

Committee of Adjustment  
Received | Reçu le  
2024-07-10  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**OWNER'S CERTIFICATE - PLAN OF SUBDIVISION**  
THIS IS TO CERTIFY THAT:  
1. LOTS 1 TO 61, BOTH INCLUSIVE, BLOCKS 62 TO 67, BOTH INCLUSIVE, THE STREETS NAMELY, voie Persimmon Way, voie Cerulean Way, voie Ludis Way, rue Reflection Street AND voie Ventus Way, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.  
2. THE STREETS ARE HEREBY DEDICATED TO CITY OF OTTAWA AS PUBLIC HIGHWAY.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2024  
**GLENVIEW HOMES (INNES) LTD.**  
I HAVE THE AUTHORITY TO BIND THE CORPORATION  
JULIAN NORMAND

LOT/BLOCK	RADIUS	ARC	CHORD	BEARING
LOT 4	19.00	1.12	1.12	N 22°08'00" W
LOT 5	19.00	7.53	7.48	N 09°06'10" W
LOT 6	19.00	7.53	7.48	N 13°34'40" E
LOT 7	19.00	8.56	8.49	N 37°51'10" E
LOT 8	19.75	9.13	9.05	N 65°39'40" E
LOT 9	19.75	9.13	9.05	N 86°54'20" E
LOT 10	19.75	9.13	9.05	N 60°24'40" E
LOT 11	19.75	9.13	9.05	N 33°38'30" E
LOT 12	19.75	12.65	12.44	N 01°48'00" E
LOT 13	19.75	12.65	12.44	N 33°38'30" E
LOT 14	19.75	12.65	12.44	N 61°17'50" W
LOT 15	19.75	12.65	12.44	N 42°03'10" W
LOT 16	24.00	2.93	2.92	N 27°18'30" W
LOT 17	24.00	2.93	2.92	N 42°01'40" W
LOT 18	24.00	9.40	9.34	N 64°28'50" W
LOT 19	24.00	9.40	9.34	N 85°39'10" W
LOT 20	24.00	1.26	1.26	N 88°17'50" W
LOT 21	24.00	1.26	1.26	N 65°25'50" W
LOT 22	24.00	1.26	1.26	N 54°57'40" W
LOT 23	24.00	1.26	1.26	N 77°06'00" W
LOT 24	24.00	6.12	6.10	N 23°10'00" W
LOT 25	24.00	6.12	6.10	N 65°39'40" W
LOT 26	24.00	6.12	6.10	N 85°39'40" W
LOT 27	24.00	6.12	6.10	N 64°53'10" W
LOT 28	24.00	6.12	6.10	N 26°30'30" W
LOT 29	24.00	6.12	6.10	N 15°25'00" W
LOT 30	24.00	6.12	6.10	N 75°01'00" W
LOT 31	24.00	6.12	6.10	N 20°45'00" W
LOT 32	24.00	6.12	6.10	N 22°10'10" W
LOT 33	24.00	6.12	6.10	N 29°54'40" W
LOT 34	24.00	6.12	6.10	N 62°57'30" W
LOT 35	24.00	6.12	6.10	N 78°46'30" W
LOT 36	24.00	6.12	6.10	N 82°51'00" W
LOT 37	24.00	6.12	6.10	N 54°33'30" W
LOT 38	24.00	6.12	6.10	N 74°04'40" W
LOT 39	24.00	6.12	6.10	N 54°33'30" W
LOT 40	24.00	6.12	6.10	N 74°04'40" W
LOT 41	24.00	6.12	6.10	N 85°74'40" W

APPROVED UNDER SECTION 51 OF THE PLANNING ACT BY THE CITY OF OTTAWA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2024  
V.M. CHI, INTERIM GENERAL MANAGER,  
PLANNING, DEVELOPMENT AND BUILDING SERVICES DEPARTMENT,  
CITY OF OTTAWA

**PLAN 4M-**  
I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON (No. 4) AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER \_\_\_\_\_ AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. \_\_\_\_\_  
REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRISES ALL OF PINS 04404-3283 (LT), 04404-3284 (LT) AND 04404-3285 (LT)  
PART OF voie Ventus Way IS SUBJECT TO EASEMENT AS IN INST. NOS. OC2037945 AND OC1970226.

PLAN OF SURVEY OF  
**PART OF LOT 4  
CONCESSION 3 (OTTAWA FRONT)**  
(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)  
NOW IN THE  
**CITY OF OTTAWA**

SCALE 1 : 1000  
0 20 40 60 metres

J.D. BARNES LIMITED  
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**  
BEARINGS ARE MTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS (SCP#) 01919680228 AND 01919680217, MTM ZONE 09, NAD83 CSRS (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999963. DISTANCES SHOWN ON CURVED LIMITS ARE ARC MEASUREMENTS.

**INTEGRATION DATA**  
SPECIFIED CONTROL POINTS (SCP#): MTM ZONE 09, NAD83 CSRS (2010.0).  
COORDINATES TO A URBAN ACCURACY PER SECTION 14 (2) OF OREG 216/10.  
POINT ID EASTING NORTHING  
SCP 01919680228 383 454.02 5 033 747.56  
SCP 01919680217 379 109.89 5 033 507.11  
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
THE RESULTANT TIES BETWEEN SCP 01919680228 AND SCP 01919680217 IS 3.50594 (GROUND) N 88°49'50" E.

**LEGEND**  
▲ DENOTES CONTROL POINT  
□ DENOTES SURVEY MONUMENT FOUND  
□ DENOTES SURVEY MONUMENT SET  
SIB DENOTES STANDARD IRON BAR  
SIB DENOTES SHORT STANDARD IRON BAR  
IB DENOTES IRON BAR  
P DENOTES PLASTIC BAR  
WIT DENOTES WITNESS  
MEAS DENOTES MEASURED  
J.D. DENOTES J.D. BARNES LIMITED  
1319 DENOTES WEBSTER & SIMMONDS SURVEYING LTD.  
1442 DENOTES JOHN HUGH KENNEDY, O.L.S.  
FSD DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.  
1175 DENOTES H.A.K. SHEPMAN, O.L.S.

ALL SET SSB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY TO UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF OREG 205/91.  
ALL FOUND SET AND SET MONUMENTS ARE P.B'S UNLESS NOTED OTHERWISE.

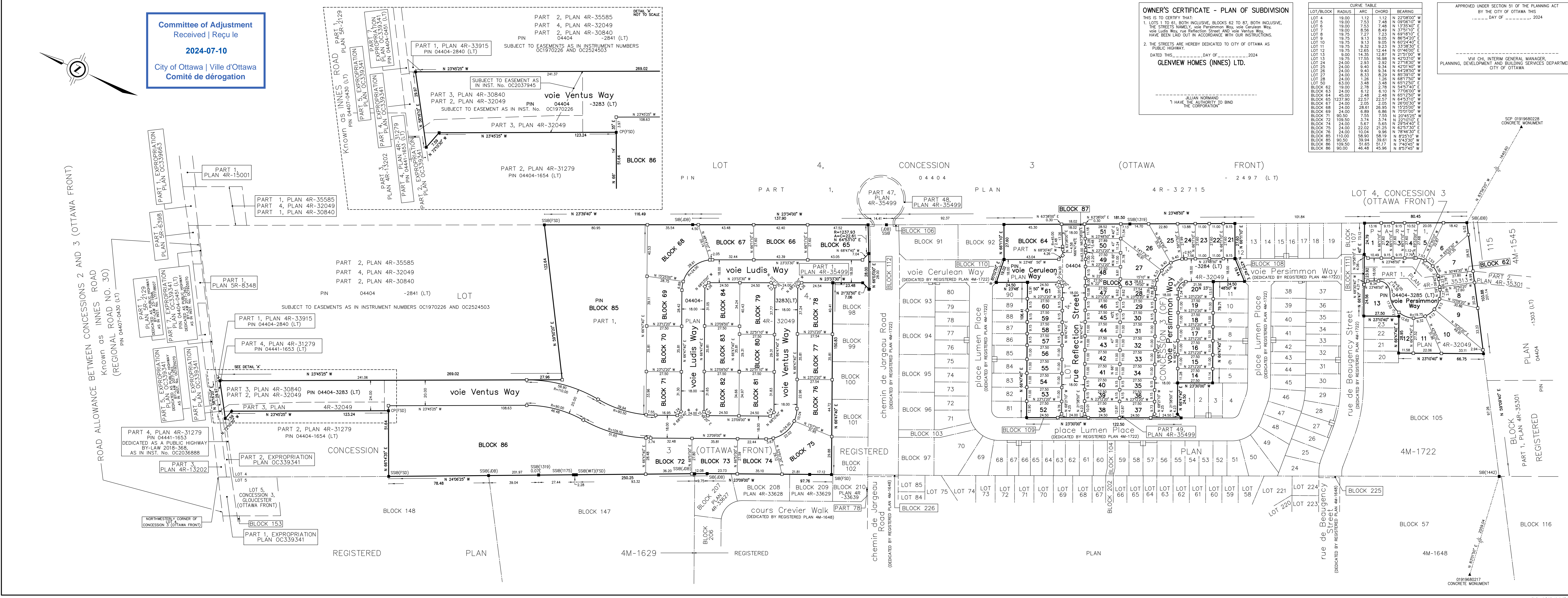
**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON \_\_\_\_\_ 2024.

DATE \_\_\_\_\_ PRELIMINARY  
C.M. FOX  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY, IN RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXXX

**J. D. BARNES SURVEYING**  
LAND INFORMATION SPECIALISTS  
45 STEACIE DRIVE, SUITE 105, KANATA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

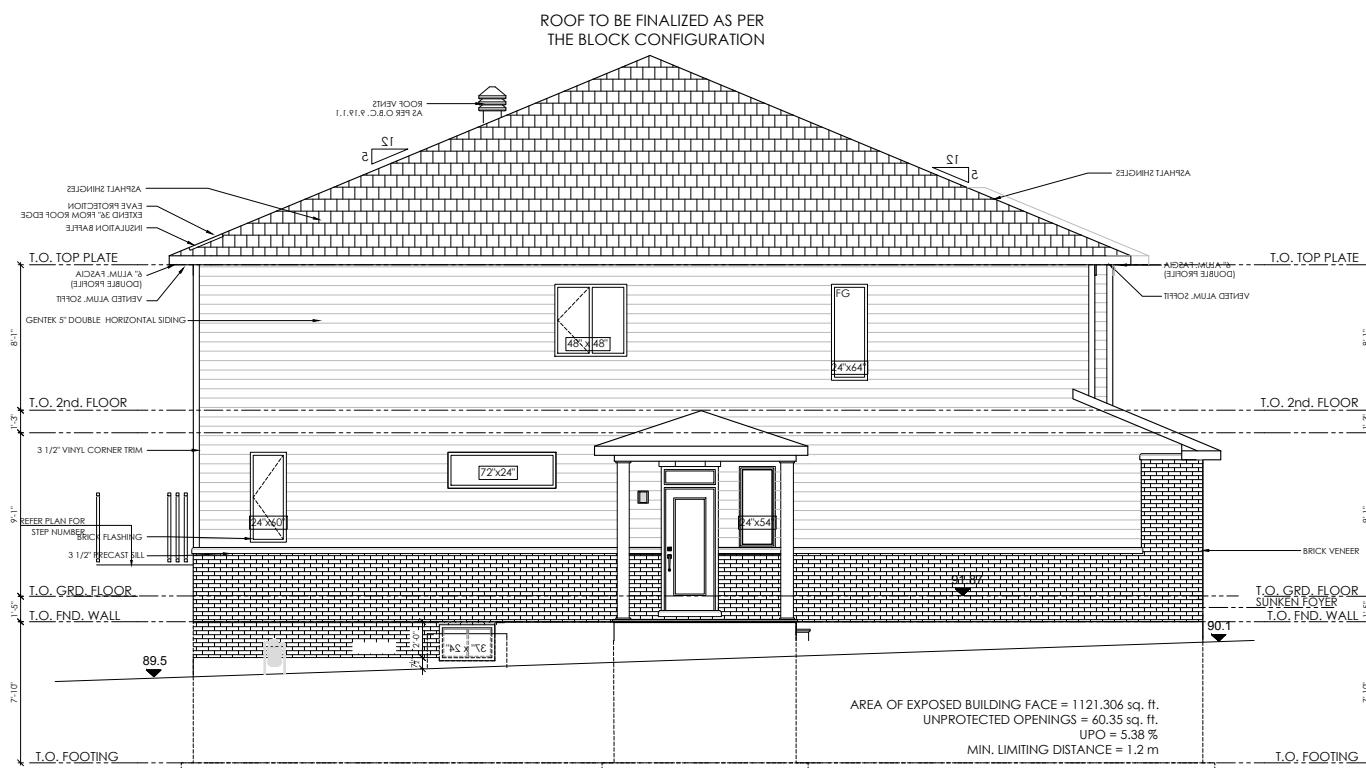
DRAWN BY: SM / JM CHECKED BY: NS/CF REFERENCE NO: 23-10-047-00 V-H (THE COMMONS PH-2)  
PLOTTED: 5/17/2024 DATED: 11/29/2023



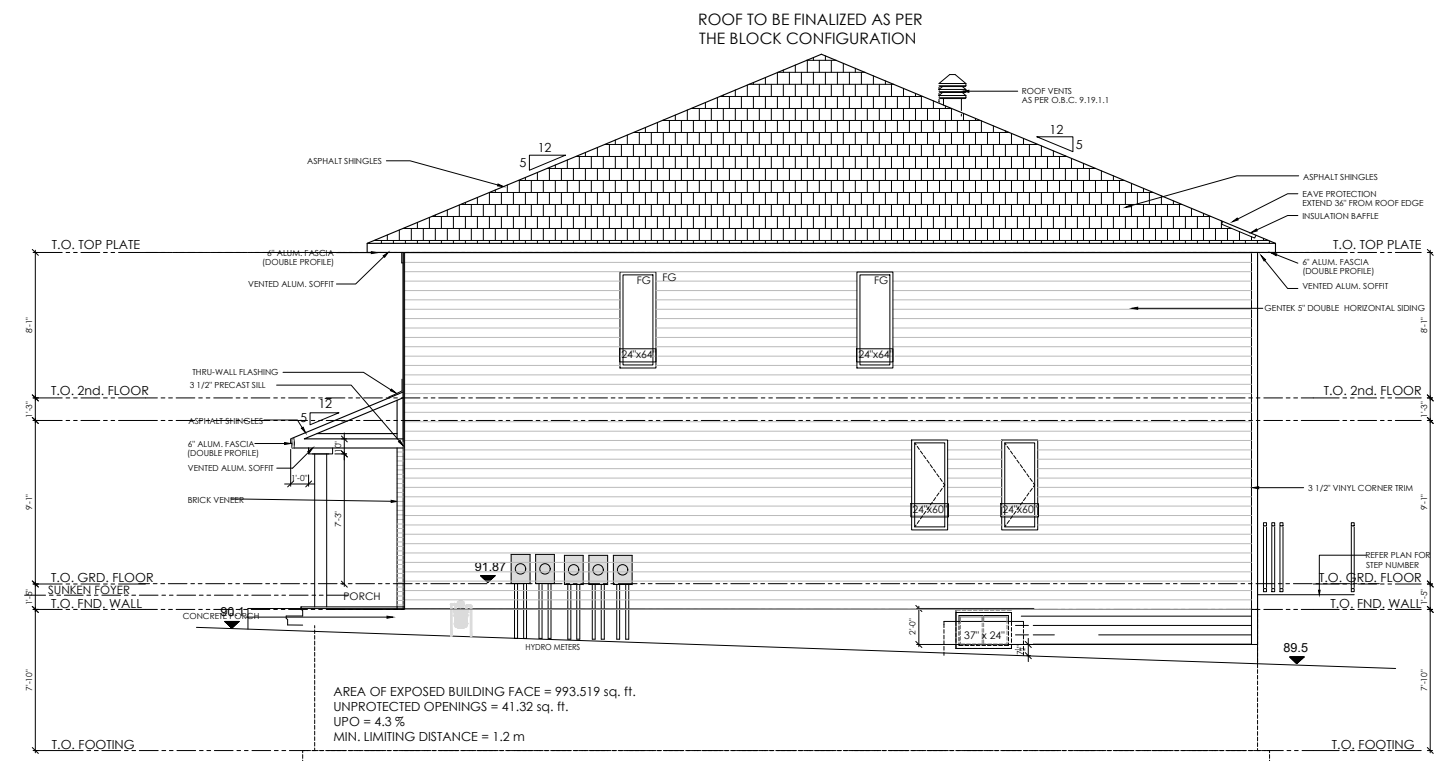
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LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



**GENERAL NOTES:**  
 1 - THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING P1 ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO GLENVIEW HOMES ARCHITECTURE DEPARTMENT  
 2 - ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS  
 3 - ADDITIONAL DRAWINGS MAY BE ISSUED FOR  
 4 - CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS  
 5 - DO NOT SCALE DRAWINGS.  
 6 - THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECTURE DEPARTMENT  
 7 - THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE  
 8 - THIS REPRODUCTION SHALL NOT BE ALTERED.

**POST SCHEDULE**  
 P1 3" Dia. ADJUSTABLE STEEL TELEPOST 8500 POUND CAP. (MIN.)  
 P2 2 - 2x4 or 2x6 or 2x8 (AS APPLICABLE)  
 P3 3 - 2x4 or 2x6 or 2x8 (AS APPLICABLE)  
 P4 4 - 2x4 or 2x6 or 2x8 (AS APPLICABLE)  
 P5 5 - 2x4 or 2x6 or 2x8 (AS APPLICABLE)  
 P6 HSS 3 1/2"x3 1/2"x.188" c/w 5"x3/8"x8" B.P. & C.P.  
**BRICK LINTELS**  
 OPENINGS UP TO L SIZE  
 5'-0" L 3 1/2" x 3 1/2" x 5/16"  
 7'-0" L 4" x 3 1/2" x 5/16"  
 8'-0" L 5" x 3 1/2" x 5/16"  
 9'-0" L 5" x 3 1/2" x 3/8"  
 10'-0" L 6" x 4" x 3/8"  
 6"min. BEARING EACH END

**DOOR SCHEDULE:**

No.	SIZE	TYPE
1	8'x7'-0"	EMBOSSED STEEL INSUL. OVERHEAD DOOR, LOCK - SEE FRONT ELEVATION
2	2'-10"x6'-10"	METAL, INSULATED, LATCH SET, DEADLOCK, EMBOSSED, WEATHERSTRIPPED, GLASS PANEL, TRANSOM AND SIDELITE
3	2'-8"x6'-10"	METAL, INSULATED, LATCH SET, DEADLOCK, CLOSER, WEATHERSTRIPPED
4	1'-10"x6'-8"	HCW, LATCHSET, COLONIAL
5	2'-4"x6'-8"	HCW, LATCHSET, COLONIAL
6	2'-4"x6'-8"	HCW, PRIVACY SET (WASHROOM ONLY), COLONIAL
7	2'-6"x6'-8"	HCW, LATCHSET, COLONIAL
8	2'-8"x6'-8"	HCW, LATCHSET, COLONIAL
9	4'-4"x6'-8"	SLIDING, COLONIAL
10	5'-4"x6'-8"	SLIDING, COLONIAL
11	5'-0"x8'-0"	METAL, INSULATED, WEATHERSTRIPPED, GLASS PANE, LATCH SET, PATIO DOOR

#	DATE:	DESCRIPTION	INT.
1.	10/08/23	FOR TENDERING	PW
REVISIONS			

A  
B  
C

A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: COMMONS PHASE 2 - 2024  
OTTAWA, ONTARIO

**WORKING DRAWINGS**

DRAWING TITLE:  
**BLOCK #78  
SIDE ELEVATIONS**

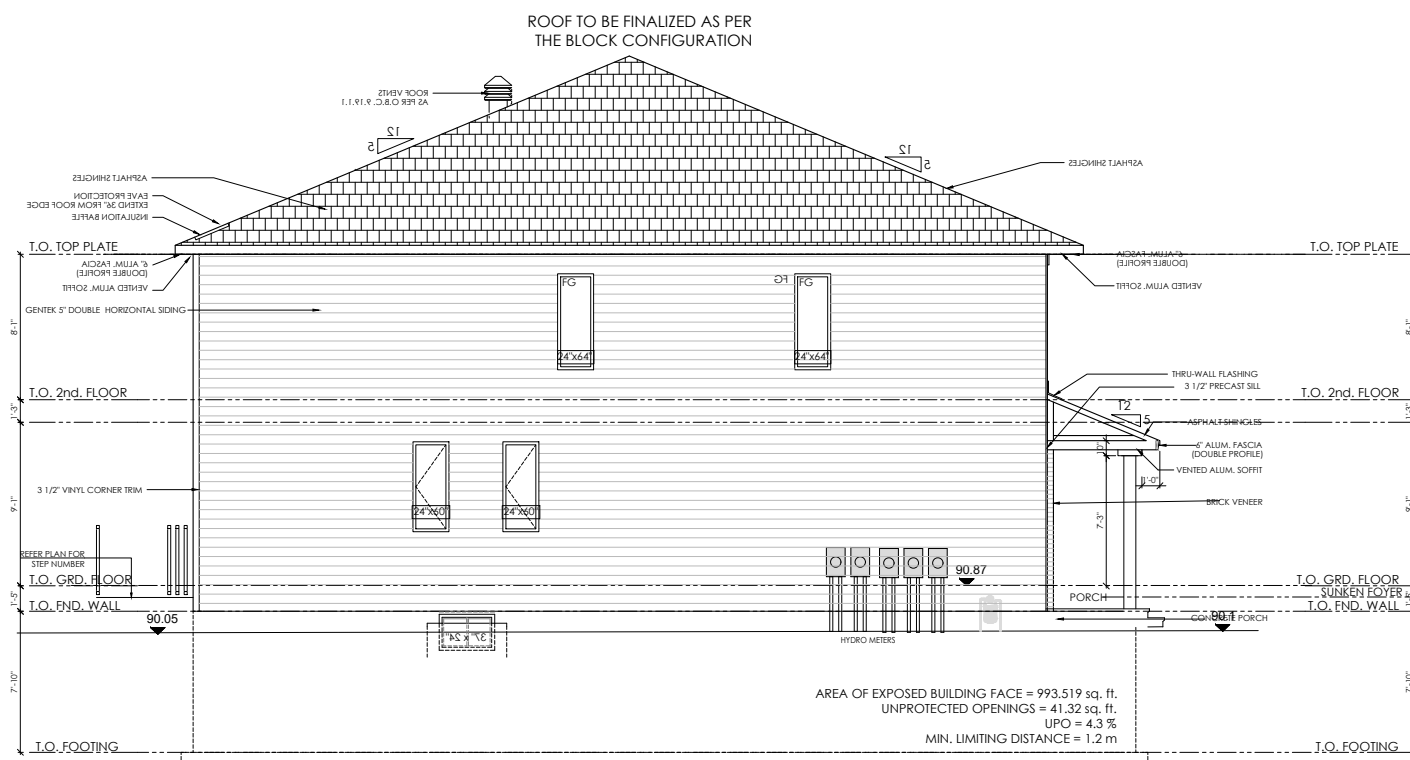
DATE: AUG. 2023 SCALE: 3/32" = 1'-0" SHEET #: A7

DRAWN BY: PW CHECKED: ER

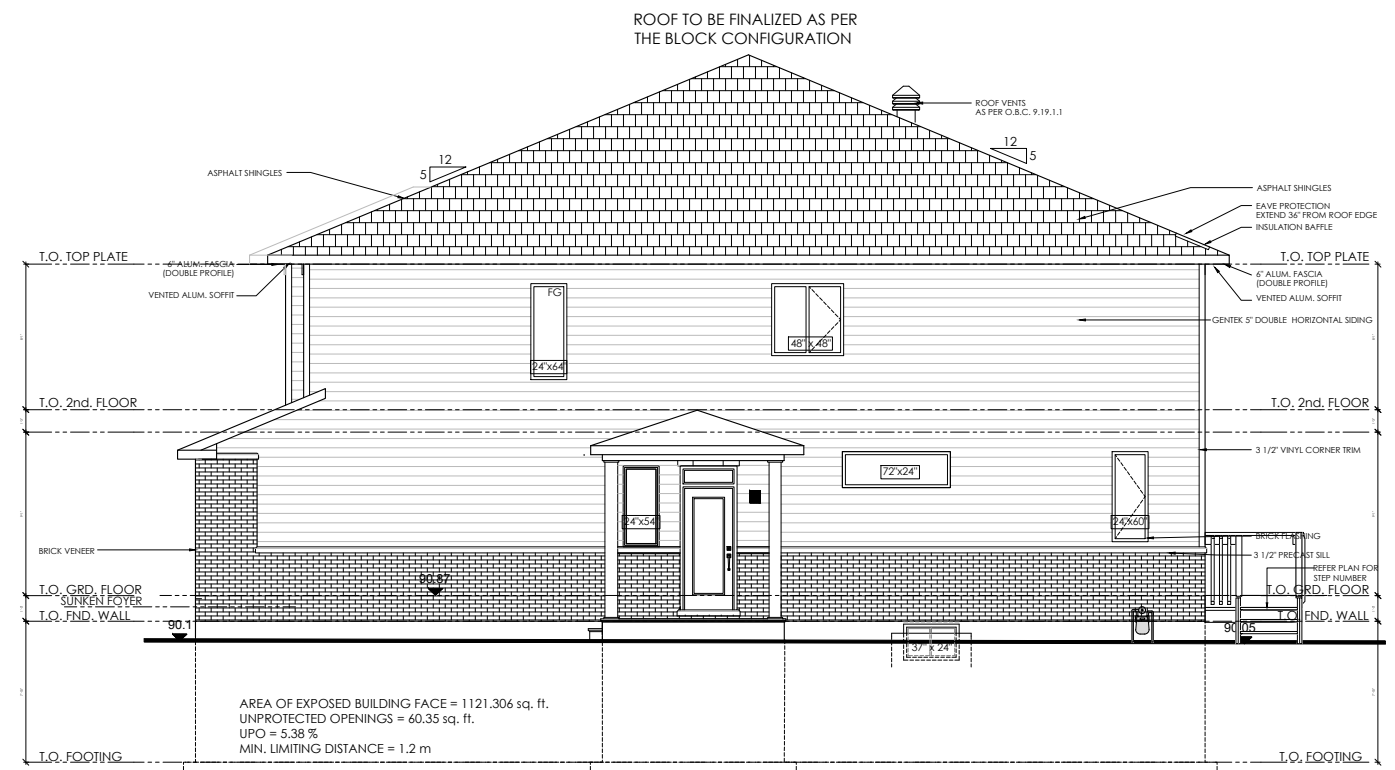
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LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



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**BRICK LINTELS**  
 OPENINGS UP TO L SIZE  
 5'-0" L 3 1/2" x 3 1/2" x 5/16"  
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4	1'-10"x6'-8"	HCW, LATCHSET, COLONIAL
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1.	10/08/23	FOR TENDERING	PW	
REVISIONS				

A  
B  
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PROJECT: COMMONS PHASE 2 - 2024  
OTTAWA, ONTARIO

**WORKING DRAWINGS**

DRAWING TITLE: **BLOCK #79**  
**SIDE ELEVATIONS**

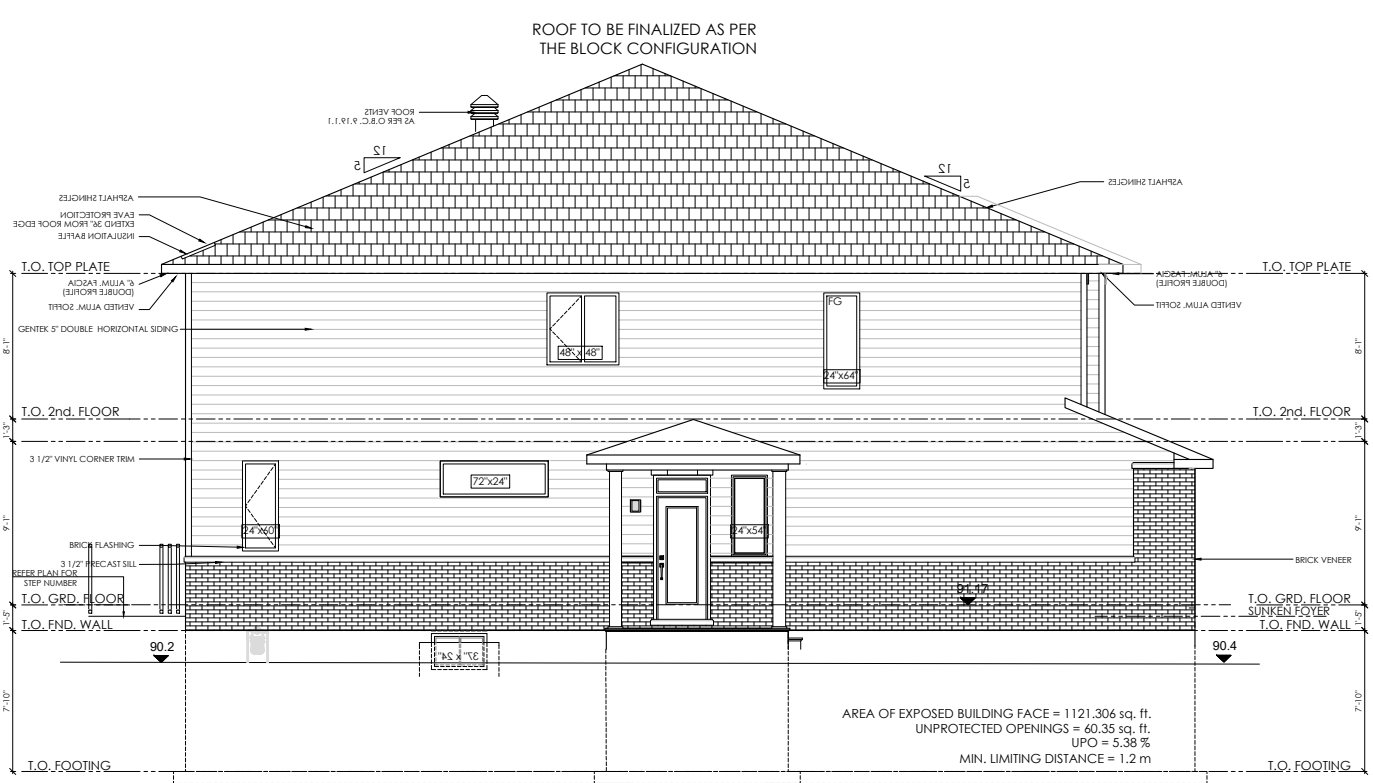
DATE: AUG. 2023 SCALE: 3/32" = 1'-0" SHEET #: A7

DRAWN BY: PW CHECKED: ER

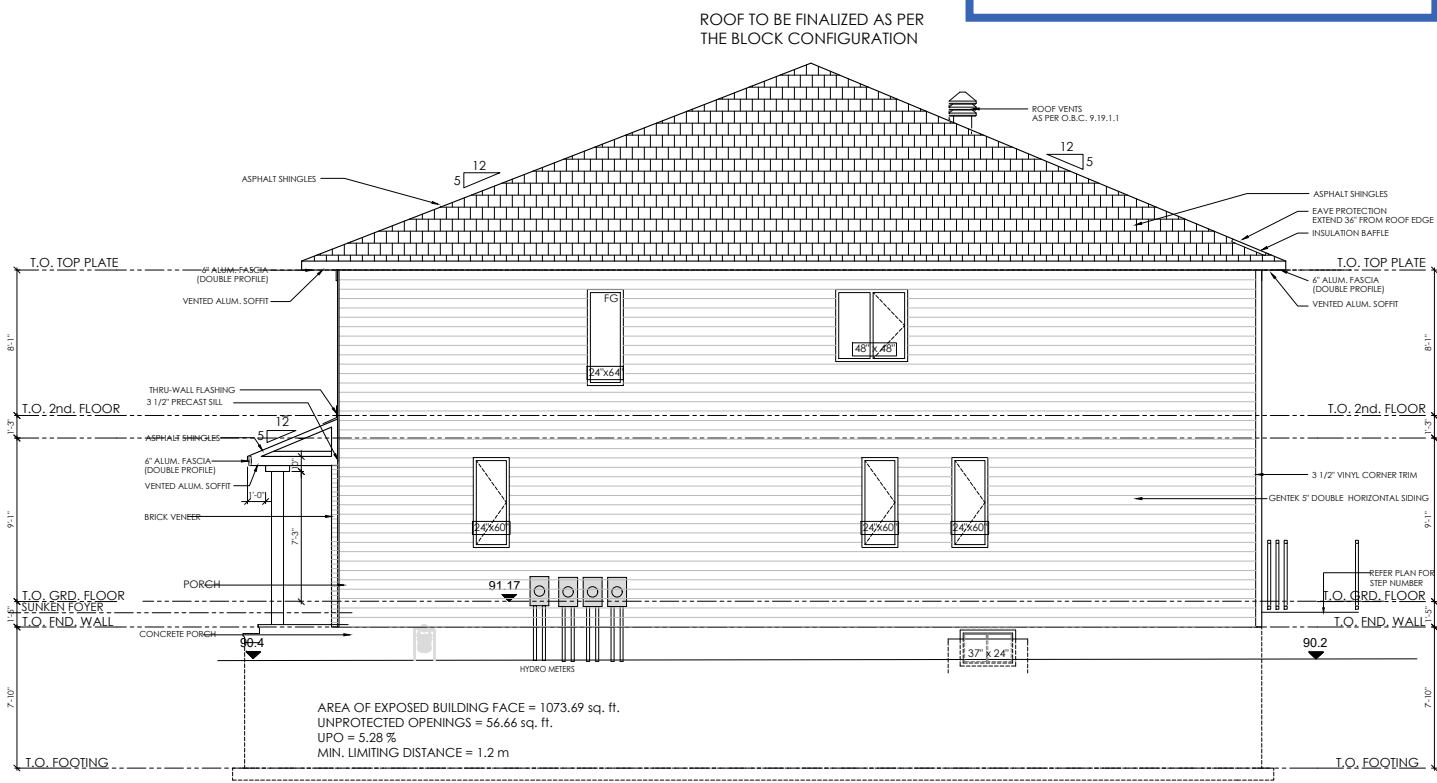
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LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



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**POST SCHEDULE**

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P3	3 - 2x4 or 2x6 or 2x8 (AS APPLICABLE)
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**BRICK LINTELS**

OPENINGS UP TO	L SIZE
5'-0"	L 3 1/2" x 3 1/2" x 5/16"
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PROJECT: COMMONS PHASE 2 - 2024  
OTTAWA, ONTARIO

**WORKING DRAWINGS**

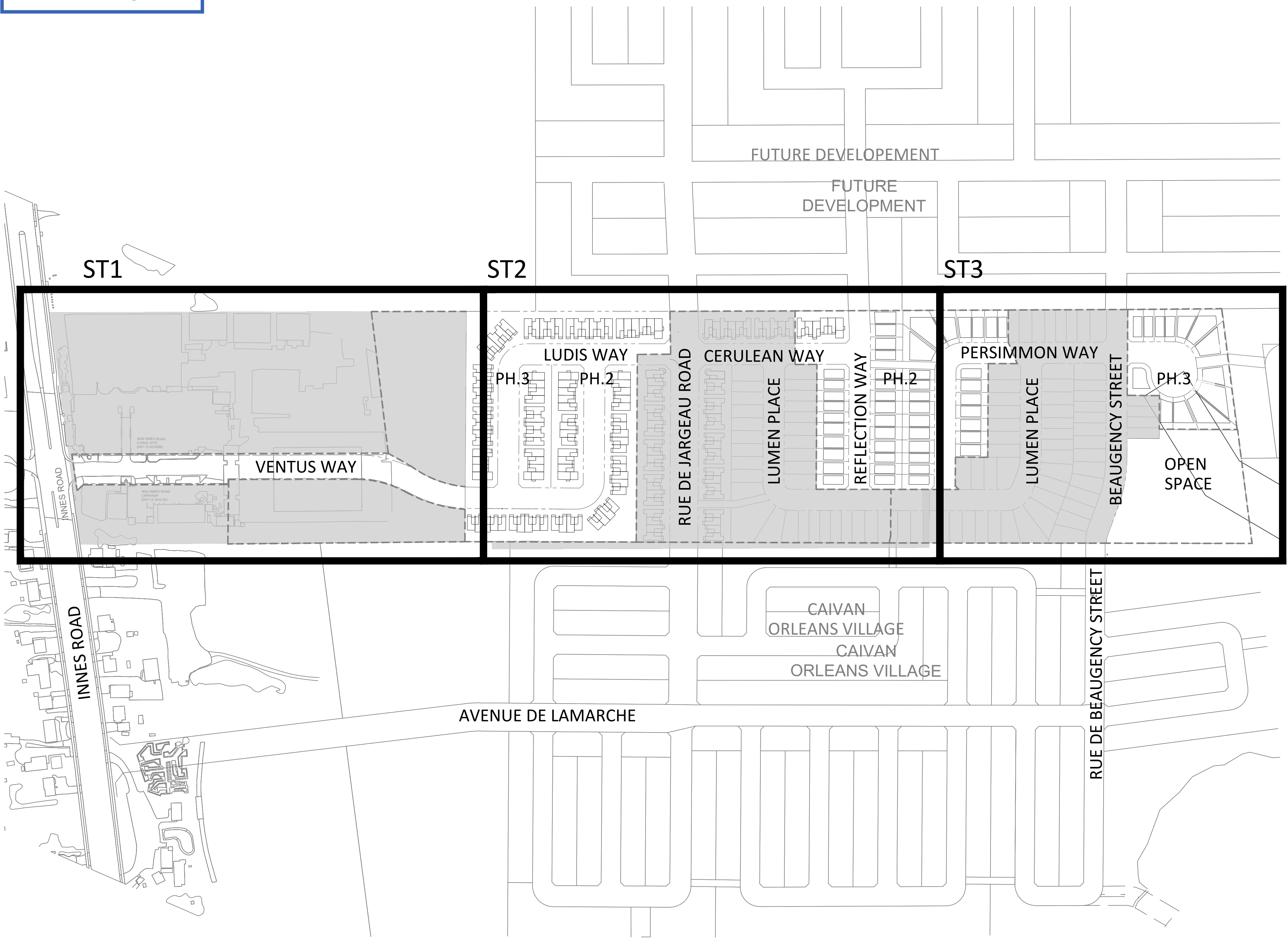
DRAWING TITLE:  
**BLOCK #81  
SIDE ELEVATIONS**

DATE: AUG. 2023	SCALE: 3/32" = 1'-0"	SHEET #: A7
DRAWN BY: PW	CHECKED: ER	

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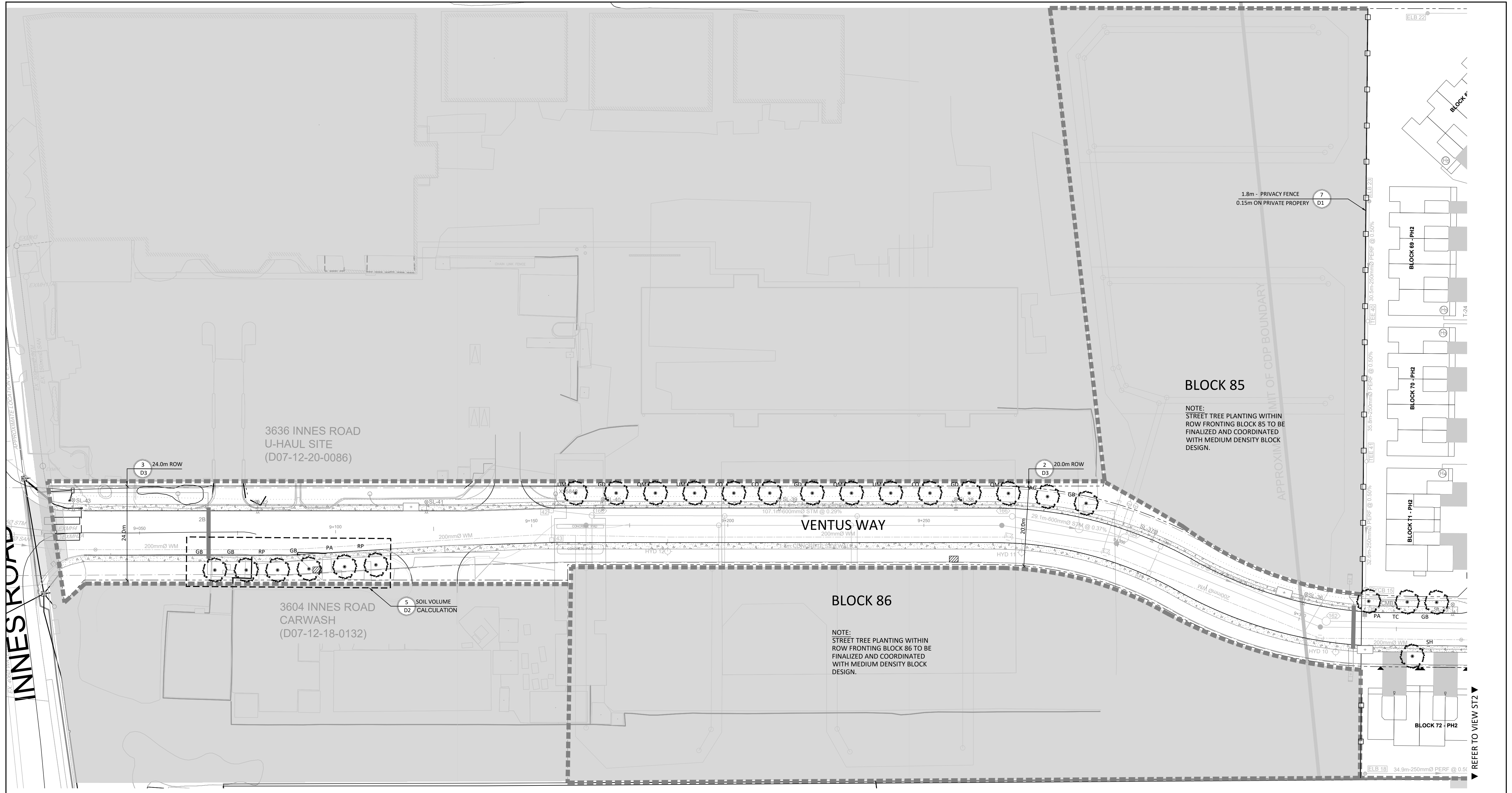


GLENVIEWHOMES  
**THE COMMONS**  
**PHASE 2&3**

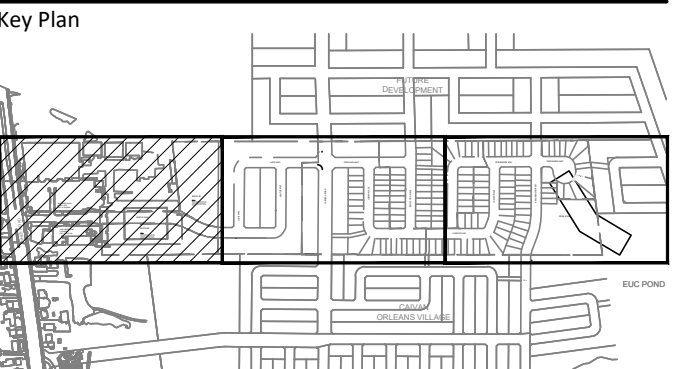


**LIST OF DRAWINGS:**

- L01 - LANDSCAPE PLAN
- L02 - LANDSCAPE PLAN
- L03 - LANDSCAPE PLAN
- D1 - LANDSCAPE DETAILS
- D2 - LANDSCAPE DETAILS
- D3 - ROW CROSS SECTIONS



Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



- LEGEND**
- PROPERTY LINE
  - PHASE LINE
  - FENCING
    - CHAIN LINK FENCE LOCATED 0.15M ON PRIVATE PROPERTY
    - POST AND RAIL FENCE LOCATED 0.15M ON PRIVATE PROPERTY
    - 1.8M HT. ACOUSTIC FENCE WITH GATE LOCATED 0.30M ON PRIVATE PROPERTY
  - PLANTING
    - LARGE DECIDUOUS STREET TREE
    - MEDIUM DECIDUOUS STREET TREE
    - SMALL STREET TREE (<7m)
    - CONIFEROUS SHRUB
    - ORNAMENTAL GRASS
    - SOD
  - SURFACING
    - ASPHALT PAVING
    - CLEAR STONE PAVING (BY OTHERS)
    - RIVER STONE PAVING (BY OTHERS)
  - UTILITIES
    - PROPOSED HYDRO TRANSFORMER
    - PROPOSED CABLE PEDESTAL
    - PROPOSED BELL PEDESTAL
    - CURB STOP
    - PROPOSED BELL CABINET
    - COMMUNITY MAIL BOX LOCATION
    - PROPOSED STREET LIGHT
    - FIRE HYDRANT

No.	Description	Date
2	Issued for Second Submission	May, 6/24
1	Issued For First Submission	May, 2/24

Revision  
City Approval Stamp

**GENERAL NOTES:**

- ACER RUBRUM, CELTIS OCCIDENTALIS, AND QUERCUS MACROCARPA TO BE SPRUNG DUG SPECIMENS AND PLANTED IN THE SPRING ONLY.
- THE LOCATION OF THE TREES SHOWN ON THIS PLAN IS APPROXIMATE AND SHALL NOT BE SCALED FROM THIS DRAWING. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE APPROVED CUP AND CITY CROSS SECTIONS.
- CONTRACTOR SHALL ENSURE THAT ALL UTILITY LOCATIONS ARE OBTAINED PRIOR TO ANY EXCAVATION FOR LANDSCAPING.
- LOCATION OF ALL PLANT MATERIALS TO BE STAKED BY THE CONTRACTOR AND VERIFIED IN THE FIELD BY LANDSCAPE ARCHITECT & CITY OF OTTAWA PRIOR TO THE EXCAVATION OF PITS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
- TREES TO HAVE A MINIMUM 1800 CLEAR STEAM ABOVE GRADE.
- PLACE SOD ON A MINIMUM 150mm TOPSOIL.
- CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CITY OF OTTAWA.
- THE CITY WILL BE NOTIFIED IF ANY TREES CANNOT BE LOCATED OR PLANTED DUE TO CONFLICTS WITH UTILITIES OR DRIVEWAYS. THE REQUIRED TREES NOT PLANTED ARE SUBJECT TO TREE BANKING. THE FINAL NUMBER OF TREES TO BE BANKED WILL BE PROVIDED TO THE CITY FOLLOWING ALL PLANTINGS.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF PERFORMANCE ACCEPTANCE AS DETERMINED BY THE CITY OF OTTAWA.
- PERIODIC REVIEWS OF PLANTING SHALL BE CARRIED OUT BY THE LANDSCAPE ARCHITECT.
- PLANTINGS TO BE STAKED FOR APPROVAL PRIOR TO CONSTRUCTION
- CITY GRASS CUTTING RESPONSIBILITIES FOR SODDED AREAS SHALL BEGIN FOLLOWING PERFORMANCE ACCEPTANCE INSPECTION BY THE LANDSCAPE ARCHITECT AND THE CITY. ACCEPTANCE WILL BE PROVIDED ONLY IF:
  - SOD IS PROPERLY ESTABLISHED.
  - TURF IS FREE OF DEAD SPOTS AND WEEDS.
  - SODDED AREAS HAVE BEEN CUT WITHIN 24 HOURS PRIOR TO ACCEPTANCE INSPECTION.
  - MINIMUM OF 3 WEEKS HAVE ELAPSED FOLLOWING LAYING OF SOD.
  - A MINIMUM OF TWO CUTS HAVE TAKEN PLACE.
  - SODDED AREAS HAVE BEEN TOP-DRESSED, SEEDING AND AERATED

- STREET TREE REQUIREMENT BASED ON DRAFT CONDITIONS FOR FINAL APPROVAL:
  - 1 TREE PER INTERIOR SINGLE (NON-CORNER) LOTS
  - 2 TREES PER EXTERIOR SINGLE (CORNER) LOTS
  - 1 TREE PER EXTERIOR TOWNHOUSE (CORNER) LOT
  - 2 TREES PER 3 MULTIPLE-UNITS TOWNHOUSE
  - 2 TREES PER 4 MULTIPLE-UNITS TOWNHOUSE
  - 3 TREES PER 5 MULTIPLE-UNITS TOWNHOUSE
  - 3 TREES PER 6 MULTIPLE-UNITS TOWNHOUSE
  - 4 TREES PER 8 MULTIPLE-UNITS TOWNHOUSE
  - 5 TREES PER 10 MULTIPLE-UNITS TOWNHOUSE
- INTERIOR SINGLE (NON-CORNER) LOTS (55): 55 TREES  
 EXTERIOR SINGLE (CORNER) LOTS (6): 12 TREES  
 EXTERIOR TOWNHOUSE (CORNER) LOT (8): 8 TREES  
 4 MULTIPLE-UNITS TOWNHOUSE (6): 12 TREES  
 5 MULTIPLE-UNITS TOWNHOUSE (12): 36 TREES  
 6 MULTIPLE-UNITS TOWNHOUSE (3): 9 TREES  
 TOTAL NUMBER OF TREES REQUIRED: 132  
 NUMBER OF STREET TREES SHOWN ON PLAN: 126  
 MEDIUM TREE IN PLACE OF 2 SMALL: 11  
 TOTAL NUMBER OF TREES ON PLAN: 137  
 DIFFERENCE: -5
- STREET TREE PLANTING GUIDELINE  
 NOTE: APPROVED CROSS SECTIONS SHALL TAKE PRECEDENCE
  - 4.5m - STREET LIGHT (SMALL TREE <7m MATURE HT.)
  - 2.5m - STREET LIGHT
  - 3.0m - HYDRO TRANSFORMER
  - 1.5m - PATH, DRIVEWAY, FENCE, SOUND WALL
  - 4.5m - CONIFERS MINIMUM SETBACK FROM CURB
  - 2.5m - FIRE HYDRANT
  - 1.5m - WATER SERVICE / CURB STOP
  - 1.0m - BELL / CABLE PEDESTALS

**TREE PLANTING IN MARINE CLAY SOILS**

THE LANDSCAPE CONSIDERATIONS CONTAINED WITHIN SEC. 6.7 OF PATERSON GROUP'S GEOTECHNICAL INVESTIGATION, DATED MARCH 16, 2021.

- THIS LANDSCAPE PLAN CONFORMS WITH THE TREE-TO-FOUNDATION SETBACK, SOIL VOLUME, AND SURFACE-GRADING REQUIREMENTS OUTLINED IN THE CITY OF OTTAWA'S GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017), BASED ON THE FINDINGS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT BY PATERSON GROUP (REPORT PG4026-2 REVISION 3 DATED MARCH 16, 2021).
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- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR BEFORE PLANTING TREES.
- CITY OF OTTAWA: GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017): THE FOLLOWING GUIDELINES ARE PRIMARILY FOCUSED ON SMALL AND MEDIUM SIZE STREET TREES. HOWEVER, LARGE TREES (MATURE HEIGHT OVER 14M) CAN STILL BE PLANTED IN AREAS OF SMC SOILS PROVIDED A TREE TO FOUNDATION SETBACK EQUAL TO THE FULL MATURE HEIGHT OF THE TREE CAN BE PROVIDED (E.G. IN A PARK OR OTHER GREEN SPACE). FOR STREET TREES IN THE ROAD RIGHT-OF-WAY WHERE SMC SOILS HAVE BEEN IDENTIFIED, THE TREE TO FOUNDATION SETBACKS MAY BE REDUCED TO 4.5M FOR SMALL (MATURE TREE HEIGHT UP TO 7.5M) AND MEDIUM SIZE TREES (MATURE TREE HEIGHT 7.5M-14M) PROVIDED ALL OF THE FOLLOWING SIX CONDITIONS ARE MET:
  - THE MODIFIED PLASTICITY INDEX OF THE SOIL BETWEEN THE UNDERSIDE OF FOOTING (USF) AND A DEPTH OF 3.5M GENERALLY DOES NOT EXCEED 40%. THIS CORRESPONDS TO SOILS WITH LOW/MEDIUM POTENTIAL FOR SOIL VOLUME CHANGE. CLAY SOILS THAT EXCEED THE 40% PLASTICITY INDEX ARE CONSIDERED TO HAVE HIGH POTENTIAL FOR SOIL VOLUME CHANGE. FOR THESE WORST-CASE SOILS, THE SETBACKS AND TREE PLANTING RESTRICTIONS REMAIN UNCHANGED FROM THE 2005 CLAY SOILS POLICY (TREE SETBACK MUST EQUAL THE MATURE HEIGHT OF THE TREE - I.E. 7.5M SETBACK FOR SMALL TREES).
  - THE USF IS 2.1M OR GREATER BELOW THE LOWEST FINISHED GRADE. NOTE: THIS FOOTING LEVEL MUST BE SATISFIED FOR FOOTINGS WITHIN 10M OF THE TREE, AS MEASURED FROM THE CENTRE OF THE TREE TRUNK, AND VERIFIED BY MEANS OF THE GRADING PLAN AS INDICATED IN THE PROCEDURAL CHANGES BELOW.
  - A SMALL SIZE TREE MUST BE PROVIDED WITH A MINIMUM OF 25M3 OF AVAILABLE SOIL VOLUME, AS DETERMINED BY A LANDSCAPE ARCHITECT. A MEDIUM SIZE TREE MUST BE PROVIDED WITH A MINIMUM OF 30M3 OF AVAILABLE SOIL VOLUME, AS DETERMINED BY A LANDSCAPE ARCHITECT. THE DEVELOPER WILL ENSURE THE SOIL IS GENERALLY UNCOMPACTED WHEN BACKFILLING IN STREET TREE PLANTING LOCATIONS.

UNCOMPACTED WHEN BACKFILLING IN STREET TREE PLANTING LOCATIONS.

- THE SOIL VOLUME CALCULATION MUST BE BASED ON A DEPTH OF 1.5M BELOW FINISHED GRADE (E.G. 5M LENGTH X 4M WIDTH AT SURFACE X 1.5M DEPTH = 30M3). IT MAY INCLUDE LANDS IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY, BUT MUST SUBTRACT THE VOLUME OF SHALLOW UTILITY TRENCHES (I.E. VOLUME OF SHALLOW UTILITY TRENCHES CANNOT COUNT TOWARDS MINIMUM SOIL VOLUME).
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**TREE SOIL VOLUMES**

TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (m3/TREE)
ORNAMENTAL	15	9
COLUMNAR	15	9
SMALL	20	12
MEDIUM	25	15
LARGE	30	18
CONIFER	25	15

*[Signature]*

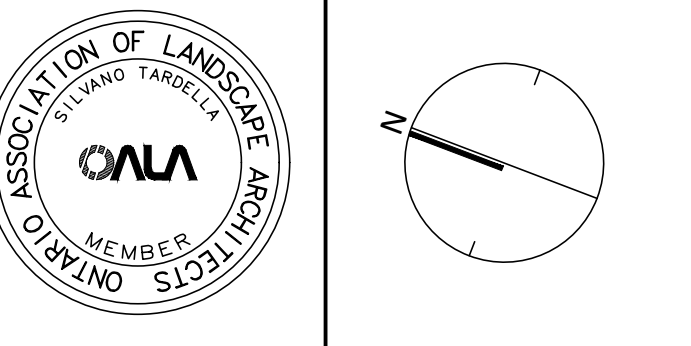
**STEVE BELAN**  
 PLANNER  
 PLANNING, INFRASTRUCTURE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	MATURE HL. (M)	SIZE	REMARKS
<b>DECIDUOUS TREES - MEDIUM (8-14M HEIGHT)</b>						
AR	10	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD RED MAPLE	14	50mm	B&B
AG	14	AESCULUS GLABRA	OHIO BUCKEYE	12	50mm	B&B
CJ	8	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	14	50mm	B&B
CK	14	CLADASTRIS KENTUCKEA	YELLOW-WOOD	10	50mm	B&B
GB	18	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	14	50mm	B&B
OV	8	OSTRYA VIRGINIANA	IRONWOOD	12	50mm	B&B
PA	14	PHELLODENDRON AMURENSE	AMUR CORKTREE	14	50mm	B&B
RP	10	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	PURPLE ROBE BLACK LOCUST	14	50mm	B&B
SH	12	SORBUS DECORA	SHOWY MOUNTAIN-ASH	12	50mm	B&B
TC	6	TILIA CORDATA X MONGOLICA 'HARVEST GOLD'	HARVEST GOLD LINDEN	13	50mm	B&B
<b>DECIDUOUS TREES - LARGE (&lt;14M HEIGHT)</b>						
CO	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	18	50mm	B&B
GD	3	GYMNOCLADUS DIOICIS	KENTUCKY COFFEE TREE	16	50mm	B&B
QM	3	QUERCUS MACROCARPA	BUR OAK	20	50mm	B&B
UM	3	ULMUS 'MORTON'	ACCOLADE ELM	21	50mm	B&B

**APPROVED**  
 By Steve Belan at 3:46 pm, Jun 20, 2024

Committee of Adjustment  
 Received | Reçu le  
 2024-07-10  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



**NAK**  
 design strategies  
 1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA  
 T 613.237.2345  
 Project

The Commons Ph.2&3  
 3610 Innes Road, Ottawa, ON

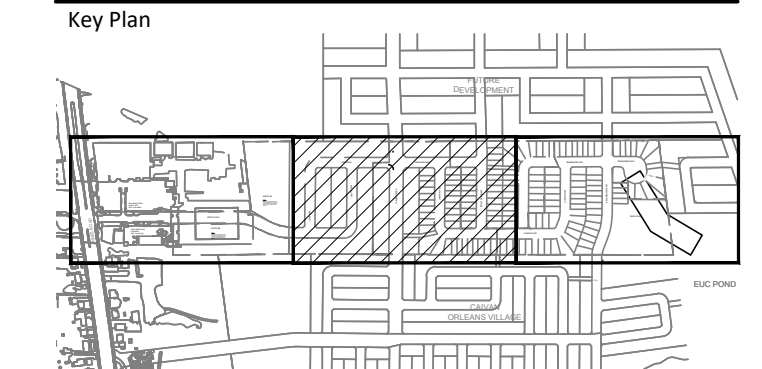
Title: LANDSCAPE PLAN

Date	Scale	Drawn	Checked	Job No.
MAY 2024	1:500	AM	PG	24-005

Sheet: L01



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- LEGEND**
- PROPERTY LINE
  - PHASE LINE
  - FENCING
    - CHAIN LINK FENCE LOCATED 0.30M ON PRIVATE PROPERTY
    - POST AND RAIL FENCE LOCATED 0.15M ON PRIVATE PROPERTY
    - 1.8M HT. ACOUSTIC FENCE WITH GATE LOCATED 0.30M ON PRIVATE PROPERTY
    - 3-RAIL POST & RAIL FENCE LOT 27 PH3
    - 1.5M CHAIN LINK FENCE LOT 28 PH3
    - HEAVY DUTY ASPHALT PAVING
    - CLEAR STONE SURFACING
    - RIVERSTONE SURFACING
  - PLANTING
    - LARGE DECIDUOUS STREET TREE
    - MEDIUM DECIDUOUS STREET TREE
    - SMALL STREET TREE (<7m)
    - CONIFEROUS SHRUB
    - ORNAMENTAL GRASS
    - SOD
  - SURFACING
    - ASPHALT PAVING
    - CLEAR STONE PAVING (BY OTHERS)
    - RIVER STONE PAVING (BY OTHERS)
  - UTILITIES
    - PROPOSED HYDRO TRANSFORMER
    - PROPOSED CABLE PEDESTAL
    - PROPOSED BELL PEDESTAL
    - CURB STOP
    - PROPOSED BELL CABINET
    - COMMUNITY MAIL BOX LOCATION
    - PROPOSED STREET LIGHT
    - FIRE HYDRANT
  - PLANTING KEY
    - TREE SPECIES
    - QUANTITY

No.	Description	Date
2	Issued for Second Submission	May, 6/24
1	Issued For First Submission	May, 2/24

Revision  
City Approval Stamp

- GENERAL NOTES:**
- ACER RUBRUM, CELTIS OCCIDENTALIS, AND QUERCUS MACROCARPA TO BE SPRING DUG SPECIMENS AND PLANTED IN THE SPRING ONLY.
  - THE LOCATION OF THE TREES SHOWN ON THIS PLAN IS APPROXIMATE AND SHALL NOT BE SCALED FROM THIS DRAWING. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE APPROVED CUP AND CITY CROSS SECTIONS.
  - CONTRACTOR SHALL ENSURE THAT ALL UTILITY LOCATIONS ARE OBTAINED PRIOR TO ANY EXCAVATION FOR LANDSCAPING.
  - LOCATION OF ALL PLANT MATERIALS TO BE STAKED BY THE CONTRACTOR AND VERIFIED IN THE FIELD BY LANDSCAPE ARCHITECT & CITY OF OTTAWA PRIOR TO THE EXCAVATION OF PITS.
  - ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
  - TREES TO HAVE A MINIMUM 1800 CLEAR STEAM ABOVE GRADE.
  - PLACE SOD ON A MINIMUM 150mm TOPSOIL.
  - CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CITY OF OTTAWA.
  - THE CITY WILL BE NOTIFIED IF ANY TREES CANNOT BE LOCATED OR PLANTED DUE TO CONFLICTS WITH UTILITIES OR DRIVEWAYS. THE REQUIRED TREES NOT PLANTED ARE SUBJECT TO TREE BANKING. THE FINAL NUMBER OF TREES TO BE BANKED WILL BE PROVIDED TO THE CITY FOLLOWING ALL PLANTINGS.
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14. STREET TREE REQUIREMENT BASED ON DRAFT CONDITIONS FOR FINAL APPROVAL:
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 MEDIUM TREE IN PLACE OF 2 SMALL : 11  
 TOTAL NUMBER OF TREES ON PLAN: 137  
 DIFFERENCE: +5
15. STREET TREE PLANTING GUIDELINE  
 NOTE: APPROVED CROSS SECTIONS SHALL TAKE PRECEDENCE
- 4.5m - STREET LIGHT (SMALL TREE <7m MATURE HT.)
  - 2.5m - STREET LIGHT
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  - 1.5m - PATH, DRIVEWAY, FENCE, SOUND WALL
  - 4.5m - CONIFERS MINIMUM SETBACK FROM CURB
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  - 3.1. THE SOIL VOLUME CALCULATION MUST BE BASED ON A DEPTH OF 1.5M BELOW FINISHED GRADE (E.G. 5M LENGTH X 4M WIDTH AT SURFACE X 1.5M DEPTH = 30M<sup>3</sup>). IT MAY INCLUDE LANDS IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY, BUT MUST SUBTRACT THE VOLUME OF SHALLOW UTILITY TRENCHES (I.E. VOLUME OF SHALLOW UTILITY TRENCHES CANNOT COUNT TOWARDS MINIMUM SOIL VOLUME).
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  - GRADING SURROUNDING THE TREE MUST PROMOTE DRAINING TO THE TREE ROOT ZONE (IN SUCH A MANNER AS NOT TO BE DETRIMENTAL TO THE TREE), AS NOTED ON THE SUBDIVISION GRADING PLAN.

**TREE SOIL VOLUMES**

TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (M <sup>3</sup> /TREE)
ORNAMENTAL	15	9
COLUMNAR	15	9
SMALL	20	12
MEDIUM	25	15
LARGE	30	18
CONIFER	25	15

114  
 DECIDUOUS TREES - LARGE (<14M HEIGHT)

KEY	QTY	BOTANICAL NAME	COMMON NAME	MATURE HL. (M)	SIZE	REMARKS
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TC	6	TILIA CORDATA X GOMOLGICA 'HARVEST GOLD'	HARVEST GOLD LINDEN	13	50mm	B&B

12  
 3 CELTIS OCCIDENTALIS  
 COMMON HACKBERRY  
 16 KENTUCKY COFFEE TREE  
 20 BUR OAK  
 21 ULMUS 'MORTON'  
 ACCOLADE ELM

**PLANT LIST**

UNCOMPACTED WHEN BACKFILLING IN STREET TREE PLANTING LOCATIONS.

4.3.1. THE SOIL VOLUME CALCULATION MUST BE BASED ON A DEPTH OF 1.5M BELOW FINISHED GRADE (E.G. 5M LENGTH X 4M WIDTH AT SURFACE X 1.5M DEPTH = 30M<sup>3</sup>). IT MAY INCLUDE LANDS IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY, BUT MUST SUBTRACT THE VOLUME OF SHALLOW UTILITY TRENCHES (I.E. VOLUME OF SHALLOW UTILITY TRENCHES CANNOT COUNT TOWARDS MINIMUM SOIL VOLUME).

4.4. THE TREE SPECIES MUST BE SMALL TO MEDIUM SIZE, AS CONFIRMED BY A LANDSCAPE ARCHITECT IN THE LANDSCAPE PLAN.

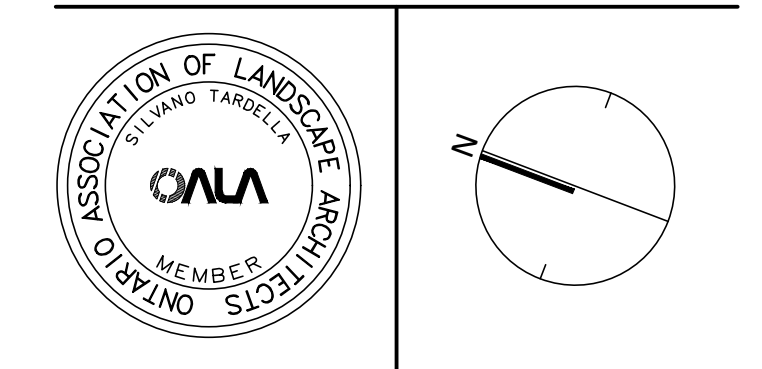
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**STEVE BELAN**  
 PLANNER  
 PLANNING, INFRASTRUCTURE & ECONOMIC  
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
 By Steve Belan at 3:45 pm, Jun 20, 2024

Committee of Adjustment  
 Received / Reçu le  
 2024-07-10  
 City of Ottawa / Ville d'Ottawa  
 Comité de dérogation



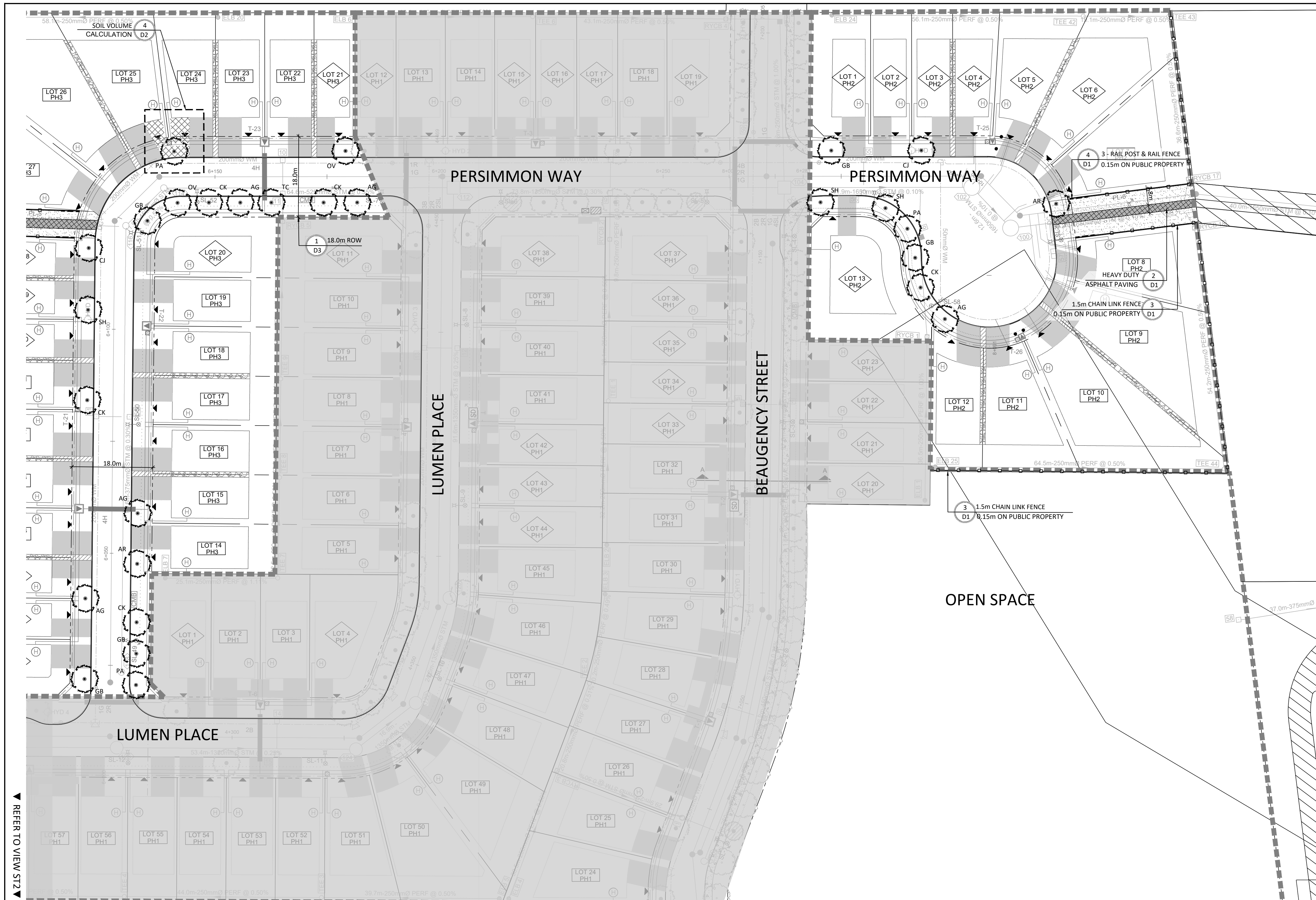
**NAK**  
 design strategies  
 1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA  
 T 613.237.2345  
 Project

The Commons Ph.2&3  
 3610 Innes Road, Ottawa, ON

Title LANDSCAPE PLAN

Date	Scale	Drawn	Checked	Job No.
MAY 2024	1:500	AM	PG	24-005

Sheet  
**L02**



Committee of Adjustment  
Received | Reçu le  
**2024-07-10**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

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- LEGEND**
- PROPERTY LINE
  - PHASE LINE
  - FENCING**
    - CHAIN LINK FENCE LOCATED 0.15M ON PRIVATE PROPERTY
    - POST AND RAIL FENCE LOCATED 0.15M ON PRIVATE PROPERTY
    - 1.8M HT. ACOUSTIC FENCE WITH GATE LOCATED 0.30M ON PRIVATE PROPERTY
  - PLANTING**
    - LARGE DECIDUOUS STREET TREE
    - MEDIUM DECIDUOUS STREET TREE
    - SMALL STREET TREE (<7m)
    - CONIFEROUS SHRUB
    - ORNAMENTAL GRASS
    - SOD
  - SURFACING**
    - ASPHALT PAVING
    - CLEAR STONE PAVING (BY OTHERS)
    - RIVER STONE PAVING (BY OTHERS)
  - UTILITIES**
    - PROPOSED HYDRO TRANSFORMER
    - PROPOSED CABLE PEDESTAL
    - PROPOSED BELL PEDESTAL
    - CURB STOP
    - PROPOSED BELL CABINET
    - COMMUNITY MAIL BOX LOCATION
    - PROPOSED STREET LIGHT
    - FIRE HYDRANT
  - PLANTING KEY**
    - TREE SPECIES
    - QUANTITY

No.	Description	Date
2	Issued for Second Submission	May, 6/24
1	Issued For First Submission	May, 2/24
No.	Description	Date

**STEVE BELAN**  
PLANNER  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Steve Belan at 3:44 pm, Jun 20, 2024

- GENERAL NOTES:**
- ACER RUBRUM, CELTIS OCCIDENTALIS, AND QUERCUS MACROCARPA TO BE SPRING DUG SPECIMENS AND PLANTED IN THE SPRING ONLY.
  - THE LOCATION OF THE TREES SHOWN ON THIS PLAN IS APPROXIMATE AND SHALL NOT BE SCALED FROM THIS DRAWING. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE APPROVED CUP AND CITY CROSS SECTIONS.
  - CONTRACTOR SHALL ENSURE THAT ALL UTILITY LOCATIONS ARE OBTAINED PRIOR TO ANY EXCAVATION FOR LANDSCAPING.
  - LOCATION OF ALL PLANT MATERIALS TO BE STAKED BY THE CONTRACTOR AND VERIFIED IN THE FIELD BY LANDSCAPE ARCHITECT & CITY OF OTTAWA PRIOR TO THE EXCAVATION OF PITS.
  - ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
  - TREES TO HAVE A MINIMUM 1800 CLEAR STEAM ABOVE GRADE.
  - PLACE SOD ON A MINIMUM 150mm TOPSOIL.
  - CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CITY OF OTTAWA.
  - THE CITY WILL BE NOTIFIED IF ANY TREES CANNOT BE LOCATED OR PLANTED DUE TO CONFLICTS WITH UTILITIES OR DRIVEWAYS. THE REQUIRED TREES NOT PLANTED ARE SUBJECT TO TREE BANKING. THE FINAL NUMBER OF TREES TO BE BANKED WILL BE PROVIDED TO THE CITY FOLLOWING ALL PLANTINGS.
  - ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF PERFORMANCE ACCEPTANCE AS DETERMINED BY THE CITY OF OTTAWA.
  - PERIODIC REVIEWS OF PLANTING SHALL BE CARRIED OUT BY THE LANDSCAPE ARCHITECT.
  - PLANTINGS TO BE STAKED FOR APPROVAL PRIOR TO CONSTRUCTION
  - CITY GRASS CUTTING RESPONSIBILITIES FOR SODDED AREAS SHALL BEGIN FOLLOWING PERFORMANCE ACCEPTANCE INSPECTION BY THE LANDSCAPE ARCHITECT AND THE CITY. ACCEPTANCE WILL BE PROVIDED ONLY IF:
    - SOD IS PROPERLY ESTABLISHED.
    - TURF IS FREE OF DEAD SPOTS AND WEEDS.
    - SODDED AREAS HAVE BEEN CUT WITHIN 24 HOURS PRIOR TO ACCEPTANCE INSPECTION.
    - MINIMUM OF 3 WEEKS HAVE ELAPSED FOLLOWING LAYING OF SOD.
    - A MINIMUM OF TWO CUTS HAVE TAKEN PLACE.
    - SODDED AREAS HAVE BEEN TOP-DRESSED, SEEDED AND AERATED

- STREET TREE REQUIREMENT BASED ON DRAFT CONDITIONS FOR FINAL APPROVAL:
  - 1 TREE PER INTERIOR SINGLE (NON-CORNER) LOTS
  - 2 TREES PER EXTERIOR SINGLE (CORNER) LOTS
  - 1 TREE PER EXTERIOR TOWNHOUSE (CORNER) LOT
  - 2 TREES PER 3 MULTIPLE-UNITS TOWNHOUSE
  - 2 TREES PER 4 MULTIPLE-UNITS TOWNHOUSE
  - 3 TREES PER 5 MULTIPLE-UNITS TOWNHOUSE
  - 3 TREES PER 6 MULTIPLE-UNITS TOWNHOUSE
  - 4 TREES PER 8 MULTIPLE-UNITS TOWNHOUSE
  - 5 TREES PER 10 MULTIPLE-UNITS TOWNHOUSE
- INTERIOR SINGLE (NON-CORNER) LOTS (55): 55 TREES  
 EXTERIOR SINGLE (CORNER) LOTS (6): 12 TREES  
 EXTERIOR TOWNHOUSE (CORNER) LOT (8): 8 TREES  
 4 MULTIPLE-UNITS TOWNHOUSE (6): 12 TREES  
 5 MULTIPLE-UNITS TOWNHOUSE (12): 36 TREES  
 6 MULTIPLE-UNITS TOWNHOUSE (3): 9 TREES  
  
 TOTAL NUMBER OF TREES REQUIRED: 132  
 NUMBER OF STREET TREES SHOWN ON PLAN: 126  
 MEDIUM TREE IN PLACE OF 2 SMALL : 11  
 TOTAL NUMBER OF TREES ON PLAN: 137  
 DIFFERENCE: +5
- STREET TREE PLANTING GUIDELINE  
 NOTE: APPROVED CROSS SECTIONS SHALL TAKE PRECEDENCE
  - 4.5m - STREET LIGHT (SMALL TREE <7m MATURE HT.)
  - 2.5m - STREET LIGHT
  - 3.0m - HYDRO TRANSFORMER
  - 1.5m - PATH, DRIVEWAY, FENCE, SOUND WALL
  - 4.5m - CONIFERS MINIMUM SETBACK FROM CURB
  - 5m - FIRE HYDRANTS
  - 1.5m - WATER SERVICE / CURB STOP
  - 1.0m - BELL / CABLE PEDESTALS

**TREE PLANTING IN MARINE CLAY SOILS**

THE LANDSCAPE CONSIDERATIONS CONTAINED WITHIN SEC. 6.7 OF PATERSON GROUP'S GEOTECHNICAL INVESTIGATION, DATED MARCH 16, 2021.

- THIS LANDSCAPE PLAN CONFORMS WITH THE TREE-TO-FOUNDATION SETBACK, SOIL VOLUME, AND SURFACE-GRADING REQUIREMENTS OUTLINED IN THE CITY OF OTTAWA'S GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017), BASED ON THE FINDINGS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT BY PATERSON GROUP (REPORT PG4026-2 REVISION 3 DATED MARCH 16, 2021).
- ADDITIONAL REQUIREMENTS OUTLINED IN THE CITY OF OTTAWA'S GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017), INCLUDING USF DEPTH, FOUNDATION WALL REINFORCEMENT, AND SUBDIVISION GRADING, SHOULD BE CONFIRMED BY THE PROJECT ENGINEER(S).
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR BEFORE PLANTING TREES.
- CITY OF OTTAWA: GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017): THE FOLLOWING GUIDELINES ARE PRIMARILY FOCUSED ON SMALL AND MEDIUM SIZE STREET TREES. HOWEVER, LARGE TREES (MATURE HEIGHT OVER 14M) CAN STILL BE PLANTED IN AREAS OF SMC SOILS PROVIDED A TREE TO FOUNDATION SETBACK EQUAL TO THE FULL MATURE HEIGHT OF THE TREE CAN BE PROVIDED (E.G. IN A PARK OR OTHER GREEN SPACE). FOR STREET TREES IN THE ROAD RIGHT-OF-WAY WHERE SMC SOILS HAVE BEEN IDENTIFIED, THE TREE TO FOUNDATION SETBACKS MAY BE REDUCED TO 4.5M FOR SMALL (MATURE TREE HEIGHT UP TO 7.5M) AND MEDIUM SIZE TREES (MATURE TREE HEIGHT 7.5M-14M) PROVIDED ALL OF THE FOLLOWING SIX CONDITIONS ARE MET:
  - THE MODIFIED PLASTICITY INDEX OF THE SOIL BETWEEN THE UNDERSIDE OF FOOTING (USF) AND A DEPTH OF 3.5M GENERALLY DOES NOT EXCEED 40%. THIS CORRESPONDS TO SOILS WITH LOW/MEDIUM POTENTIAL FOR SOIL VOLUME CHANGE. CLAY SOILS THAT EXCEED THE 40% PLASTICITY INDEX ARE CONSIDERED TO HAVE HIGH POTENTIAL FOR SOIL VOLUME CHANGE. FOR THESE WORST-CASE SOILS, THE SETBACKS AND TREE PLANTING RESTRICTIONS REMAIN UNCHANGED FROM THE 2005 CLAY SOILS POLICY (TREE SETBACK MUST EQUAL THE MATURE HEIGHT OF THE TREE - I.E. 7.5M SETBACK FOR SMALL TREES).
  - THE USF IS 2.1M OR GREATER BELOW THE LOWEST FINISHED GRADE. NOTE: THIS FOOTING LEVEL MUST BE SATISFIED FOR FOOTINGS WITHIN 10M OF THE TREE, AS MEASURED FROM THE CENTRE OF THE TREE TRUNK, AND VERIFIED BY MEANS OF THE GRADING PLAN AS INDICATED IN THE PROCEDURAL CHANGES BELOW.
  - A SMALL SIZE TREE MUST BE PROVIDED WITH A MINIMUM OF 2M<sup>3</sup> OF AVAILABLE SOIL VOLUME, AS DETERMINED BY A LANDSCAPE ARCHITECT. A MEDIUM SIZE TREE MUST BE PROVIDED WITH A MINIMUM OF 3M<sup>3</sup> OF AVAILABLE SOIL VOLUME, AS DETERMINED BY A LANDSCAPE ARCHITECT. THE DEVELOPER WILL ENSURE THE SOIL IS GENERALLY

UNCOMPACTED WHEN BACKFILLING IN STREET TREE PLANTING LOCATIONS.

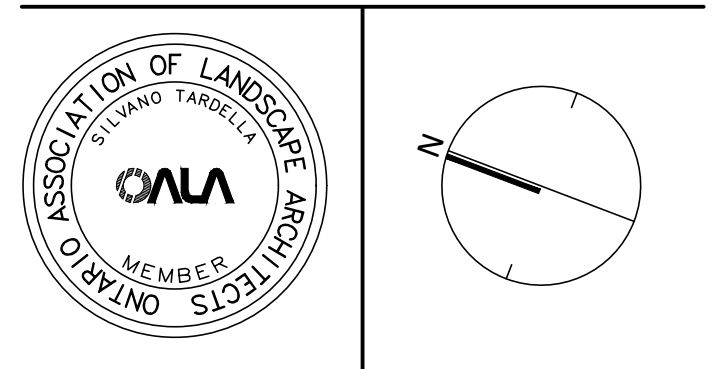
- THE SOIL VOLUME CALCULATION MUST BE BASED ON A DEPTH OF 1.5M BELOW FINISHED GRADE (E.G. 5M LENGTH X 4M WIDTH AT SURFACE X 1.5M DEPTH = 30M<sup>3</sup>). IT MAY INCLUDE LANDS IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY, BUT MUST SUBTRACT THE VOLUME OF SHALLOW UTILITY TRENCHES (I.E. VOLUME OF SHALLOW UTILITY TRENCHES CANNOT COUNT TOWARDS MINIMUM SOIL VOLUME).
- THE TREE SPECIES MUST BE SMALL TO MEDIUM SIZE, AS CONFIRMED BY A LANDSCAPE ARCHITECT IN THE LANDSCAPE PLAN.
- THE FOUNDATION WALLS ARE TO BE REINFORCED AT LEAST NOMINALLY (MINIMUM OF TWO UPPER AND TWO LOWER 15M BARS IN THE FOUNDATION WALL) TO PROVIDE DUCTILITY AS DESCRIBED IN THE GEOTECHNICAL REPORT.
- GRADING SURROUNDING THE TREE MUST PROMOTE DRAINING TO THE TREE ROOT ZONE (IN SUCH A MANNER AS NOT TO BE DETRIMENTAL TO THE TREE), AS NOTED ON THE SUBDIVISION GRADING PLAN.

**TREE SOIL VOLUMES**

TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (m <sup>3</sup> /TREE)
ORNAMENTAL	15	9
COLUMNAR	15	9
SMALL	20	12
MEDIUM	25	15
LARGE	30	18
CONIFER	25	15

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	MATURE HL. (M)	SIZE	REMARKS
<b>DECIDUOUS TREES - MEDIUM (8-14M HEIGHT)</b>						
AR	10	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD RED MAPLE	14	50mm	B&B
AG	14	AESCULUS GLABRA	OHIO BUCKEYE	12	50mm	B&B
CJ	8	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	14	50mm	B&B
CK	14	CLADASTRIS KENTUCKEA	YELLOW-WOOD	10	50mm	B&B
GB	18	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	14	50mm	B&B
OV	8	OSTRYA VIRGINIANA	IRONWOOD	12	50mm	B&B
PA	14	PHELLODENDRON AMURENSE	AMUR CORKTREE	14	50mm	B&B
RP	10	ROBINIA PSEUDACACIA 'PURPLE ROBE'	PURPLE ROBE BLACK LOCUST	14	50mm	B&B
SH	12	SORBUS DECORA	SHOWY MOUNTAIN-ASH	12	50mm	B&B
TC	6	TILIA CORDATA X MONGOLICA 'HARVEST GOLD'	HARVEST GOLD LINDEN	13	50mm	B&B
114						
<b>DECIDUOUS TREES - LARGE (&lt;14M HEIGHT)</b>						
CO	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	18	50mm	B&B
GD	3	GYMNOCALADUS DIOICUS	KENTUCKY COFFEE TREE	16	50mm	B&B
QM	3	QUERCUS MACROCARPA	BUR OAK	20	50mm	B&B
UM	3	ULMUS 'MORTON'	ACCOLADE ELM	21	50mm	B&B
12						



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Project

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3610 Innes Road, Ottawa, ON

Title: **LANDSCAPE PLAN**

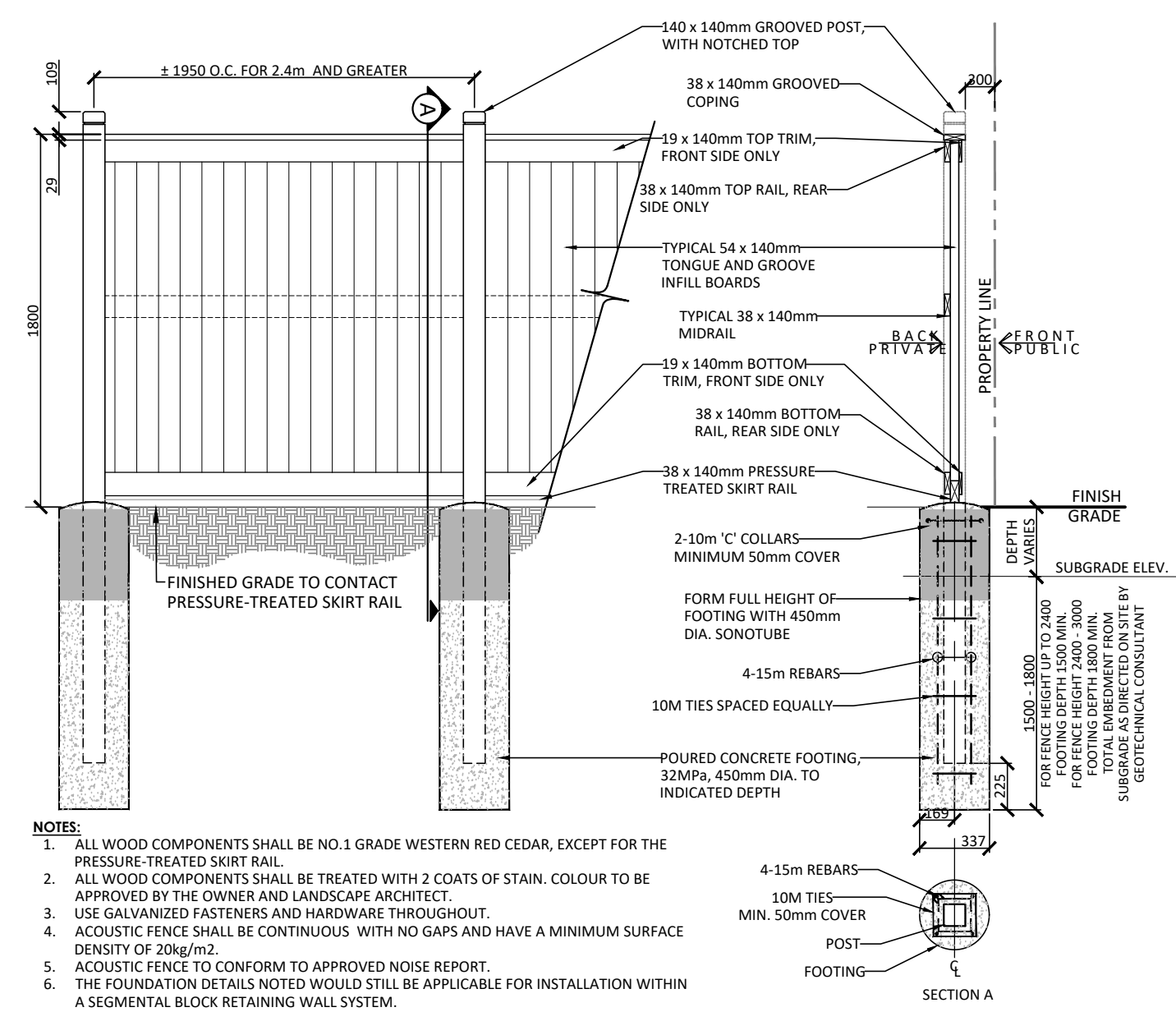
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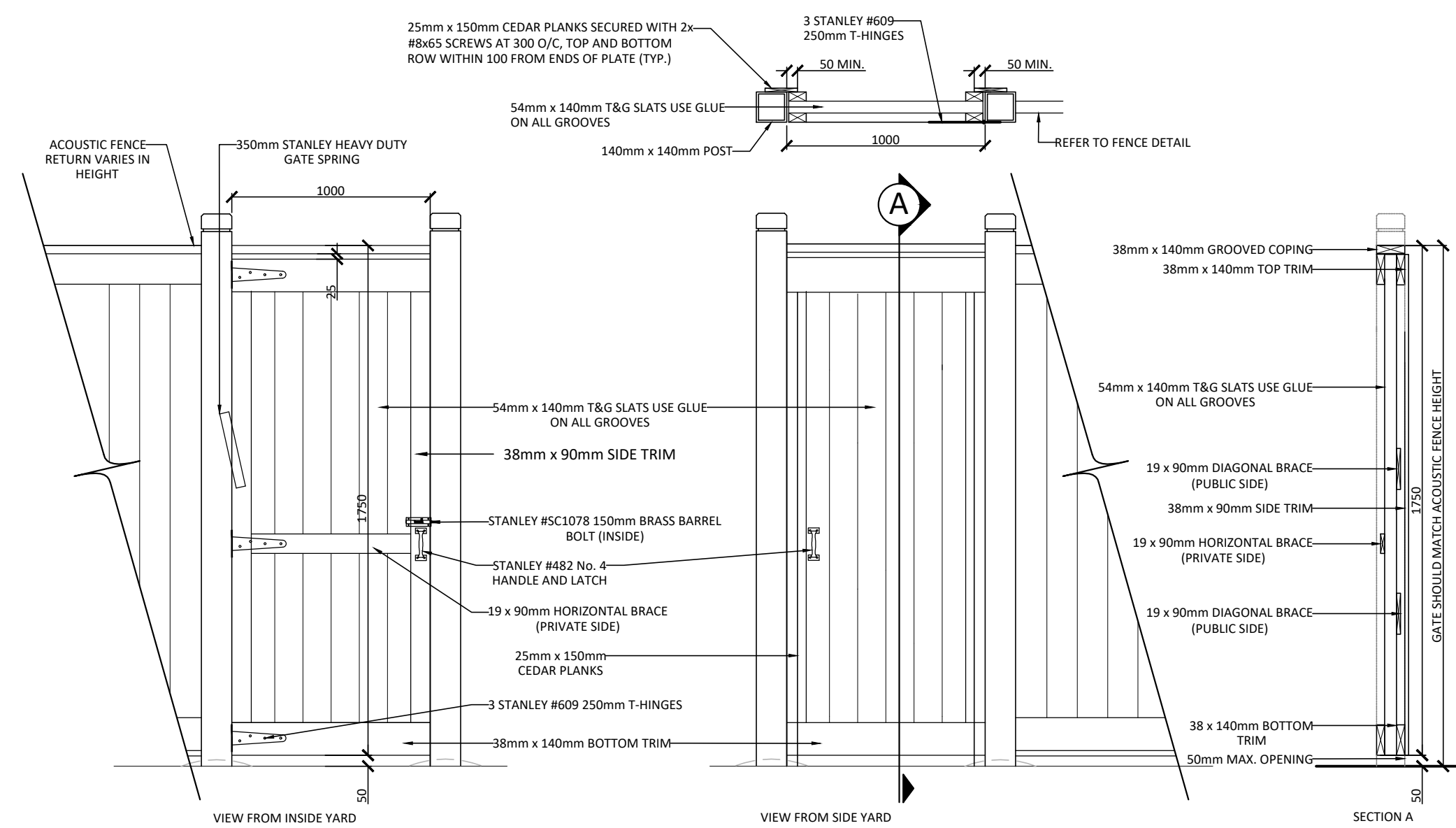


Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.

Committee of Adjustment  
Received | Reçu le  
2024-07-10  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



- NOTES:**
1. ALL WOOD COMPONENTS SHALL BE NO. 1 GRADE WESTERN RED CEDAR, EXCEPT FOR THE PRESSURE-TREATED SKIRT RAIL.
  2. ALL WOOD COMPONENTS SHALL BE TREATED WITH 2 COATS OF STAIN. COLOUR TO BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
  3. USE GALVANIZED FASTENERS AND HARDWARE THROUGHOUT.
  4. ACOUSTIC FENCE SHALL BE CONTINUOUS WITH NO GAPS AND HAVE A MINIMUM SURFACE DENSITY OF 20kg/m<sup>2</sup>.
  5. ACOUSTIC FENCE TO CONFORM TO APPROVED NOISE REPORT.
  6. THE FOUNDATION DETAILS NOTED WOULD STILL BE APPLICABLE FOR INSTALLATION WITHIN A SEGMENTAL BLOCK RETAINING WALL SYSTEM.



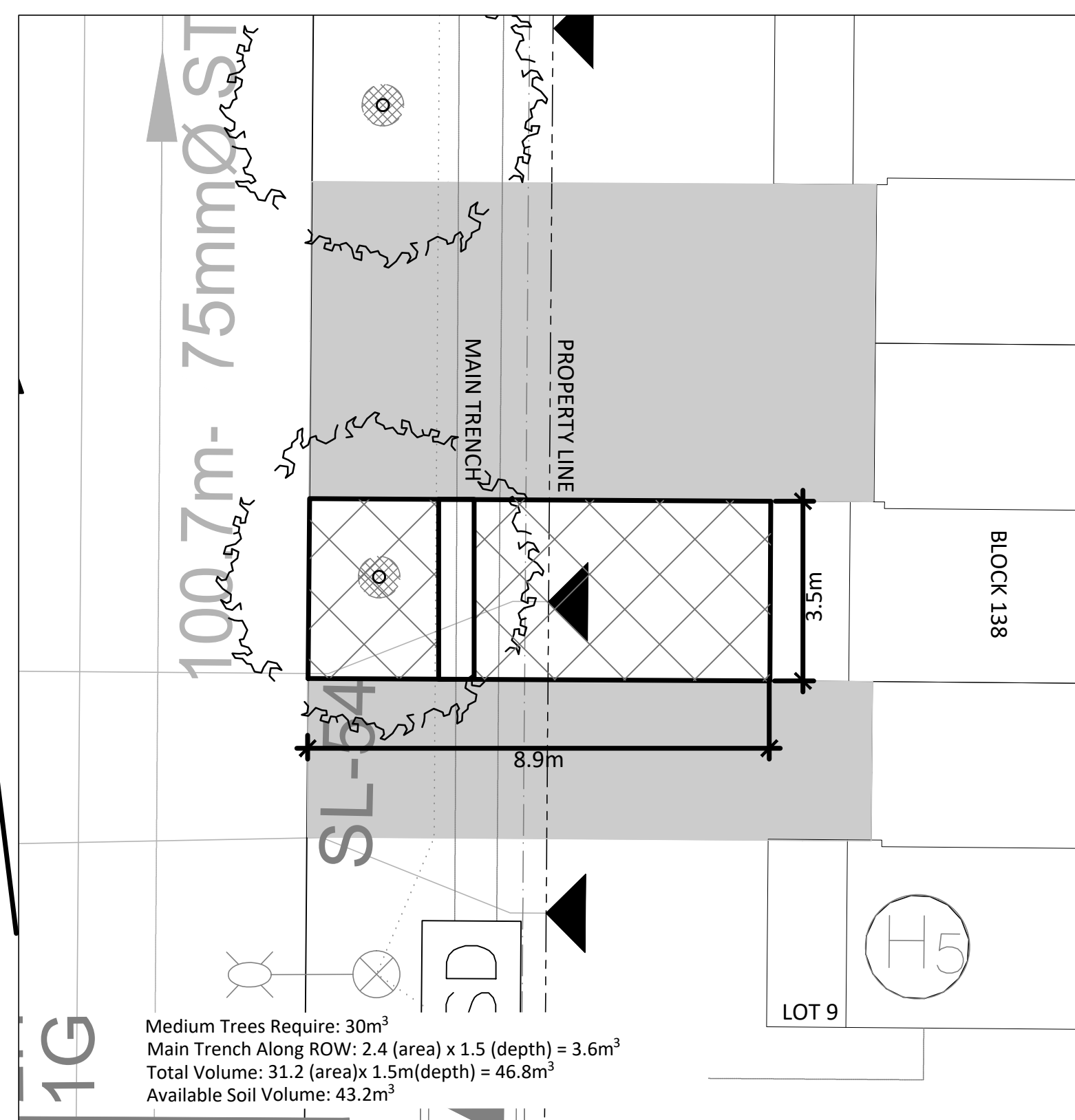
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  5. ACOUSTIC FENCE TO CONFORM TO APPROVED NOISE REPORT.
  6. ACOUSTIC GATES WILL NOT BE CONSTRUCTED WITH TRANSOM WHEN ACOUSTIC FENCE HEIGHT IS 2.1m OR LESS IN THIS CASE THE GATE TO MATCH THE ACOUSTIC FENCE HEIGHT.

**STEVE BELAN**  
PLANNER  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

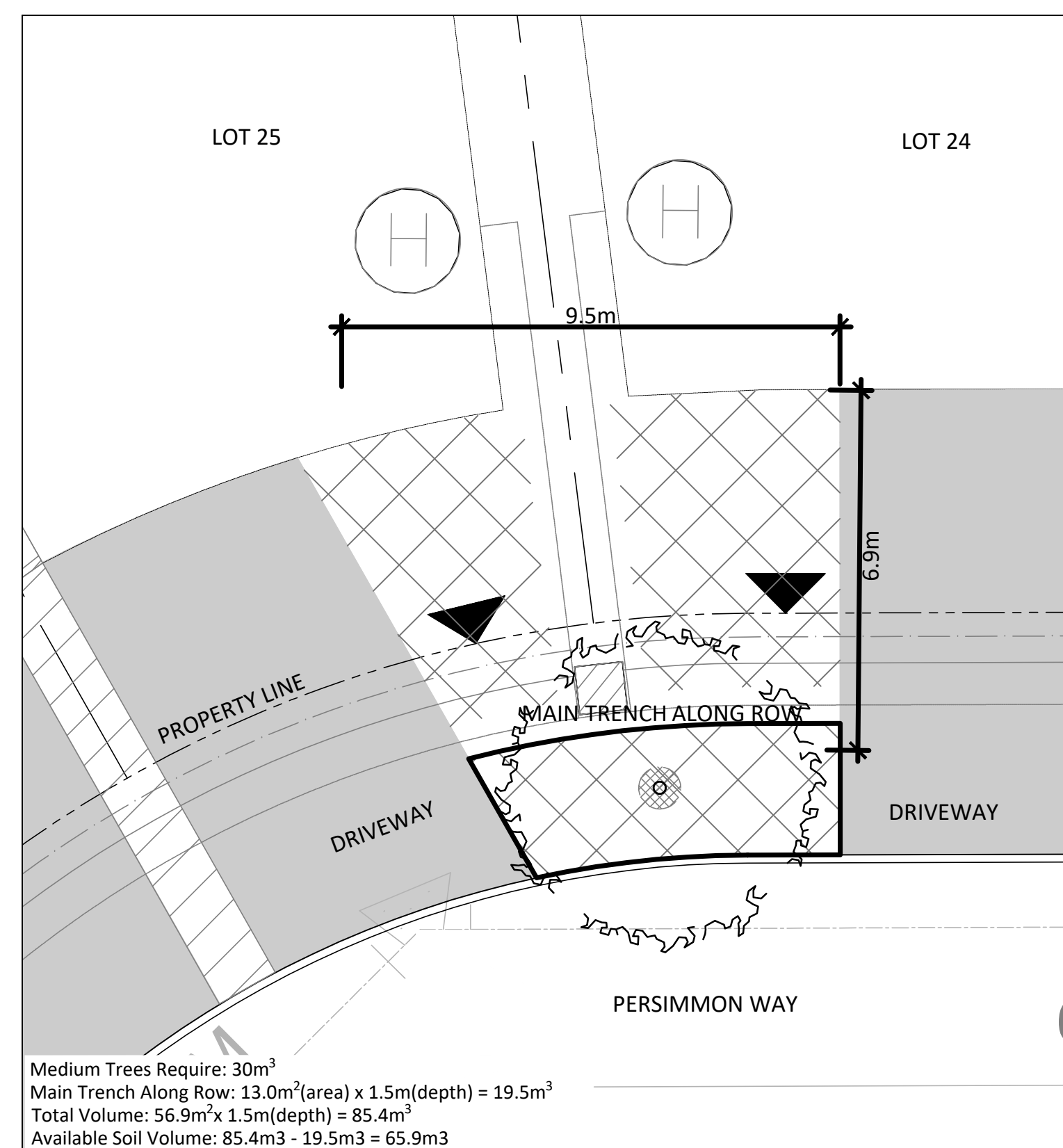
1 1.8m HT. ACOUSTIC FENCE  
1:30

2 1.8m HT. ACOUSTIC GATE  
1:30

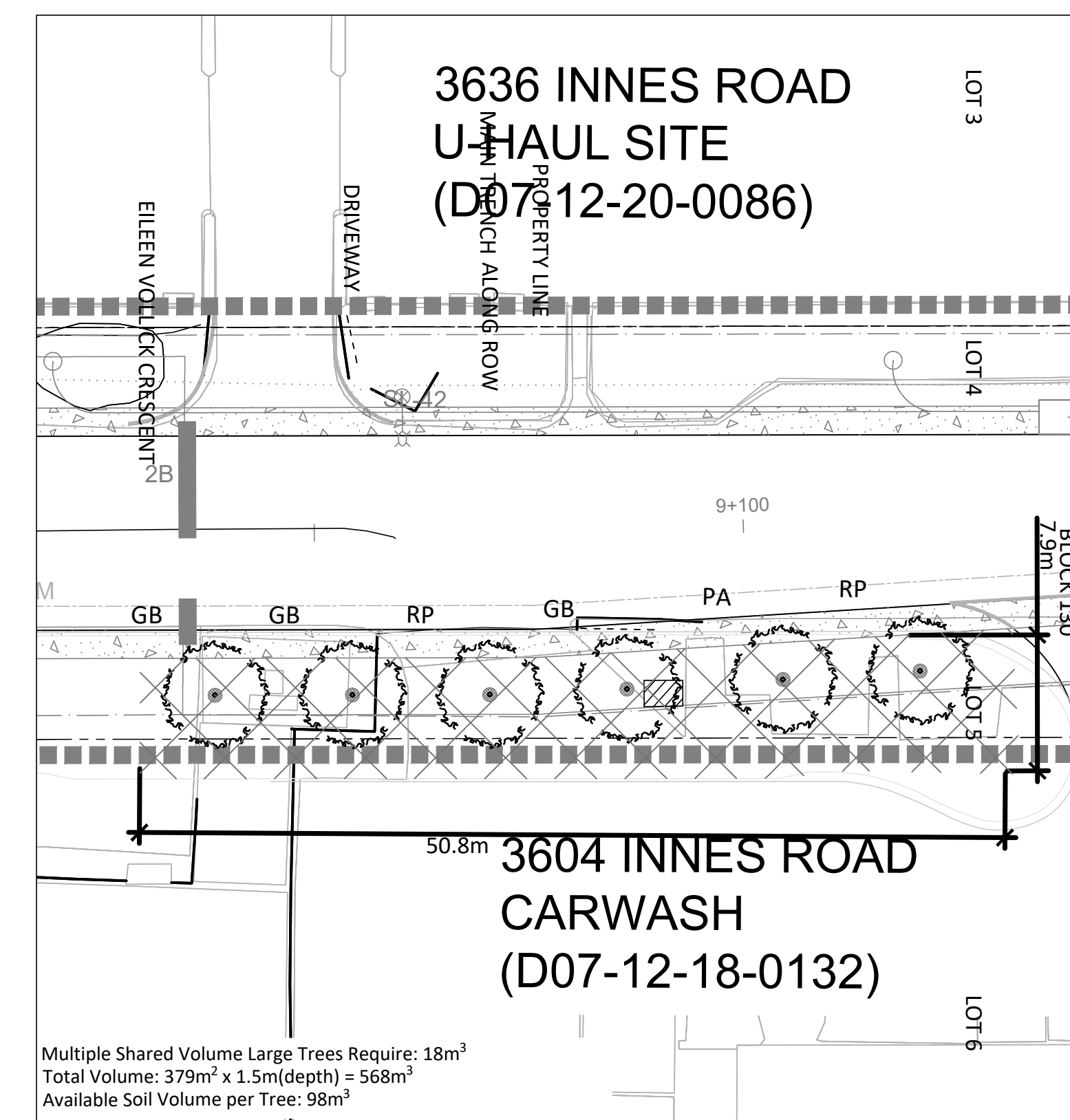
**APPROVED**  
By Steve Belan at 3:43 pm, Jun 20, 2024



3 SOIL VOLUME CALCULATION 1  
BLOCK 83 - 18.0m ROW - LUDIS WAY



2 SOIL VOLUME CALCULATION 2  
LOT 24 AND 25 - 18.0m ROW - PERSIMMON WAY



3 SOIL VOLUME CALCULATION 3  
BLOCK 130 LOT 4 & 5 - 16.5m ROW (HIGH SENSITIVITY SOILS) - EILEEN VOLLICK

No.	Description	Date
2	Issued For Second Submission	May, 6/24
1	Issued For First Submission	May, 2/24

Revision  
City Approval Stamp



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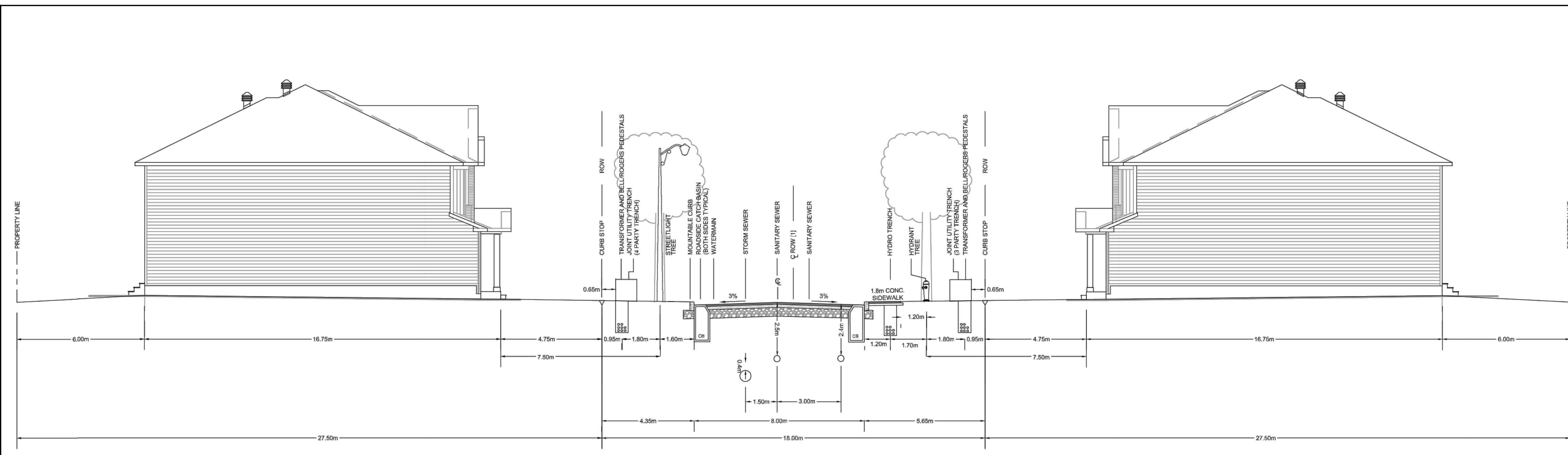
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MAY 2024	AS SHOWN	AM	PG	24-005

Title  
LANDSCAPE DETAILS

Sheet  
D2

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.

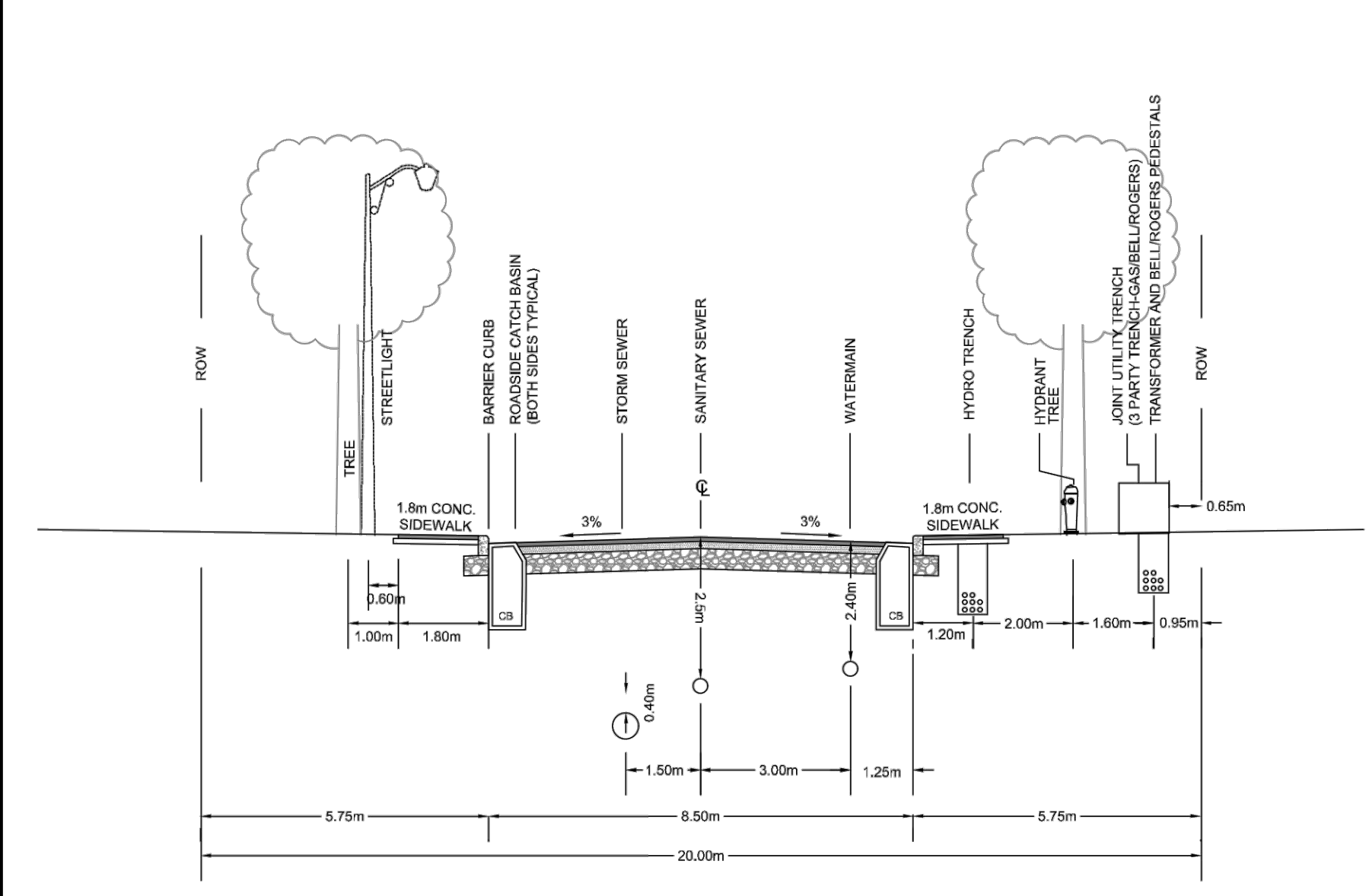
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2024-07-10  
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18.0m R.O.W. CROSS SECTION (TYP)  
STREET 9 - 9+350 TO 9+600

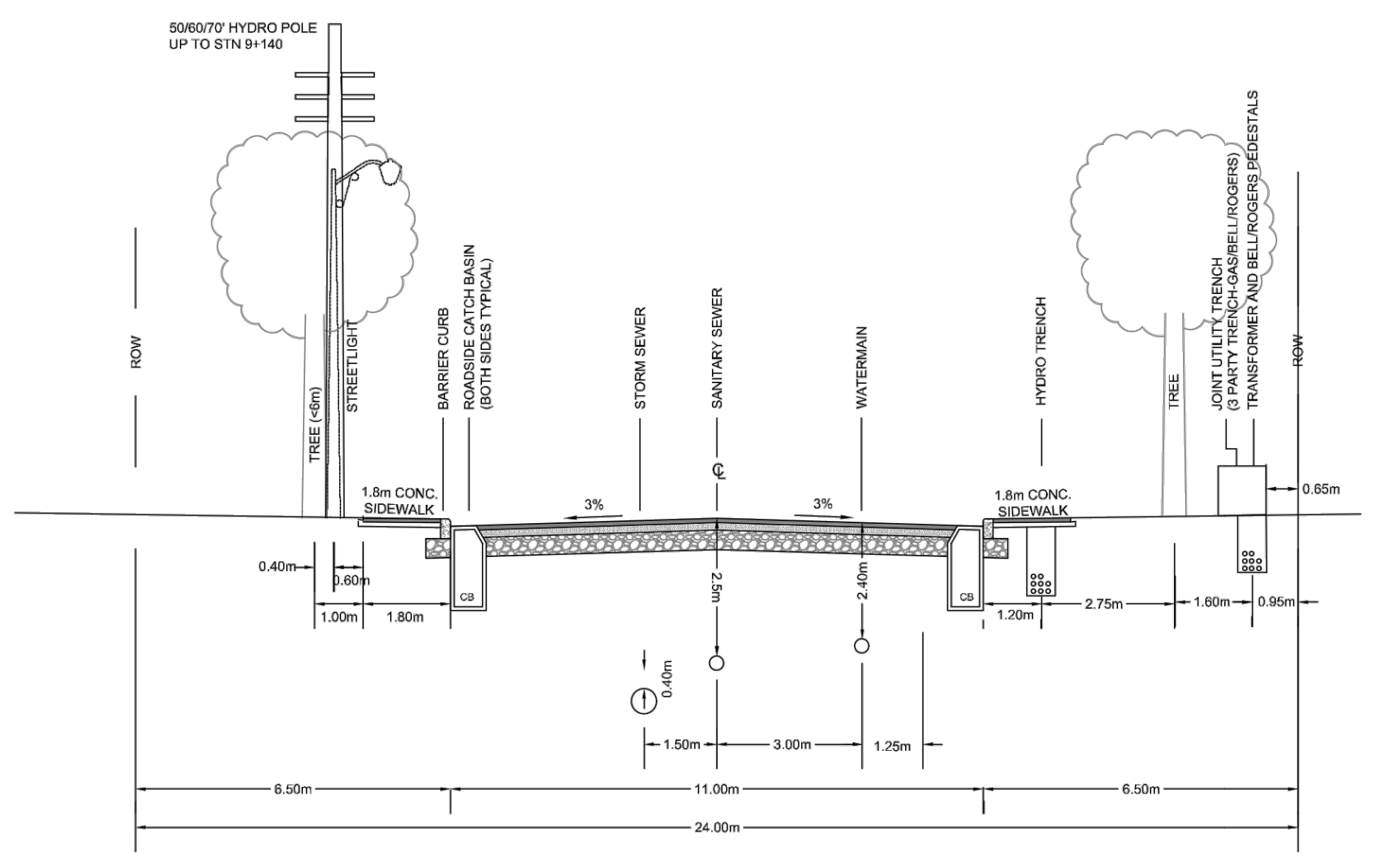
NOTE:  
[1] ROAD CROWN IS OFFSET 0.65m FROM ROW CENTRELINE.

1 18.0m ROW  
N.T.S.



20.0m R.O.W. CROSS SECTION (TYP)  
STREET 9 - 9+150 TO 9+350

2 20.0m ROW  
N.T.S.



24.0m R.O.W. CROSS SECTION (TYP)  
STREET 9 - 9+000 TO 9+150

3 24.0m ROW  
N.T.S.

-		
-		
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2	Issued for Second Submission	May, 6/24
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Project

*(Signature)*  
**STEVE BELAN**  
PLANNER  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Steve Belan at 3:42 pm, Jun 20, 2024

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3610 Innes Road, Ottawa, ON

Title  
ROW CROSS SECTIONS

Date	MAY 2024	Sheet	
Scale	AS SHOWN		
Drawn	AM		
Checked	PG		
Job No.	24-005		

D3