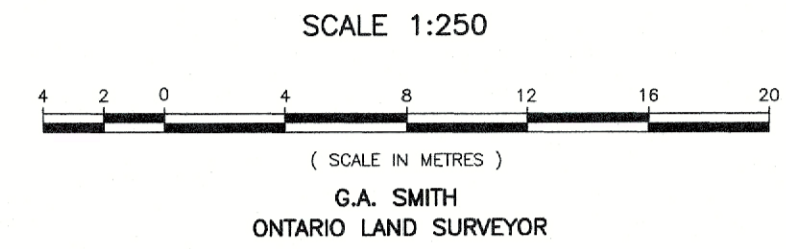


Committee of Adjustment
Received | Reçu le
2023-08-23
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2123710
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3)

TOPOGRAPHIC PLAN OF SURVEY
OF PART OF
LOT 3, REGISTERED PLAN 528
(GEOGRAPHIC TOWNSHIP OF GOULBOURN)
CITY OF OTTAWA



BEARING NOTE

BEARINGS ARE MTM REFERENCE, DERIVED USING THE CAN-NET REAL TIME NETWORK (RTN) OBSERVATIONS AND ARE REFERRED TO MTM ZONE 9 NAD 83 (CSRS)(2010)

FOR BEARING COMPARISONS, A ROTATION OF 0°24'30" COUNTER-CLOCKWISE, WAS APPLIED TO THE BEARINGS ON PLANS 5R-7349 & 5R-8821

ELEVATION NOTES:

- ELEVATIONS ARE GEODETIC DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET REAL TIME NETWORK (RTN)(CGVD28:78 DATUM)
- TBM (TEMPORARY BENCHMARK) IS NAIL IN UTILITY POLE, SHOWN ON PLAN HAVING AN ELEVATION OF 124.29m.
- EXISTING ELEVATIONS SHOWN THUS $\times 100.00$

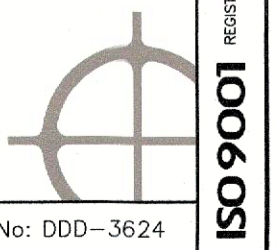
LEGEND:

- DENOTES SURVEY MONUMENT SET
- " SURVEY MONUMENT FOUND
- SIB " STANDARD IRON BAR
- SSIB " SHORT STANDARD IRON BAR
- IB " IRON BAR
- RIB " ROUND IRON BAR
- CC " CUT CROSS
- OU " ORIGIN UNKNOWN
- WIT " WITNESS
- M " MEASURED
- S " SET
- TBM " TEMPORARY BENCHMARK
- BF " BOARD FENCE
- CLF " CHAIN LINK FENCE
- MH " MANHOLE
- UP " UTILITY POLE
- dia " DIAMETER
- 647 " H.R. FARLEY, O.L.S.
- 857 " FAIRHALL, MOFFATT, WOODLAND LIMITED
- 1287 " PETER G. SMITH, O.L.S.
- P1 " REGISTERED PLAN 528
- P2 " PLAN 5R-7349
- P3 " PLAN 5R-8821

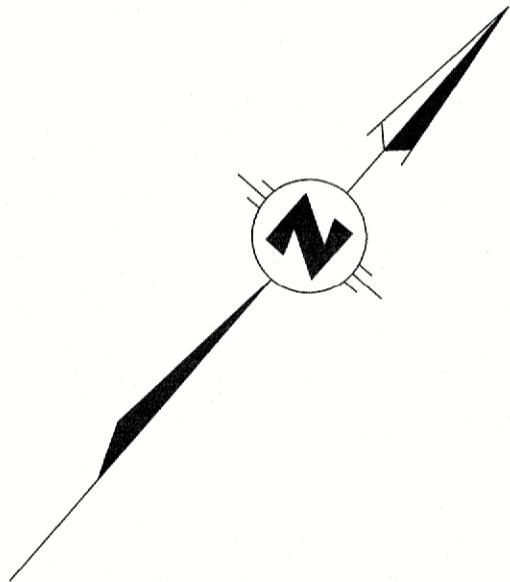
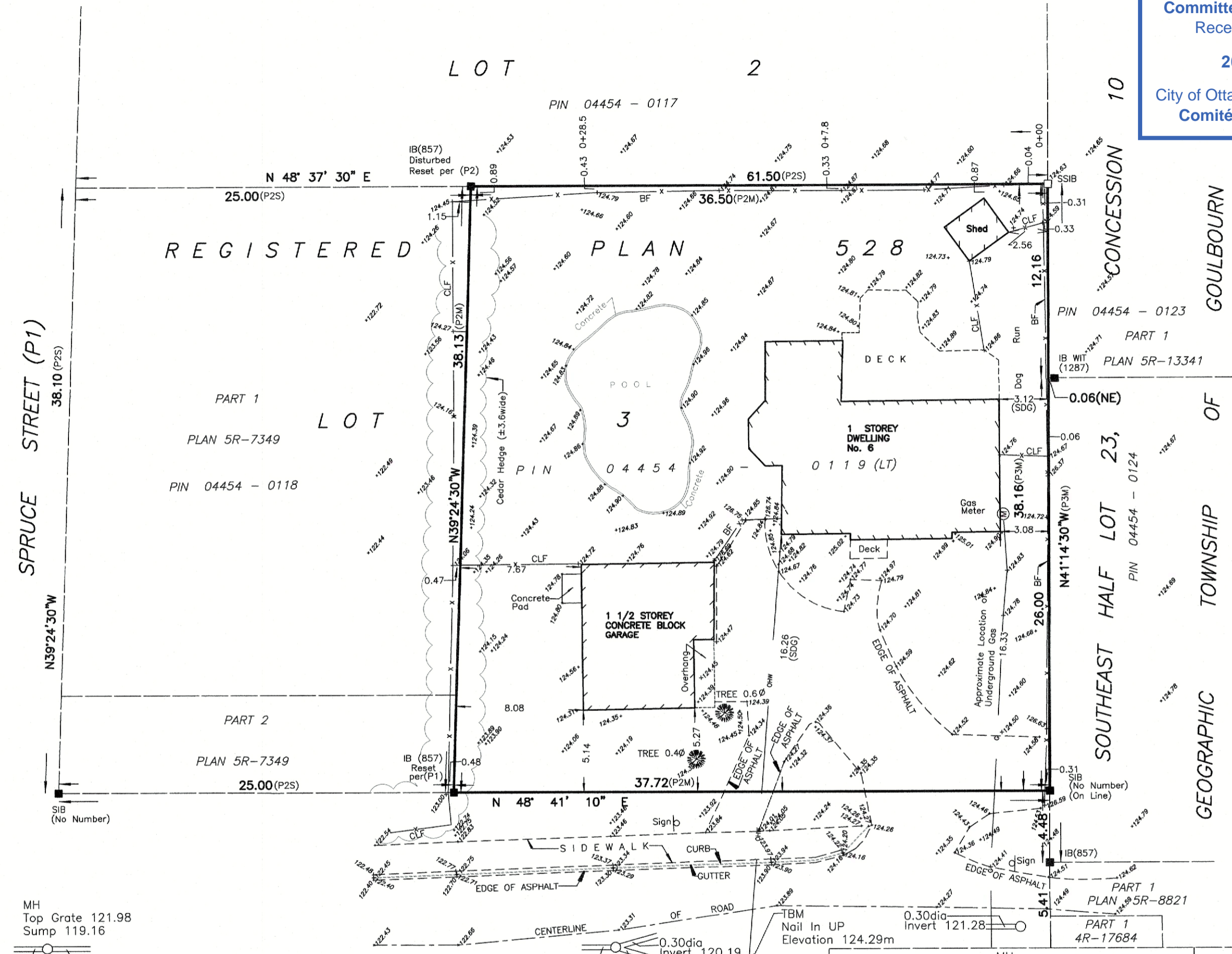
METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

O:\jobs\1 JOBS CALLON DIETZ\2020\20-0691 Murdock\Drawing\20-0691.dwg October 6, 2020

Callon Dietz INCORPORATED
ONTARIO LAND SURVEYORS
CARLETON PLACE LONDON NORTH BAY
info@callondietz.com callondietz.com



SURVEY BY: RG DRAWN BY: RW FILE No: 20-0691 PLAN No: DDD-3624



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
(1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
(2) THE SURVEY WAS COMPLETED ON THE 29th DAY OF SEPTEMBER, 2020

OCTOBER 6, 2020
DATE

G.A. Smith
G.A. SMITH
ONTARIO LAND SURVEYOR

| | | | | | | |
|-------------------------------|--------------------|--------|----------------------|-------------|----------------|---------------|
| PART 1 PLAN 4R-9234 LOT | PART 1 PLAN 18, | PART 2 | PART 3 4R PLAN | PART 4 - | PART 5 9628 | PART 6 570 |
|-------------------------------|--------------------|--------|----------------------|-------------|----------------|---------------|

MH
Top Grate 121.98
Sump 119.16

0.30dia
Invert 119.09

CEDAR STREET (P1)

(WHITE CEDAR STREET PER BY-LAW 2001-392INST No. OC158986)
PIN 04454 - 0120

MH
Top Grate 124.37
Sump 121.32

0.30dia
Invert 120.19

0.30dia
Invert 120.16

0.30dia
Invert 120.34

MH
Top Grate 123.33
Sump 120.19

TBM
Nail In UP
Elevation 124.29m

0.30dia
Invert 121.28

| ITEM | ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 4 | | | | | | | OBC REFERENCE | | | | | |
|------|---|-------------------------------|----------|-----------------------|-----------------------------|------------------------|-----------------------|--|--|---|--------------------|--|--|
| 1 | PROJECT DESCRIPTION: WAREHOUSE FIT-UP <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION | | | | | | | <input type="checkbox"/> PART II III.1 TO III.4 | <input type="checkbox"/> PART 3 II.2[A] | <input checked="" type="checkbox"/> PART 4 2.1.1 | 9.10.1.3 | | |
| 2 | MAJOR OCCUPANCY(S) ACCESSORY BUILDING TO RESIDENTIAL | | | | | | | 3.1.2.1(1) | 9.10.2 | | | | |
| 3 | BUILDING AREA (m ²) EXISTING: 85m ² NEW: 97m ² TOTAL: 182m ² | | | | | | | 1.4.1.2[A] | 9.10.2 | | | | |
| 4 | GROSS AREA EXISTING: 85m ² NEW: 117m ² TOTAL: 202m ² | | | | | | | 1.4.1.2[A] | 1.4.1.2[A] | | | | |
| 5 | NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0 | | | | | | | 1.4.1.2[A] & 3.2.1.1 | 2.1.1.3 | | | | |
| 6 | HEIGHT OF BUILDING (m): 4.5m | | | | | | | | | 2.1.1.3 | | | |
| 7 | NUMBER OF STREETS/ACCESS ROUTES: 1 | | | | | | | 3.2.2.10 & 3.2.5.5 | | | | | |
| 8 | BUILDING CLASSIFICATION: N/A | | | | | | | 3.2.2.20-83 | | 9.10.4 | | | |
| 9 | SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING (EXIST) <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED | | | | | | | 3.2.2.57 | 9.10.8 | | | | |
| 10 | STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | | | | | | 3.2.9 | | | | | |
| 11 | FIRE ALARM REQUIRED EXIST <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | | | | | | 3.2.4 | | 9.10.7.2 | | | |
| 12 | WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | | | | | | | 3.2.5.7 | | | | | |
| 13 | HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | | | | | | 3.2.6 | | | | | |
| 14 | PERMITTED CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH | | | | | | | 3.2.2.20-83 | | 9.10.6 | | | |
| 15 | MEZZANINE(S) AREA (m ²): N/A | | | | | | | 3.2.1.1(3)-(8) | | 9.10.4.1 | | | |
| 16 | OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING | | | | | | | 3.1.1.6 | | 9.1.1.3 | | | |
| | BASEMENT: | OCCUPANCY | N/A | LOAD | PERSONS | | | | | | | | |
| | 1ST FLOOR: | OCCUPANCY | 0 | LOAD | PERSONS | | | | | | | | |
| | 2ND FLOOR: | OCCUPANCY | 0 | LOAD | PERSONS | | | | | | | | |
| 17 | BARRIER FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXPLAIN: ACCESSORY BUILDING | | | | | | | 3.8 | | 9.5.2 | | | |
| 18 | HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input type="checkbox"/> NO | | | | | | | 3.3.1.2(1) & 3.3.1.9(1) | | 9.10.1.3 | | | |
| 19 | REQUIRED | HORIZONTAL ASSEMBLIES | | LISTED DESIGN NO. | | | 3.2.2.10-83 & 3.2.1.4 | | | | | | |
| | FIRE | FRR (HOURS) | | OR DESCRIPTION (S6-2) | | | 9.10.8 | | | | | | |
| | RESISTANCE | FLOORS | HOURS | | | | 9.10.9 | | | | | | |
| | RATING | ROOF | HOURS | | | | | | | | | | |
| | (FRR) | MEZZANINE | HOURS | | | | | | | | | | |
| | | FRR OF SUPPORTING MEMBERS | | LISTED DESIGN NO. | | | | | | | | | |
| | | FLOORS | HOURS | OR DESCRIPTION (S6-2) | | | | | | | | | |
| | | ROOF | HOURS | | | | | | | | | | |
| | | MEZZANINE | HOURS | | | | | | | | | | |
| 20 | PLUMBING FIXTURE REQUIREMENTS | | | | | | | 3.7.4.8(2) | | | | | |
| | MALE / FEMALE COUNT @ 50% / 50% | OCCUPANT | BC TABLE | FIX. | FIX. | | | | | | | | |
| | EXEPT AS NOTED OTHERWISE | LOAD | NUMBER | REQ'D | PROV'D | | | | | | | | |
| | WOMEN | | | | | | | | | | | | |
| | MEN | | | | | | | | | | | | |
| | BARRIER FREE | | | | | | | | | | | | |
| 21 | SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS | | | | | | | 3.2.3 | | 9.10.14 | | | |
| | WALL | AREA OF EBF (m ²) | L.D. (m) | L/H OR H/L | PERMITTED MAX % OF OPENINGS | PROPOSED % OF OPENINGS | FRR (HOURS) | LISTED DESIGN OR DESCRIPTION | COMB. CONST. | COMB. NONC. CLADDING | NON-COMBST. CONST. | | |
| | NORTH | | | | | | | | | | | | |
| | EAST | | | | | | | | | | | | |
| | SOUTH | | | | | | | | | | | | |
| | WEST | | | | | | | | | | | | |
| 22 | OTHER - DESCRIBE | | | | | | | | | | | | |

GENERAL NOTES:

- THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (OREG 423/06) AND THE CSA STANDARDS INDICATED THEREIN. THE LATEST REVISIONS TO ALL STANDARDS WILL GOVERN.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE WORK TO THE ENGINEER/DESIGNER AND/OR PROJECT CO-ORDINATOR PRIOR TO PROCEEDING WITH THE WORK. SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER/DESIGNER. WHEN IN DOUBT, THE ARCHITECTURAL DRAWINGS WILL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEMATERING REQUIRED TO UNDERTAKE THE WORK.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS.
- NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES WITH DIMENSIONS, ELEVATION ANGLES AND WORK POINTS.
- MECHANICAL VENTILATION TO CONFORM TO O.B.C. 9.8.2.3
- GROUT ALL BEAM POCKETS SOLID WITH NON SHRINK GROUT
- ALL BEAMS SECURED TO COLUMNS
- PROVIDE TRAP SEAL PRIMER ALL BASEMENT FLOOR DRAINS.

CONSTRUCTION NOTES:

- PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS. WASHROOM CEILINGS AND WASHROOM WALLS, CEMENT BOARD TO BE USED ON ALL TUB DECKS AND SHOWER ENCLOSURES.
- PROVIDE TYPE 5 ROLL ROOFING ISOLATION MEMBRANE BETWEEN CONCRETE BELOW GRADE AND WOOD FRAMING INSULATION AT VERTICAL FOUNDATION WALLS. PROVIDE 6 MIL POLYETHYLENE ISOLATION MEMBRANE BETWEEN ALL CEMENT/CONCRETE AND HORIZONTAL WOOD FRAMING INSULATION.
- INTERIOR WOOD FRAMED PARTITIONS USE 2"x4" STUDS UNLESS OTHERWISE NOTED. EXTERIOR WALLS USE 2"x6" STUDS UNLESS OTHERWISE NOTED. FRAMING SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
- LAP & SEAL ALL JOINTS IN POLYETHYLENE VAPOUR BARRIER.
- ALL GYPSUM BOARD WALLS AND CEILING TAPED AND SANDED FOR PAINT OR SPECIFIED INTERIOR FINISH - TO BE COORDINATED WITH OWNER.
- TAPE & SEAL ALL JOINTS IN TYVEK AIR / MOISTURE BARRIER. PROVIDE AIR SEAL TO ALL OPENINGS IN ACCORDANCE WITH DETAIL 4/AOB.
- PROVIDE BRICK TIES AND KEEP VENT HOLES IN MASONRY VENEER PER O.B.C. 9.2.0.13
- ENSURE A FUME PROOF BARRIER BETWEEN GARAGE WALL AND INTERIOR SPACES.
- PROVIDE SOILS REPORT TO INSPECTOR AT TIME OF INSPECTION STATED MIN. BEARING CAPACITY 100 KPA.

WOOD FRAMING:

- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, LATEST REVISIONS.
- ALL STRUCTURAL FRAMING LUMBER IS TO BE SPF NO.2 GRADE OR BETTER, UNLESS NOTED. 'STUD' GRADE IS NOT ACCEPTABLE FOR BEARING WALLS, LINTELS AND POSTS.
- ALL BEAMS REQUIRE RESTRAINT AGAINST LATERAL DISPLACEMENT AND ROTATION AT THE POINTS OF BEARING.
- ALL BEAMS REQUIRE MIN. OF 3" END BEARING AND BEAM WIDTH TO HAVE FULL BEARING SUPPORT.
- BUILT-UP RECTANGULAR COMPRESSION MEMBERS SHALL CONSIST OF INDIVIDUAL MEMBERS OF EQUAL LENGTH FASTENED TOGETHER USING NAILS, LAG SCREWS OR BOLTS.
- WHEN USED, NAILS SHALL PENETRATE THROUGH AT LEAST 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE. THE NAILS SHALL BE DRIVEN FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH.

WOOD ROOF TRUSSES:

- ROOF TRUSS MANUFACTURER TO DESIGN TRUSSES.
- TRUSSES AND BRIDGING ARE TO BE DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE ONTARIO BUILDING CODE, OREG 423/06 (LATEST EDITION).
- TRUSS SHOP DRAWINGS SHALL BEAR THE STAMP OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- TRUSSES TO BE DESIGNED FOR SPECIFIED WIND UPLIFT (REFER TO NBC 2005 STRUCTURAL COMMENTARIES, FIG B-10)
- SPECIFIED PURPOSE CONNECTORS (HURRICANE CLIP) ARE REQUIRED AT ALL TRUSS-TO-PLATE CONNECTIONS, TRUSS MANUFACTURER TO DESIGN AND SUPPLY CONNECTORS.

STRUCTURAL NOTES

- THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH PART 4 OF THE 2012 ONTARIO BUILDING CODE.
- ALL CONSTRUCTION NOT EXPLICITLY FOUND ON DRAWINGS TO BE DONE IN ACCORDANCE WITH PART 4 O.B.C. 2012.
- DESIGN ALLOWABLE BEARING CAPACITY ASSUMED TO BE 100KPa MAX. TO BE CONFIRMED BY OTHERS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS GIVEN ON DRAWINGS AND REPORT ANY INCONSISTENCIES AND/OR DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH WORK.
- DRAWINGS ILLUSTRATE WORK TO BE DONE. DESIGNER IS NOT RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY ASPECTS INVOLVED IN COMPLETING THE WORK.
- ALL MATERIALS SHALL BE NEW AND MATERIAL FREE FROM DEFECTS IMPAIRING STRENGTH, DURABILITY AND/OR APPEARANCE.
- ALL WOOD SHALL BE SPF NO. 1-2 OR BETTER
- ALL STEEL SHALL BE GRADE 350M STEEL CONFORMING TO CSA-640.20/640.21 (F_y = 345 MPa)
- PROVIDE FULL BEARING /SOLID BLOCKING UNDERNEATH ALL POINT LOADS FROM ABOVE TO STRUCTURE BELOW
- PROVIDE FULL LATERAL RESTRAINT TO THE TOP OF ALL WOOD AND STEEL BEAMS AND LINTELS.
- BACKFILLING TO PROCEED SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.
- PROVIDE MINIMUM FROST PROTECTION OF 5'-0" TO 1/5 OF ALL FOOTINGS TO HEATED SPACES AND 5'-0" TO 1/5 OF ALL FOOTINGS TO UNHEATED SPACES
- ALL POSTS TO BE P2 (2-2x4 or 2-2x6 SEE WALL TYPE) SPRUCE UNLESS NOTED OTHERWISE.
- PROVIDE MIN 4"x4"x4" END BEARING PLATE @ TOP AND BOTTOM OF ALL STEEL POSTS
- SECURE ALL POSTS TO BEAMS TO PREVENT LATERAL DISPLACEMENT.
- WELD OR BOLT STEEL POSTS TO STEEL BEAMS.
- ANCHOR BOLTS SPACED 4'-0" MAX. UNLESS NOTED OTHERWISE ON DRAWINGS.

POSTS (TO 1/5 OF LINTEL OR BEAM)

- P1 = HEAVY DUTY TELEPOST WITH 65KN ALLOWABLE & 90KN FACTORED RESISTANCES AT 8'-0" EXTENSION
P2 = 2-2"x6" OR 2-2"x4" SEE WALL TYPE (TYPICAL)
P3 = 3-2"x6" OR 3-2"x4" SEE WALL TYPE
P4 = 4-2"x6" OR 2-2"x6" SEE WALL TYPE
P5 = 5-2"x6" OR 5-2"x4" SEE WALL TYPE
P6 = 6"x6" P.T. WOOD POST
P7 = 3"x3"x0.25" H65 POST C/W TYPICAL BASE PLATE AT TOP AND BOTTOM POSITIONED ORIENTED AS SHOWN
P8 = 6"x6" P.T. WOOD POST C/W TAPERED MARINE PLYWOOD COLUMN WRAP AND FRAMING AS REQ'D

WALL FOOTINGS

- WF1 = 20" WIDE x 8" THICK STRIP FOOTING C/W 3-15M CONT. BOT. AND 12" x 30" DOWELS TO MATCH VERTICAL REINFORCEMENT IN MASONRY
- NOTE: ALL FOOTINGS TO BE WF1 UNLESS NOTED OTHERWISE. UNLESS SOIL CONDITIONS REQUIRE LARGER FOOTINGS, TO BE CONFIRMED ON SITE BY GEOTECHNICAL.

FOUNDATIONS

- ALL FOOTINGS TO BEAR ON SOUND & UNDISTURBED SOIL WITH AN ALLOWABLE BEARING VALUE OF 100 KPa MIN. BEARING SURFACE TO BE APPROVED BY GEOTECHNICAL ENGINEER BEFORE PLACING CONCRETE.
- PROTECT SUB-GRADE FROM WATER & FREEZING ADJACENT TO & BELOW ALL FOOTINGS AT ALL TIMES DURING CONSTRUCTION.
- PROVIDE 5'-0" MINIMUM FROST COVER (FINISHED GRADE TO 1/5 FOOTING) FOR FOOTINGS HEATED SPACES. CONSULT SOIL REPORT NOTED FOR ADDITIONAL REQUIREMENTS.
- BACKFILLING TO PROCEED SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS (EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED), & COMPACTED IN LAYERS AS SPECIFIED BY GEOTECHNICAL ENGINEER
- CONSULT GEOTECHNICAL ENGINEER FOR COMPOSITION & COMPACTION OF FILL SUPPORTING SLAB ON GRADE.

CONCRETE

- THE DESIGN AND CONSTRUCTION OF CONCRETE IS TO CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARDS (INCLUDING LATEST REVISIONS):
 - CONCRETE MATERIALS & METHODS OF CONCRETE CONSTRUCTION CAN3-A23.1-144
 - METHODS OF TEST FOR CONCRETE, CAN3-A23.2-14
 - CODE FOR DESIGN OF CONCRETE STRUCTURES FOR BUILDINGS CAN3-A23.3-M84
 - BILLET STEEL BARS FOR CONCRETE REINFORCEMENT Fy = 400MPa TO CSA G30.18-12
 - QUALIFICATION CODES FOR TESTING LABORATORIES CSA A283-10
 - AIR ENTRAINING ADMIXTURES FOR CONCRETE CAN3-A266.1-M78
 - CHEMICAL ADMIXTURES FOR CONCRETE CAN3-A266.2-M78
 - GUIDELINES FOR THE USE OF ADMIXTURES IN CONCRETE CAN3 A266.4 M78
- CONCRETE STRENGTH (AFTER 28 DAYS) SHALL BE AS FOLLOWS:

| | |
|----------------------------|--------|
| FOOTINGS & FOUNDATION WALL | 20 MPa |
| SLAB ON GRADE | 25 MPa |
| GARAGE SLAB | 32 MPa |
| EXTERIOR FLAT WORK | 32 MPa |
- MIN. COVER TO REINFORCING BARS SHALL BE AS FOLLOWS

| | |
|------------------|----------|
| FOOTINGS | 75mm |
| FOUNDATION WALLS | 40mm w/h |
- AIR ENTRAINED CONCRETE WITH 5% TO 7% AIR CONTENT SHALL BE USED FOR ALL WORK.
- DETAIL BEND, SUPPORT AND PLACE REINFORCING STEEL TO CONFORM WITH R.S.I.C. MANUAL OF STANDARD PRACTICE.
- PROVIDE 36 BAR-DIAMETER LAP SPLICES FOR ALL REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS.
- WHERE THE FOUNDATION WALLS DO NOT CONFORM TO THE REQUIREMENTS OF OBC 2012, SECTION 9.15.4. THE CONCRETE FOUNDATION WALLS SHALL BE REINFORCED IN TWO (2) DIRECTIONS (VERTICALLY AND HORIZONTALLY) USING 15M BARS SPACED AT NO MORE THAN 16" (400MM) O.C. WHERE THE WALLS ARE TO BE REINFORCED, DOWELS ARE REQUIRED FROM THE FOOTINGS INTO THE WALLS USING THE SAME SIZE OF REINFORCING AND AT EQUAL SPACING TO THE VERTICAL WALL REINFORCING. COORDINATE WITH GRADING PLAN.

NOTES:
REFER TO GENERAL NOTES FOR ALL TYPICAL CONSTRUCTION NOTES & DETAILS WHEN DRAWINGS OR NOTES REFERENCE O.B.C. IN ALL CASES PLEASE REFER TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2012.

LEGEND:

- EXTERIOR DOOR & WINDOW TAG
- DOOR TAG
- EXTERIOR WALL TYPE
- INTERIOR PARTITION WALL TYPE
- FLOOR TYPE
- ROOF TYPE
- POST TYPE
- PAD FOOTING TYPE
- WALL FOOTING TYPE
- SMOKE/CARBON MONOXIDE DETECTOR PER OBC 9.10.14 & 9.33.4



PROJECT NORTH



4-1184 John Street
Pembroke, ON K8A 1H7
613-629-6988
101-3108 Carp Road
Ottawa, ON K0A 1L0
613-831-9888
info@bell.ca
bellarchitecture.ca

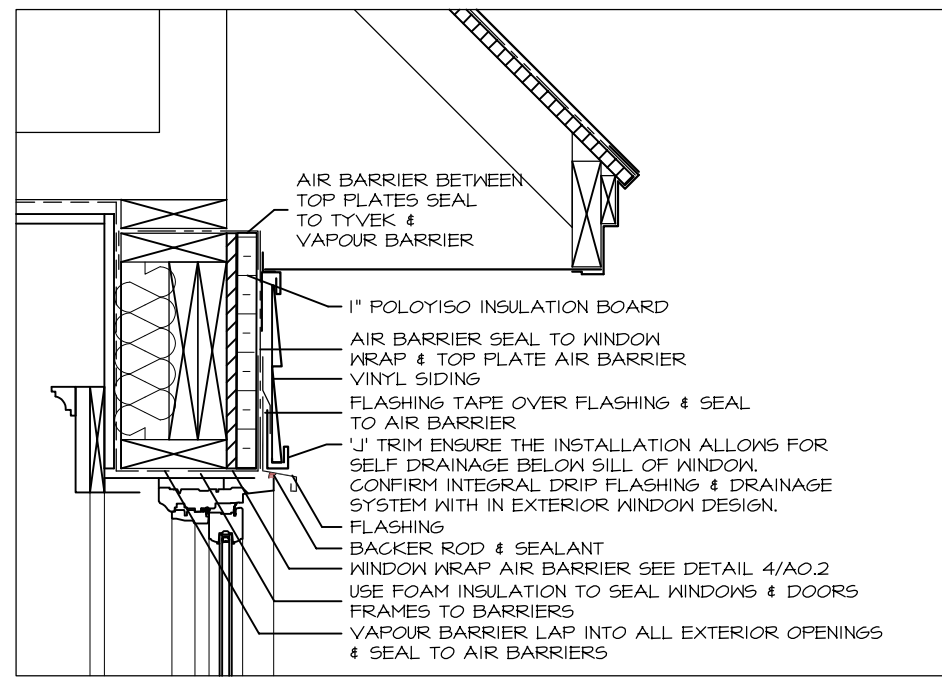
| | | |
|-------------|---|------------|
| VERSION NO. | 1 | APRIL 2022 |
| SEAL: | | |

NOTES:
- ALL CONTRACTORS MUST COMPLY WITH ALL CODES & BYLAWS HAVING JURISDICTION
- IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCEMENT.
- DO NOT SCALE DRAWINGS.
- DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL NOTED AS ISSUED FOR CONSTRUCTION.
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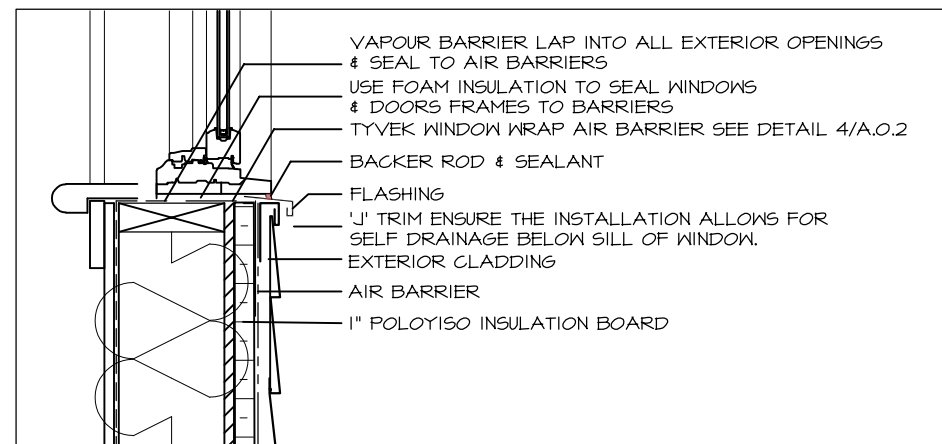
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| 4 | ISSUED FOR PERMIT | 04.06.22 |
| 3 | REVISED PER REVIEW | 10.05.22 |
| 2 | ISSUED FOR REVIEW | 04.05.22 |
| 1 | ISSUED FOR REVIEW | 02.05.22 |
| REVISIONS | DATE | |

| | |
|----------------|---|
| PROJECT | RENOVATE EXISTING GARAGE 6 WHITE CEDAR ST STITTSVILLE, ON K2S 1P1 |
| CLIENT | B YOUNG CONTRACTING INC 10 CHEMIN GOLD MINE SUD, BRISTOL, QC J0X 1G0 |
| DRAWING | GENERAL NOTES |

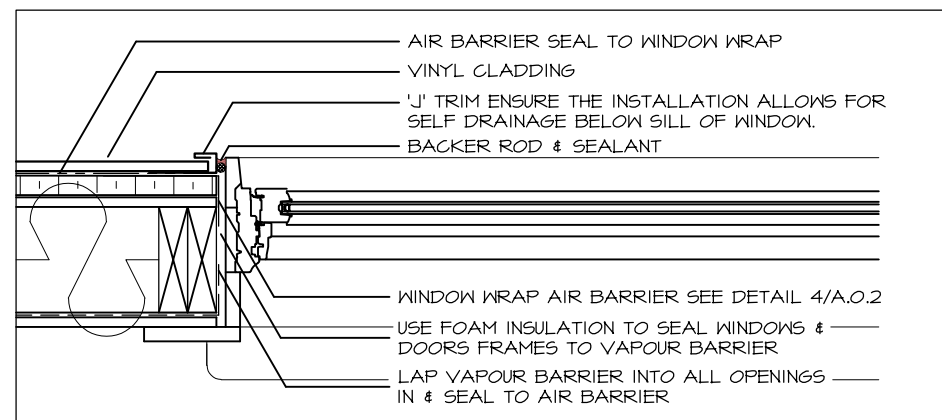
| | |
|-------------|----------|
| SCALE | AS SHOWN |
| DRAWN BY | JLR |
| DATE | MAY 2023 |
| CHKD BY | TJS |
| APPRD BY | JB |
| PROJECT NO. | 221-99 |
| SHEET NO. | A.0a |



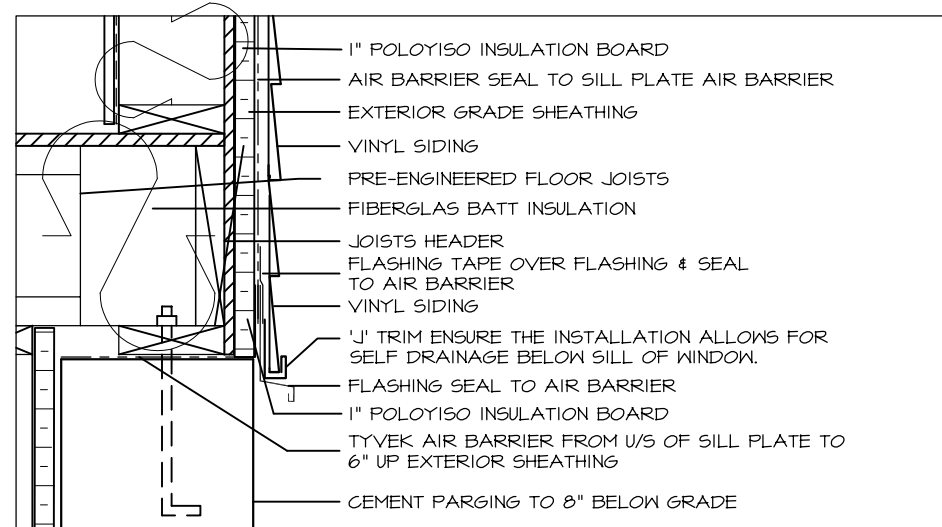
1 SECTION - SIDING @ EAVE
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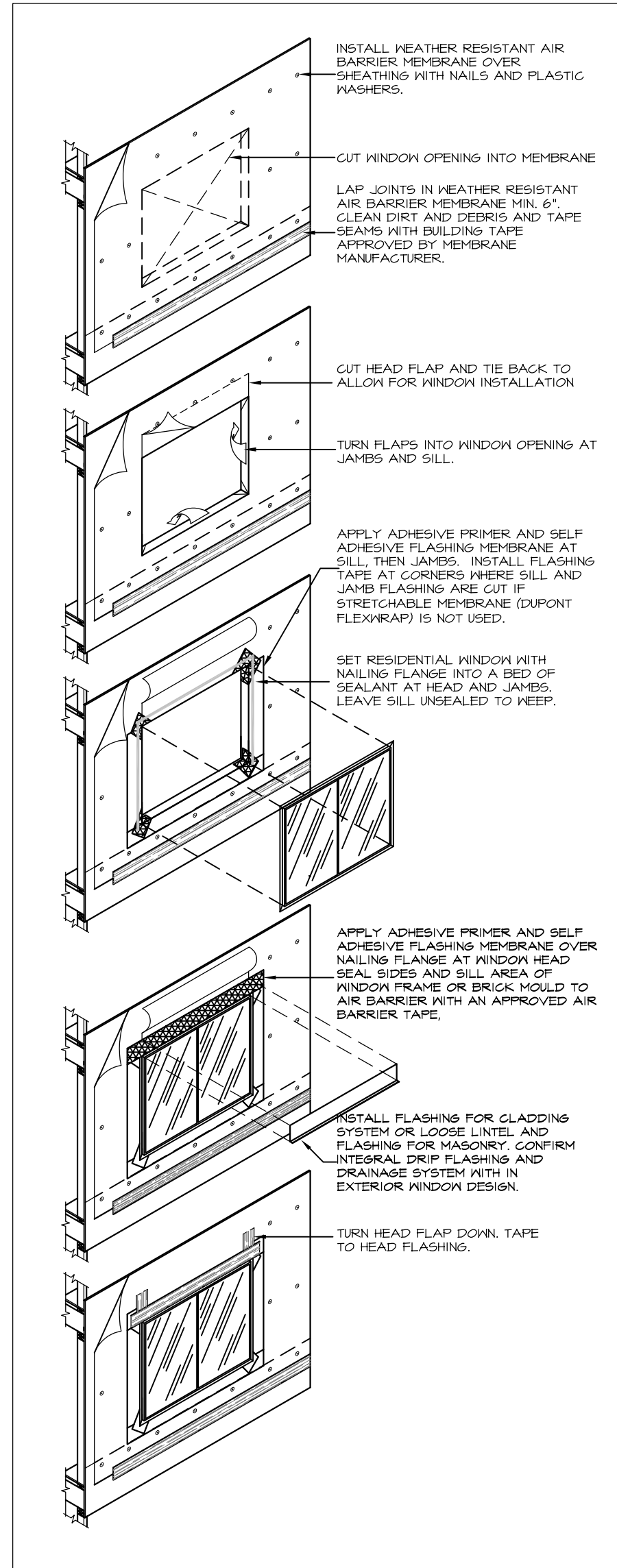
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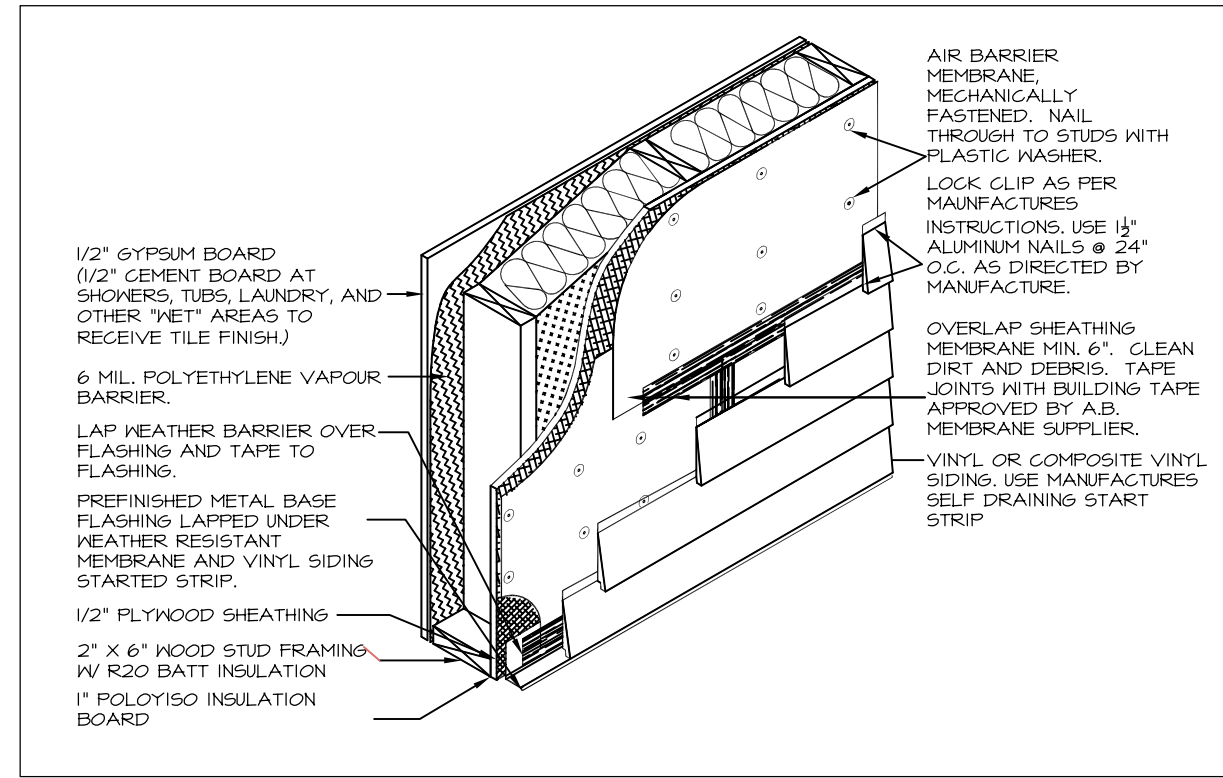
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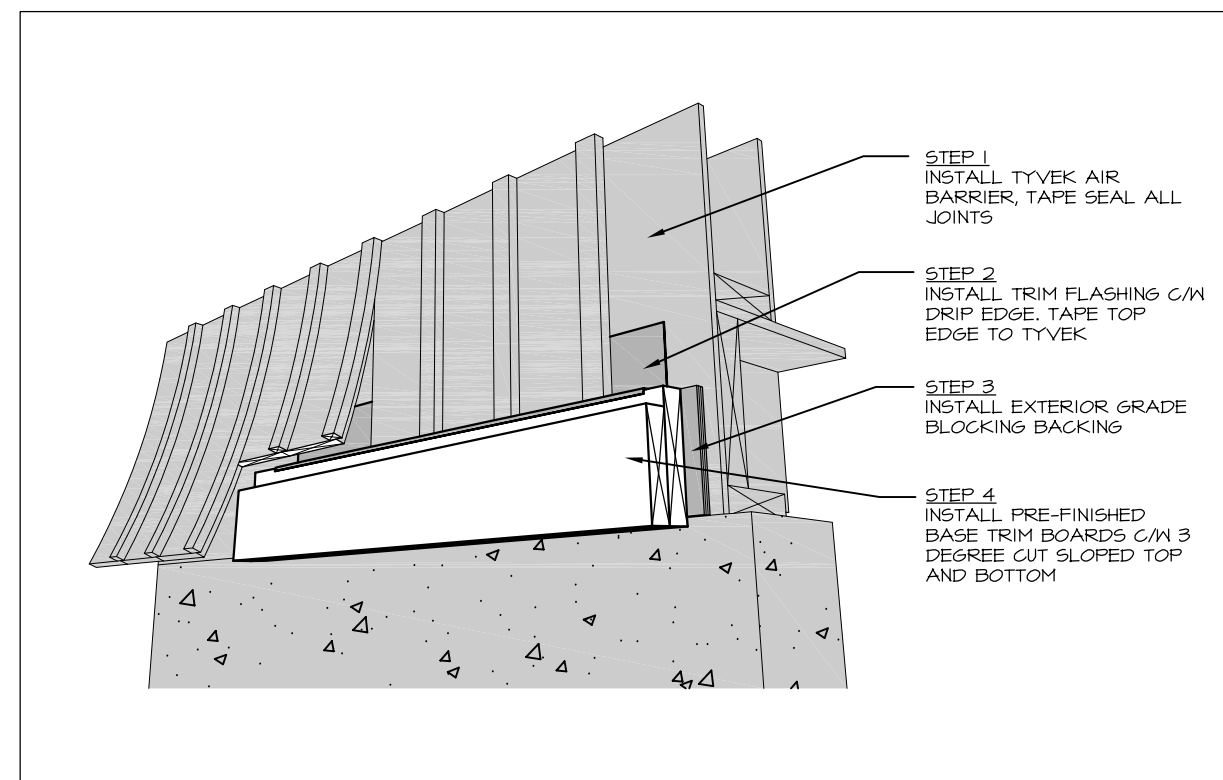
4 SECTION - SIDING @ FOUNDATION
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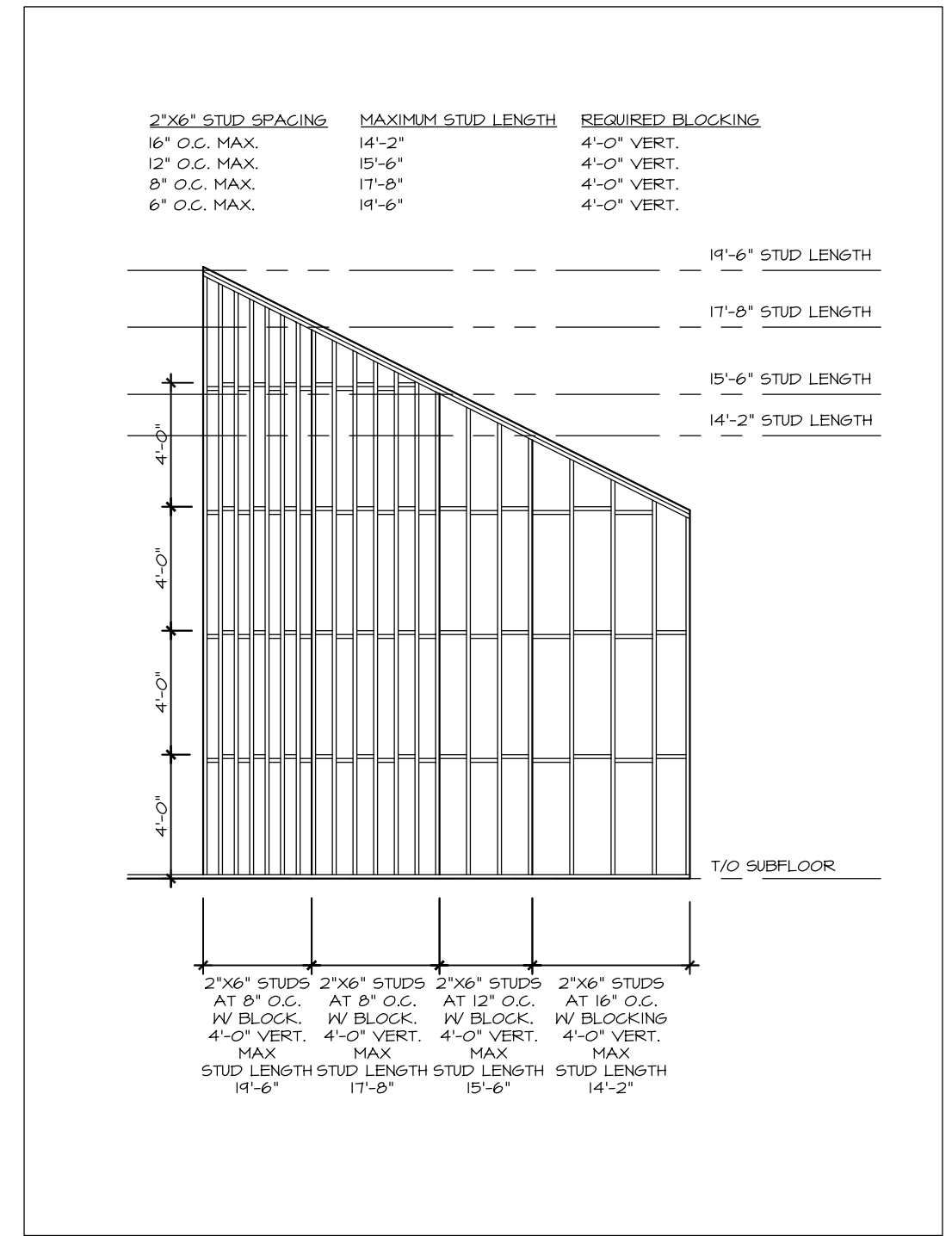
5 WALL PENETRATION WRAP DETAIL
A.Ob N.T.S.



6 TYPICAL SIDING APPLICATION
A.Ob N.T.S.



7 BASE TRIM BOARDS ON CLADDING
A.Ob N.T.S.



8 STUD SPACING AND BLOCKING
A.Ob N.T.S.

NOTES:
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LEGEND:

| | |
|-------|---|
| (1) | EXTERIOR DOOR & WINDOW TAG |
| (2) | DOOR TAG |
| (W) | EXTERIOR WALL TYPE |
| (PI) | INTERIOR PARTITION WALL TYPE |
| (F) | FLOOR TYPE |
| (R) | ROOF TYPE |
| PI | POST TYPE |
| FI | PAD FOOTING TYPE |
| WFI | WALL FOOTING TYPE |
| (SCD) | SMOKE/CARBON MONOXIDE DETECTOR PER OBC 9.10.14 & 9.33.4 |



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613-629-6988

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+ info@bell.ca
bellarchitecture.ca

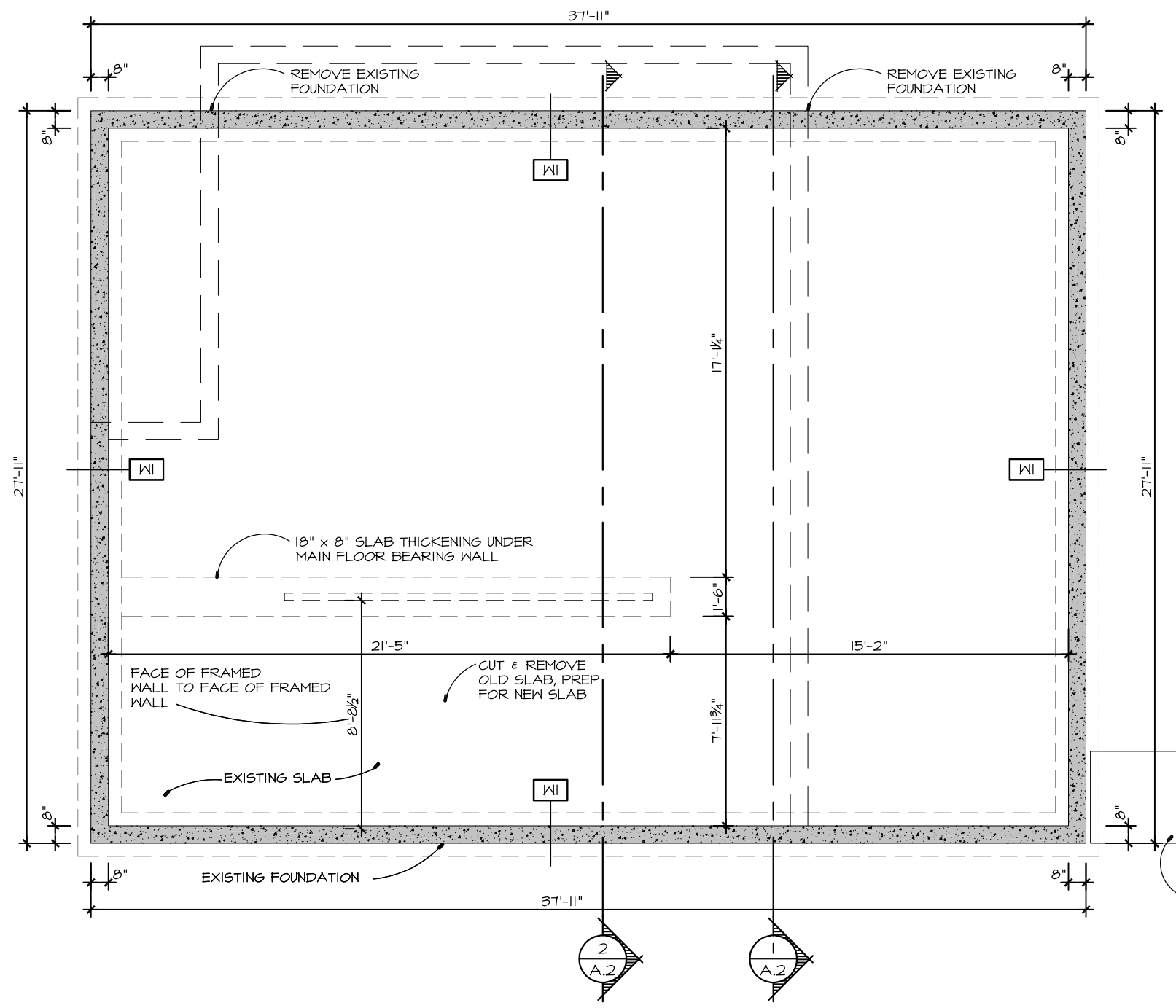
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| VERSION NO. | 1 | APRIL 2022 |
| SEAL: | | |

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| 3 | REVISED PER REVIEW | 10.05.22 |
| 2 | ISSUED FOR REVIEW | 04.05.22 |
| 1 | ISSUED FOR REVIEW | 02.05.22 |

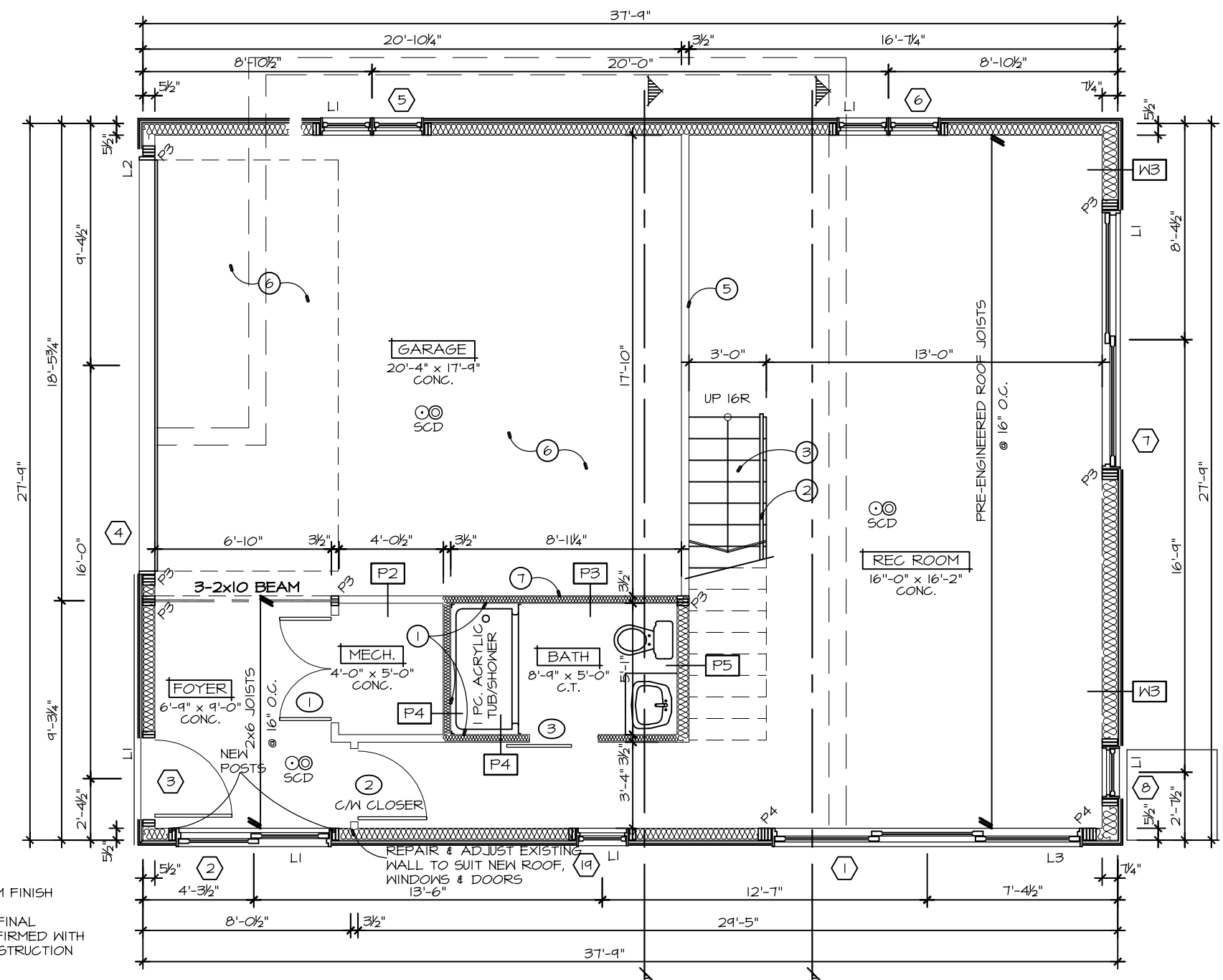
| | |
|---------|---|
| PROJECT | RENOVATE EXISTING GARAGE 6 WHITE CEDAR ST STITTSVILLE, ON K2S 1P1 |
| CLIENT | B YOUNG CONTRACTING INC 10 CHEMIN GOLD MINE SUD, BRISTOL, QC J0X 1G0 |
| DRAWING | STANDARD DETAILS |

| | |
|-------------|----------|
| SCALE | AS SHOWN |
| DRAWN BY | JLR |
| DATE | MAY 2023 |
| CHKD BY | TJS |
| APPRD BY | JB |
| PROJECT NO. | 221-99 |
| SHEET NO. | A.0b |



1 FOUNDATION PLAN
A.1 3/16" = 1'-0"

* ALL WALL STRIP FOOTINGS ARE TO BE WFI UNLESS OTHERWISE NOTED
WFI 20" WIDE x 8" THICK STRIP FOOTING C/M 2-15M CONTINUOUS 3" FROM BOTTOM



1 MAIN FLOOR PLAN
A.1 3/16" = 1'-0"

* ALL INTERIOR PARTITIONS ARE TO BE P1 UNLESS OTHERWISE NOTED
ALL EXTERIOR WALLS ARE TO BE W2 UNLESS OTHERWISE NOTED
ALL POSTS ARE TO BE P2 UNLESS OTHERWISE NOTED

ASSEMBLY NOTES

ROOF ASSEMBLIES

NOTE:
1. REPLACE 1/2" GYPSUM BOARD WITH 1/2" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
2. ICE AND WATER SHIELD TO GREATER OF 2'-11" ALONG ROOF OR 1'-0" INSIDE EXTERIOR WALL. PER OBC 9.26.5 (SEE ROOF PLAN)

R1 - ROOF ASSEMBLY - HOUSE

-PREFIN. METAL ROOFING
-NO.15 ASPHALT SATURATED FELT PAPER (CONTINUOUS)
-ICE & WATER SHIELD EAVER & VALLEY PROTECTION
-3/8" EXTERIOR SHEATHING C/M H-CLIPS (2 PER SPACE LARGER THAN 16")
-PRE-ENGINEERED ROOF RAFTERS
-R40 GLASS FIBRE BATT INSULATION (FOR SLOPED)
-R60 BLOWN INSULATION (FOR HORIZONTAL)
-6mil. POLY. VAPOUR BARRIER
-1"x3" WOOD STRAPPING @ 16" O.C. MAX.
-1/2" GYPSUM BOARD

W1 - FOUNDATION WALL (NON-FINISHED SPACE)

-2" RIGID INSULATION
-8" C.I.P. CONC.
-SPRAY ON DAMPROOFING

W2 - EXTERIOR WALL (SIDING)

-SIDING COLOR AND STYLE AS SELECTED BY OWNER, INSTALLED AS PER MANUFACTURERS INSTRUCTIONS)
-1" POLY-ISO RIGID INSULATION - RT AND AIR BARRIER, TAPE ALL JOINTS
-7/16" O.S.B. SHEATHING
-2x6 @ 16" O.C. C/M R22 BATT INSULATION
-6mil. POLY. VAPOUR BARRIER
-1/2" GYPSUM BOARD

W3 - EXTERIOR WALL (SIDING)

-SIDING COLOR AND STYLE AS SELECTED BY OWNER, INSTALLED AS PER MANUFACTURERS INSTRUCTIONS)
-1" POLY-ISO RIGID INSULATION - RT AND AIR BARRIER, TAPE ALL JOINTS
-7/16" O.S.B. SHEATHING
-2x6 @ 16" O.C. C/M R22 BATT INSULATION
-6mil. POLY. VAPOUR BARRIER
-1/2" GYPSUM BOARD

F1 - SLAB ON GRADE

-FLOOR FINISH (SEE PLANS)
-4" POURED CONC. SLAB C/M 6x6x% WLM @ MID DEPTH
-R10 SHIPLAP RIGID INSULATION
-6" GRANULAR FILL
-UNDISTURBED SOIL OR COMPACTED FILL

F2 - FRAMED FLOOR

-FLOOR FINISH
-5/8" PLYWOOD SUBFLOOR
-2x10 JOISTS @ 16" O.C.
C/M BRIDGING @ MIDSFAN
-1x3 STRAPPING @ 16" O.C.
-1/2" GYPSUM BOARD

P1 - INTERIOR PARTITION

-1/2" GYPSUM BOARD
-2x4 WOOD STUD FRAMING @ 16" O.C.
-1/2" GYPSUM BOARD

P2 - LOAD BEARING PARTITION

-1/2" GYPSUM BOARD
-2x4 WOOD STUD FRAMING @ 16" O.C. C/M BLOCKING AT MID-HEIGHT
-1/2" GYPSUM BOARD

P3 - LOAD BEARING PARTITION - INSUL.

-1/2" GYPSUM BOARD
-2x4 WOOD STUD FRAMING @ 16" O.C. C/M BLOCKING AT MID-HEIGHT
-ROXUL BATT INSUL.
-1/2" GYPSUM BOARD

P4 - INTERIOR PARTITION

-1/2" GYPSUM BOARD
-2x4 WOOD STUD FRAMING @ 16" O.C.
-ROXUL BATT INSUL.
-1/2" GYPSUM BOARD

P5 - INTERIOR PARTITION

-1/2" GYPSUM BOARD
-2x6 WOOD STUD FRAMING @ 16" O.C.
-ROXUL BATT INSUL.
-1/2" GYPSUM BOARD

P6 - BRICK VENEER PARTITION

-BRICK VENEER
-1/2" GYPSUM BOARD
-2x4 WOOD STUD FRAMING @ 16" O.C.

CONSTRUCTION NOTES

- PROVIDE WATERPROOF FINISH AROUND TUBS/SHOWERS AS PER 4.24.2. OF O.B.C.
- GUARDS MUST CONFORM TO 4.8.8. AND HANDRAILS MUST CONFORM TO 4.8.7. OF O.B.C.
- STAIR RISE = 7-3/4", RUN = 10" DIMENSIONS TO BE VERIFIED ON SITE
- CONTRACTOR TO ENSURE MIN. HEADROOM OF 6'-5" OVER STAIRWELL AS PER 4.8.2.2. OF O.B.C.
- GARAGE AREA TO BE SEALED OFF FROM REMAINDER OF HOUSE ALL GYPSUM TO BE TAPED AND SEALED TYPICAL AROUND ALL SEPARATING WALLS
- PORTION OF SLAB @ GARAGE TO BE SLOPED TOWARDS OVERHEAD GARAGE DOOR

INTERIOR DOOR SCHEDULE

- 2 - 24 x 80
- 34 x 80
- 30 x 80 BARN DOOR

LINTEL SCHEDULE

- L1 - 2 - 2x10
- L2 - 2 - 4-1/2" LVL
- L3 - 3 - 4-1/2" LVL
- L4 - 2 - 11-7/8" LVL
- L5 - 3 - 2x12

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LEGEND:

- 1 EXTERIOR DOOR & WINDOW TAG
- 2 DOOR TAG
- W EXTERIOR WALL TYPE
- P1 INTERIOR PARTITION WALL TYPE
- F1 FLOOR TYPE
- R1 ROOF TYPE
- PI POST TYPE
- FI PAD FOOTING TYPE
- WFI WALL FOOTING TYPE
- SCD SMOKE/CARBON MONOXIDE DETECTOR PER OBC 9.10.14 & 9.33.4



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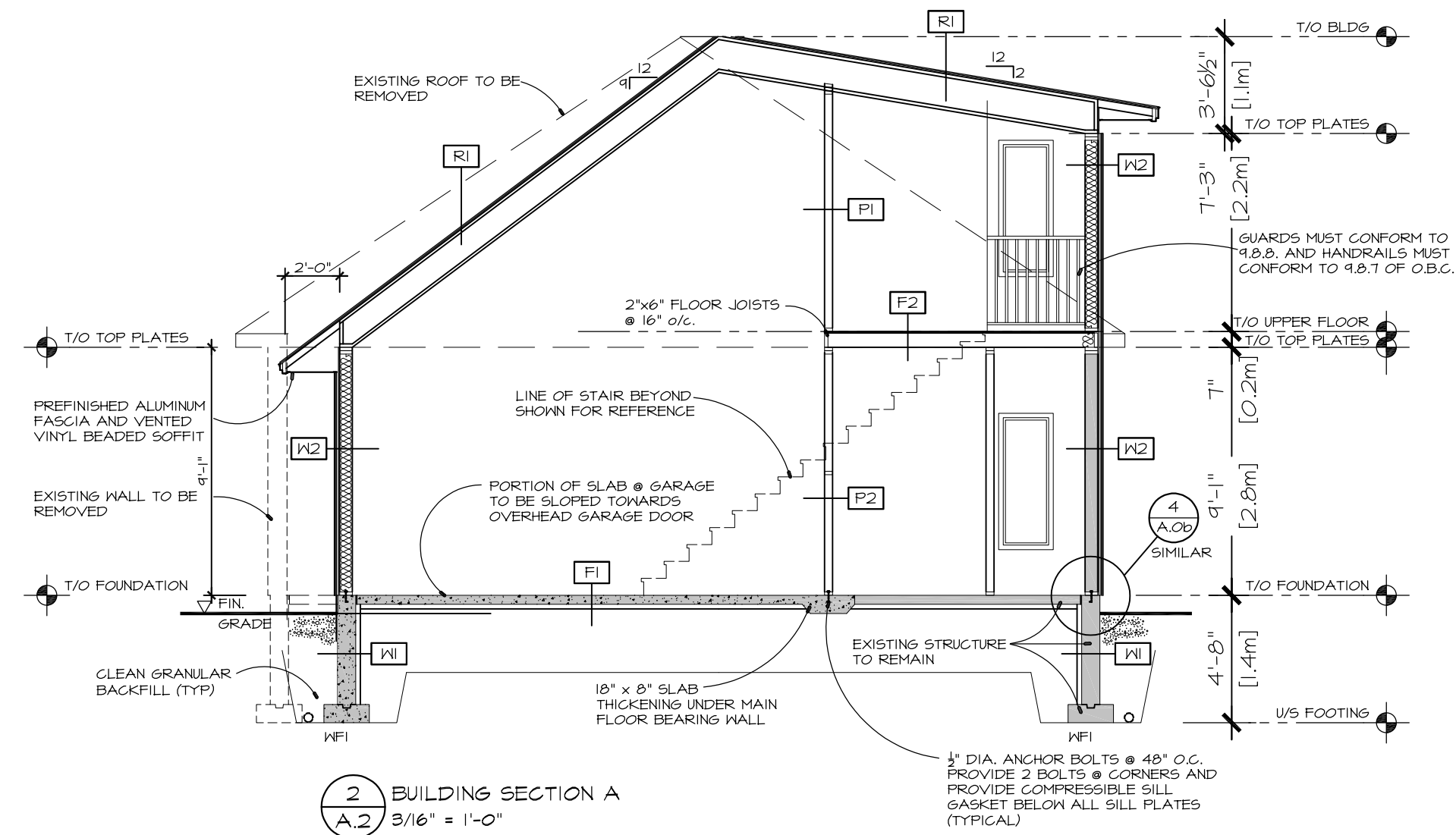
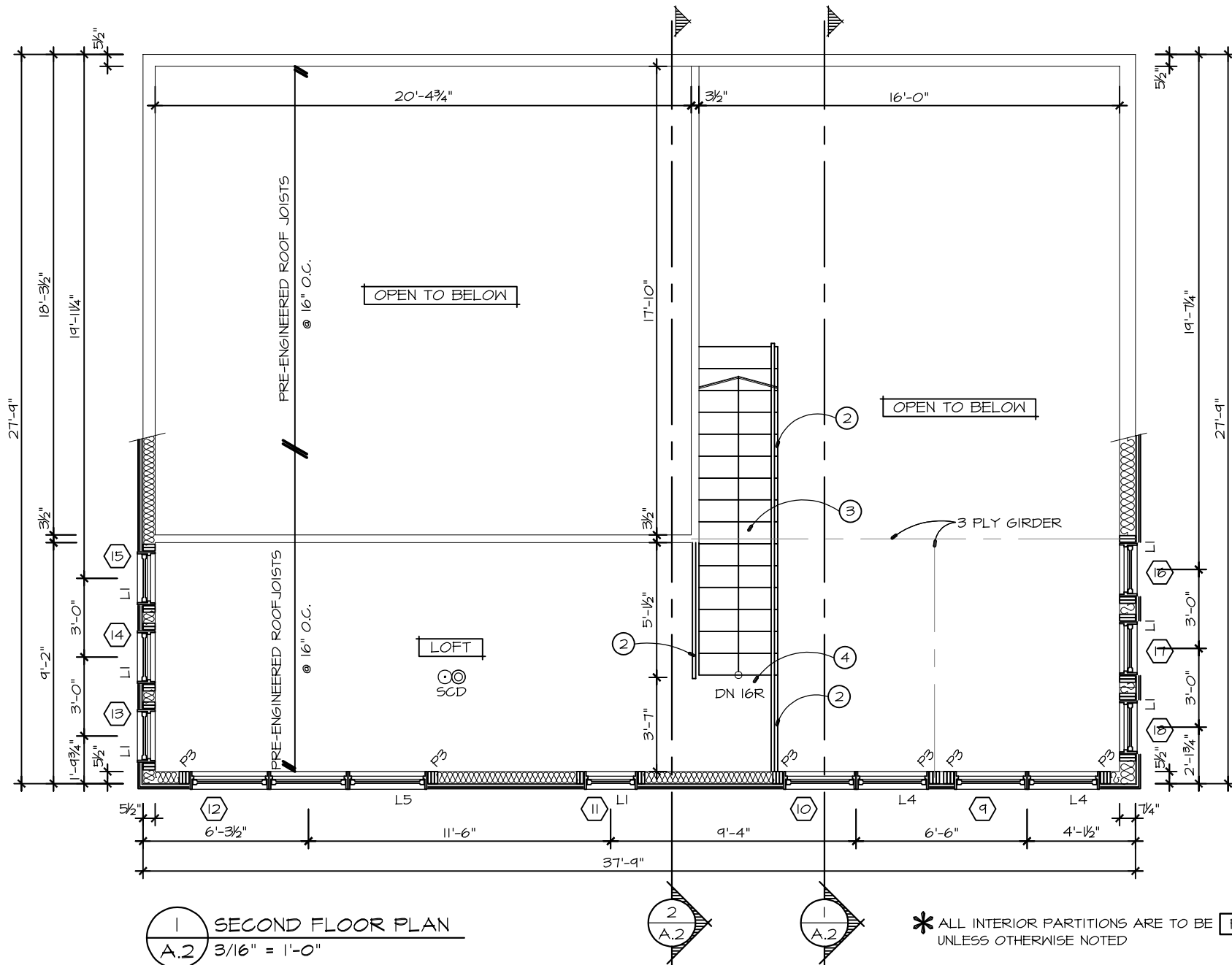
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| | REVISIONS | DATE |

PROJECT
RENOVATE EXISTING GARAGE
6 WHITE CEDAR ST
STITTSVILLE, ON
K2S 1P1

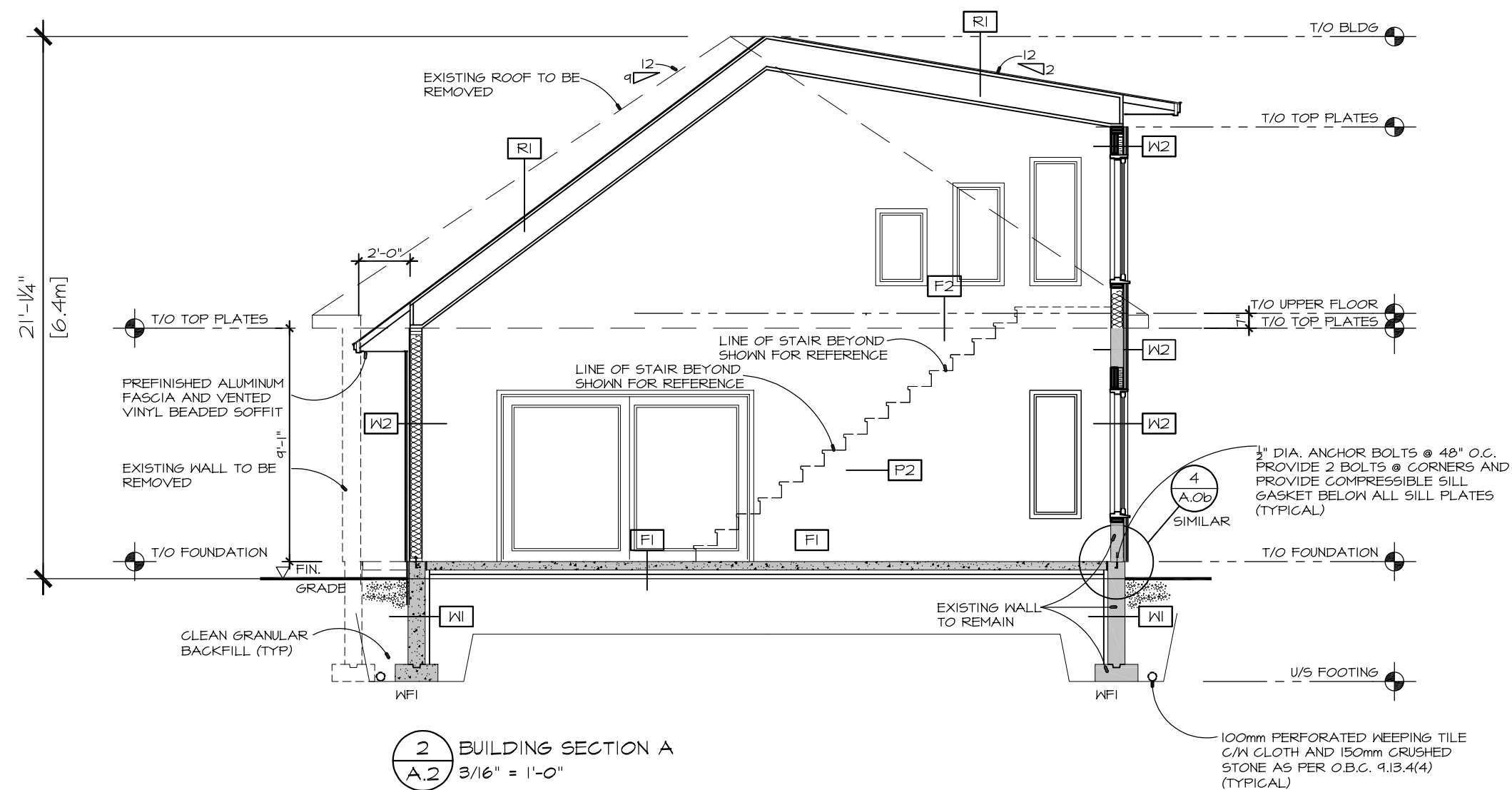
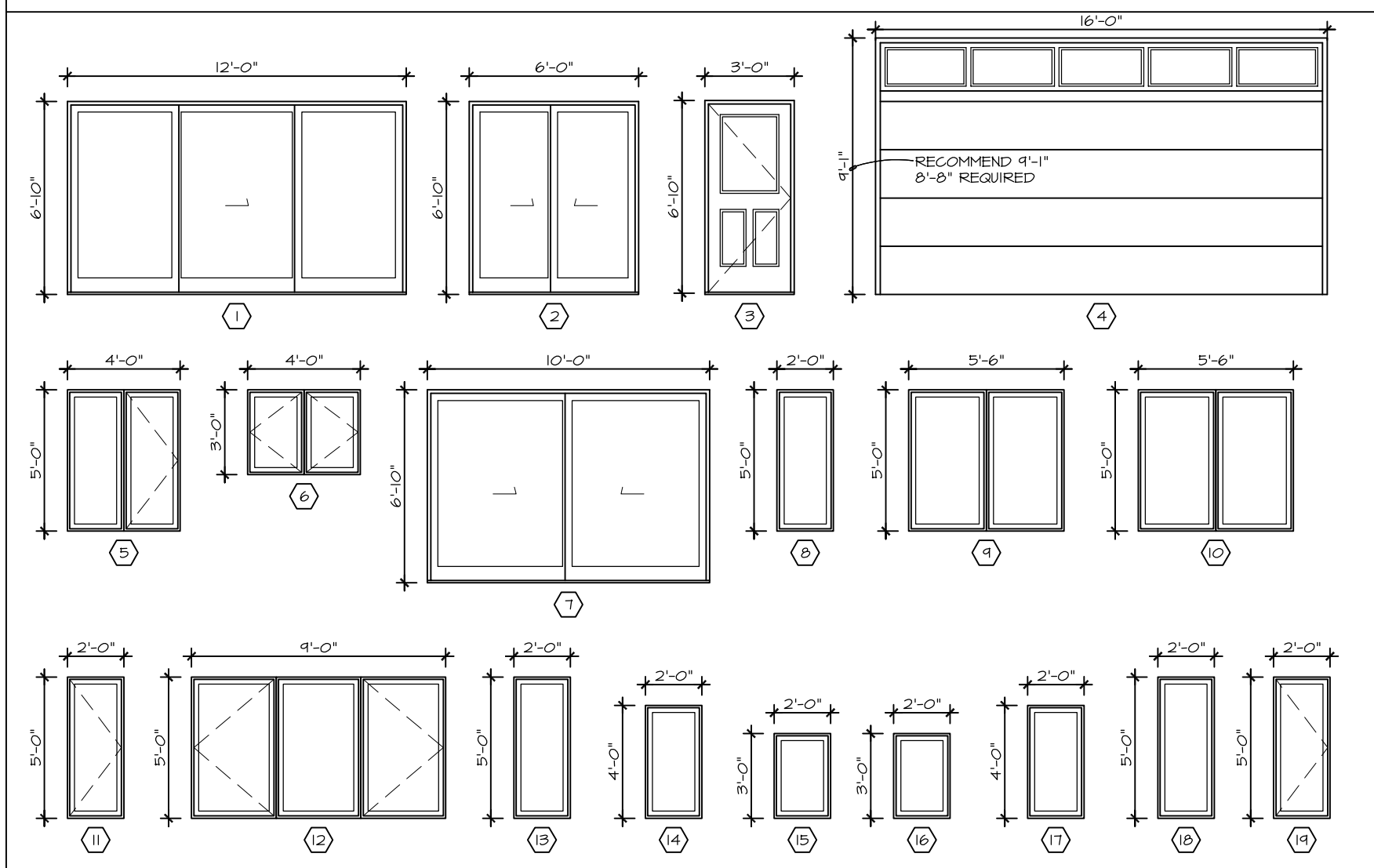
CLIENT
B YOUNG CONTRACTING INC
10 CHEMIN GOLD MINE SUD,
BRISTOL, QC
J0X 1G0

DRAWING
FOUNDATION / MAIN FLOOR

SCALE AS SHOWN
DRAWN BY JUR
DATE MAY 2023
CHKD BY TJS
APPRD BY JB
PROJECT NO. 221-93
SHEET NO.
A.1



EXTERIOR WINDOW AND DOOR ELEVATIONS



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LEGEND:

- [1] EXTERIOR DOOR & WINDOW TAG
- [02] DOOR TAG
- [W] EXTERIOR WALL TYPE
- [PI] INTERIOR PARTITION WALL TYPE
- [FI] FLOOR TYPE
- [R] ROOF TYPE
- [PI] POST TYPE
- [FI] PAD FOOTING TYPE
- [WFI] WALL FOOTING TYPE
- [SCD] SMOKE/CARBON MONOXIDE DETECTOR PER OBC 9.10.14 & 9.33.4



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| | | |

PROJECT
RENOVATE EXISTING GARAGE
6 WHITE CEDAR ST
STITTSVILLE, ON
K2S 1P1

CLIENT
B YOUNG CONTRACTING INC
10 CHEMIN GOLD MINE SUD,
BRISTOL, QC
J0X 1G0

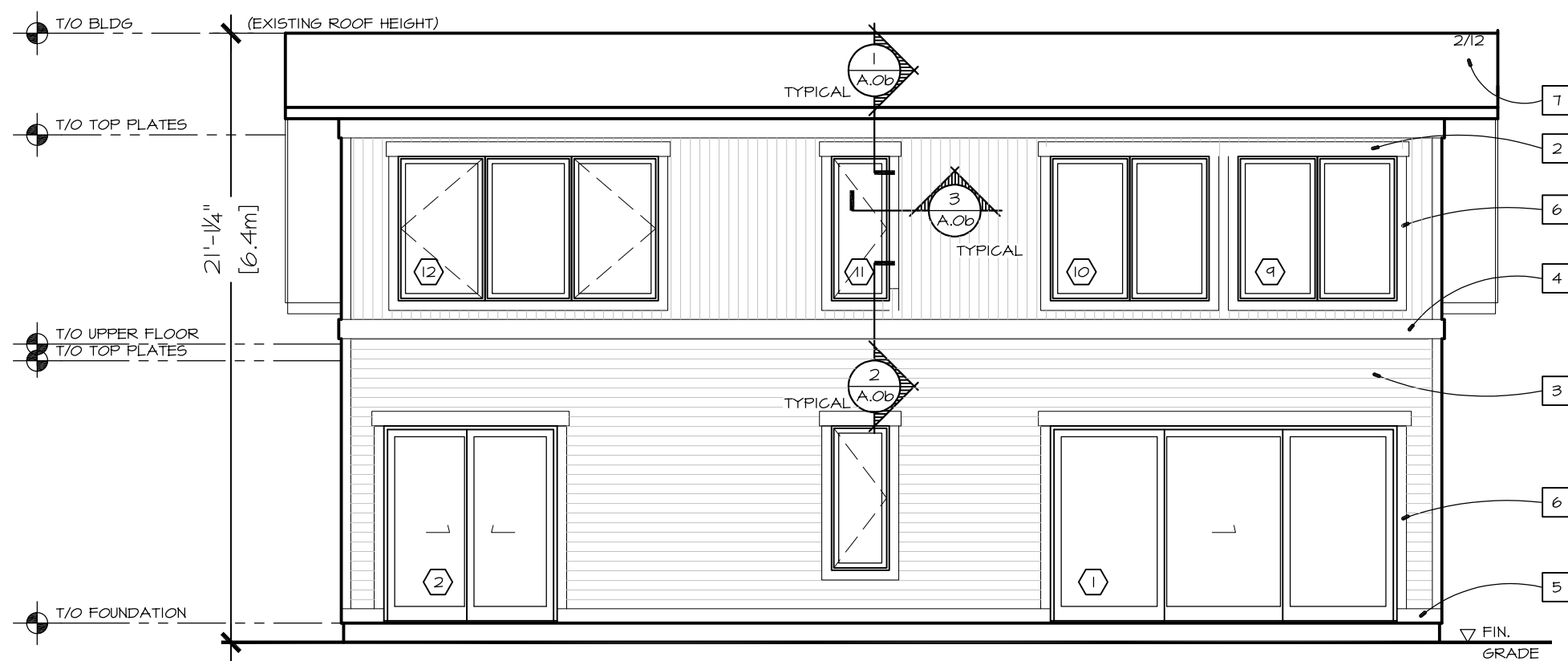
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DRAWN BY JUR
DATE MAY 2023
CHKD BY TJS
APPRD BY JB
PROJECT NO. 221-99

DRAWING
SECOND FLOOR PLAN / SECTIONS

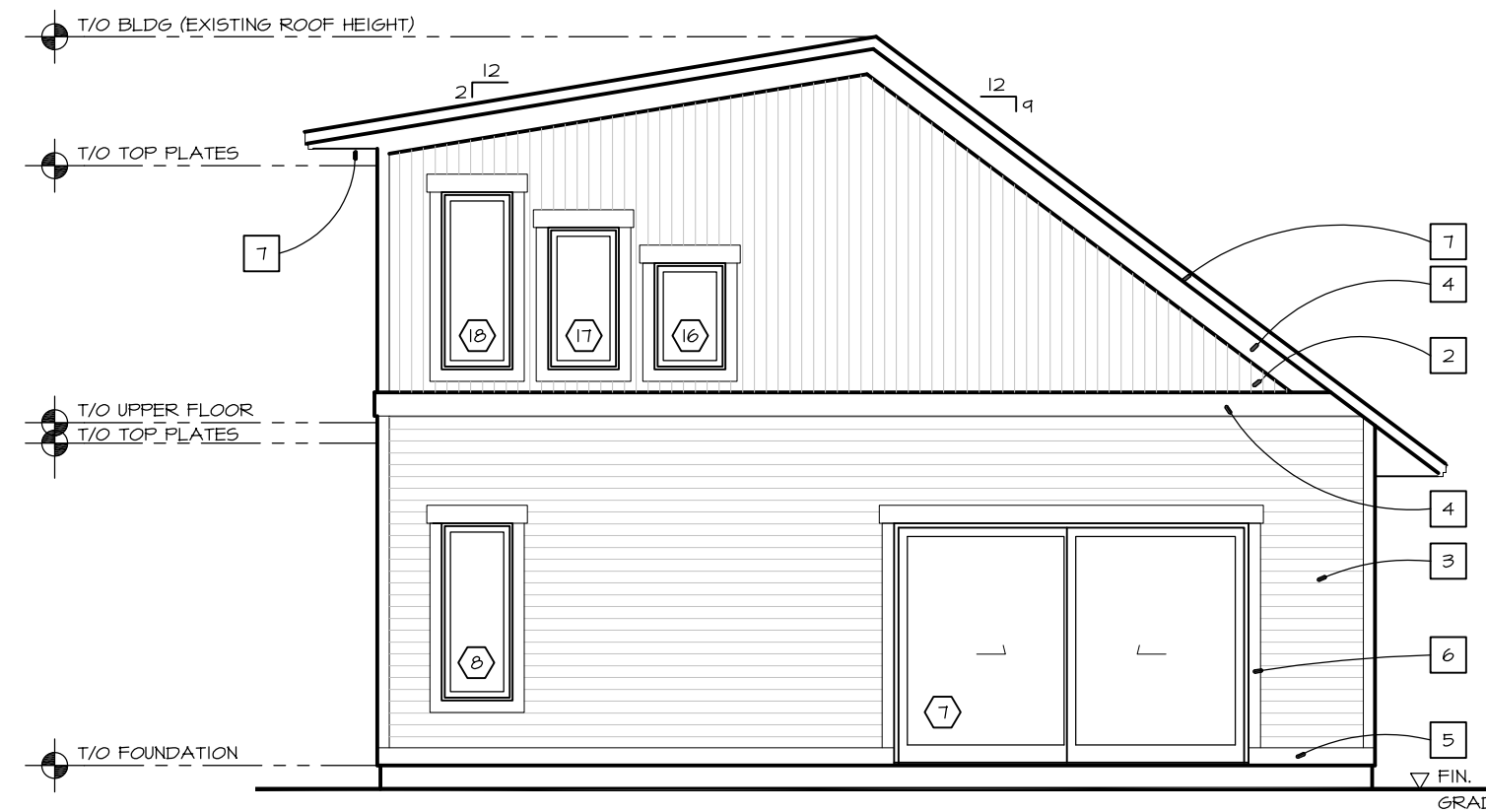
SHEET NO.
A.2

EXTERIOR FINISH SCHEDULE

- 1 PREFINISHED METAL ROOFING, COLOR AND PROFILE AS SELECTED BY OWNER
- 2 PREFINISHED VERTICAL BOARD AND BATTEN SIDING C/M ALL TRIMS, CLOSURES AND FITTINGS, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS (COLOR AND STYLE AS SELECTED BY OWNER)
- 3 PREFINISHED HORIZONTAL SIDING C/M ALL TRIMS, CLOSURES AND FITTINGS, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS (COLOR AND STYLE AS SELECTED BY OWNER)
- 4 8" FRIEZE BOARD, COLOR AS SELECTED BY OWNER
- 5 6" TRIM BOARD, COLOR AS SELECTED BY OWNER
- 6 WINDOW TRIM TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS, COLOR AS SELECTED BY OWNER
- 7 PREFINISHED ALUMINUM FASCIA AND VENTED VINYL BEADED SOFFIT



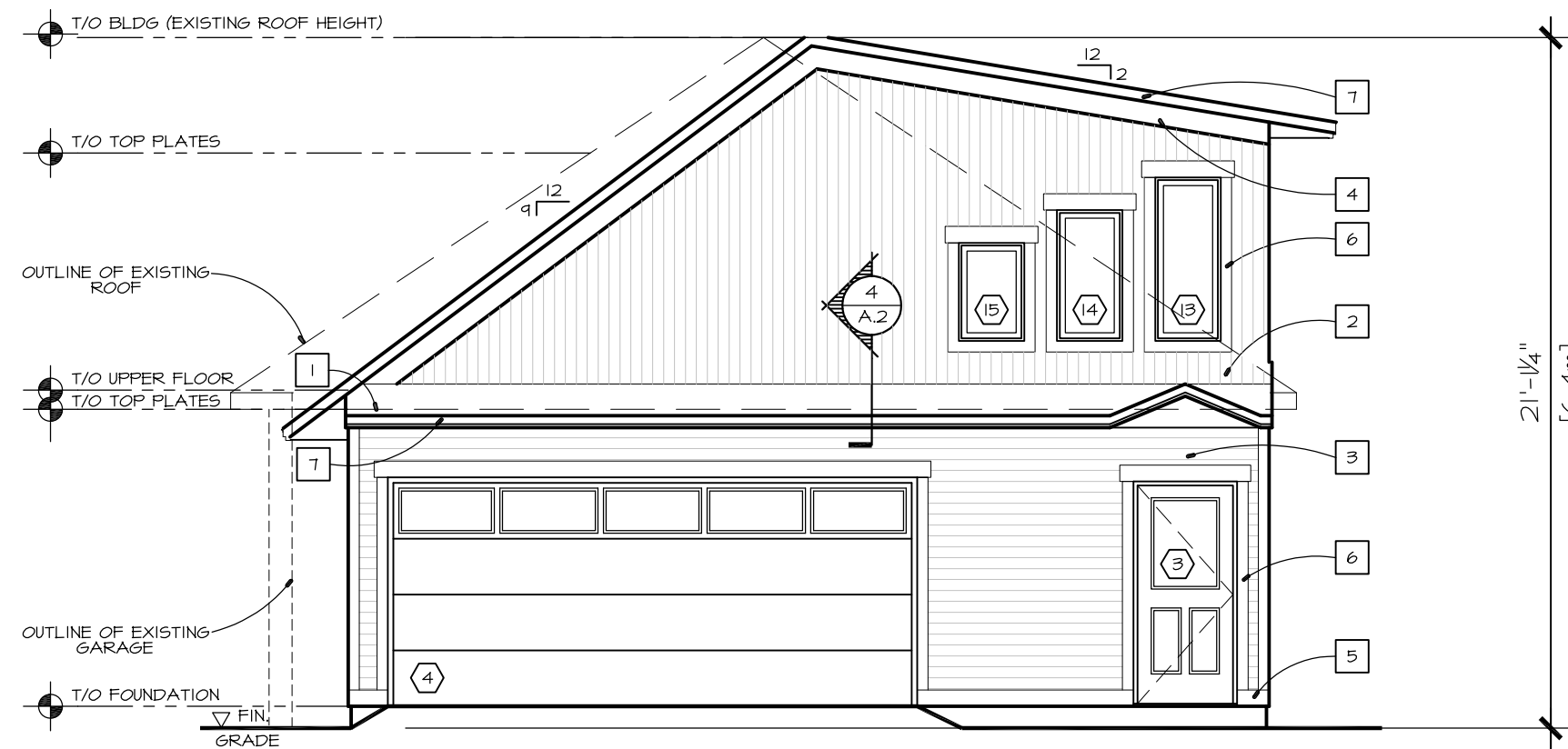
1 FRONT ELEVATION
A.3 3/16" = 1'-0"



2 RIGHT ELEVATION
A.3 3/16" = 1'-0"



3 BACK ELEVATION
A.3 3/16" = 1'-0"

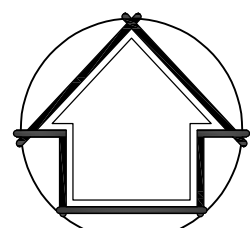


4 LEFT ELEVATION
A.3 3/16" = 1'-0"

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- RI ROOF TYPE
- PI POST TYPE
- FI PAD FOOTING TYPE
- WFI WALL FOOTING TYPE
- SCD SMOKE/CARBON MONOXIDE DETECTOR PER OBC 9.10.14 & 9.33.4



PROJECT NORTH

BELL
+ ASSOCIATES
ARCHITECTURE

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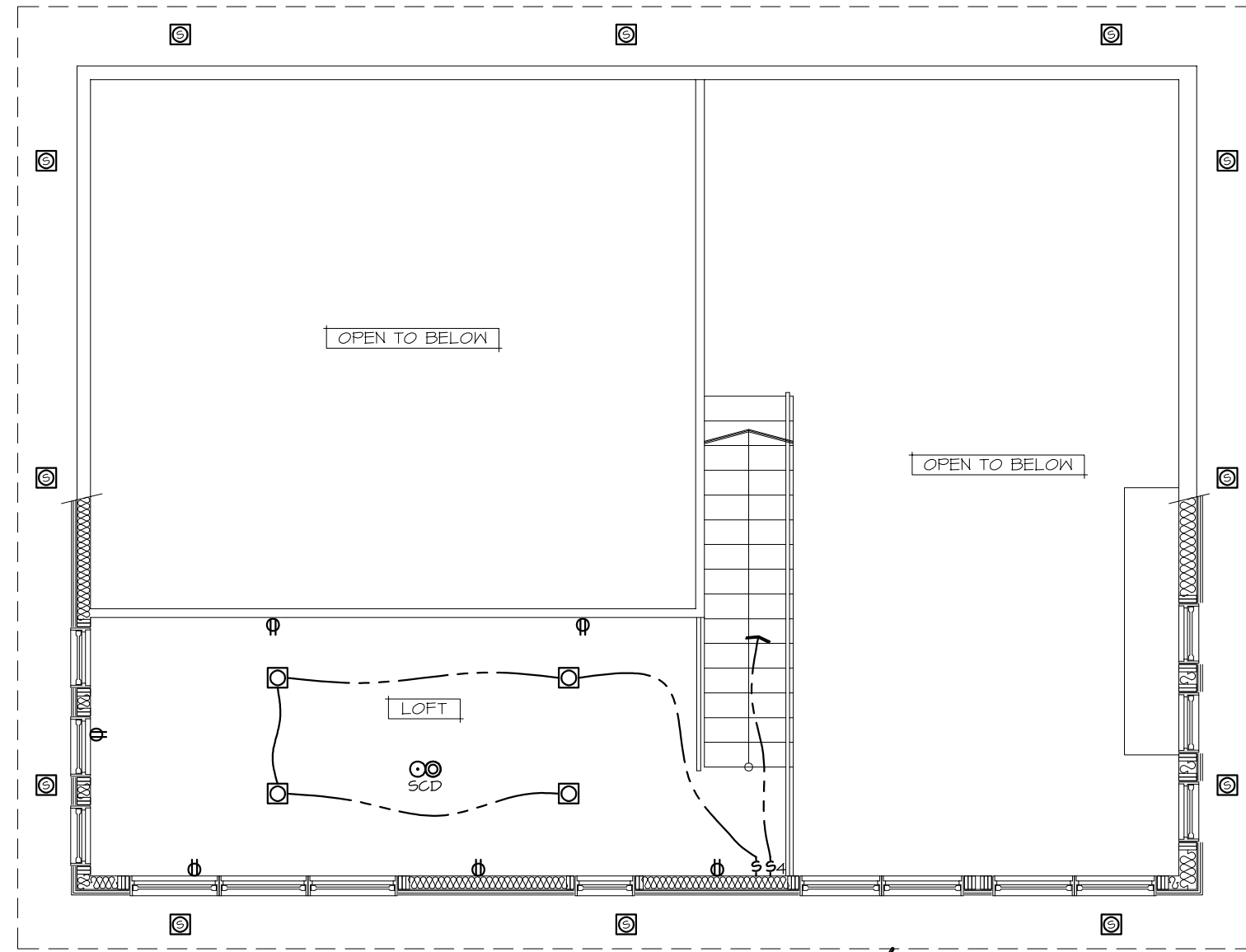
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CLIENT
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BRISTOL, QC
J0X 1G0

SCALE AS SHOWN
DRAWN BY JUR
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CHKD BY TJS
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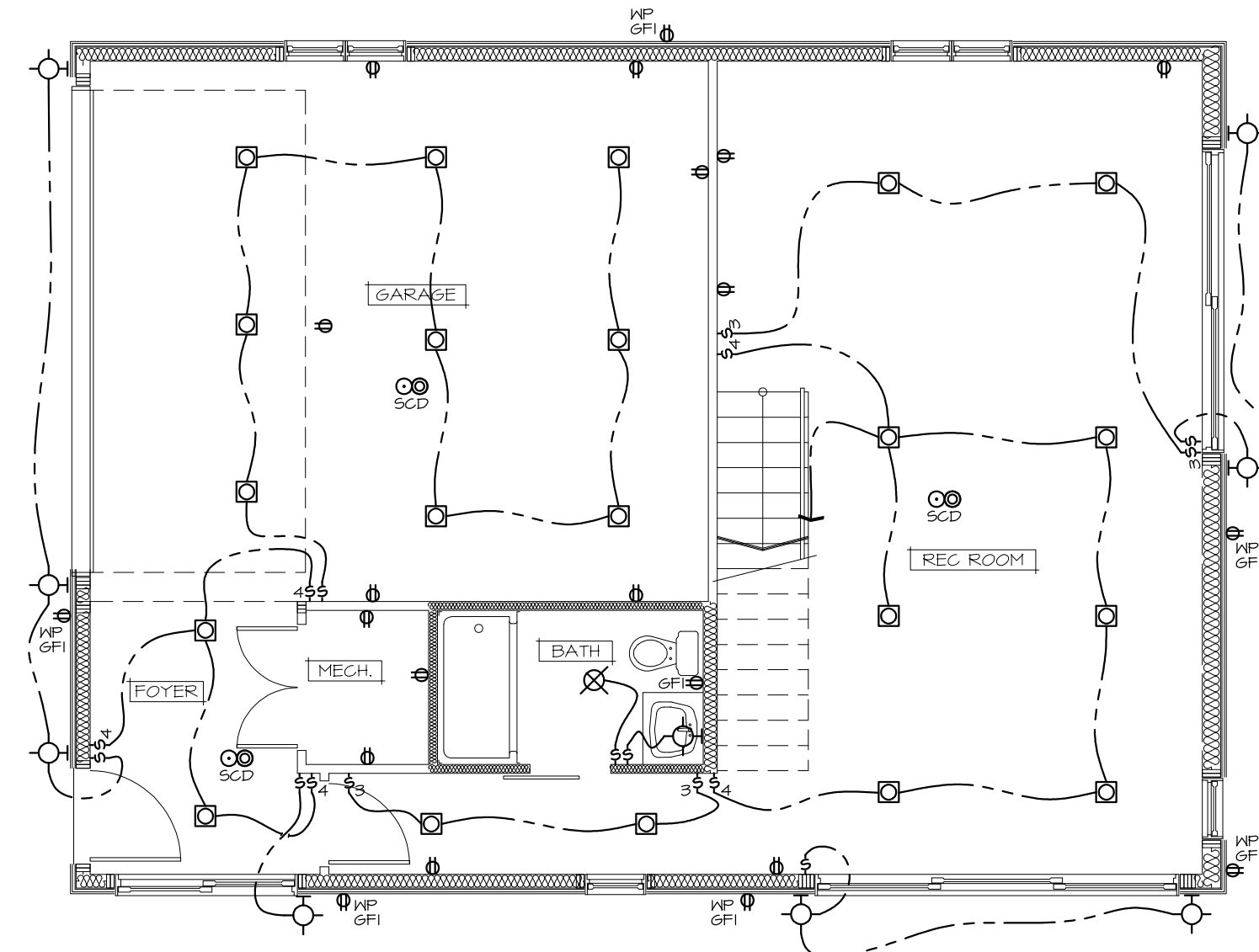
DRAWING
ELEVATIONS

SHEET NO.
A.3



2 SECOND FLOOR ELECTRICAL SCHEMATIC PLAN
E.1 3/16" = 1'-0"

ALL SOFFIT LIGHTS TO BE SWITCHED TOGETHER, CONTRACTOR TO CONFIRM SWITCH LOCATION WITH OWNER PRIOR TO CONSTRUCTION



1 MAIN FLOOR ELECTRICAL SCHEMATIC PLAN
E.1 3/16" = 1'-0"

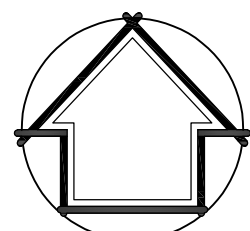
ELECTRICAL LEGEND

- WALL MOUNTED FIXTURE WEATHER RESISTANT WHEN SHOWN OUTSIDE
- VAPOUR PROOF POT LIGHT FIXTURE (CENTER FIXTURE IN SPACE OR AS SHOWN)
- WEATHER RESISTANT SOFFIT POT LIGHT FIXTURE (CENTER FIXTURE IN SPACE OR AS SHOWN)
- CEILING FANLIGHT FIXTURE (SEPARATE SWITCHES FOR LIGHT & FAN)
- CEILING FIXTURE (CENTER FIXTURE IN SPACE OR AS SHOWN)
- POT LIGHT FIXTURE (CENTER FIXTURE IN SPACE OR AS SHOWN)
- PENDANT FIXTURE (CENTER FIXTURE IN SPACE OR AS SHOWN)
- SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR
- DUPLEX OUTLET (DUPLEX AT COUNTER SET AT 42" A.F.F.)
- 220V OUTLET
- WEATHER RESISTANT DUPLEX OUTLET
- GROUND FAULT INTERRUPTER
- VENTILATION FAN
- SWITCH ARRANGEMENT IF THERE ARE MORE THAN 3 SWITCHES IN ONE LOCATION

NOTES:
REFER TO GENERAL NOTES FOR ALL TYPICAL CONSTRUCTION NOTES & DETAILS WHEN DRAWINGS OR NOTES REFERENCE O.B.C. IN ALL CASES PLEASE REFER TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE 2012.

LEGEND:

- EXTERIOR DOOR & WINDOW TAG
- DOOR TAG
- EXTERIOR WALL TYPE
- INTERIOR PARTITION WALL TYPE
- FLOOR TYPE
- ROOF TYPE
- POST TYPE
- PAD FOOTING TYPE
- WALL FOOTING TYPE
- SMOKE/CARBON MONOXIDE DETECTOR PER OBC 9.10.14 & 9.33.4



PROJECT NORTH

BELL
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VERSION NO.
1
APRIL 2022

SEAL:

NOTES:
- ALL CONTRACTORS MUST COMPLY WITH ALL CODES & BYLAWS HAVING JURISDICTION.
- IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL ERRORS AND/OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCEMENT.
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PROJECT
RENOVATE EXISTING GARAGE
6 WHITE CEDAR ST
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CLIENT
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SCALE AS SHOWN
DRAWN BY JLR
DATE MAY 2023
CHKD BY TJS
APPRD BY JB
PROJECT NO. 221-93

DRAWING
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