

162 ANWATIN STREET
TREE INFORMATION REPORT

Committee of Adjustment
JUN 12 2024
City of Ottawa



DATE: May 6, 2024

OTTAWA TREE REPORTS
SCOTT PETRIE

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Introduction

Ottawa Tree Reports was retained by Glenn Webster to complete a Tree Information Report in support of a Severance Application for the property located at 162 Anwatin Street in Ottawa, Ontario.

The work plan for this Tree Information Report included the following:

- Prepare inventory of the tree resources on the subject (and proposed severed) property and within vicinity of impact on adjacent neighbouring property;
- Evaluate potential tree protection and preservation opportunities based on proposed site plans; and
- Document the findings in a Tree Information Report.

Contact Information

Owner Information:

Name: Glenn Webster
Phone #: 613-355-2141
Email: glennwebster7790@gmail.com

Arborist Information:

Name: Scott Petrie
Phone #: 613-204-8687
Email: info@ottawatreereports.com

Contractor Information:

Name:
Phone #:
Email:

Policy Framework

The subject property is subject to the provisions of the City of Ottawa's Tree Protection By-law 2020-340. The purpose of this by-law is for the protection of municipal trees and municipal natural areas in the City of Ottawa and trees on private property in the urban area of the City of Ottawa.

City of Ottawa tree protection requirements were applied during the Tree Information Report planning process. These protection requirements indicate a minimum distance at which the critical root zone (CRZ) must be protected.

The CRZ distances allow for maximum development potential while providing sufficient space to ensure the tree(s) are not subject to any long term adverse due to the impacts of development. In instances where the CRZ will be encroached upon and impacted, an Adjusted Tree Protection Zone (Adj TPZ) has been calculated based upon impacts to the CRZ; further mitigation measure may be required to ensure there are no adverse long-term impacts to the tree(s).

Tree Information

Field assessments were conducted on April 16, 2024 the results of the assessment are provided in the Tree Information Table found in Appendix "A".

Tree Inventory and Assessment Methodology

All trees on the subject (and proposed severed) property and those that maybe impacted on adjacent properties were inventoried and assessed, with a focus on trees that are protected and thus subject to the provisions of the City of Ottawa’s Tree Protection By-law 2020-340. Specifically, trees that are located within, or in proximity to the maximum developable area of the proposed severed parcel have been assessed for potential impacts.

Tree inspections were limited to visual, on-ground examinations. No boring, probing, or sonic tomography was employed during the assessments. Any data and information collected is based on the conditions at the time of inspection.

Subject Trees

A total of 52 trees were inventoried and assessed for the project, 25 trees have been identified as protected trees and a subject to the provisions of the by-law while the remaining 27 are afforded no such protection. It was determined that 16 protected trees will most likely be impacted by future works in the developable area (e.g. the southern portion of the parcel). Please refer to the table below for the number of trees, number of impacted trees, and the distribution of protection status and type of impact.

Table 1 – Tree Information Dashboard

# of Trees Inventoried	# of Protected Trees	# Protected Tree Impacts	Protected Tree Removals		Protected Tree Injuries	
			# of City Trees	# of Private Trees	# of City Trees	# of Private Trees
52	25	16	0	7	0	9

Potentially Impacted Trees

As previously noted, 16 protected trees have the potential to be impacted by the future potential development. Protected trees (7) that have been identified for removal are situated directly within or in proximity to the developable area, or their condition (poor health, structural defects) warrants their removal.

If a new residential dwelling is to be built to the limits of the maximum allowable developable area; the building footprint and excavation limits (e.g. greater than the developable limits, to construct the foundation, forming/shoring etc.) for the future foundation will impact and injure the CRZ of 9 protected trees.

The potentially impacted trees will be further discussed below, based on their location (Inside Developable Area and Trees In Proximity to Developable Area) and the nature of the impact to be incurred.

Trees Inside Developable Area

There are 5 protected trees located within the developable area, all 5 trees will be required to be removed should this area be developed. The poor health and structural conditions of **Tree 31**, a 54 cm Sugar Maple *Acer saccharum* and **Tree 37**, a 32cm Apple *Malus spp* both warrant removal regardless of development, thus exempt from the conditions of the by law. The remaining three trees are all Red Maple *Acer rubrum*, **Tree 39** (60cm), **Tree 43** (30cm), **Tree 44** (36 cm); these trees are all in fair health, should they be removed for development, the compensatory requirements (for the loss of these trees) of the by-law shall apply.

Table 2 – Potential Tree Impacts Table (Inside)

Tree #	Species		DBH (cm)	Ownership	By-Law Protected	Condition			Arborist Recommendations
	Common	Botanical				(Poor/Fair/Good)			
						Trunk	Canopy	Canopy	
						Integrity	Structure	Vigour	
31	Sugar Maple	<i>Acer saccharum</i>	54	Private	Yes	P	F	G	Removal
37	Profusion Crabapple	<i>Malus 'Profusion'</i>	32	Private	Yes	P	P	P	Removal
39	Red Maple	<i>Acer rubrum</i>	60	Private	Yes	F	F	G	Removal
43	Red Maple	<i>Acer rubrum</i>	30	Private	Yes	P	F	F	Removal
44	Red Maple	<i>Acer rubrum</i>	36	Private	Yes	F	F	F	Removal

Trees In Proximity to Developable Area

There are 11 protected trees located in proximity to the developable area, 9 protected trees have been identified for CRZ injury, while 2 protected trees have been identified for removal. **Tree 21** 37cm Apple *Malus spp* tree will be required to be removed to facilitate the proposed works due to potential excavation within the static relevant zone. **Tree 32**, a 32cm Red Maple *Acer rubrum* condition is poor, its declining health/vigour combined with a large cavity in the pedestal of the tree warrants the trees removal, and thus is exempt from the provisions of the by-law.

Table 3 – Potential Tree Impacts Table (Proximity)

Tree #	Species		DBH (cm)	Ownership	By-Law Protected	Condition			Arborist Recommendations
	Common	Botanical				(Poor/Fair/Good)			
						Trunk	Canopy	Canopy	
						Integrity	Structure	Vigour	
21	Apple	<i>Malus spp</i>	37	Private	Yes	P	F	F	Removal
25	White Spruce	<i>Picea glauca</i>	38	Private	Yes	G	F	G	Injure
30	Black Walnut	<i>Juglans nigra</i>	48	Private	Yes	P	F	F	Injure
32	Red Maple	<i>Acer rubrum</i>	32	Private	Yes	P	F	P	Removal
36	White Spruce	<i>Picea glauca</i>	48	Private	Yes	G	F	G	Injure
42	White Spruce	<i>Picea glauca</i>	43	Private	Yes	G	F	G	Injure
46	White Spruce	<i>Picea glauca</i>	31	Private	Yes	G	F	G	Injure
47	White Spruce	<i>Picea glauca</i>	37	Private	Yes	G	F	G	Injure
48	White Spruce	<i>Picea glauca</i>	43	Private	Yes	G	F	G	Injure
49	White Spruce	<i>Picea glauca</i>	32	Private	Yes	G	F	G	Injure
51	White Spruce	<i>Picea glauca</i>	36	Private	Yes	G	F	G	Injure

Additionally, there are 6 protected White Spruce *Picea glauca* trees along the western side of the proposed severed parcel: Trees 25,46,47,48,49,51. The proposed developments service laterals (water, sanitary, storm) and private approach (driveway) will impact some of these trees, additional protected tree removals and further CRZ injury will occur. The potential CRZ injury for the proposed services, private approach and building excavation will need to be reviewed holistically to properly assess the cumulative impact of these activities; specific recommendations for tree loss, injury, preservation/protection can only occur with detailed plans of the future works.

Lasty, **Tree 52**, a 25cm Norway Maple *Acer platanoides* located on the adjacent property to the south, has the potential to be impacted by future development. Although this tree is not protected by municipal by-law, there is provincial legislation that is applicable to trees near boundaries. As noted above, once detailed plans of the future works are available, the potential impact to this tree can be properly assessed, as well as recommended mitigation measures.

Undersized Trees

There are 26 trees on the subject property that are undersized that can be removed without a permit, see the Tree Information Table in Appendix A for further details.

Tree Protection Details

Should future development be decided, it is recommended that a more detailed Tree Information Report (with specific tree protection details) be prepared by this firm in accordance with the City of Ottawa’s Tree Protection By-Law. At the publication date of this report, and considering there is no actual, only potential development activities, no protected trees are required to have tree protection measures installed as outlined in the City of Ottawa’s Tree Protection Specification in Appendix “B”.

Tree Compensation and Replanting

There are compensation requirements for the potential loss of Trees 21,39,43,44. A total of 9 trees are required to be planted to compensate for the loss of these trees.

Table 5 – Potential Tree Planting and Compensation

Trees potentially being removed	7*
Trees Exempt	3
Trees potentially Being Replanted	9**
Trees Cash in Lieu of Planting	YTD

*Should additional trees be required to be removed to facilitate the future development, this number will change.

** Should there not be sufficient space to permit healthy growth for these trees, the City will receive cash in lieu compensation.

As per the by-law a replacement tree when planted, *must be a minimum of 50 mm measured no less than 15 cm above ground level for deciduous trees, and no less than 200 cm in height as measured from ground level to midway between the tip of the leader and the uppermost whorl, or as otherwise approved by the General Manager.*

Summary

Ottawa Tree Reports was retained by Glenn Webster to complete a Tree Information Report in support of a Severance Application for the property located at 162 Anwatin Street in Ottawa, Ontario.

The findings of the site assessment include but not limited to, the following:

- 52 Total Trees were inventoried

- 25 protected trees have been identified
 - 16 protected trees have the potential to be impacted by future development
- 5 protected trees are located in the developable area
 - All of these will be required to be removed should development to occur
 - 2 trees for poor condition/health
 - 3 trees due to being within proposed building envelope
- 11 protected trees are located in proximity to the developable area
 - 9 trees have been identified for CRZ injury
 - 2 trees have been identified for removal
 - 1 tree for poor condition/health
 - 1 tree for potential excavation in the static relevant zone

As previously noted, should future construction or development related activities be decided by the owner, it is recommended that a more detailed Tree Information Report be prepared by Ottawa Tree Reports.

Application Fees

Application fees are required to be paid at the time of application, if a City of Ottawa Tree requires removal further fees will be administered by the City. Application fees outlined in the following table are not considered final until confirmed by the City of Ottawa.

Table 6 – Potential Tree Removal Fees

	Fees	Tree #s	(\$)
Removal Fee	\$870/tree	4*	3,480
Planting in lieu Fee	\$400/tree	YTD	YTD
Public Tree Evaluation			NA
	TOTAL		\$ 0

*Should additional trees be required to be removed to facilitate the future development, this number maximizes at 5 trees or \$4350

Respectfully Submitted,

Scott Petrie

**Scott Petrie, Dip EMT, EDDM
Ottawa Tree Reports**

APPENDIX A

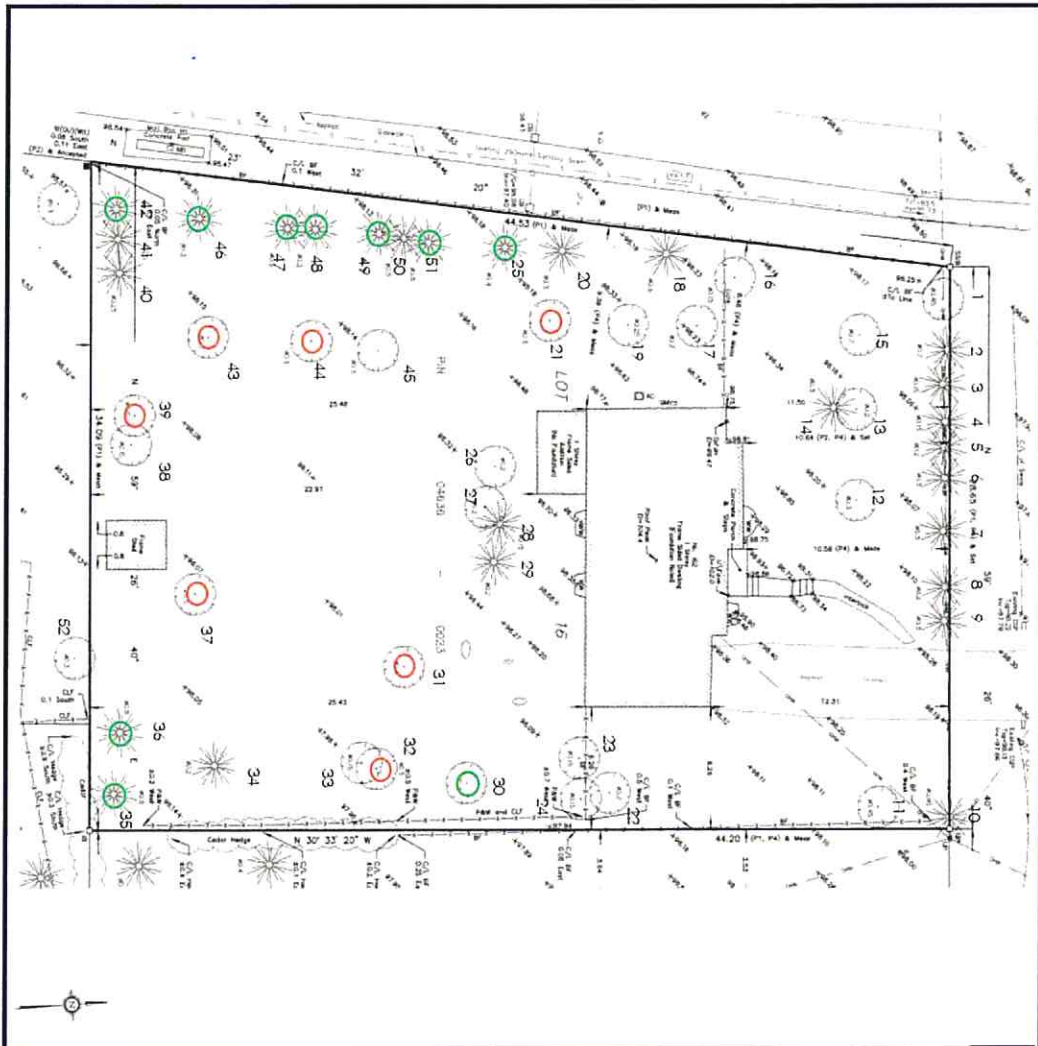
Tree Information Table

Table 6 – Tree Information Table

Tree #	Species		DBH (cm)	Ownership	By-Law Protected	Condition			Arborist Rec	Tree Planting Required	Planting #s	CRZ (m)	CRZ Impacted	Rec Excavation Limit (m)	Adj TPZ (m)	Specification Recommendations	Notes
	Common	Botanical				Trunk Integrity	Canopy Structure	Canopy Vigour									
1	Norway Maple	<i>Acer platanoides</i>	33	Private	Yes	P	P	P		No	0	3.3	No	NA	NA		Multi stem, under hydro
2	White Spruce	<i>Picea glauca</i>	13	Private	No	F	P	F		No	0	1.3	No	NA	NA		under hydro
3	White Spruce	<i>Picea glauca</i>	13	Private	No	F	P	F		No	0	1.3	No	NA	NA		under hydro
4	White Spruce	<i>Picea glauca</i>	13	Private	No	F	P	F		No	0	1.3	No	NA	NA		under hydro
5	White Spruce	<i>Picea glauca</i>	17	Private	No	F	P	F		No	0	1.7	No	NA	NA		under hydro
6	White Spruce	<i>Picea glauca</i>	18	Private	No	F	P	F		No	0	1.8	No	NA	NA		under hydro
7	White Spruce	<i>Picea glauca</i>	22	Private	No	F	P	F		No	0	2.2	No	NA	NA		under hydro
8	White Spruce	<i>Picea glauca</i>	16	Private	No	F	P	F		No	0	1.6	No	NA	NA		under hydro
9	White Spruce	<i>Picea glauca</i>	27	Private	No	F	P	F		No	0	2.7	No	NA	NA		under hydro
10	White Spruce	<i>Picea glauca</i>	51	Private	Yes	F	P	F		No	0	5.1	No	NA	NA		under hydro
11	White Oak	<i>Quercus alba</i>	51	Private	Yes	F	F	F		No	0	5.1	No	NA	NA		under hydro
12	Red Maple	<i>Acer rubrum</i>	34	Private	Yes	F	F	G		No	0	3.4	No	NA	NA		
13	Norway Maple	<i>Acer platanoides</i>	22	Private	No	F	F	G		No	0	2.2	No	NA	NA		
14	White Spruce	<i>Picea glauca</i>	29	Private	No	F	F	G		No	0	2.9	No	NA	NA		
15	Norway Maple	<i>Acer platanoides</i>	49	Private	Yes	P	P	F		No	0	4.9	No	NA	NA		
16	Norway Maple	<i>Acer platanoides</i>	17	Private	No	G	G	G		No	0	1.7	No	NA	NA		
17	Profusion Crabapple	<i>Malus 'Profusion'</i>	22	Private	No	F	P	F		No	0	2.2	No	NA	NA		
18	White Spruce	<i>Picea glauca</i>	52	Private	Yes	F	F	G		No	0	5.2	No	NA	NA		
19	Profusion Crabapple	<i>Malus 'Profusion'</i>	27	Private	No	F	F	F		No	0	2.7	No	NA	NA		
20	White Spruce	<i>Picea glauca</i>	33	Private	Yes	F	F	G		No	0	3.3	No	NA	NA		
21	Apple	<i>Malus spp</i>	37	Private	Yes	P	F	F		Removal	2	0	Yes	1.85	1.85		developable area excavation limit impact

22	Burr Oak	<i>Quercus macrocarpa</i>	32	Private	Yes	G	G	G	G	No	0	3.2		NA	NA	
23	Burr Oak	<i>Quercus macrocarpa</i>	20	Private	No	G	G	G	G	No	0	2		NA	NA	
24	Black Walnut	<i>Juglans nigra</i>	17	Private	No	G	F	F	G	No	0	1.7		NA	NA	
25	White Spruce	<i>Picea glauca</i>	38	Private	Yes	G	F	F	G	Injure	0	3.8	Yes	1.9	1.9	developable area excavation limit impact
26	Cherry	<i>Prunus spp</i>	24	Private	No					No	0	2.4		NA	NA	
27	Cherry	<i>Prunus spp</i>	21	Private	No					No	0	2.1		NA	NA	
28	White Cedar	<i>Thuja occidentalis</i>	16	Private	No	G	F	F	G	No	0	1.6		NA	NA	
29	White Cedar	<i>Thuja occidentalis</i>	19	Private	No	G	F	F	G	No	0	1.9		NA	NA	
30	Black Walnut	<i>Juglans nigra</i>	48	Private	Yes	P	F	F	F	Injure	0	4.8	Yes	2.4	2.4	developable area excavation limit impact
31	Sugar Maple	<i>Acer saccharum</i>	54	Private	Yes	P	F	F	G	Removal	0	0	Yes	NA	NA	condition warrants removal, included crack on pedestal
32	Red Maple	<i>Acer rubrum</i>	32	Private	Yes	P	F	F	P	Removal	0	0	Yes	1.6	1.6	condition warrants removal, cavity in pedestal, deadwood
33	Sugar Maple	<i>Acer saccharum</i>	15	Private	No					No	0	1.5		NA	NA	
34	Norway Maple	<i>Acer platanoides</i>	24	Private	No					No	0	2.4		NA	NA	
35	White Spruce	<i>Picea glauca</i>	49	Private	Yes	G	F	F	G	Protect	0	4.9	Yes	2.45	2.45	
36	White Spruce	<i>Picea glauca</i>	48	Private	Yes	G	F	F	G	Injure	0	4.8	Yes	2.4	2.4	developable area excavation limit impact
37	Apple	<i>Malus spp</i>	32	Private	Yes	P	P	P	P	Removal	0	0	Yes	NA	NA	condition warrants removal
38	Norway Maple	<i>Acer platanoides</i>	18	Private	No					No	0	1.8		NA	NA	
39	Red Maple	<i>Acer rubrum</i>	60	Private	Yes	F	F	F	G	Removal	3	0	Yes	NA	NA	developable area excavation impact
40	White Spruce	<i>Picea glauca</i>	25	Private	No	G	F	F	G	No	0	2.5		NA	NA	
41	White Spruce	<i>Picea glauca</i>	24	Private	No	G	F	F	G	No	0	2.4		NA	NA	
42	White Spruce	<i>Picea glauca</i>	43	Private	Yes	G	F	F	G	Injure	0	4.3	Yes	2.15	2.15	developable area excavation limit impact
43	Red Maple	<i>Acer rubrum</i>	30	Private	Yes	P	F	F	F	Removal	2	0	Yes	NA	NA	developable area excavation impact
44	Red Maple	<i>Acer rubrum</i>	36	Private	Yes	F	F	F	F	Removal	2	0	Yes	NA	NA	developable area excavation impact
45	Red Maple	<i>Acer rubrum</i>	26	Private	No	F	F	F	F	No	0	2.6		NA	NA	
46	White Spruce	<i>Picea glauca</i>	31	Private	Yes	G	F	F	G	Injure	0	3.1	Yes	1.55	1.55	developable area excavation limit impact
47	White Spruce	<i>Picea glauca</i>	37	Private	Yes	G	F	F	G	Injure	0	3.7	Yes	1.85	1.85	developable area excavation limit impact
48	White Spruce	<i>Picea glauca</i>	43	Private	Yes	G	F	F	G	Injure	0	4.3	Yes	2.15	2.15	developable area excavation limit impact
49	White Spruce	<i>Picea glauca</i>	32	Private	Yes	G	F	F	G	Injure	0	3.2	Yes	1.6	1.6	developable area excavation limit impact
50	White Spruce	<i>Picea glauca</i>	17	Private	No	G	F	F	G	No	0	1.7		NA	NA	
51	White Spruce	<i>Picea glauca</i>	36	Private	Yes	G	F	F	G	Injure	0	3.6	Yes	1.8	1.8	developable area excavation limit impact
52	Norway Maple	<i>Acer platanoides</i>	25	Adjacent	No	G	F	F	G	Injure	0	2.5	Yes	NA	NA	developable area excavation limit impact

Tree Identification Plan



162 Anwalin Street

Tree Identification Plan

LEGEND

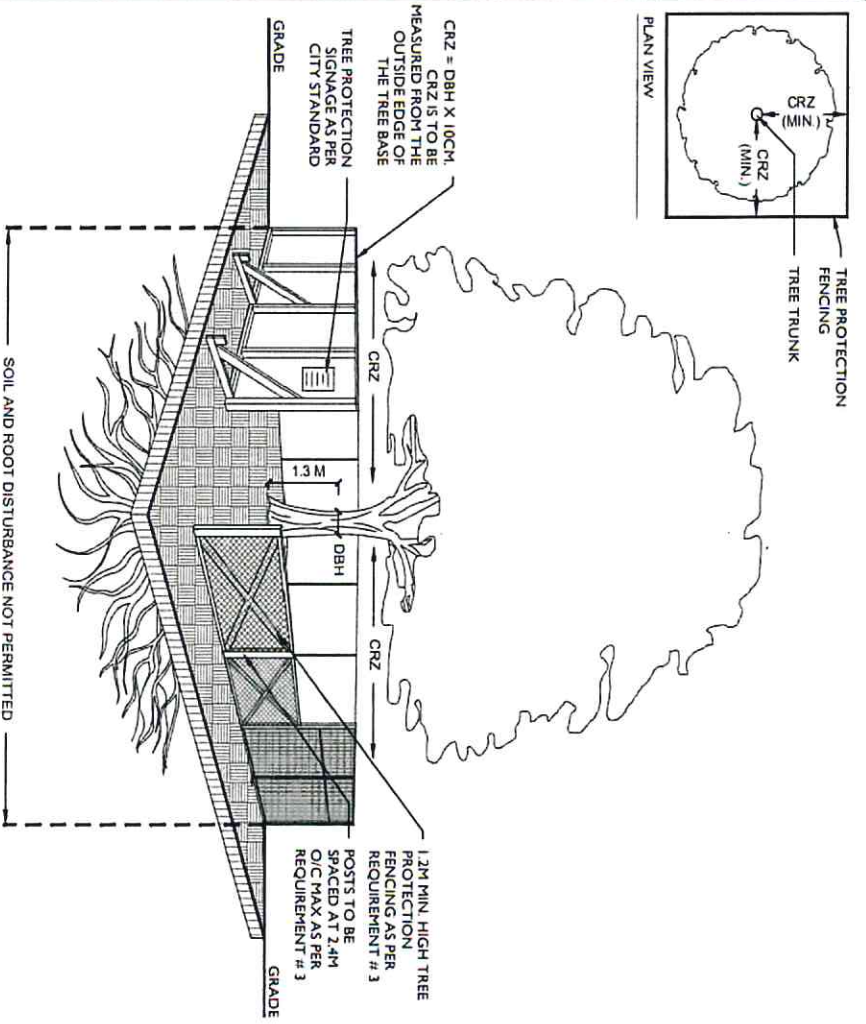
- Protected Deciduous Tree
- Protected Coniferous Tree
- Potential Tree Removal

Tree ID	Species	DBH (cm)	Height (m)	Condition	Notes
1
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OTAWA TREE REPORTS
www.otawatree.com
info@otawatree.com
 613-201-8841

APPENDIX B

Tree Protection Specification



ACCESSIBLE FORMATS AND COMMUNICATION SUPPORTS ARE AVAILABLE, UPON REQUEST

TREE PROTECTION SPECIFICATION

TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.



- TREE PROTECTION REQUIREMENTS:**
1. PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 2. UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY;
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
 3. TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC-STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
 4. THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 5. IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

SCALE:	NTS
DATE:	MARCH 2021
DRAWING NO.:	1 of 1

Self-Declaration Statement

By signing this application declaration, the owner, arborist and contractor (if known at time of application) which confirms that all parties agree with the information provided and will respect the proposed work and mitigation measures (if required). Furthermore, the signature of the owner is also acknowledging and understanding that a City of Ottawa Forestry Staff may enter your property at a reasonable time for the purpose of carrying out an inspection. You also acknowledge and understand that failure to abide by the recommendations of the approved Tree Information Report, damaging or destructing trees identified for protection, you will be responsible to bear fully the cost of compensation, removal and replacement.

It is the owner/applicant's responsibility to ensure that all protection and mitigation measures described in the Tree Information Report are followed, and where necessary are done so under the supervision of an arborist.

Owner/Applicant

Print Name _____ Signature _____

Arborist

Scott Petrie _____
Print Name Signature

Contractor

Print Name _____

