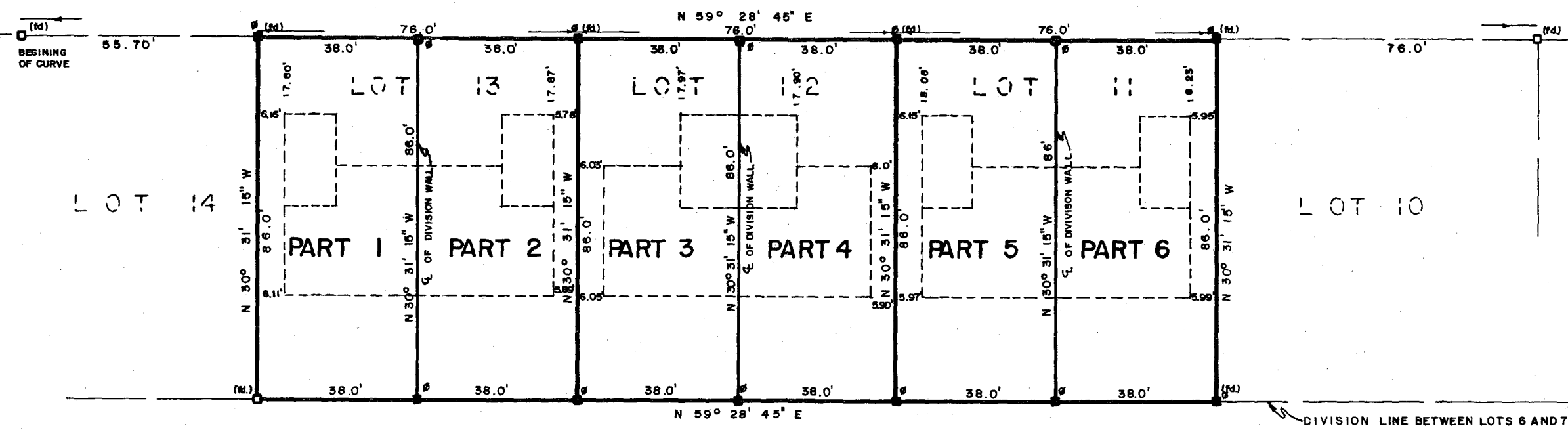


PLAN
 OF SURVEY OF
LOTS 11, 12 AND 13 (SHANEGAL CRESCENT)
REGISTERED PLAN M-192
 TOWNSHIP OF GLOUCESTER
 REGIONAL MUNICIPALITY OF OTTAWA-CARLETON
 FARLEY & MARTIN LTD.
 SCALE 1" = 30'
 1976
 (SURVEYED BY H. R. FARLEY O.L.S.)

Committee of Adjustment
 Received | Reçu le
 2024-06-13
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

PLAN 4R-2229
 APPROVED 31 DECEMBER, 1976
[Signature]
 ASST. EXAMINER OF SURVEYS
 PLAN 4R 2229
 RECORDED UNDER NO 149699
 REGISTERED March 24, 1977
[Signature]
 LAND REGISTRAR
 PARTS 1 & 2 - ALL OF PARCEL 13-1
 SECTION M-192
 PARTS 3 & 4 - ALL OF PARCEL 12-1
 SECTION M-192
 PARTS 5 & 6 - ALL OF PARCEL 11-1
 SECTION M-192

S H A N E G A L C R E S C E N T



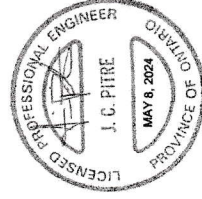
SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT:
 THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER
 I WAS PRESENT AT AND DID PERSONALLY SUPERVISE THE SURVEY REPRESENTED BY THIS PLAN.
 THIS PLAN CONTAINS A TRUE COPY OF THE FIELD NOTES OF SURVEY
 THE SURVEY WAS COMPLETED ON THE 10th DAY OF DEC. 1976
 DATE 15th DEC. 1976
[Signature]
 H. R. FARLEY
 ONTARIO LAND SURVEYOR

INST. NO. 6 6 5 5 5

NOTE:
 BEARINGS ARE ASTRONOMIC DERIVED FROM THE SOUTHERLY LIMIT OF PLAN No M-192 BEING N 59° 28' 45" E

<p>LEGEND (IF APPLICABLE)</p> <ul style="list-style-type: none"> □ DENOTES STANDARD IRON BAR 1"sq x 48" □ S.S.I.B DENOTES SHORT STANDARD IRON BAR 1"sq x 24" ■ DENOTES IRON BAR 3/8"sq x 24" ○ DENOTES ROUND IRON BAR 3/8"Diam x 24" + C.C. DENOTES CUT CROSS (fd) DENOTES FOUND W/D DENOTES WITNESS - - - DENOTES FENCE 	<p>FARLEY & MARTIN LTD. ONTARIO LAND SURVEYORS 412 MacLAREN STREET OTTAWA, CANADA K2P 0M8</p>	
	<p>Scale 1" = 30'</p>	
<p>NOTE: ALL HANGING LINES SHOWN ON THIS PLAN HAVE BEEN VERIFIED</p>	File	Ref

PROJECT	
UNHEATED SUNROOM ADDITION	
PROJECT ADDRESS	
2336 SHANGEL CRES OTTAWA ON K1V 9P2	
DRAWING TITLE	
SITE PLAN	
DRAWING NUMBER	
01	
REVISION	PROJECT# DESIGN#
	07024
MODEL TYPE	
3125 AFRAFE (RAFTER ROOF)	
CLIENT	
LIFESTYLE & HOME CARE	
DATE	SCALE
MAY 8, 2024	
DRAWN BY:	CHECKED BY:
A.A.	J.P.
LIFESTYLE ENGINEERING	

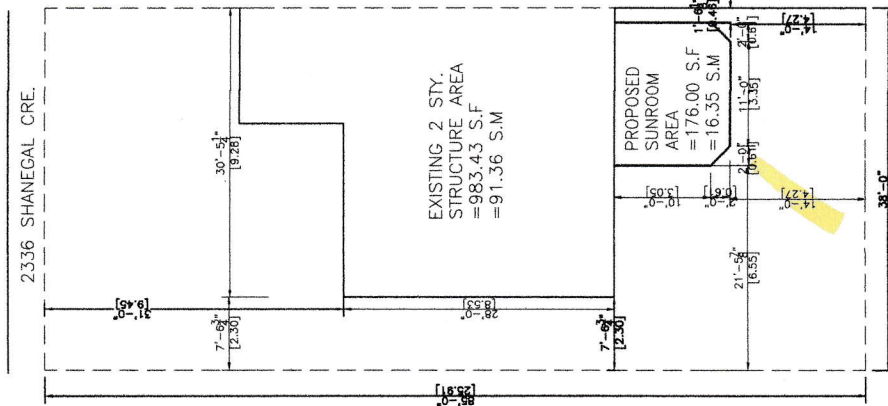


NOTES:

- THE WALLS AND ROOF STRUCTURAL PANELS OF THE SUNROOM WILL BE PREFABRICATED BY LIFESTYLE SUNROOMS INC. AND WILL BE INSTALLED BY ITS TRAINED SKILLED INSTALLERS.
- A PROFESSIONAL ENGINEER UNDERTAKES THE GENERAL REVIEW OF THE INSTALLATION.
- A FINAL PROJECT REVIEW LETTER WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER THE COMPLETION.
- (1). STAIRS RISER DIMENSIONS SHALL CONFIRM TO ARTICLES 9.8.4.2 AND 9.8.4.3 OF THE 2012 OBC WHICH STIPULATES THAT RISERS DESIGNED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 200 mm OR A MINIMUM RISE OF NO LESS THAN 125 mm AND A MAXIMUM RUN OF NO MORE THAN 355 mm OR A MINIMUM RUN OF NO MORE THAN 255 mm AND A MAXIMUM TREAD DEPTH OF 355 mm OR A MINIMUM TREAD DEPTH OF NO LESS THAN 235 mm.
- (2). REQUIRED EXIT STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900 mm AS PER ARTICLE 9.8.2.1 OF THE 2012 OBC.
- THE WIDTH OF THE LANDING IF REQUIRED SHALL BE NOT LESS THAN THE GREATER REQUIRED STAIR WIDTH WHERE ONE OR MORE OF THE STAIR WIDTHS DO NOT EXCEED THEIR RESPECTIVE REQUIRED WIDTHS, OR NOT LESS THAN THE LESSER ACTUAL STAIR WIDTH WHERE ALL OF THE WIDTHS OF THE STAIRS EXCEED THEIR RESPECTIVE REQUIRED WIDTHS AS PER ARTICLES 9.8.6.2 AND 9.8.6.3 OF THE 2012 OBC.
- ALL HAND RAILS AND GUARDS SHALL BE BUILT AS PER OBC 2012 AND SUPPLEMENTARY STANDARD SB-7. EXTERIOR HANDRAIL AND GUARDS TO BE AT LEAST 900 mm OR 36" MEASURED VERTICALLY ABOVE THE NOSING OF ANY TREAD AND/OR PLATFORM NOT MORE THAN 1800 mm OR 5'-11" ABOVE THE FINISHED GROUND AS PER SUBSECTIONS 9.8.7 AND 9.8.8 OF 2012 OBC; ALL PICKET AND/OR GUARD SPACING MUST BE NO MORE THAN 100 mm OR 4" APART AS PER ARTICLE 9.8.8.5 OF THE 2012 OBC; ALL BALUSTERS TO BE SPACED NO MORE THAN 1200 mm OR 48" APART.
- TO CARRY RAINWATER AWAY FROM THE SUNROOM, DOWNSPOUTS WILL BE INSTALLED AT THE OUTSIDE CORNERS OF ROOM IN ACCORDANCE TO ARTICLES 9.26.18.2, 7.3.3.7, AND 5.6.2.2 OF THE 2012 OBC.
- ALL ADDITIONAL ASPECTS OF THE PROJECT WILL BE INSTALLED ACCORDING TO TABOC DETAILS AND COMPLY WITH THE REQUIREMENTS STIPULATED BY THE 2012 OBC, INCLUDING DOORS (TO SECTION 9.6.); WINDOWS (TO SECTION 9.7.); SKYLIGHTS (TO SUBSECTION 9.7.7.); GLASSES (TO SUBSECTION 9.7.3.); WOOD FRAME CONNECTIONS, DECK FARMING, STICK BUILT WALLS AND SUBFLOORING (TO SUBSECTION 9.23.14); BUILT-UP BEAMS (TO ARTICLE 9.23.8.3); BUILT-UP COLUMNS (TO ARTICLE 9.17.4.2); ROOFING (TO SECTION 9.26.); ROOF DRAINS AND DOWNSPOUTS (TO SUBSECTION 9.26.18.); FLASHING (TO SUBSECTIONS 9.20.15 & 9.26.3 & 9.26.4); CLADDING (TO SECTION 9.27.); CAULKING (TO SUBSECTION 9.27.4.); INTERIOR FINISHING (TO SUBSECTION 9.29.); FLOORING (TO SECTION 9.30.); STAIRS, RAMPS, HANDRAILS AND GUARDS (TO SECTION 9.8.); LIGHTING OUTLETS (TO SECTION 9.34.).

LOT AREA	300.08 m ²	3230.00 ft ²
TOTAL EXISTING FLOOR AREA	91.36 m ²	983.43 ft ²
PROPOSED SUNROOM AREA	16.35 m ²	176.00 ft ²
TOTAL EXISTING AND PROPOSED FLOOR AREA	107.43 m ²	1159.43 ft ²
TOTAL LOT COVERAGE	~35.91 %	

THIS SITE PLAN IS
DRAWN PER THE OWNER INFORMATION



SITE PLAN
SCALE = 1:150

Committee of Adjustment
Received | Reçu le

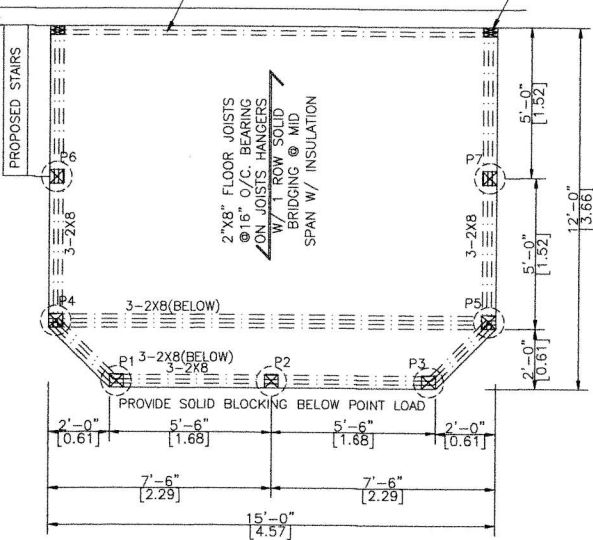
2024-06-13

City of Ottawa | Ville d'Ottawa
Comité de dérogation

EXISTING HOUSE

2-2X6 WOOD LEDGER
SCREWED TO FOUNDATION
STRUCTURE W/1-12"x1/2" DIA.
LAG SCREWS @ 12" O.C.

2-2X6 WOOD LEDGER - POST
SCREWED TO FOUNDATION
STRUCTURE W/1-12"x1/2" DIA.
LAG SCREWS @ 16" O.C.

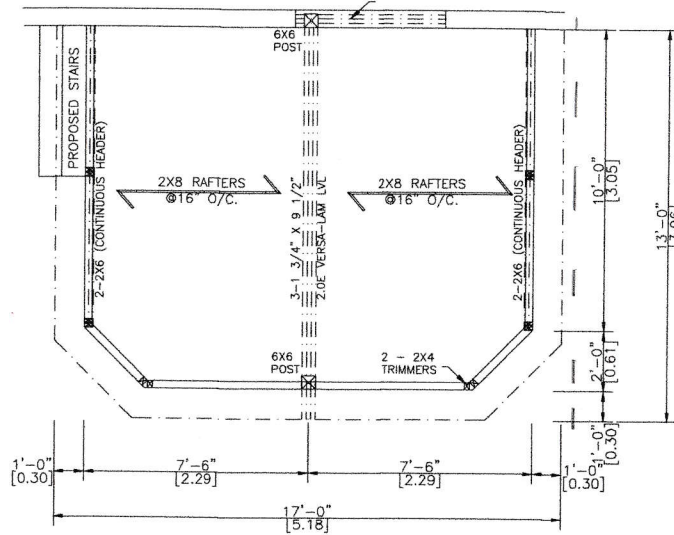


PIERS & DECK PLAN

SCALE 1/4"=1'-0"

EXISTING HOUSE

EXISTING LINTEL AT LEAST 3-1/2" X 7/8" LVL
OR 3-2X10 IF NOT TAKE ANOTHER
MEASURE AT THE SITE



WALLS & ROOF PLAN

SCALE 1/4"=1'-0"

PROJECT

UNHEATED
SUNROOM ADDITION

PROJECT ADDRESS

2336 SHANGEL CRES
OTTAWA
ON K1V 9P2

DRAWING TITLE

DECK & ROOF PLAN

DRAWING NUMBER

02

REVISION	PROJECT#	DESIGN#
	07024	

MODEL TYPE

3125 AFRAFE (RAFTER ROOF)

CLIENT

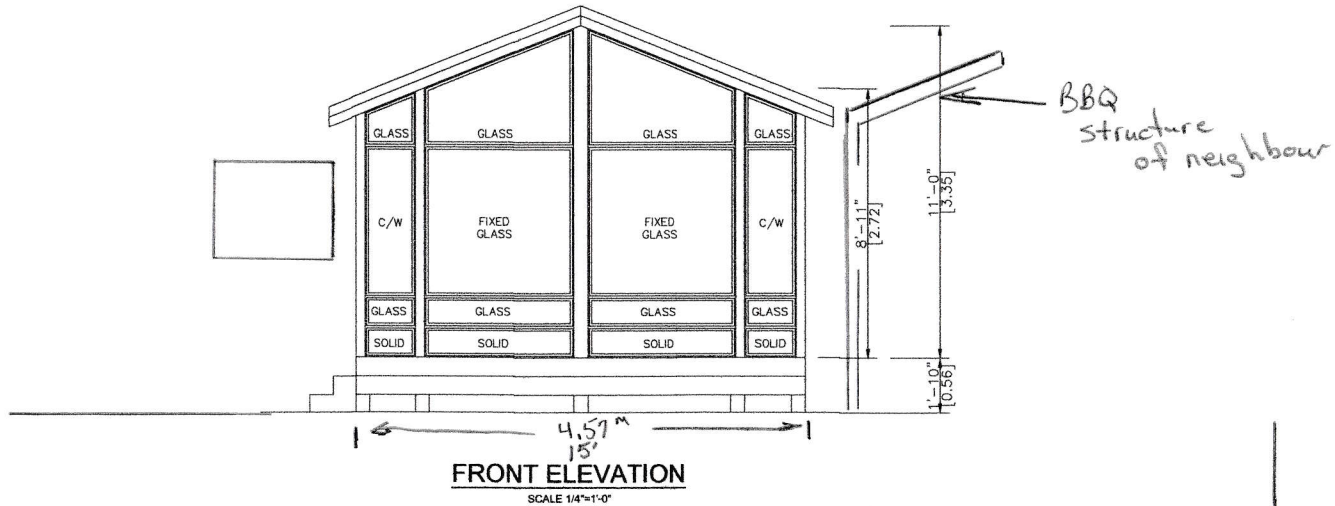
XINYAN & SHAW YANG

DATE	SCALE
MAY 8, 2024	

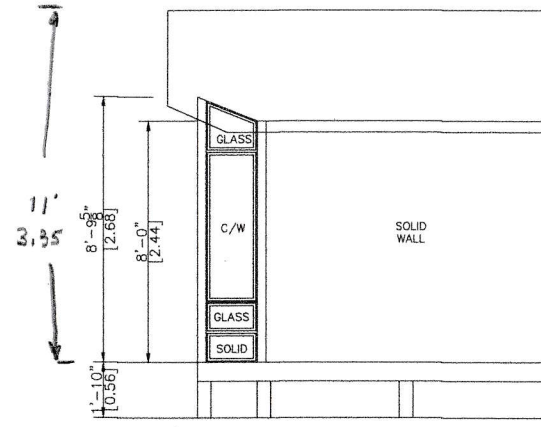
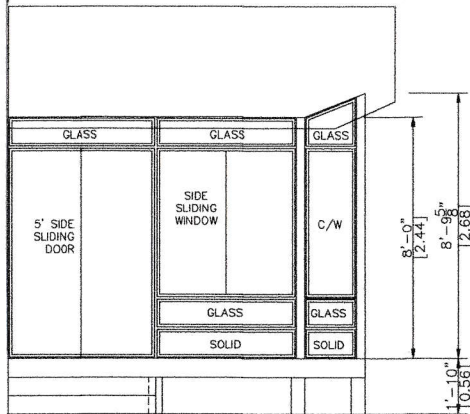
DRAWN BY:	CHECKED BY:
AA	J.P.

LIFESTYLE ENGINEERING





2 storey house remain same

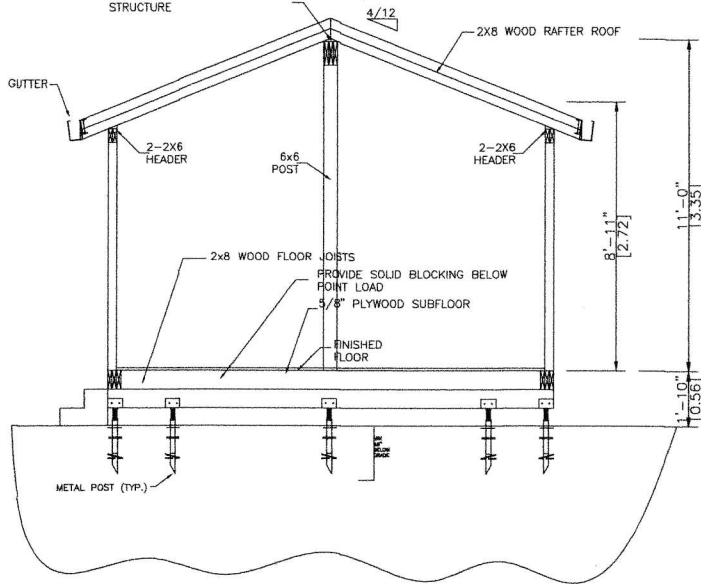


PROJECT		
UNHEATED SUNROOM ADDITION		
PROJECT ADDRESS		
2336 SHANGEL CRES OTTAWA ON K1V 9P2		
DRAWING TITLE		
ELEVATIONS		
DRAWING NUMBER		
03		
REVISION	PROJECT#	DESIGN#
	07024	
MODEL TYPE		
3125 AFRAME (RAFTER ROOF)		
CLIENT		
XINTAN & SHAN YANG		
DATE	SCALE	
MAY 8, 2024		
DRAWN BY:	CHECKED BY:	
AA	J.P.	
LIFESTYLE ENGINEERING		



STORY HOUSE
REMAIN SAME

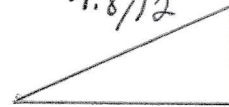
RIDGE BEAM 3-1/4" x 9 3/4"
EXTEND BEAM OVER THE FRAME WALL
& SUPPORT IT W/ SOLID BLOCKING &
6x6 POST THE FULL WIDTH OF BEAM
TO TRANSFER LOADS TO THE
STRUCTURE



A-A SECTION

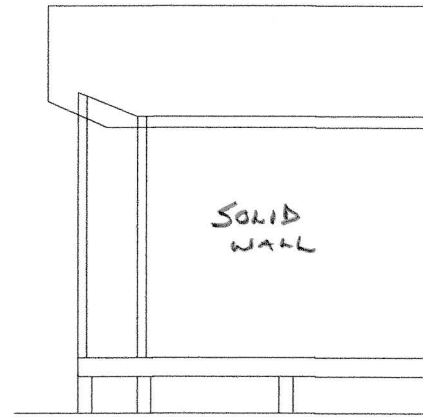
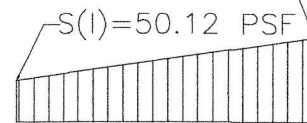
SCALE= 1/4"=1'-0"

PITCH
4.8/12



$S(0) = 100.25$ PSF

$S(1) = 50.12$ PSF



SNOW ACCUMULATION

REFER TO ATTACHED CALCULATION

PROJECT		
UNHEATED SUNROOM ADDITION		
PROJECT ADDRESS		
2336 SHANGEL CRES OTTAWA ON K1V 9P2		
DRAWING TITLE		
A-A SECTION & SNOW ACCUMULATION		
DRAWING NUMBER		
04		
REVISION	PROJECT#	DESIGN#
	07024	
MODEL TYPE		
3125 AFRAME (RAFTER ROOF)		
CLIENT		
DINTAN & SHAW YANG		
DATE	SCALE	
MAY 8, 2024		
DRAWN BY:	CHECKED BY:	
A.A.	J.P.	
LIFESTYLE ENGINEERING		

