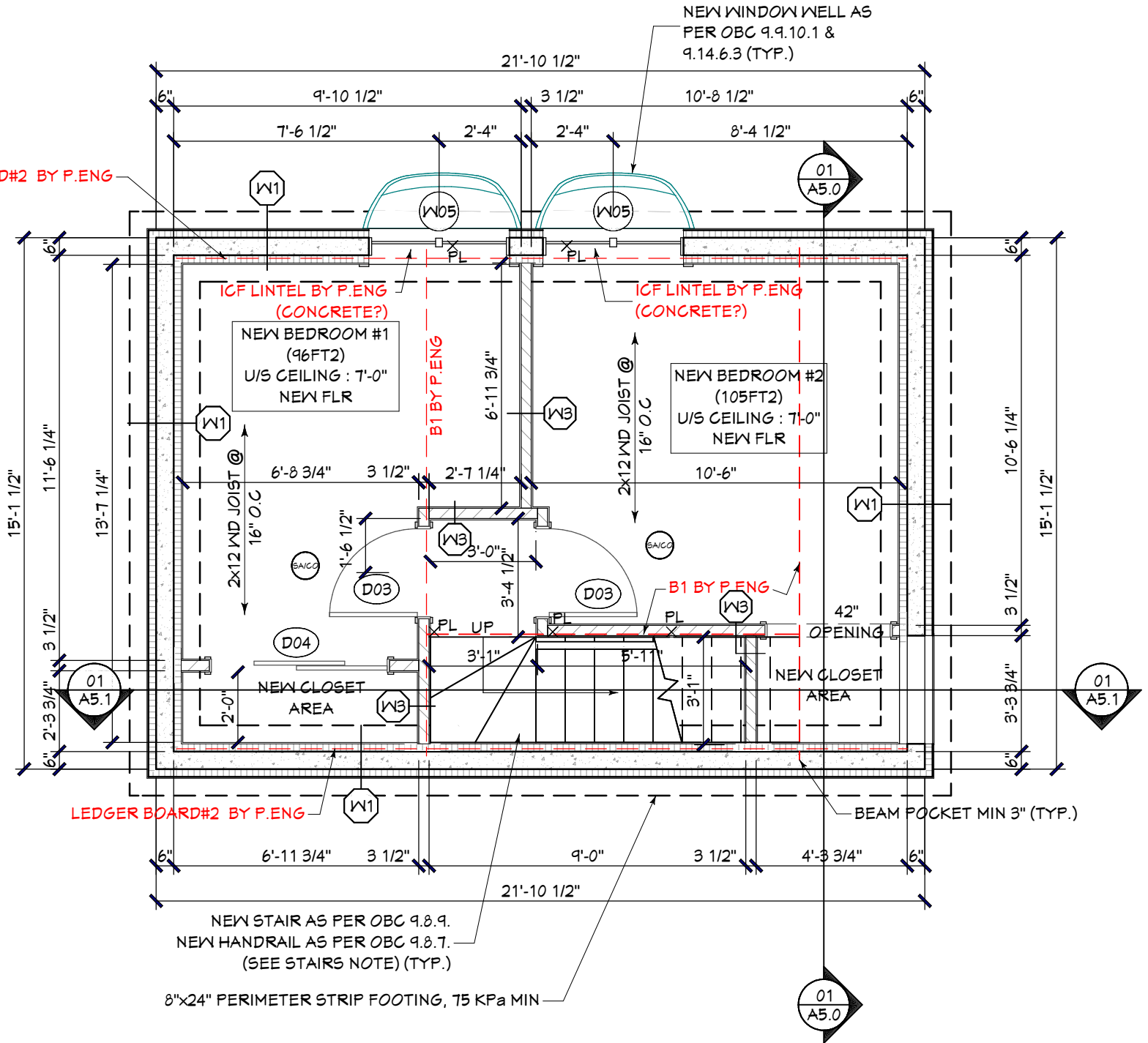
**NEW BEDROOM #1**  
 NATURAL LIGHT CALCULATION (ARTICLE 9.7.2.3)  
 ROOM AREA = 96 FT<sup>2</sup>  
 GLAZING REQ'D = 5% = 4.8 FT<sup>2</sup>  
 W05 48"x 36" = 12.2 FT<sup>2</sup>  
 GLAZING AREA (30% OF OPENING) = 8.54FT<sup>2</sup>

**NEW BEDROOM #2**  
 NATURAL LIGHT CALCULATION (ARTICLE 9.7.2.3)  
 ROOM AREA = 105FT<sup>2</sup>  
 GLAZING REQ'D = 5% = 5.25 FT<sup>2</sup>  
 W05 48"x 36" = 12.2 FT<sup>2</sup>  
 GLAZING AREA (30% OF OPENING) = 8.54FT<sup>2</sup>

DO NOT SCALE DRAWINGS.  
 ALL DIMENSIONS TO BE CHECKED AND VERIFIED.  
 DESIGN IS IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE. ALL FABRICATIONS AND ERECTION SHALL BE IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE.  
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 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/ OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE AT THE OWNER'S AND/ OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE DESIGNER/ ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

**STAIR NOTE: (TYP.)**  
 STAIRS TO CONFORM TO OBC 9.8.9.  
 MAX RISE = 7 7/8"  
 MIN RUN = 8 1/4"  
 MIN TREAD = 10"  
 MIN HEADROOM = 6'-5"  
 HANDRAIL TO CONFORM TO OBC 9.8.7.  
 MIN HT = 2'-10"  
 MAX HT = 3'-0"  
 GUARDRAIL TO CONFORM TO OBC 9.8.8.  
 MIN HT = 2'-11"

**NOTE:**  
 SUMP PIT REQUIRED ONLY IF KEEPING TILE IS UNABLE TO PROPERLY DRAIN TO CITY SERVICES



**DISCLAIMER NOTE:**  
 DUSTIN DESIGN & DRAFTING COMPANY IS NOT RESPONSIBLE FOR ANY PURCHASES REGARDING THE CONSTRUCTION (FLOOR & ROOF MATERIALS, WINDOWS & DOORS MATERIALS OR ANY OTHER TYPE OF MATERIALS IN ORDER TO BUILD THIS BUILDING).  
 NONE OF THESE MATERIALS SHOULD BE PURCHASED UNTIL THE PERMIT PLANS HAS BEEN APPROVED BY THE CITY.  
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Dustin Poole  
 BCIN# 37560  
 FIRM# 100988  
 613-795-2860

**QUALIFICATION INFO:**  
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

| #  | DESCRIPTION                       | YY/MM/DD |
|----|-----------------------------------|----------|
| 02 | ISSUED FOR PERMIT BUILDING PERMIT | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |

**PROJECT**  
 884 Smyth Rd

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**PROPOSED BASEMENT FLOOR PLAN**

|                      |                         |
|----------------------|-------------------------|
| TYPE<br>ADDITION     | SCALE<br>AS SHOWN       |
| DESIGNED BY<br>DP    | SHEET<br>A3.0           |
| DATE<br>NOV 13, 2023 | OF [ENT. # PG/6 IN SET] |



DO NOT SCALE DRAWINGS.  
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Dustin Poole  
 BCIN# 37560  
 FIRM# 100988  
 613-795-2860

QUALIFICATION INFO:  
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FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

|    |                                   |          |
|----|-----------------------------------|----------|
| 02 | ISSUED FOR PERMIT BUILDING PERMIT | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |
| #  | DESCRIPTION                       | YY/MM/DD |

PROJECT  
**884 Smyth Rd**  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

## PROPOSED GROUND FLOOR PLAN

TYPE: **ADDITION** SCALE: **AS SHOWN**

DESIGNED BY: DATE: **NOV 13, 2023** DRAWN BY: **DP** SHEET: **A3.1**

OF [ENT. # PG'S IN SET]

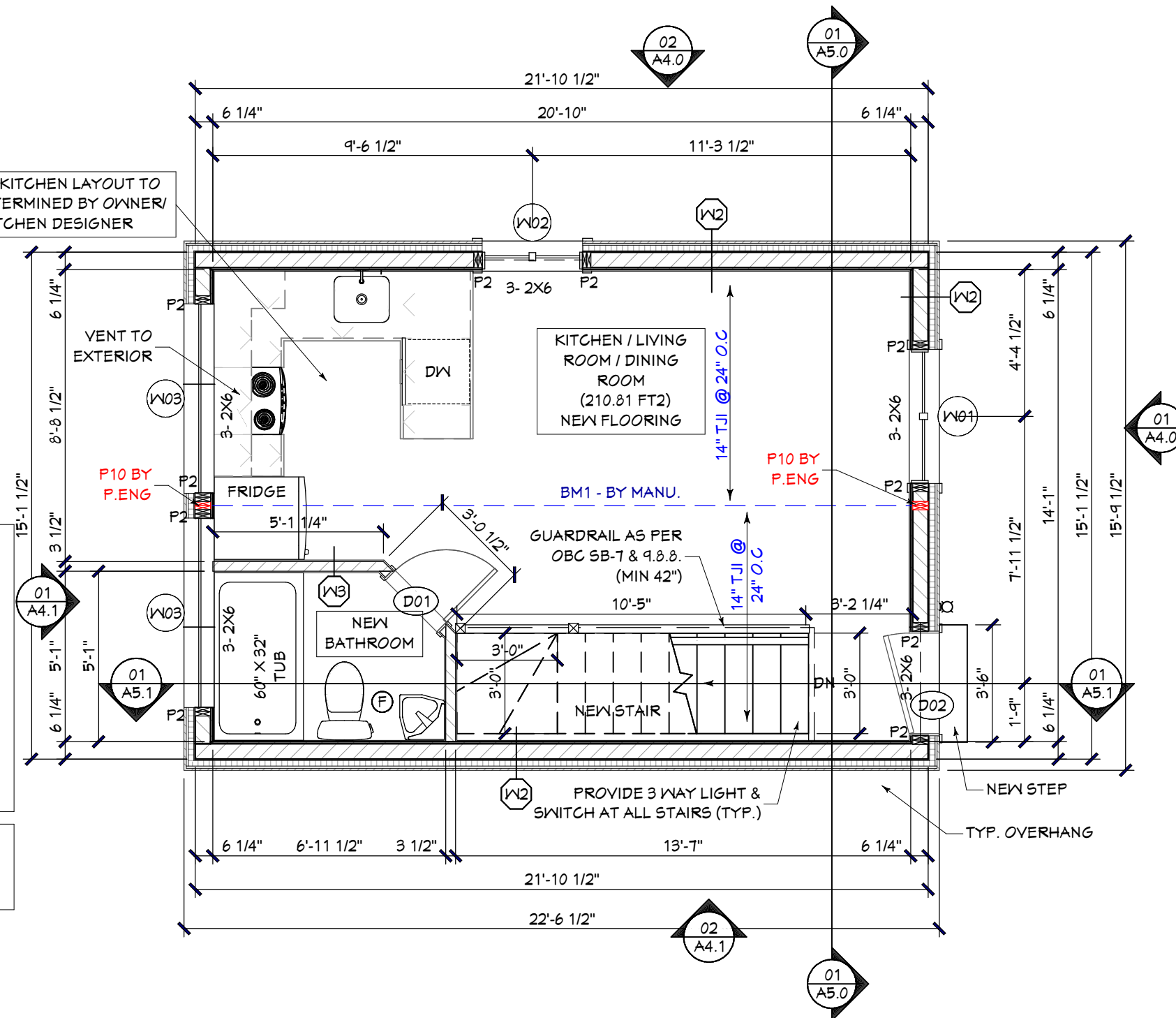
| WINDOW SCHEDULE |     |           |          |           |
|-----------------|-----|-----------|----------|-----------|
| NUMBER          | QTY | WIDTH     | HEIGHT   | TOP       |
| W01             | 1   | 48"       | 48"      | 80"       |
| W02             | 1   | 36"       | 68"      | 80"       |
| W03             | 2   | 67 13/16" | 33 1/16" | 118 5/16" |
| W05             | 2   | 48"       | 36"      | 84"       |

| DOOR SCHEDULE |     |       |        |            |
|---------------|-----|-------|--------|------------|
| NUMBER        | QTY | WIDTH | HEIGHT | FRR 20 MIN |
| D01           | 2   | 26"   | 80"    |            |
| D02           | 1   | 36"   | 80"    |            |
| D03           | 2   | 30"   | 80"    |            |
| D04           | 1   | 60"   | 80"    |            |

**BATHROOM NOTE: (TYP.)**  
 FINAL BATHROOM LAYOUT TO BE CONFIRMED BY OWNER/ BATHROOM DESIGNER.  
 (F) EXHAUST FAN TO BE VENTED TO EXTERIOR.  
 -PROVIDE STUD WALL REINFORCING TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO A WATER CLOSET, BATHTUB AND A SHOWER AS PER OBC 9.5.2.3.(1)  
 -PROVIDE WATERPROOF WALL IN SHOWER STALLS (5'11") ABOVE THE RIM OF BATHTUBS EQUIPPED WITH SHOWERS (3'11") AND THE RIM OF BATHTUBS NOT EQUIPPED WITH SHOWERS (15 3/4") IN ACCORDANCE TO OBC 9.29.2.1.

**NEW EXTERIOR DOOR NOTE:**  
 - ENSURE UNOBSTRUCTED DOOR OPENING OF MIN 32"X78" C/W WEATHER STRIPPING  
 - RESISTANCE TO FORCED ENTRY AS PER 9.6.8

FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER/ KITCHEN DESIGNER



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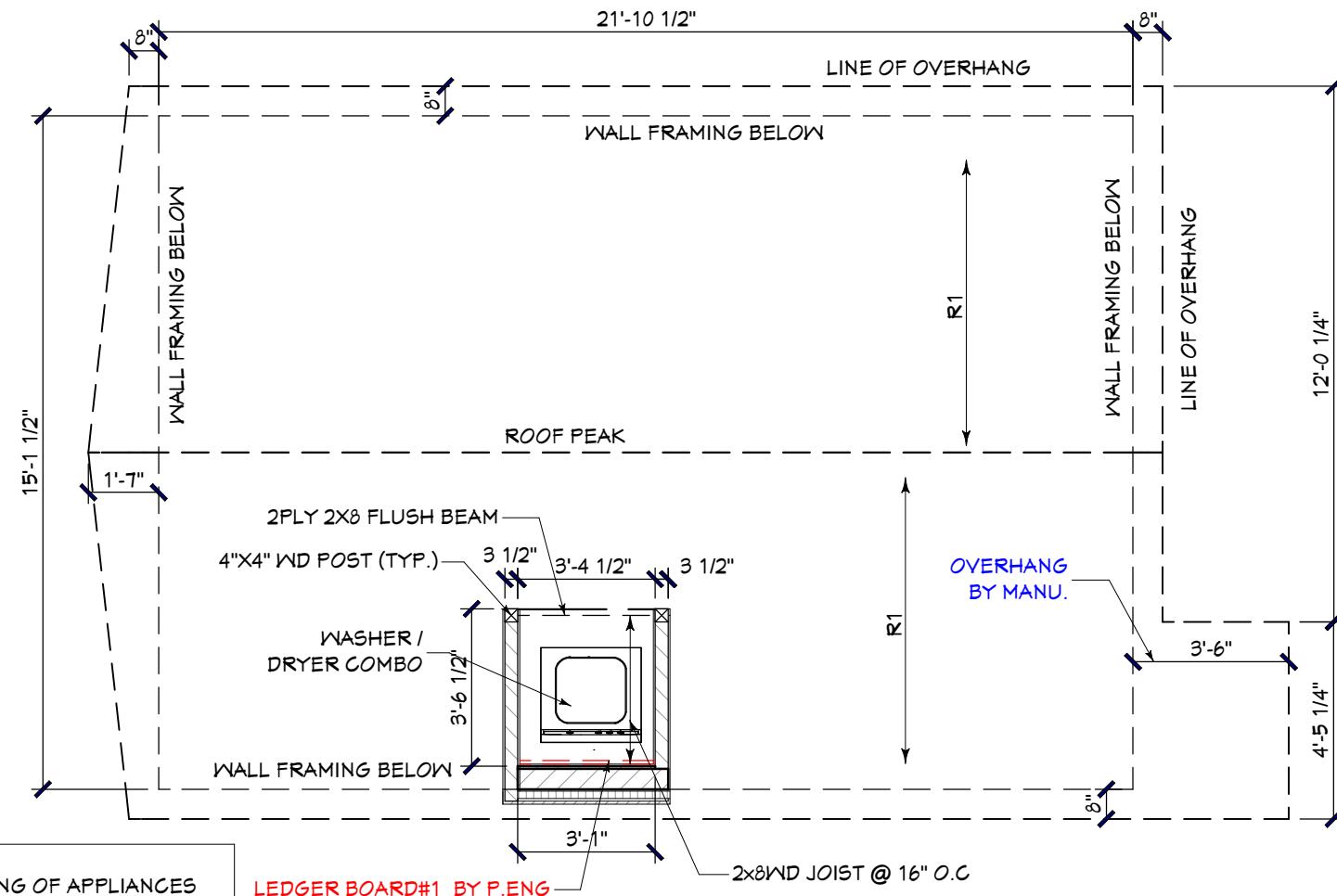
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Dustin Poole  
 BCIN# 37560  
 FIRM# 100988  
 613-795-2860

*Dustin Poole*

**QUALIFICATION INFO:**  
 SMALL BUILDINGS

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**LAUNDRY ROOM NOTE: (TYP.)**  
 OWNER TO CONFIRM DOOR SWING OF APPLIANCES BEFORE ROUGH-IN.  
 PROVIDE GALV. METAL PAN OR EQUAL C/M DRAIN @ WASHER.  
 ENSURE PROPER DRYER VENTING TO EXTERIOR.

LEDGER BOARD#1 BY P.ENG

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

|    |                                   |          |
|----|-----------------------------------|----------|
| 02 | ISSUED FOR PERMIT BUILDING PERMIT | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |
| #  | DESCRIPTION                       | YY/MM/DD |

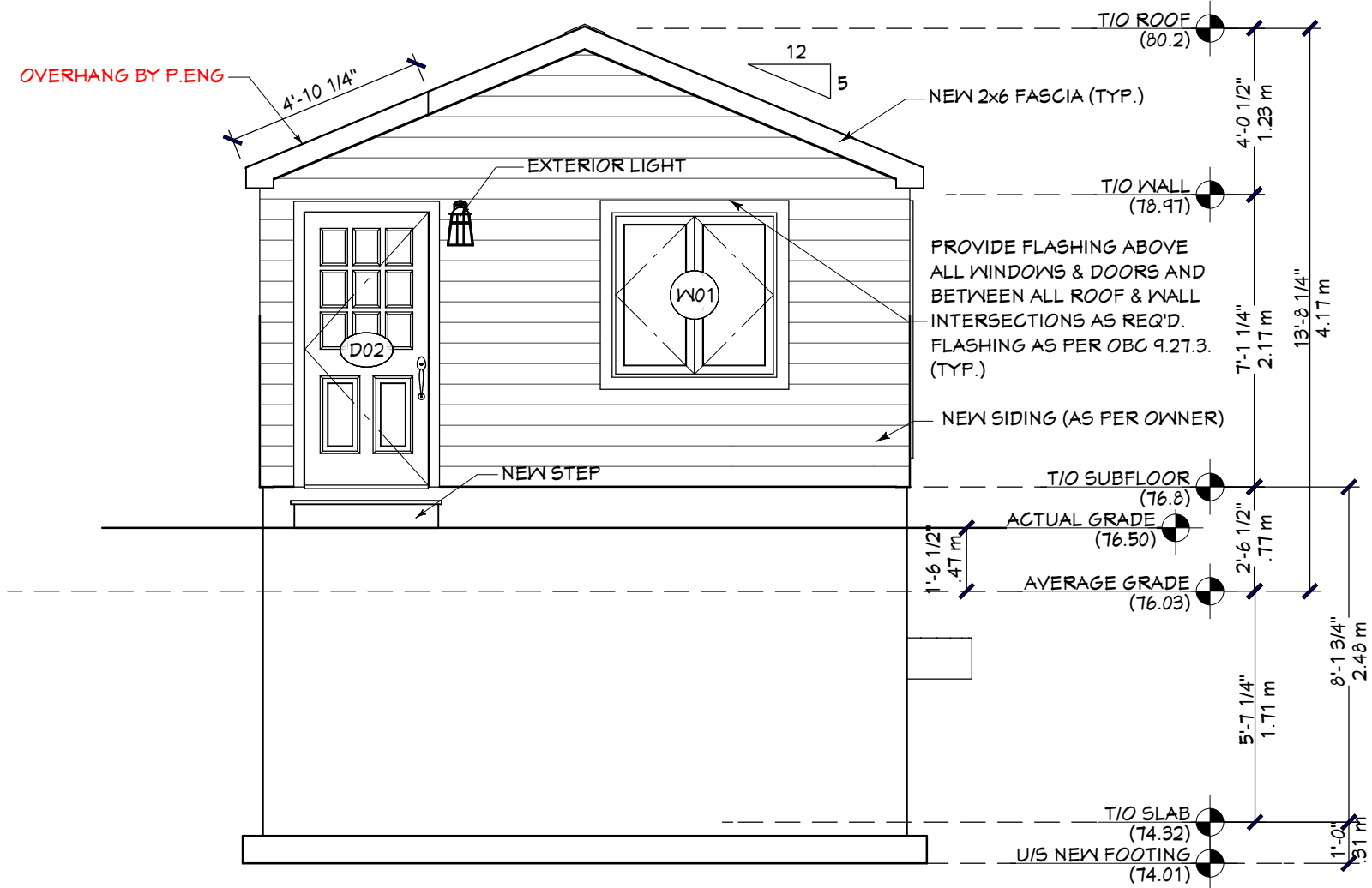
PROJECT  
**884 Smyth Rd**

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**PROPOSED ROOF PLAN**

|                               |                         |
|-------------------------------|-------------------------|
| TYPE<br>ADDITION              | SCALE<br>AS SHOWN       |
| DESIGNED BY<br>DRAWN BY<br>DP | SHEET<br><b>A3.2</b>    |
| DATE<br>NOV 13, 2023          | OF [ENT. # PG\$ IN SET] |





**01**  
**A4.0** EXTERIOR ELEVATION (FRONT)  
SCALE: 1/4" = 1' 0"

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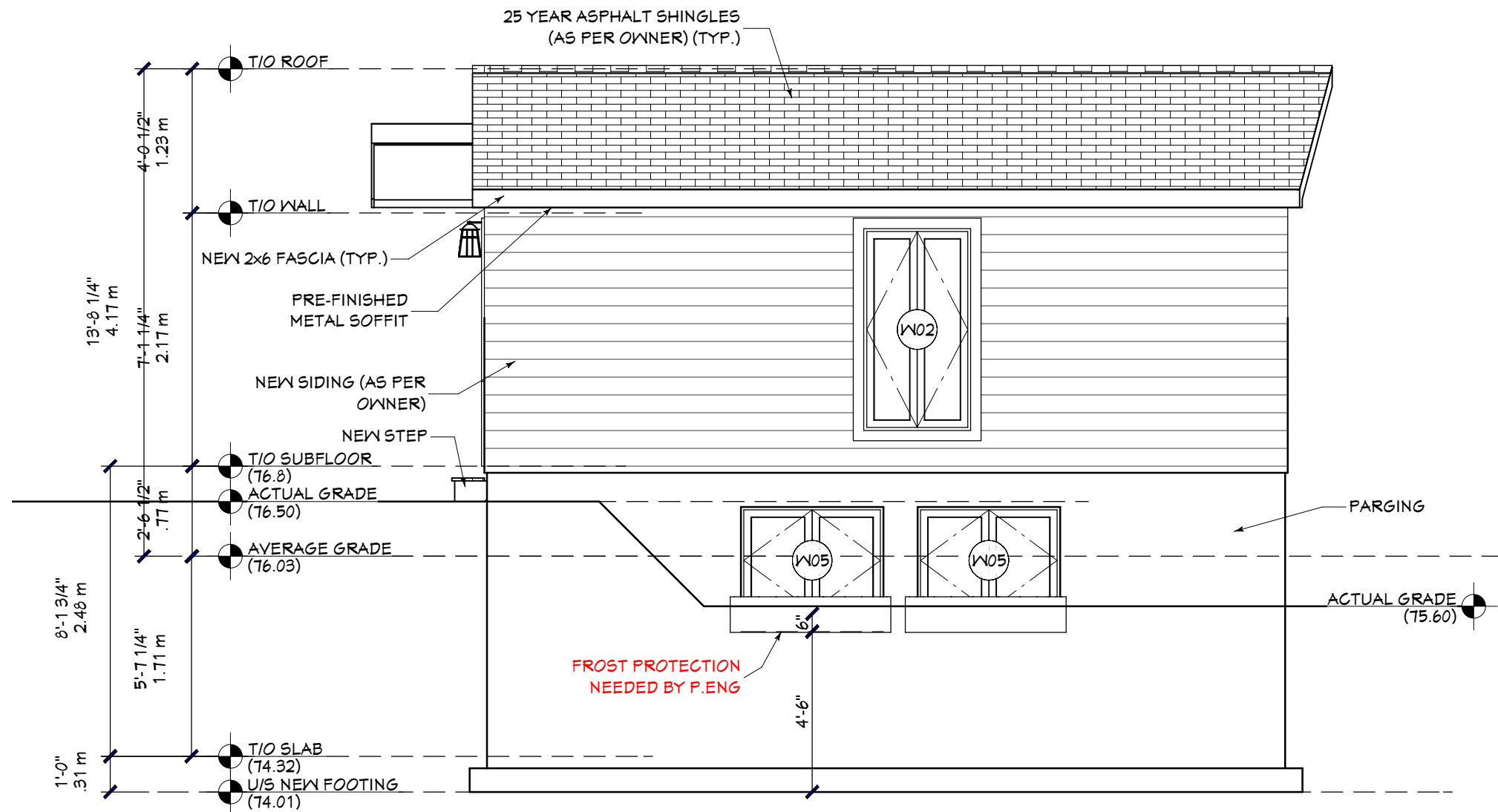
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|----|-----------------------------------|----------|
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| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |

**PROJECT**  
884 Smyth Rd

RESIDENTIAL DRAWING  
OTTAWA ONTARIO

**EXTERIOR ELEVATION (FRONT)**

|                      |   |
|----------------------|---|
| TYPE<br>ADDITION     | SCALE<br>AS SHOWN                               |
| DESIGNED BY          | DRAWN BY<br>DP                                  |
| DATE<br>NOV 13, 2023 | SHEET<br><b>A4.0</b><br>OF [ENT. # PG'S IN SET] |



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| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |
| #  | DESCRIPTION                       | YY/MM/DD |

PROJECT  
 884 Smyth Rd  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**EXTERIOR ELEVATION (SIDE)**

|                      |   |
|----------------------|---|
| TYPE<br>ADDITION     | SCALE<br>AS SHOWN                               |
| DESIGNED BY          | DRAWN BY<br>DP                                  |
| DATE<br>NOV 13, 2023 | SHEET<br><b>A4.1</b><br>OF [ENT. # PG 6 IN SET] |

**01**  
**A4.1** EXTERIOR ELEVATION (SIDE)  
 SCALE: 1/4" = 1' 0"



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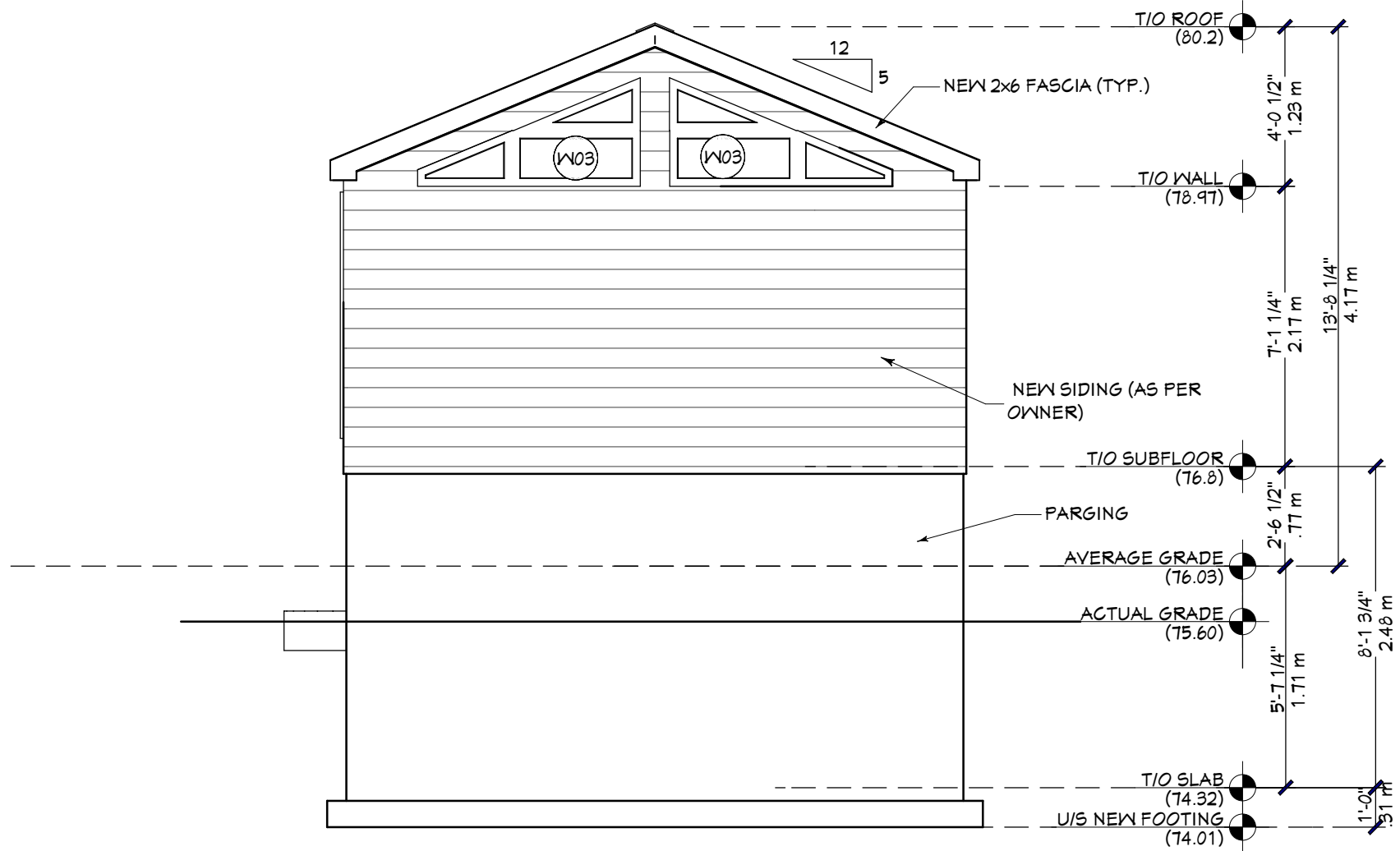
|    |                                   |          |
|----|-----------------------------------|----------|
|    |                                   |          |
| 02 | ISSUED FOR PERMIT BUILDING PERMIT | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW          | 23/11/13 |
| #  | DESCRIPTION                       | YY/MM/DD |

PROJECT  
**884 Smyth Rd**

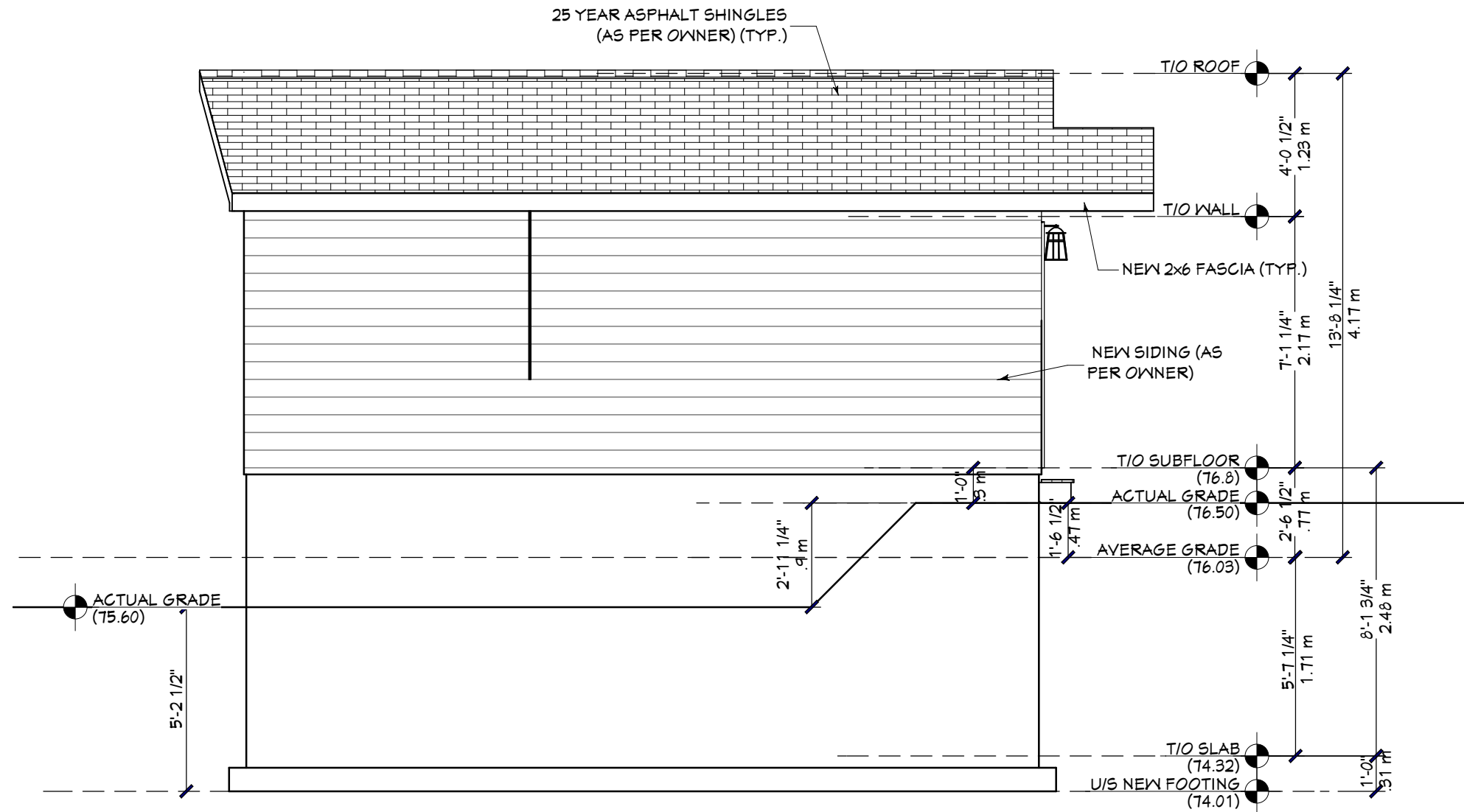
RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**EXTERIOR ELEVATION (REAR)**

|                             |                       |                              |
|-----------------------------|-----------------------|------------------------------|
| TYPE<br><b>ADDITION</b>     |                       | SCALE<br><b>AS SHOWN</b>     |
| DESIGNED BY                 | DRAWN BY<br><b>DP</b> | SHEET<br><b>A4.2</b>         |
| DATE<br><b>NOV 13, 2023</b> |                       | OF [ENT. # <b>03</b> IN SET] |



**01**  
**A4.2** EXTERIOR ELEVATION (REAR)  
 SCALE: 1/4" = 1' 0"



**01** EXTERIOR ELEVATION (SIDE)  
**A4.3** SCALE: 1/4" = 1' 0"

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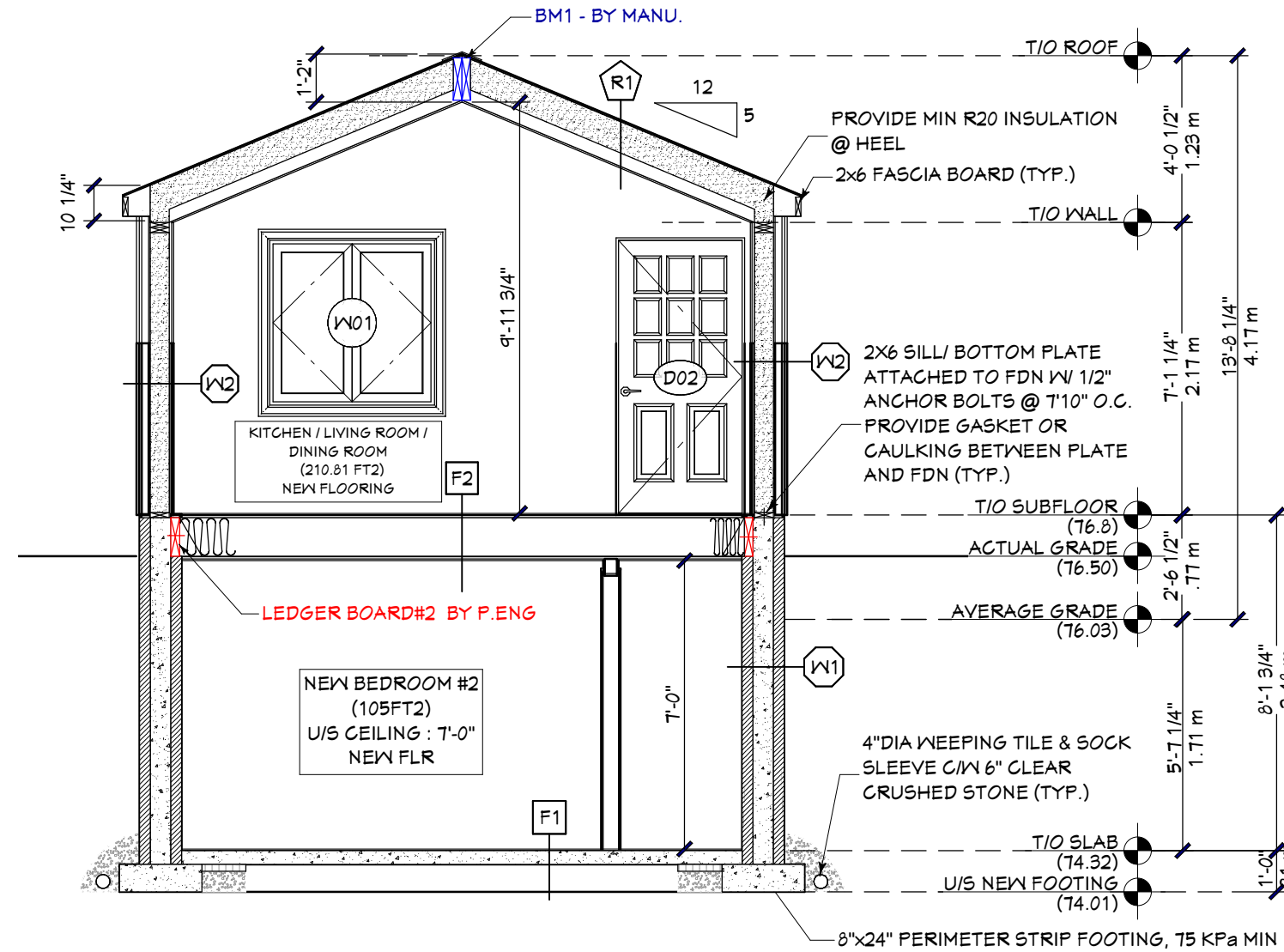
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|                                  |          |                        |  |
|----------------------------------|----------|------------------------|--|
| PROJECT                          |          | 884 Smyth Rd           |  |
| RESIDENTIAL DRAWING              |          | OTTAWA ONTARIO         |  |
| <b>EXTERIOR ELEVATION (SIDE)</b> |          |                        |  |
| TYPE                             |          | SCALE                  |  |
| ADDITION                         |          | AS SHOWN               |  |
| DESIGNED BY                      | DRAWN BY | SHEET                  |  |
|                                  | DP       | <b>A4.3</b>            |  |
| DATE                             |          | OF [ENT. # PGS IN SET] |  |
| NOV 13, 2023                     |          |                        |  |





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QUALIFICATION INFO:  
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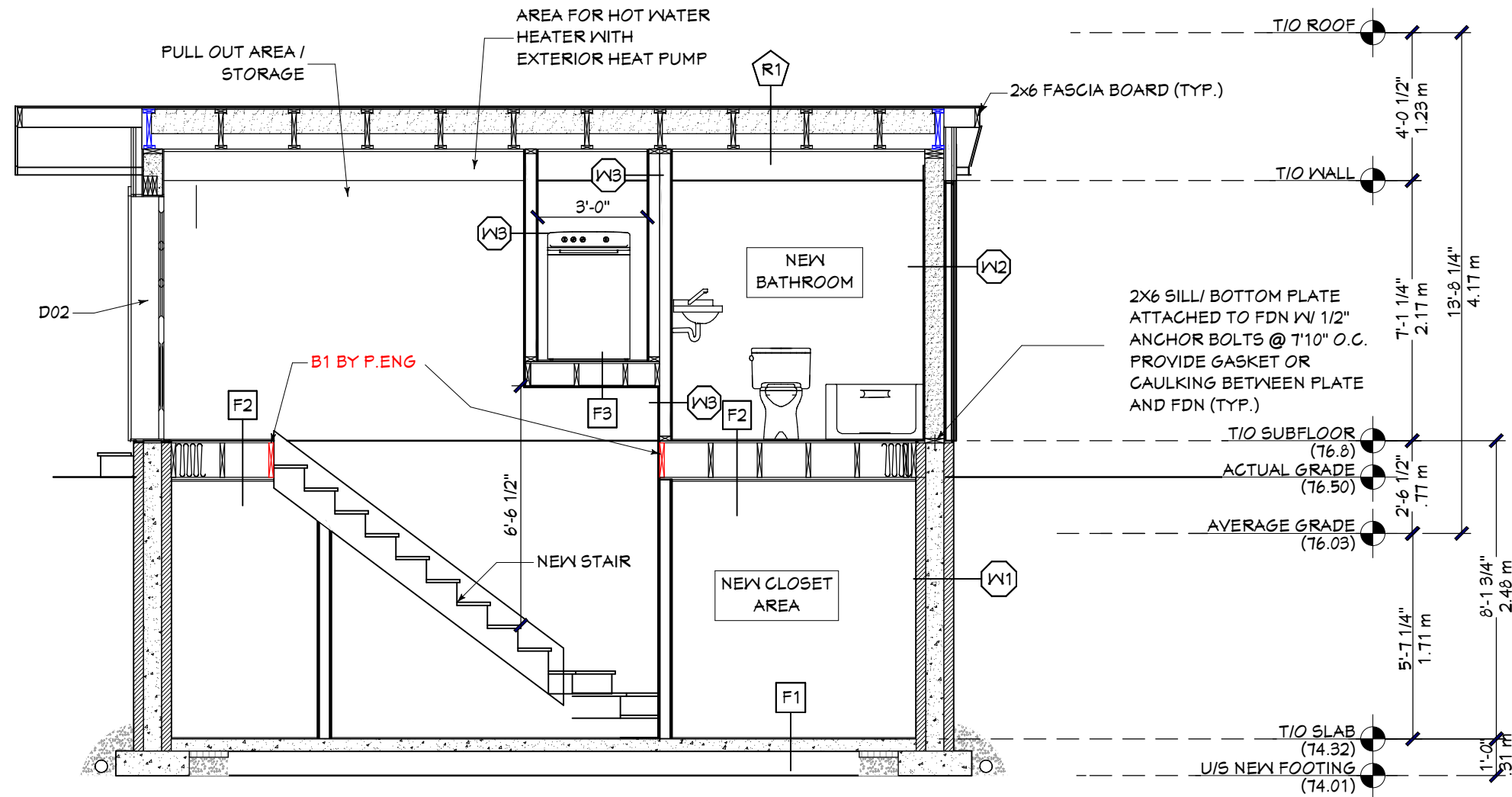
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PROJECT  
**884 Smyth Rd**  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

|                             |                          |
|-----------------------------|--------------------------|
| <b>BUILDING SECTION</b>     |                          |
| TYPE<br><b>ADDITION</b>     | SCALE<br><b>AS SHOWN</b> |
| DESIGNED BY<br>DP           | SHEET<br><b>A5.0</b>     |
| DATE<br><b>NOV 13, 2023</b> | OF [ENT. # PG'S IN SET]  |



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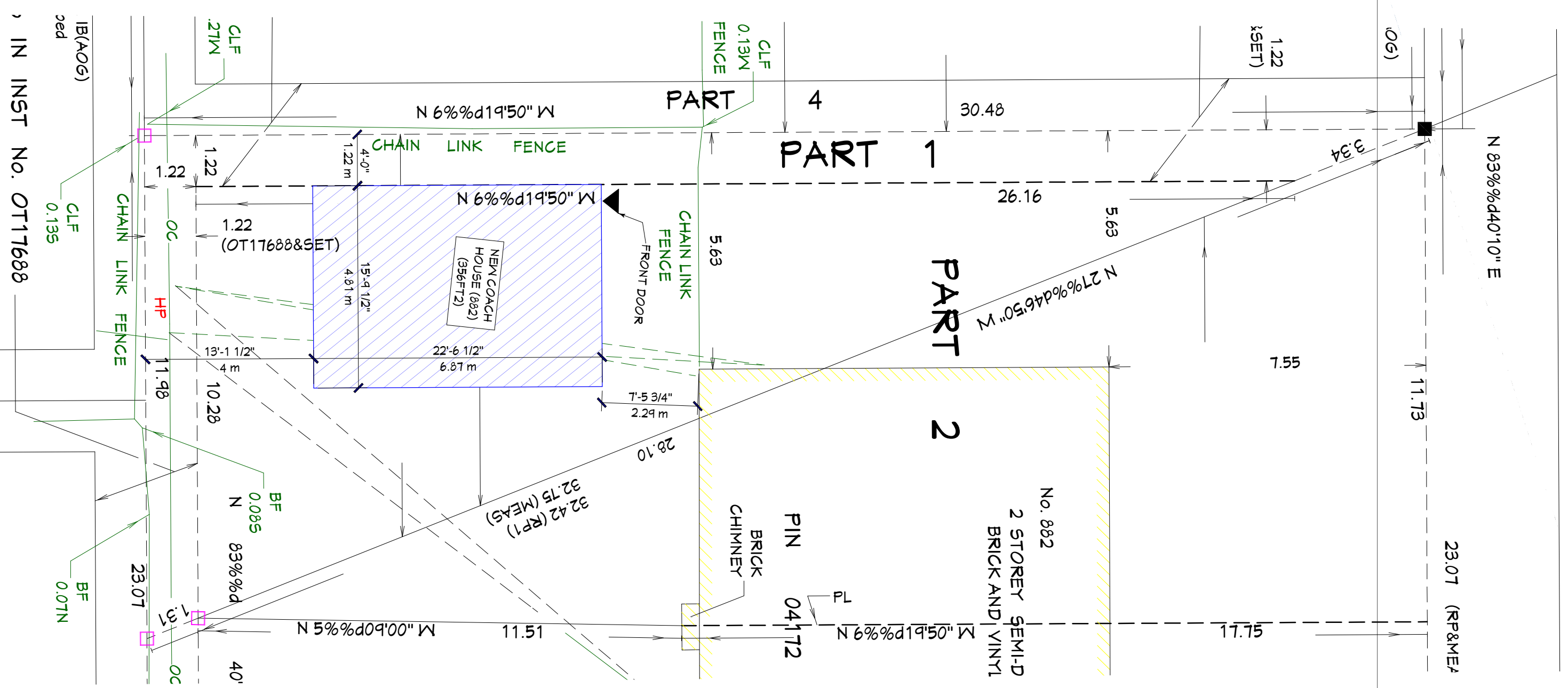
PROJECT  
**884 Smyth Rd**

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

|                             |                          |
|-----------------------------|--------------------------|
| <b>BUILDING SECTION</b>     |                          |
| TYPE<br><b>ADDITION</b>     | SCALE<br><b>AS SHOWN</b> |
| DESIGNED BY<br>DP           | SHEET<br><b>A5.1</b>     |
| DATE<br><b>NOV 13, 2023</b> | OF [ENT. # PG'S IN SET]  |







, IN INST NO. OT117688

Dustin Poole  
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|    |                          |          |
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| 01 | ISSUED FOR CLIENT REVIEW | 23/11/13 |
| #  | DESCRIPTION              | YY/MM/DD |

|                     |                         |                |       |
|---------------------|-------------------------|----------------|-------|
| PROJECT             |                         | 882 Smyth Rd   |       |
| RESIDENTIAL DRAWING |                         | OTTAWA ONTARIO |       |
| SITE PLAN           |                         |                |       |
| TYPE                | SCALE                   | AS SHOWN       |       |
| ADDITION            | DESIGNED BY             | DRAWN BY       | SHEET |
|                     |                         | DP             | A1.0  |
| DATE                | NOV 13, 2023            |                |       |
|                     | OF [ENT. # PG'S IN SET] |                |       |



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Dustin Poole  
BCIN# 37560  
FIRM# 100988  
613-795-2860  
*Dustin Poole*

QUALIFICATION INFO:  
SMALL BUILDINGS

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|    |                          |          |
|----|--------------------------|----------|
| 02 | ISSUED FOR PERMIT        | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW | 23/11/13 |
| #  | DESCRIPTION              | YY/MM/DD |

|                                     |                |                        |  |
|-------------------------------------|----------------|------------------------|--|
| PROJECT                             |                | 882 Smyth Rd           |  |
| RESIDENTIAL DRAWING                 | OTTAWA ONTARIO |                        |  |
| <b>PROPOSED BASEMENT FLOOR PLAN</b> |                |                        |  |
| TYPE                                | SCALE          | SHEET                  |  |
| ADDITION                            | AS SHOWN       | A3.0                   |  |
| DESIGNED BY                         | DRAWN BY       | DATE                   |  |
|                                     | DP             | NOV 13, 2023           |  |
|                                     |                | OF [ENT. # PG# IN SET] |  |

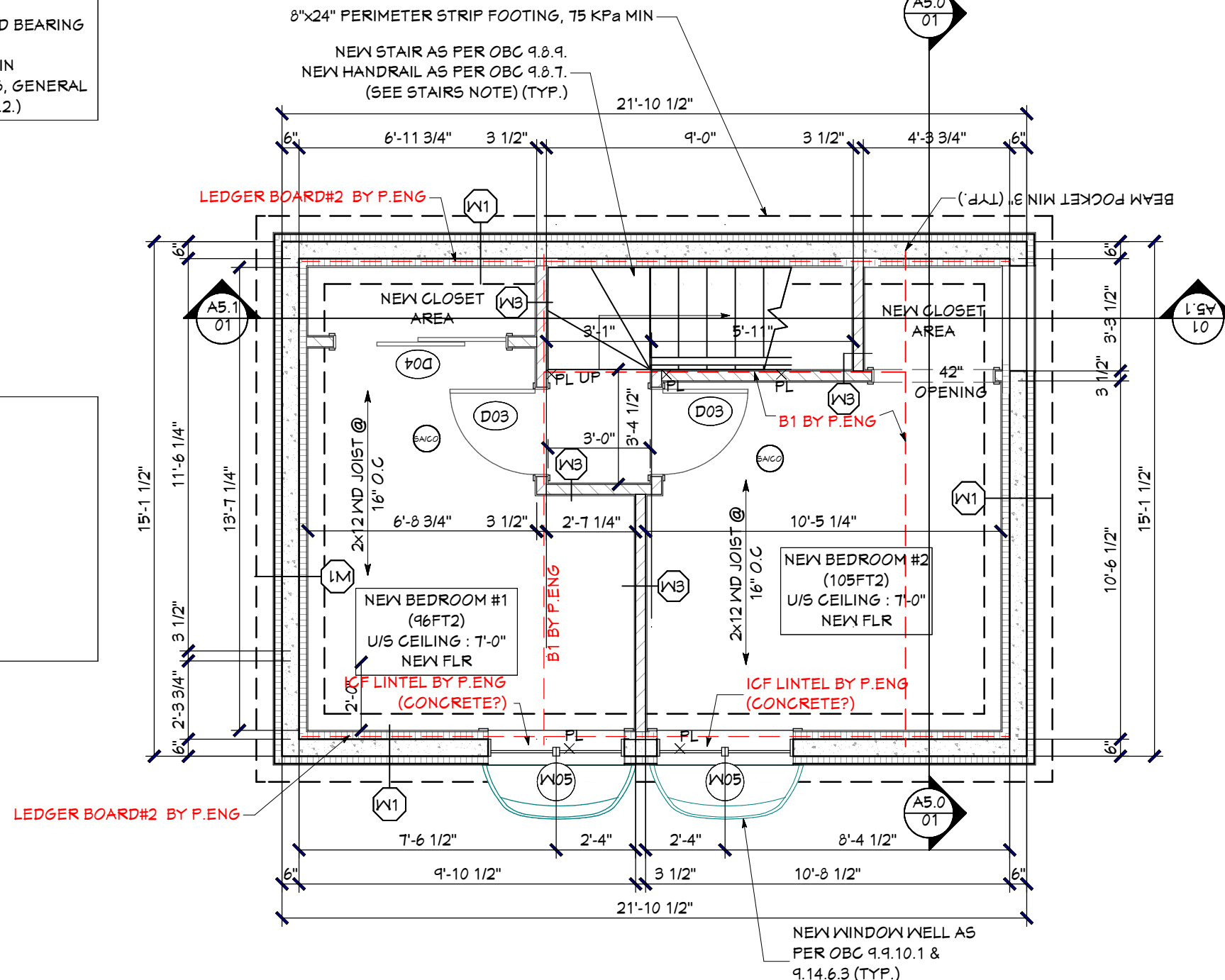
**GENERAL NOTES:**  
- **SAFETY** SMOKE ALARMS TO HAVE A VISUAL SIGNALING COMPONENT AND CONFORM TO NFPA 72 - 10.5.3  
- ALTERATIONS TO ELECTRICAL REQUIRE A PERMIT FROM ESA 1-877-3727233  
- ALL 2-PLY LINTELS TO HAVE MIN. 1 1/2" END BEARING  
- CERAMIC TILE REQUIRES 5/8" UNDERLAY  
- WATER RESISTANT FLOORING REQUIRED IN BATHROOMS, LAUNDRY ROOMS, KITCHENS, GENERAL STORAGE AREAS & ENTRANCE (OBC 9.30.1.2.)

**NEW BEDROOM #1**  
NATURAL LIGHT CALCULATION (ARTICLE 9.7.2.3)  
ROOM AREA = 96 FT<sup>2</sup>  
GLAZING REQ'D = 5% = 4.8 FT<sup>2</sup>  
W05 48"x 36" = 12.2 FT<sup>2</sup>  
GLAZING AREA (30% OF OPENING) = 8.54FT<sup>2</sup>

**NEW BEDROOM #2**  
NATURAL LIGHT CALCULATION (ARTICLE 9.7.2.3)  
ROOM AREA = 105FT<sup>2</sup>  
GLAZING REQ'D = 5% = 5.25 FT<sup>2</sup>  
W05 48"x 36" = 12.2 FT<sup>2</sup>  
GLAZING AREA (30% OF OPENING) = 8.54FT<sup>2</sup>

**STAIR NOTE: (TYP.)**  
STAIRS TO CONFORM TO OBC 9.8.9.  
MAX RISE = 7 7/8"  
MIN RUN = 8 1/4"  
MIN TREAD = 10"  
MIN HEADROOM = 6'-5"  
HANDRAIL TO CONFORM TO OBC 9.8.7.  
MIN HT = 2'-10"  
MAX HT = 3'-0"  
GUARDRAIL TO CONFORM TO OBC 9.8.8.  
MIN HT = 2'-11"

**NOTE:**  
SUMP PIT REQUIRED ONLY IF KEEPING TILE IS UNABLE TO PROPERLY DRAIN TO CITY SERVICES



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PROJECT  
**882 Smyth Rd**

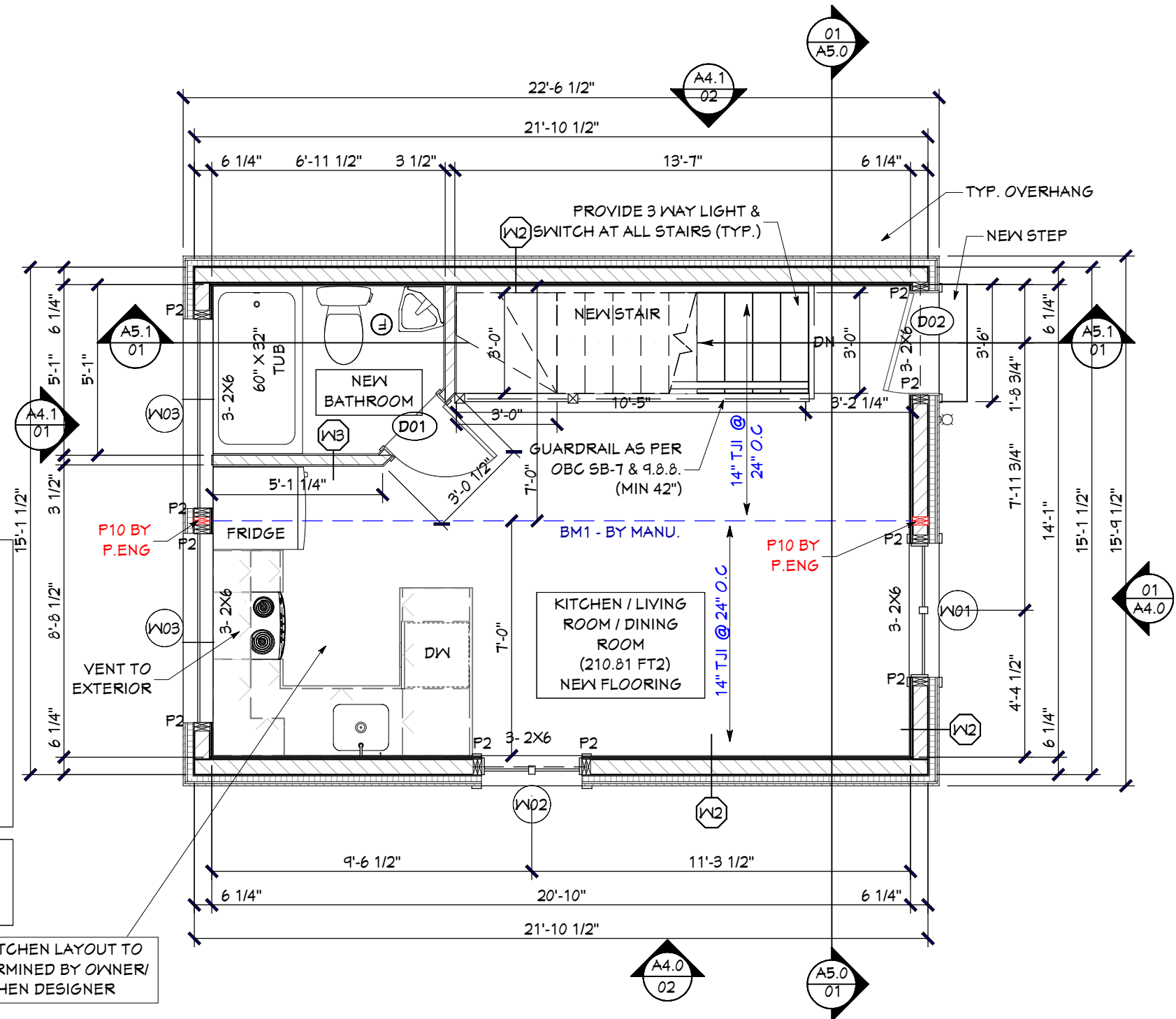
RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

## PROPOSED GROUND FLOOR PLAN

TYPE: ADDITION  
 SCALE: AS SHOWN

DESIGNED BY: DATE: NOV 13, 2023  
 DRAWN BY: DP  
 SHEET: A3.1

OF [ENT. # PG'S IN SET]



| WINDOW SCHEDULE |     |           |          |           |
|-----------------|-----|-----------|----------|-----------|
| NUMBER          | QTY | WIDTH     | HEIGHT   | TOP       |
| W01             | 1   | 48"       | 48"      | 80"       |
| W02             | 1   | 36"       | 68"      | 80"       |
| W03             | 2   | 67 13/16" | 33 1/16" | 118 5/16" |
| W05             | 2   | 48"       | 36"      | 84"       |

| DOOR SCHEDULE |     |       |        |            |
|---------------|-----|-------|--------|------------|
| NUMBER        | QTY | WIDTH | HEIGHT | FRR 20 MIN |
| D01           | 2   | 26"   | 80"    |            |
| D02           | 1   | 36"   | 80"    |            |
| D03           | 2   | 30"   | 80"    |            |
| D04           | 1   | 60"   | 80"    |            |

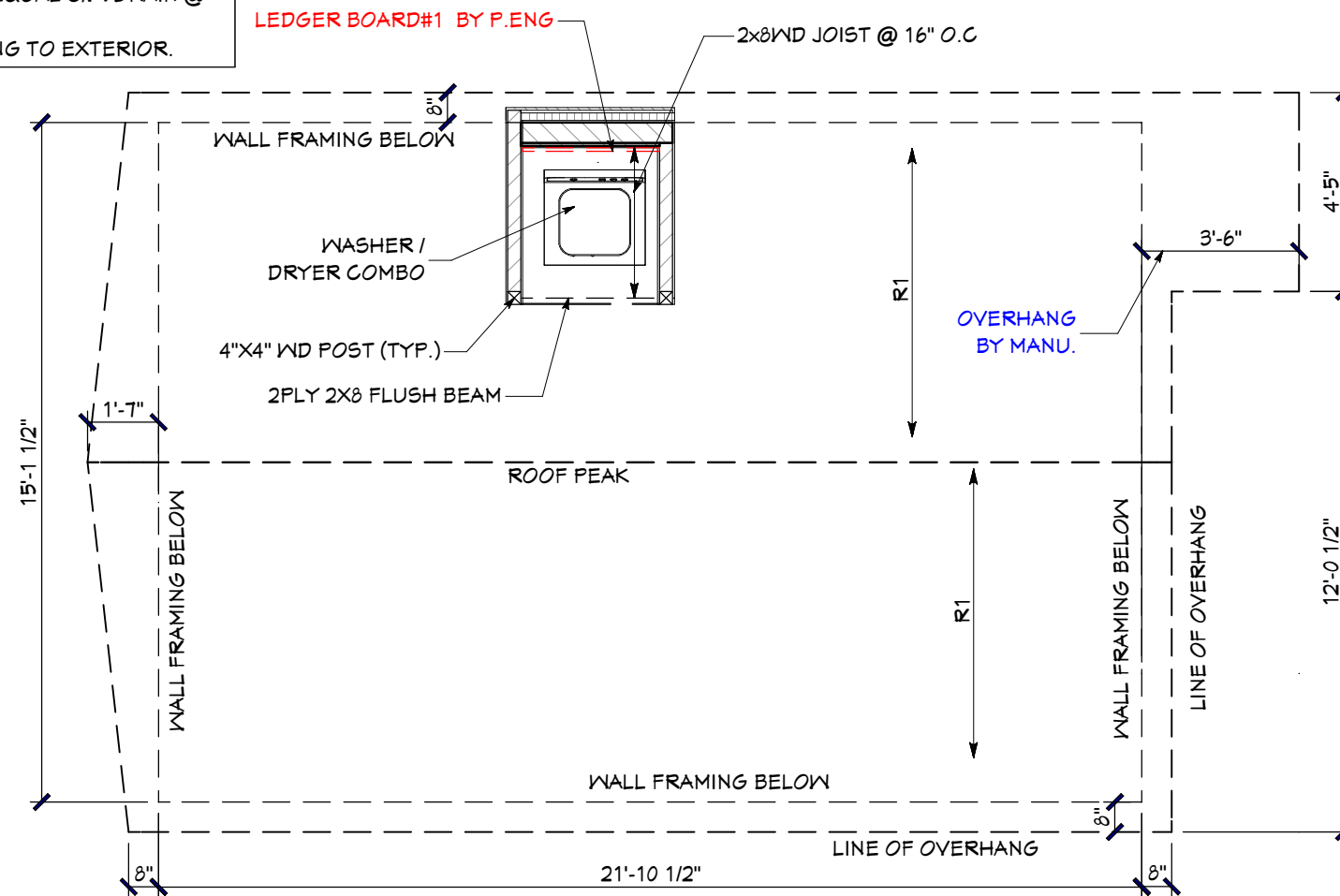
**BATHROOM NOTE: (TYP.)**  
 FINAL BATHROOM LAYOUT TO BE CONFIRMED BY OWNER/ BATHROOM DESIGNER.  
 (F) EXHAUST FAN TO BE VENTED TO EXTERIOR.  
 -PROVIDE STUD WALL REINFORCING TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO A WATER CLOSET, BATHTUB AND A SHOWER AS PER OBC 9.5.2.3.(1)  
 -PROVIDE WATERPROOF WALL IN SHOWER STALLS (5'11") ABOVE THE RIM OF BATHTUBS EQUIPPED WITH SHOWERS (3'11") AND THE RIM OF BATHTUBS NOT EQUIPPED WITH SHOWERS (15 3/4") IN ACCORDANCE TO OBC 9.29.2.1.

**NEW EXTERIOR DOOR NOTE:**  
 - ENSURE UNOBSTRUCTED DOOR OPENING OF MIN 32"x78" C/W WEATHER STRIPPING  
 - RESISTANCE TO FORCED ENTRY AS PER 9.6.8

FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER/ KITCHEN DESIGNER



LAUNDRY ROOM NOTE: (TYP.)  
 OWNER TO CONFIRM DOOR SWING OF APPLIANCES  
 BEFORE ROUGH-IN.  
 PROVIDE GALV. METAL PAN OR EQUAL C/W DRAIN @  
 WASHER.  
 ENSURE PROPER DRYER VENTING TO EXTERIOR.



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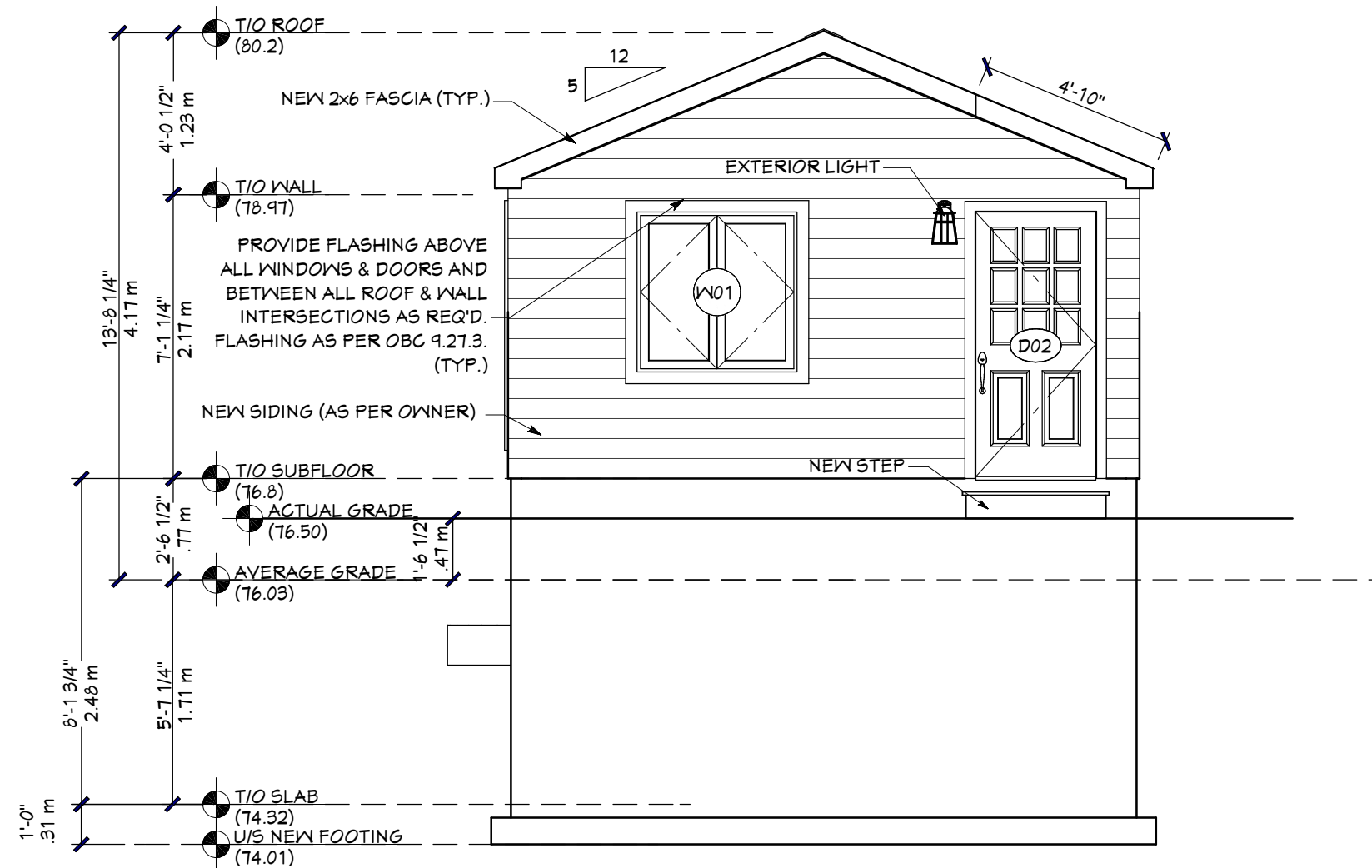
PROJECT  
**882 Smyth Rd**

RESIDENTIAL  
 DRAWING

OTTAWA ONTARIO

## PROPOSED ROOF PLAN

|                             |                          |
|-----------------------------|--------------------------|
| TYPE<br><b>ADDITION</b>     | SCALE<br><b>AS SHOWN</b> |
| DESIGNED BY                 | DRAWN BY<br><b>DP</b>    |
| DATE<br><b>NOV 13, 2023</b> | SHEET<br><b>A3.2</b>     |
| OF [ENT. # PG\$ IN SET]     |                          |



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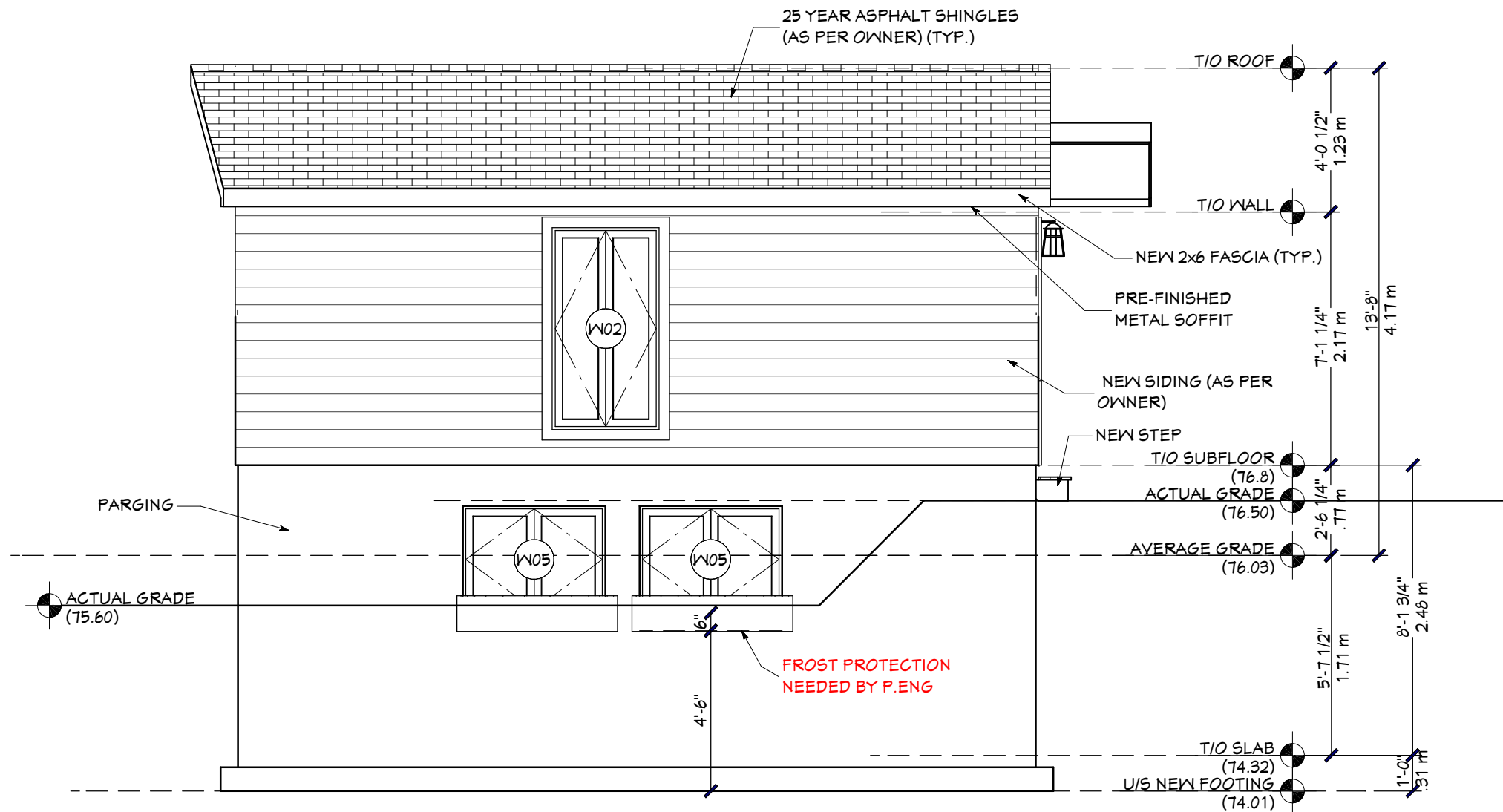
**01**  
**A4.0**  
 EXTERIOR ELEVATION (FRONT)  
 SCALE: 1/4" = 1' 0"

**PROJECT**  
 882 Smyth Rd

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**EXTERIOR ELEVATION (FRONT)**

|                      |  |
|----------------------|--|
| TYPE<br>ADDITION     | SCALE<br>AS SHOWN                              |
| DESIGNED BY          | DRAWN BY<br>DP                                 |
| DATE<br>NOV 13, 2023 | SHEET<br><b>A4.0</b><br>OF [ENT. # PG# IN SET] |



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PROJECT  
 882 Smyth Rd

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO  
 EXTERIOR ELEVATION (SIDE)

|                      |  |
|----------------------|--|
| TYPE<br>ADDITION     | SCALE<br>AS SHOWN                        |
| DESIGNED BY          | DRAWN BY<br>DP                           |
| DATE<br>NOV 13, 2023 | SHEET<br>A4.1<br>OF [ENT. # PG 6 IN SET] |

01 EXTERIOR ELEVATION (SIDE)  
 A4.1 SCALE: 1/4" = 1' 0"



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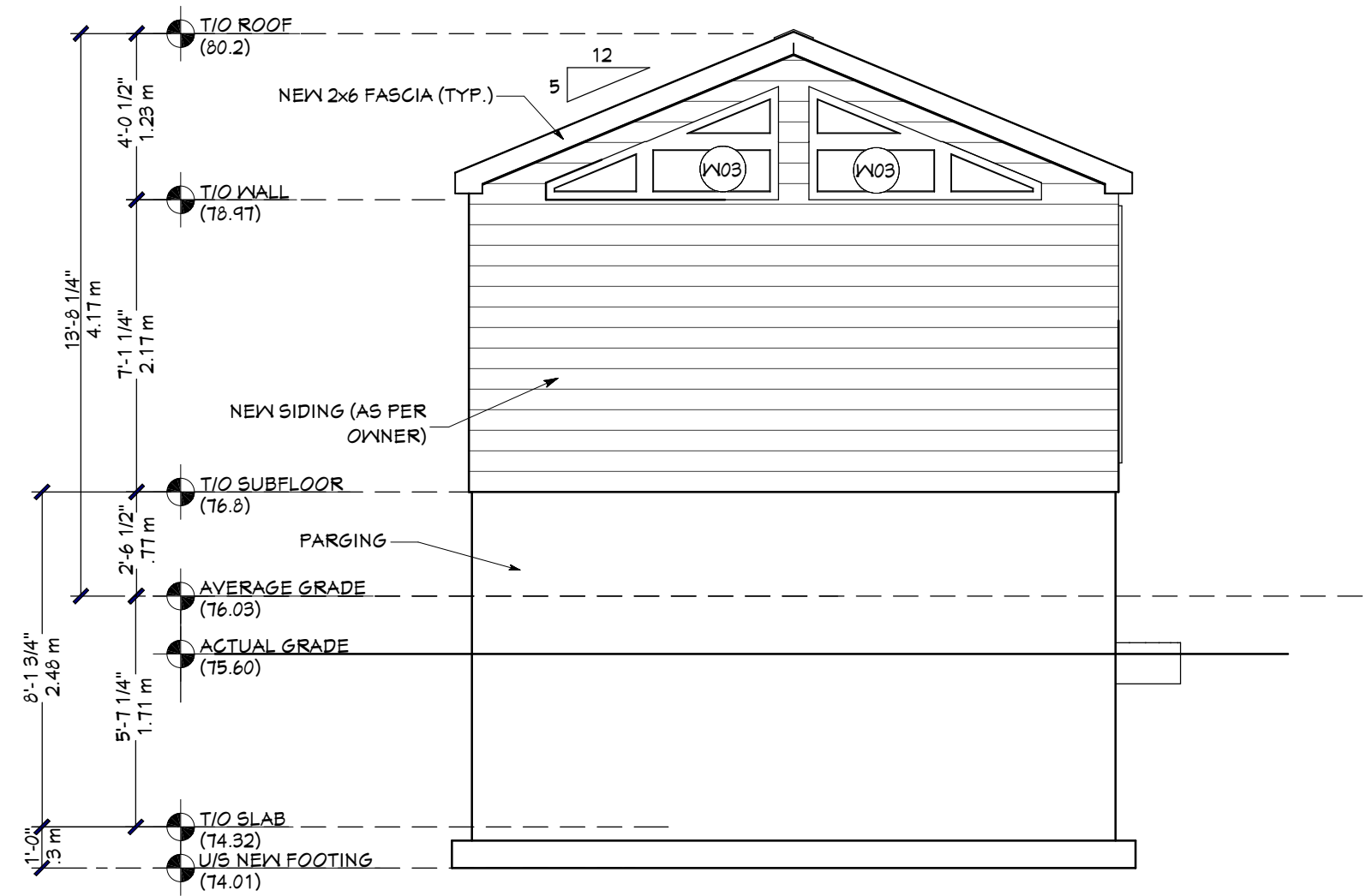
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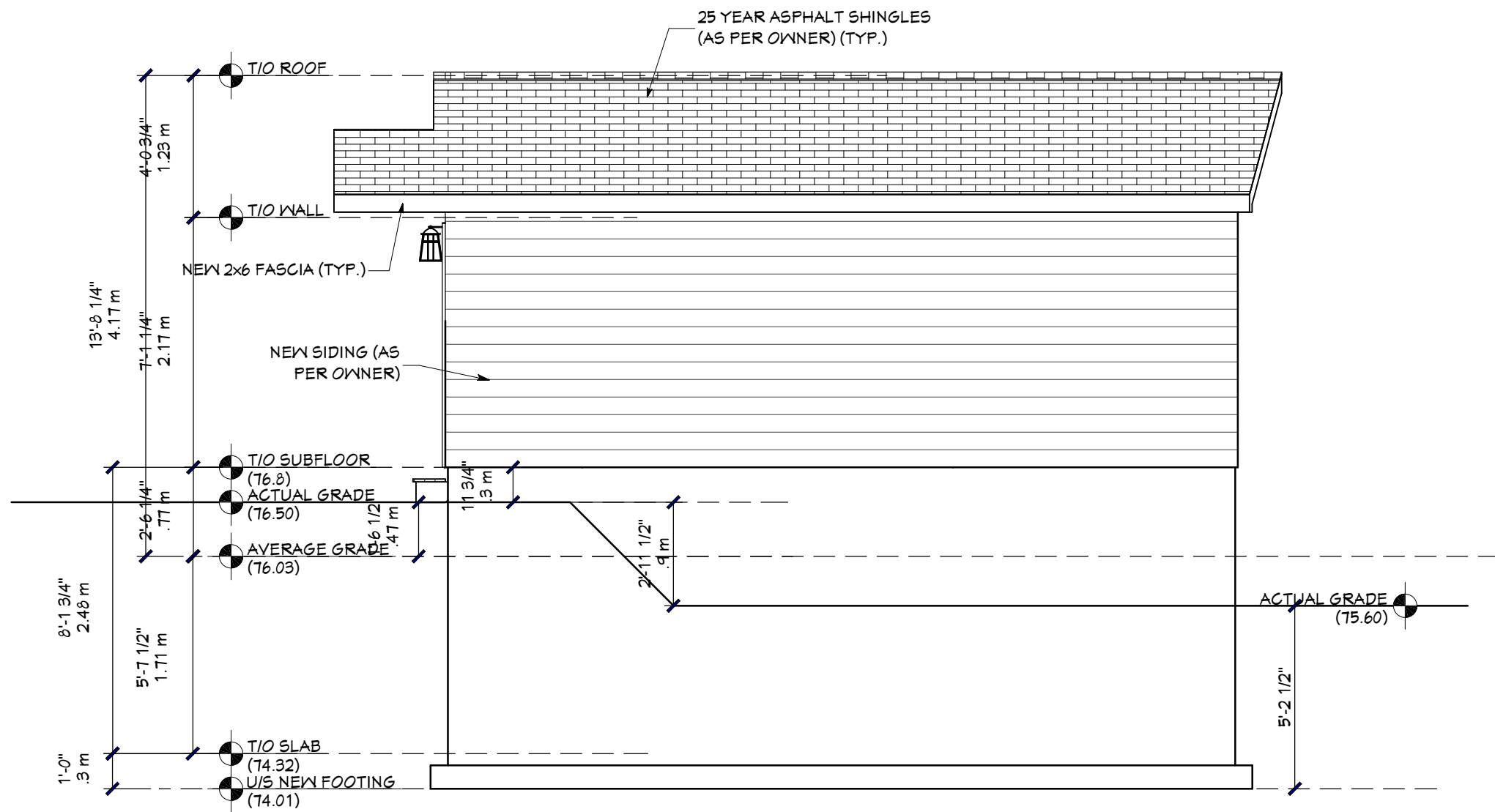
**01**  
**A4.2** EXTERIOR ELEVATION (REAR)  
 SCALE: 1/4" = 1' 0"

**PROJECT**  
 882 Smyth Rd

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**EXTERIOR ELEVATION (REAR)**

|              |                       |
|--------------|-----------------------|
| TYPE         | SCALE                 |
| ADDITION     | AS SHOWN              |
| DESIGNED BY  | DRAWN BY              |
|              | DP                    |
| DATE         | SHEET                 |
| NOV 13, 2023 | <b>A4.2</b>           |
|              | OF [ENT. # 03 IN SET] |



**01** EXTERIOR ELEVATION (SIDE)  
**A4.3** SCALE: 1/4" = 1' 0"

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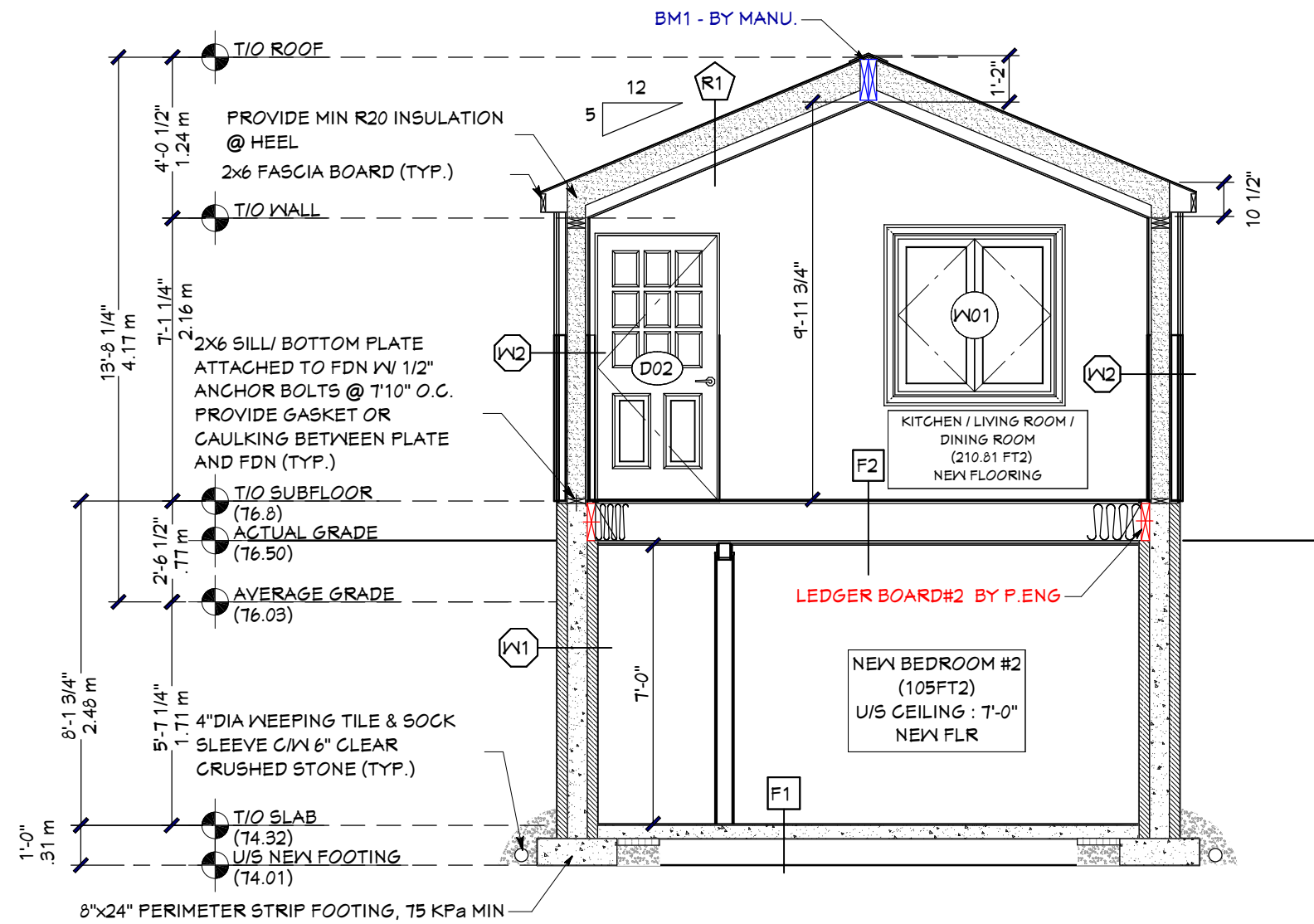
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|---------------------------|------------------------|
| PROJECT                   |                        |
| 882 Smyth Rd              |                        |
| RESIDENTIAL               | OTTAWA ONTARIO         |
| DRAWING                   |                        |
| EXTERIOR ELEVATION (SIDE) |                        |
| TYPE                      | SCALE                  |
| ADDITION                  | AS SHOWN               |
| DESIGNED BY               | DRAWN BY               |
|                           | DP                     |
| DATE                      | SHEET                  |
| NOV 13, 2023              | A4.3                   |
|                           | OF [ENT. # PGS IN SET] |



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 SMALL BUILDINGS

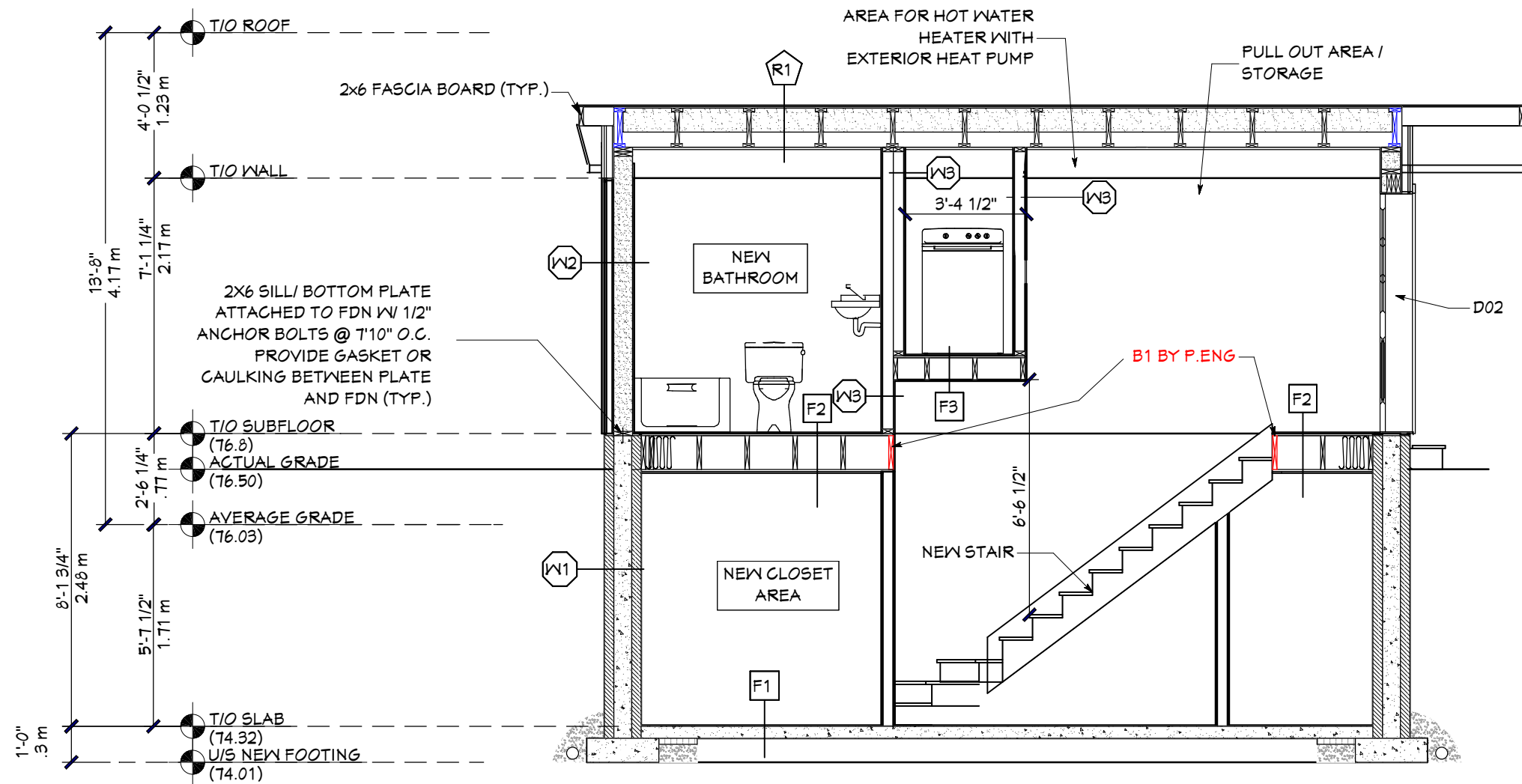
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

| #  | DESCRIPTION              | YY/MM/DD |
|----|--------------------------|----------|
| 02 | ISSUED FOR PERMIT        | 24/03/20 |
| 01 | ISSUED FOR CLIENT REVIEW | 23/11/13 |

|                         |                         |                |  |
|-------------------------|-------------------------|----------------|--|
| PROJECT                 |                         | 882 Smyth Rd   |  |
| RESIDENTIAL DRAWING     |                         | OTTAWA ONTARIO |  |
| <b>BUILDING SECTION</b> |                         |                |  |
| TYPE                    | SCALE                   | AS SHOWN       |  |
| ADDITION                | SCALE                   | AS SHOWN       |  |
| DESIGNED BY             | DRAWN BY                | SHEET          |  |
|                         | DP                      | <b>A5.0</b>    |  |
| DATE                    | NOV 13, 2023            |                |  |
|                         | OF [ENT. # PG'S IN SET] |                |  |





DO NOT SCALE DRAWINGS.  
 ALL DIMENSIONS TO BE CHECKED AND VERIFIED.  
 DESIGN IS IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE. ALL FABRICATIONS AND ERECTION SHALL BE IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE.  
 HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.  
 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/ OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE AT THE OWNER'S AND/ OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.  
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE DESIGNER/ ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

**DISCLAIMER NOTE:**  
 - DUSTIN DESIGN & DRAFTING COMPANY IS NOT RESPONSIBLE FOR ANY PURCHASES REGARDING THE CONSTRUCTION (FLOOR & ROOF MATERIALS, WINDOWS & DOORS MATERIALS OR ANY OTHER TYPE OF MATERIALS IN ORDER TO BUILD THIS BUILDING).  
 - NONE OF THESE MATERIALS SHOULD BE PURCHASED UNTIL THE PERMIT PLANS HAS BEEN APPROVED BY THE CITY.  
 - THE OWNER(S) AND/OR CONTRACTOR(S) IS TAKING FULL RESPONSIBILITY ON THESE PURCHASES AND THE CONSEQUENCES THAT MAY OCCUR OF THESE DECISIONS.

Dustin Poole  
 BCIN# 37560  
 FIRM# 100988  
 613-795-2860

QUALIFICATION INFO:  
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

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| 02 | ISSUED FOR PERMIT        | 24/03/20 |
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PROJECT  
**882 Smyth Rd**  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**BUILDING SECTION**

TYPE: **ADDITION** SCALE: **AS SHOWN**

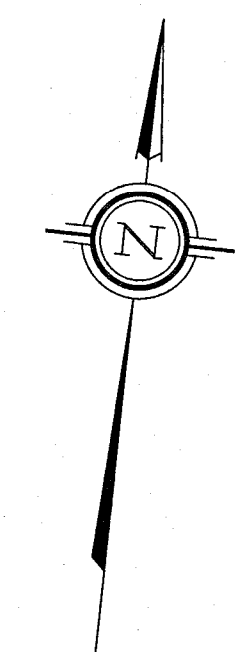
DESIGNED BY: DATE: **NOV 13, 2023** DRAWN BY: **DP** SHEET: **A5.1**

OF [ENT. # PG'S IN SET]



Committee of Adjustment  
Received | Reçu le  
Revised | Modifié le : 2024-06-17  
City of Ottawa / Ville d'Ottawa  
Comité de dérogation

MH-S LID=74.68 MH-S LID=76.15 MH-S LID=77.98



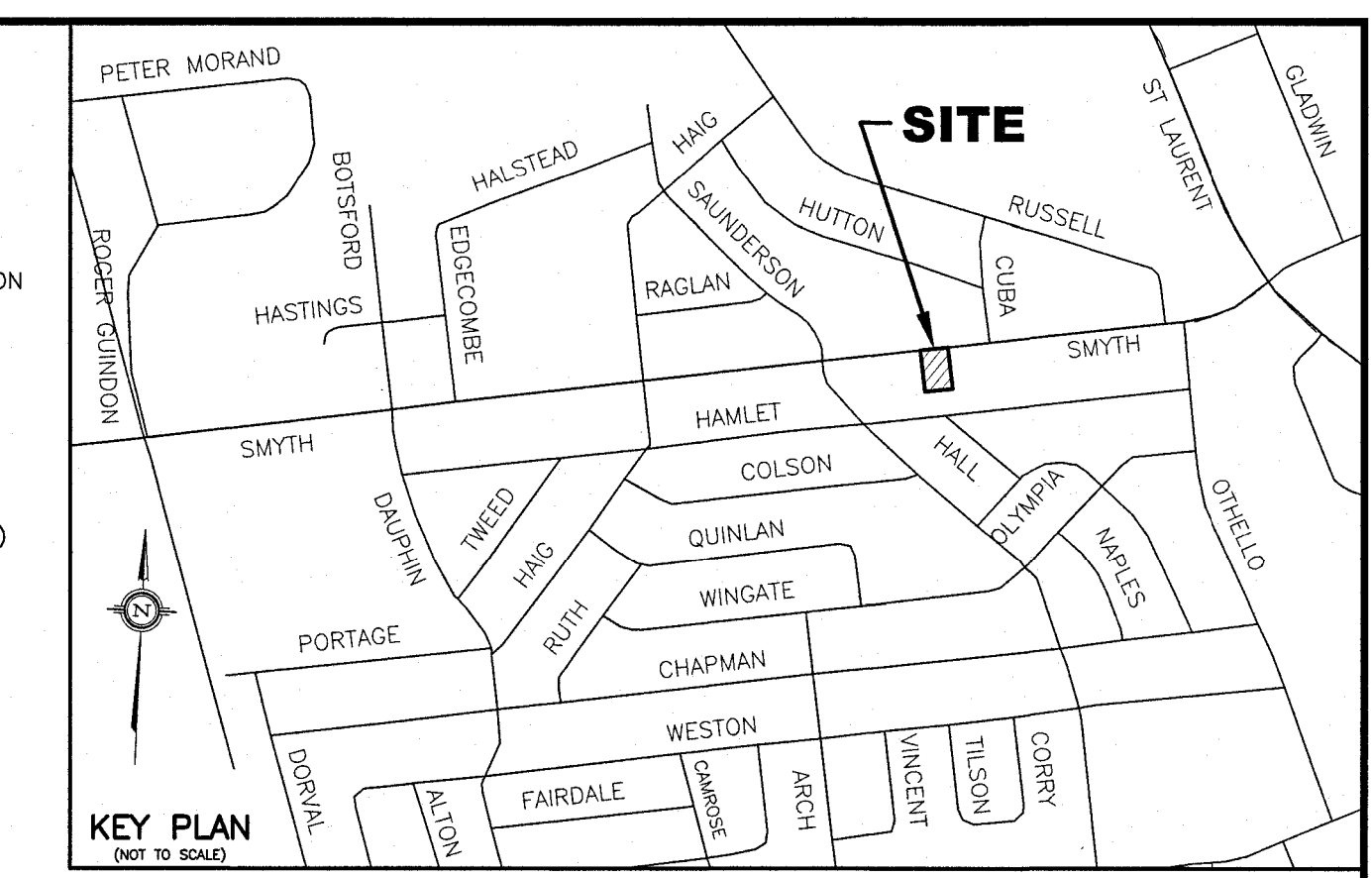
**SMYTH ROAD**  
(ROAD ALLOWANCE BETWEEN LOTS 15 AND 16 JUNCTION GORE)  
PIN 04261 - 0185 (LT)

3.15m ROAD WIDENING DEDICATED BY REGISTERED PLAN No. 643

3.15m ROAD WIDENING DEDICATED BY REGISTERED PLAN No. 627

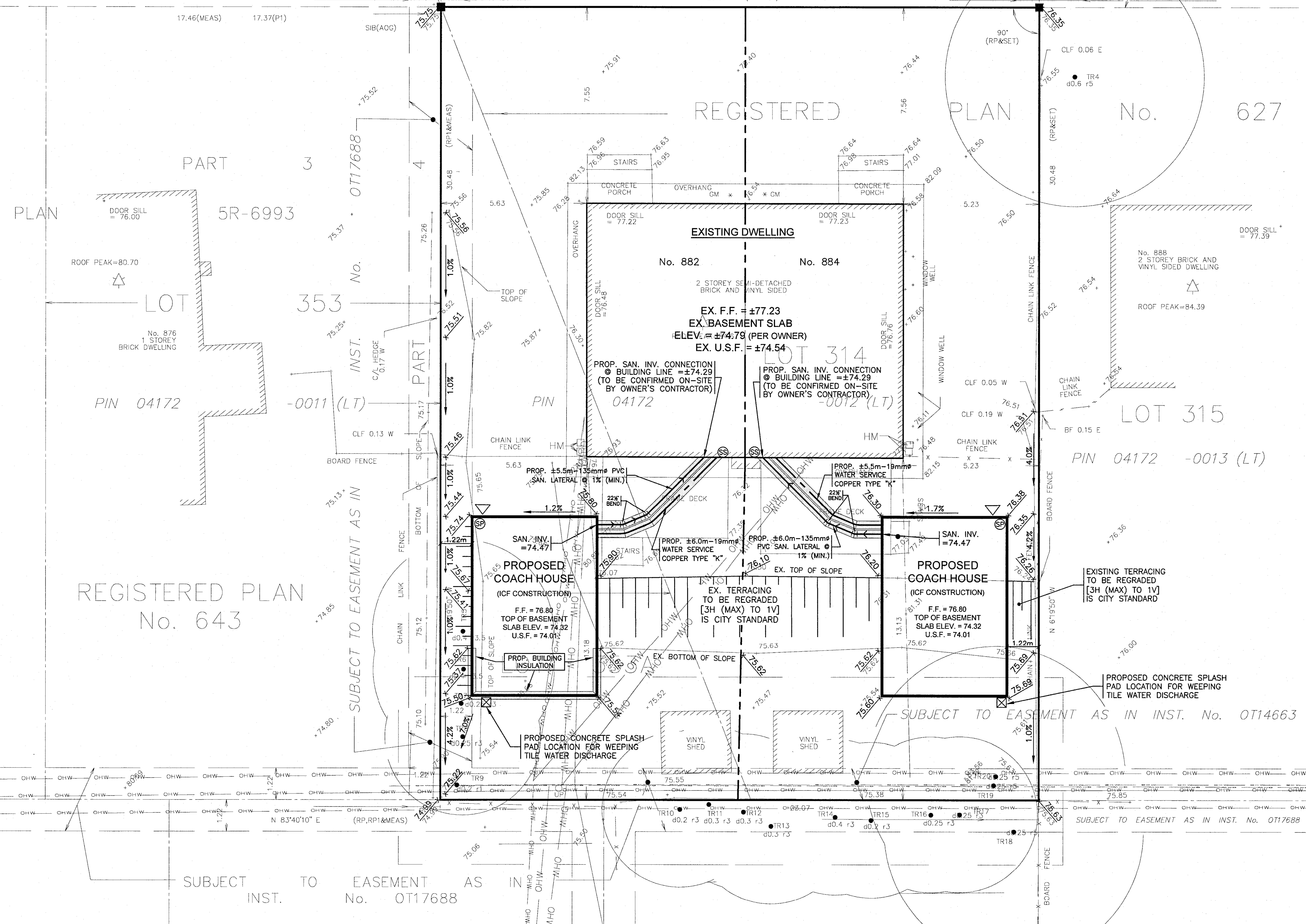
SITE BENCHMARK  
OUT CROSS ON  
BASE OF LIGHT STANDARD  
ELEVATION=77.24

- LEGEND**
- 76.80
  - 75.56
  - F.F.
  - T.O.F.
  - U.S.F.
  - D/W
  - S
  - ST
  - W
  - MH-S
  - MH-ST
  - CB
  - WV
  - TH
  - UP
  - OH
  - V&VB
  - PROPOSED ELEVATION
  - EXISTING ELEVATION
  - PROPOSED TOP OF GROUND FLOOR ELEVATION
  - PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
  - PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
  - PROPOSED DRIVEWAY
  - EXISTING SANITARY SEWER
  - EXISTING STORM SEWER
  - EXISTING WATERMAIN
  - PROPOSED 135mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
  - PROPOSED 19mm WATER SERVICE (COPPER TYPE "K")
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING WATER VALVE
  - EXISTING FIRE HYDRANT
  - EXISTING UTILITY POLE
  - EXISTING OVERHEAD WIRES
  - PROPOSED VALVE AND VALVE BOX (V&VB)
  - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
  - PROPOSED TERRACING 3:1 (MAX.) TO 1 V
  - PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEEPING TILE WATER DISCHARGE
  - PROPOSED WEEPING TILE SUMP PIT LOCATION
  - C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
  - PROPOSED SANITARY SEWAGE TANK/PIT LOCATION IN UTILITY ROOM OF EX. MAIN BUILDING C/W OWNER'S SELECTED MACERATOR GRIND SEWAGE PUMP SYSTEM PER CURRENT OBC REQUIREMENTS
  - PROPOSED RIGID STYROFOAM INSULATION 50mm THICK (MIN.)



**NOTES**

1. EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
2. CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY.
3. SITING DETAILS FOR THE PROPOSED COACH HOUSE BUILDING ADDITION ISSUED FOR PERMITS WERE TAKEN FROM DUSTIN DESIGN AND DRAFTING'S SITE PLAN (SHEET No. A1.0 REV. 1 DATED NOVEMBER 13, 2023) RECEIVED ON FEBRUARY 2, 2024.
4. EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING ROAD ELEVATIONS, HYDRANT LOCATION, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY J.D. BARNES LIMITED AS DEPICTED ON THEIR TOPOGRAPHICAL SURVEY PLAN (REF. No. 22-10-136-00 COMPLETED ON FEBRUARY 16, 2023) RECEIVED ON JANUARY 26, 2024. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE.
5. ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
6. ALL GRADES SHOWN ARE METRIC. BENCHMARK USED ON SITE BY THE OWNER'S SURVEYOR IS GEOIDIC. SITE BENCHMARK SHALL BE PROVIDED BY J.D. BARNES LIMITED REFER TO SURVEYOR'S TOPOGRAPHICAL PLAN (REF. No. 22-10-136-00).
7. PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM, WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3H MAXIMUM TO 1V AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
8. WHERE ROOF EAVESTROUGHS ARE INSTALLED FOR THE NEW COACH HOUSE ADDITION, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO FRONT YARD ONLY IF POSSIBLE, AND NOT TO THE REAR YARD OR SIDE YARDS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
10. WHERE FROST COVER FROM UNDERSIDE OF CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.55m, IT IS RECOMMENDED THAT INSULATION BE INSTALLED AT THE CONCRETE FOOTING AND FOUNDATION OF THE NEW COACH HOUSE BUILDING ADDITION TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY HOUSE DESIGNER AND OWNER'S SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
11. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CONFLICT CLEARANCE BEFORE CONSTRUCTION.
12. THIS LOT GRADING DESIGN PLAN FOR THE COACH HOUSE BUILDING ADDITION WAS PREPARED FOR THE OWNERS FOR THE SOLE PURPOSE OF ASCERTAINING A BUILDING PERMIT. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION LAYOUT PURPOSES. REFER TO APPROVED SITE PLAN BY TRUE PROJECT, FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
13. OWNER AND HIS/HER HOUSE DESIGNERS AND/OR REPRESENTATIVES SHALL REVIEW THIS PLAN AND THE APPROVED ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
14. DETAILS OF THE EXISTING MAIN BUILDING BASEMENT SLAB ELEVATION WAS PROVIDED BY THE OWNER. THE COACH HOUSE BUILDING ADDITION TOP OF GROUND FLOOR (F.F.), TOP OF BASEMENT SLAB, U.S.F. AND INFORMATION FOR VARIOUS ELEVATION LEVELS OF BUILDING, REFER TO THE HOUSE DESIGNER'S EXTERIOR ELEVATION (FRONT) PLAN (SHEET No. A4.0 REV. 2 DATED MARCH 20, 2024) RECEIVED ON APRIL 29, 2024 FOR DETAILS.
15. THIS LOT SHALL BE REGRADED AS PER GRADES SHOWN ON THIS DRAWING TO ACHIEVE POSITIVE DRAINAGE AND IN ACCORDANCE WITH CURRENT CITY OF OTTAWA DRAINAGE STANDARDS.
16. CONTRACTOR SHALL REFER TO OWNER'S HOUSE DESIGNER'S FINAL PLANS FOR DETAILS OF CONCRETE FOUNDATION DEPTH, ETC. BEFORE CONCRETE POURING.
17. THE COACH HOUSE ADDITION SHALL CONNECT PROPOSED WATER AND SANITARY SERVICES TO THE EXISTING BUILDING SERVICES. ALL WATERWORKS SHALL BE CONSTRUCTED TO CITY OF OTTAWA'S LATEST REVISED STANDARDS AND APPROVAL OF CITY. THE 19mm DIA. WATER SERVICES SHALL BE COPPER TYPE "K". WATER SERVICE AND WATER MAIN TRENCH DETAILS AS PER CITY W17 DETAIL. WATER SERVICE CONNECTION TO THE EXISTING HOUSE SHALL BE DONE PER CITY ENGINEERING REQUIREMENTS. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE CARRIED OUT TO THE CITY'S SATISFACTION.
18. THE CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE NEW 19mm DIA. WATER SERVICES ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER. THE WATER SERVICE INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY STANDARDS. ALSO, IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE OR CATCH BASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH S/M RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
19. PROPOSED SANITARY SERVICE LATERAL PIPE SHALL BE PVC DR-28 OR EQUIVALENT. SANITARY SERVICE (22" DEGREES LONG RADIUS) BENDS AND RISERS USED MUST BE CONSTRUCTED TO THE CITY'S SATISFACTION.
20. CONSTRUCT ALL SANITARY AND WATER SERVICES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD OTHERWISE AS PER OPSS AND OPSD SPECIFICATIONS.
21. ALL SEWER BEDDING TO BE CLASS "B"-1 AS PER OPSD 802.03 C/W GRANULAR COVER. BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE "B" COMPACTED TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN THE SERVICING TRENCHES.
22. IT IS RECOMMENDED THAT A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE SANITARY SERVICE LATERAL PROPOSED TO SERVICE THE NEW COACH HOUSE BUILDING UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE AND PER CITY DETAILS S14, S14.1 AND S14.2.
23. THE OWNER'S HOUSE DESIGNER AND PLUMBER SHALL CHECK THE CURRENT ONTARIO PLUMBING CODE FOR REQUIREMENTS FOR A BACKWATER VALVE IN THE BUILDING AND AS PER THE MECHANICAL ENGINEER'S DRAWINGS AT THE SANITARY SERVICE LATERALS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
25. ALL BENDS SHALL BE LONG RADIUS TYPE OR AS APPROVED BY CITY OF OTTAWA.



26. THE CONTRACTOR SHALL CHECK AND VERIFY TO ENSURE THAT THE NEW SANITARY SERVICE LATERALS AS PER ALIGNMENT REQUIRED BY THE CITY WILL ACHIEVE 1.0% (MINIMUM) SLOPE TO THE FOUNDATION WALL OF THE PROPOSED COACH HOUSE.
27. INSULATE THE PROPOSED WATER SERVICES AND SERVICE LATERALS ON PRIVATE PROPERTY FROM COACH HOUSE TO THE MAIN HOUSE WITH RIGID STYROFOAM INSULATION (50mm THICK MINIMUM) AND ANY OTHER LOCATION WHERE GROUND COVER IS LESS THAN 2.4m FOR WATER AND SANITARY SERVICES. INSULATION THICKNESS AND WIDTH REQUIREMENTS SHALL BE AS PER CITY'S ENGINEERING STANDARDS AND PER REQUIREMENTS OF THE CITY OF OTTAWA AND OWNER'S SOILS ENGINEER.
28. FOR DEVELOPMENT OF THIS LOT, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY AND WATER SERVICES FROM THE SEWER AND WATERMAIN STARTING AT THE EXISTING HOUSE, THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT THE SEWER LATERALS CAN ACHIEVE A SLOPE OF 1.0% (MINIMUM) TO THE COACH HOUSE.
29. HOUSE WATER SERVICE AND SANITARY LATERAL ARE THE RESPONSIBILITY OF THE OWNER'S PLUMBER FROM 1.0m OUTSIDE THE FOUNDATION WALL INTO THE PROPOSED DWELLING UNDER THE LATEST REVISION OF THE ONTARIO PLUMBING CODE.
30. ROOF EAVESTROUGHS SHALL BE INSTALLED. ROOF DOWNSPOUTS MUST BE DIRECTED TO OUTLET DISCHARGE TO THE FRONT AND REAR YARD ONLY AND NOT TO THE SIDE YARDS.
31. THE CONTRACTOR SHALL CONTACT ALL THE UTILITY COMPANIES REGARDING LOCATION OF THE EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CONFLICT CLEARANCE PRIOR TO CONSTRUCTION.
32. ROOF TYPE OF PROPOSED COACH HOUSE BUILDING ADDITION IS PITCHED.
33. a) CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE RECEIVING STORM SEWER DURING CONSTRUCTION ACTIVITIES. THESE PRACTICES ARE REQUIRED TO ENSURE NO SEDIMENT AND/OR ASSOCIATED POLLUTANTS ARE RELEASED TO THE RECEIVING WATERCOURSE. THESE PRACTICES INCLUDE INSTALLATION OF SEDIMENT BARRIERS ON ALL CATCH BASIN AND MAINTENANCE HOLES, AND A SILT FENCE BARRIER (AS PER OPSD 219.110 AND ASSOCIATED SPECIFICATIONS) ALONG THE PROPERTY LIMITS OF THE PROPOSED DEVELOPMENT AND ALL OTHER AREAS THAT SHEET DRAIN OFF SITE. MAINTENANCE HOLE SEDIMENT BARRIERS TO BE AMOCO 4555 NONWOVEN GEOTEXTILE OR APPROVED EQUIVALENT.
- b) THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE. DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
34. a) GIVEN THE ARCHITECTURAL REQUIREMENTS FOR THE PROPOSED COACH HOUSES AND THE EXISTING MAIN SEMI-DETACHED RESIDENTIAL BUILDING, THE OWNERS(S) AND HIS HOUSE DESIGNER WILL MAKE INTERNAL HOUSE PUMPING PROVISIONS TO INSTALL A SANITARY SEWAGE TANK/PIT TO PUMP SANITARY BASEMENT SEWAGE FLOW RECEIVED FROM THE COACH HOUSE AND UP TO THE EXISTING SANITARY LATERAL OF THE MAIN BUILDING. SEE LATEST REVISED ARCHITECTURAL PLANS FOR DISCHARGE PIPE HEIGHT DETAILS, SEWAGE PIT/TANK SIZE, AND PUMPING SYSTEM FOR THIS BUILDING. IT IS RECOMMENDED THAT THE SANITARY SEWAGE TANK BE OVERSIZED.
- b) THE HOUSE DESIGNER AND OWNER'S/DEVELOPER'S MECHANICAL ENGINEER SHALL ENSURE THAT SANITARY SEWAGE FLOW FROM FLOOR LEVELS ABOVE THE BASEMENT LEVEL OF THE COACH HOUSE IS DIRECTED AND OUTLETTED TO THE PROPOSED GRAVITY FLOW SANITARY LATERAL PIPE.
- c) THE PROPOSED SANITARY SEWAGE TANK IN THE MAIN BUILDING WITH MACERATOR GRIND SEWAGE PUMPING SYSTEMS ARE FOR OUTLET OF WATER CLOSETS AND FIXTURES FROM THE COACH HOUSE PER HOUSE DESIGNER'S DRAWINGS IN ACCORDANCE WITH THE LATEST REVISED ONTARIO BUILDING AND PLUMBING CODES.
35. HOUSE WEEPING TILE WATER DRAINAGE FOR THE NEW COACH HOUSE SHALL BE SUMP-PUMPED VIA FORMER MAIN FROM BASEMENT SUMP PIT, DISCHARGED TO THE SURFACE OF LOT AND ONTO A SPLASH PAD, AND THEN BE DIRECTED TO A SUITABLE OUTLET AS DETERMINED BY OWNER AND CITY. ALL WORKS SHALL BE CARRIED OUT TO CITY'S REQUIREMENTS AND IN COMPLIANCE WITH LATEST REVISED ENGINEERING STANDARDS.
36. THE OWNER'S HOUSE DESIGNER SHALL INFORM THE OWNERS THAT AN ONGOING YEAR ROUND MAINTENANCE PROGRAM IS REQUIRED FOR ALL BUILDINGS ON-SITE TO ENSURE THAT THE PROPOSED SEWAGE AND WEEPING TILE WATER TANK(S) FOR THE BUILDINGS SHALL BE ANNUALLY INSPECTED AND CLEANED IF NECESSARY. ALL PUMPS USED IN THIS BUILDING ARE TO BE DETERMINED BY THE OWNER'S MECHANICAL ENGINEER AND/OR PLUMBER BASED ON THEIR SPECIFIC USAGE UNDER THE PRESENT PLUMBING CODE AND CITY REQUIREMENTS.
37. THE HOUSE DESIGNER SHALL INFORM THE OWNERS TO HAVE AVAILABLE AT ALL TIMES A BACKUP GENERATOR ON STANDBY AT THE BUILDING IN THE EVENT OF A POWER BLACKOUT OR OTHER EMERGENCIES.
38. NO EXCESS DRAINAGE DURING AND AFTER CONSTRUCTION WILL BE DIRECTED TOWARDS THE NEIGHBOURS' PROPERTY.
39. THERE WILL BE NO ALTERATION TO EXISTING GRADE AND DRAINAGE PATTERN ON PROPERTY LINES.
40. THE RETAINING WALL TO BE CONSTRUCTED AND MATERIAL TYPE SHALL BE SPECIFIED BY THE OWNER'S HOUSE DESIGNER AND/OR HIS STRUCTURAL ENGINEER. ANY RETAINING WALLS BUILT ON THIS LOT EXCEEDING 1.0m IN HEIGHT FROM PROPOSED FINISHED GROUND ELEVATION WILL BE REQUIRED TO BE PREPARED AND CERTIFIED BY THE OWNER'S STRUCTURAL ENGINEER AND APPROVED BY THE CITY OF OTTAWA BEFORE CONSTRUCTION.

|  |  |   |  |   |  |  |
|--|--|---|--|---|--|--|
|  |  | <p><b>SCALE</b></p> <p>0 1 2 3 5m</p> <p>1:100 HORIZONTAL</p> <p>VERTICAL</p> | <p>DESIGN T.L.M.</p> <p>CHECKED T.L.M.</p> <p>DRAWN BY P.M.</p> <p>CHECKED T.L.M.</p> <p>APPROVED T.L.M.</p> | <p>PROJECT</p> <p><b>882-884 SMYTH ROAD</b><br/>LOT 353A<br/>REGISTERED PLAN No. 643<br/>AND<br/>LOT 314<br/>REGISTERED PLAN No. 627<br/>CITY OF OTTAWA</p> | <p>DRAWING TITLE</p> <p><b>PROPOSED LOT GRADING AND SERVICING PLAN</b></p> | <p>PROJECT No. 824-29</p> <p>DATE FEBRUARY 2024</p> <p>DRAWING No. G-1</p> |
| <p>1 REVISIONS AS PER OWNER'S REVIEW COMMENTS OF APRIL 18, 2024 05/01/24 TLM</p> |  | <p>PROJECT No. 824-29 DATE FEBRUARY 2024 DRAWING No. G-1</p>                  |  |   |  |  |