

LOTS 13, 14 And 15
(East Side Russell Avenue)
REGISTERED PLAN 32846
CITY OF OTTAWA

Prepared by Annis, O'Sullivan, Vollebek Ltd.
 Field Work Completed May 8, 2013

Scale 1 : 200



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Date May 14/2013 *Edward M. Lancaster*
 Edward M. Lancaster, O.L.S.

Notes & Legend

- | | | |
|---------|---------|---------------------------------|
| ○ MH-ST | Denotes | Maintenance Hole (Storm Sewer) |
| ○ MH-S | " | Maintenance Hole (Sanitary) |
| ○ MH | " | Maintenance Hole (Unidentified) |
| ○ UP | " | Utility Pole |
| □ CB | " | Catch Basin |
| T/G | " | Top of Grate |
| GM | " | Gas Meter |
| LS | " | Light Standard |
| S | " | Sign |
| ○ | " | Deciduous Tree |
| ★ | " | Coniferous Tree |
| CLF | " | Chain Link Fence |
| BF | " | Board Fence |
| Ø | " | Diameter |
| + 65.00 | " | Location of Elevations |
| + 65.00 | " | Top of Concrete Curb Elevation |
| C/L | " | Centreline |
| — OHW — | " | Overhead Utility Wires |
| — | " | Property Line |

SITE AREA = 1453.1 m²

BOUNDARY INFORMATION DERIVED FROM REGISTRY OFFICE RESEARCH AND OFFICE RECORDS.

ELEVATION NOTES

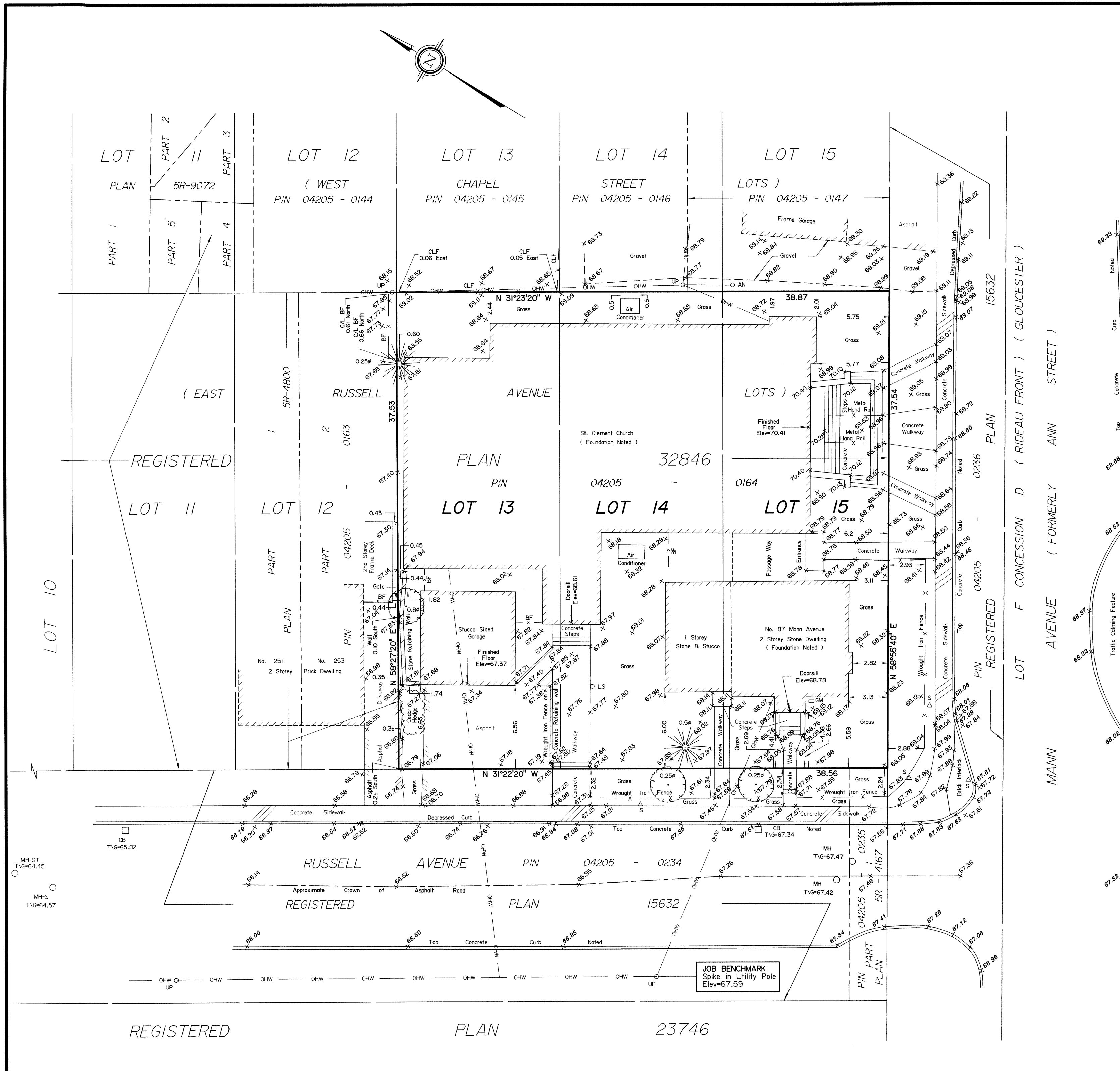
- Elevations shown are referred to geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

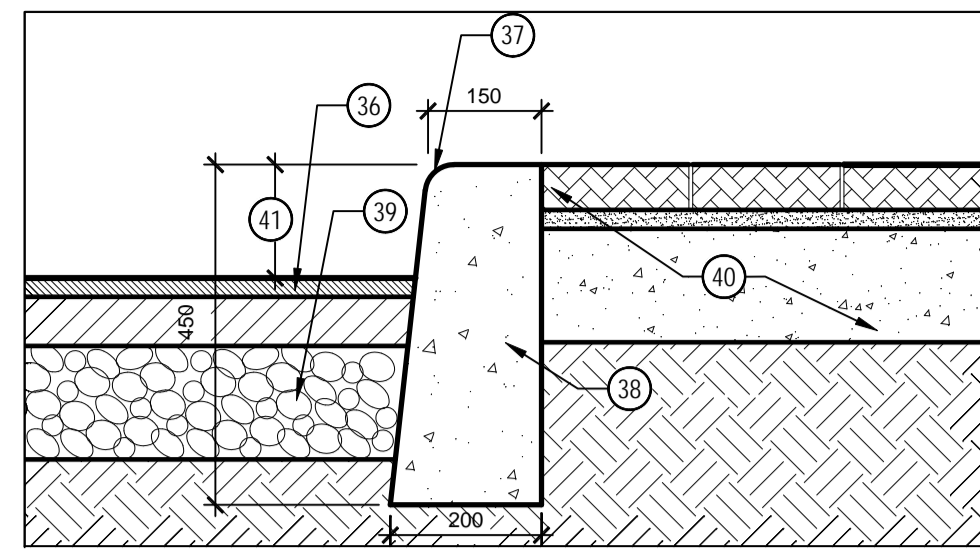
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

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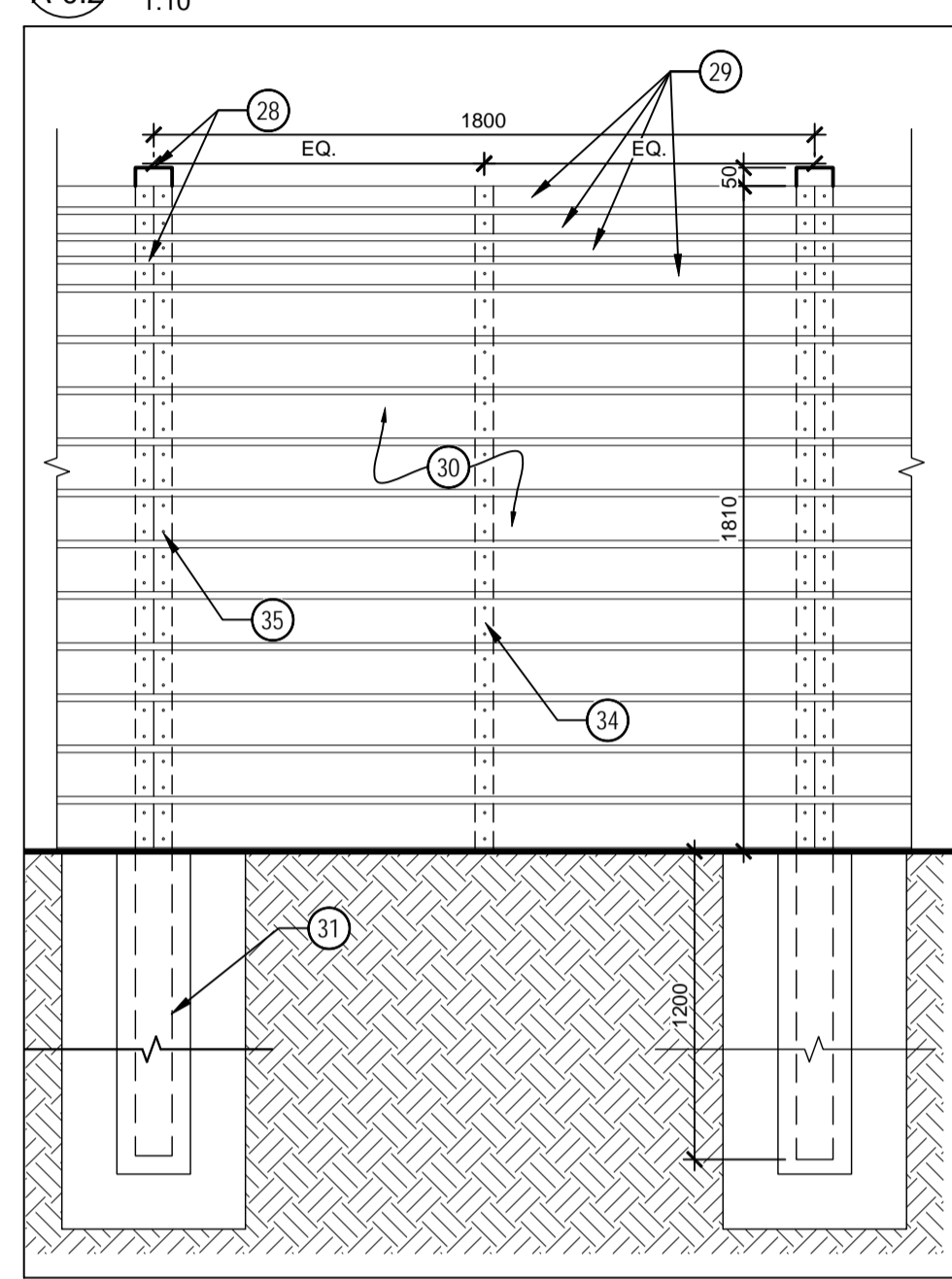
ANNIS, O'SULLIVAN, VOLLEBEK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: Nepean@aovltd.com
Ontario Land Surveyors



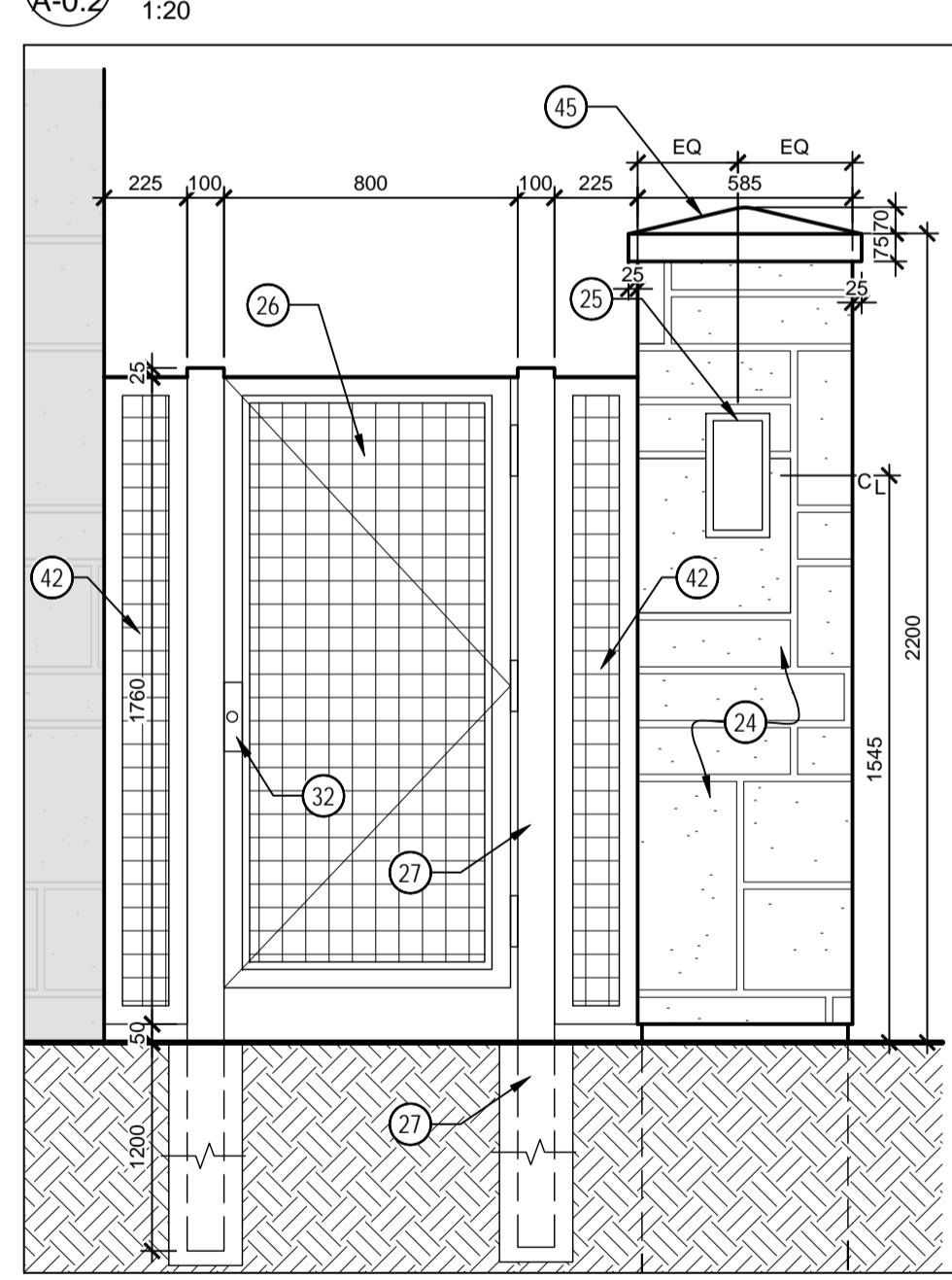
Y:\2013\13-14-15\13-14-15 RP 32846 T F PLAN - 14052013 13:22:47 AM



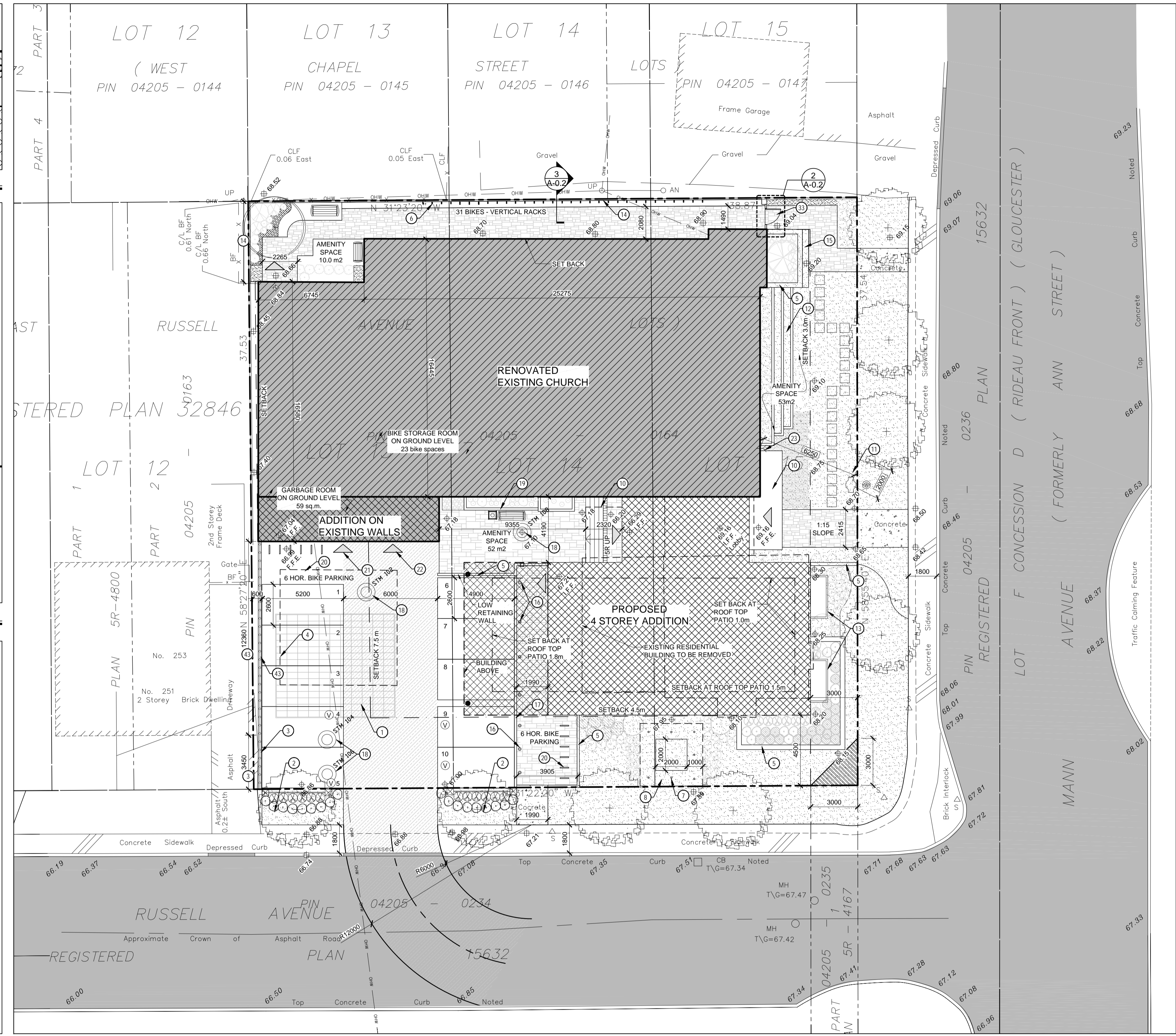
4 CURB DETAIL
A-0.2 1:10



3 FENCE DETAIL
A-0.2 1:20



2 GATE DETAIL
A-0.2 1:20



1 SITE PLAN
A-0.2 1:150

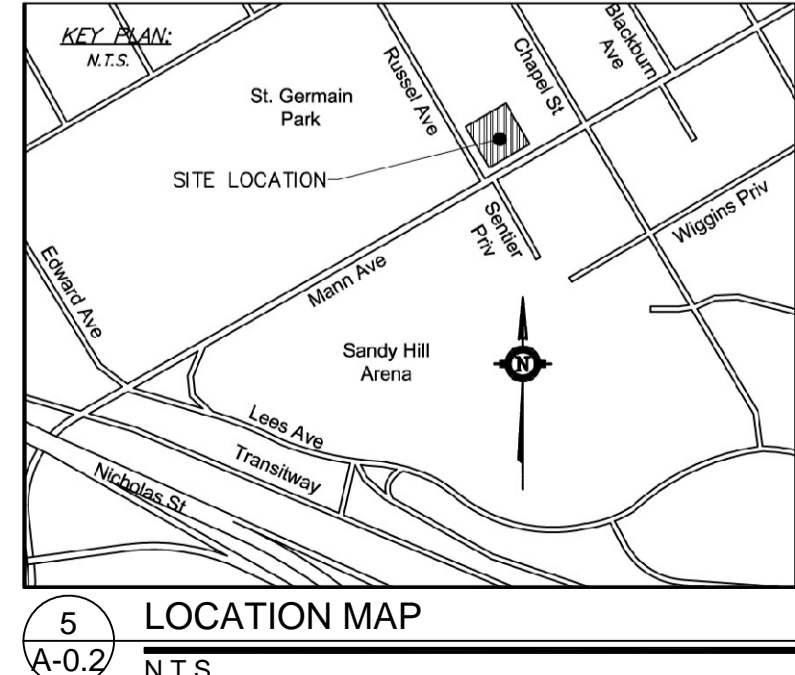
- NOTES**
- CIVIL STORM MANAGEMENT. STORAGE TANKS. REFER TO SITE SERVICING PLAN.
 - LANDSCAPING PLANTING. CONCRETE PIERS WITH STONE CLADDING AND DECORATIVE METAL FENCE. REFER TO LANDSCAPING DETAIL D17/L3.
 - TECHO BLOCK RETAINING WALL WITH DECORATIVE WOOD SCREEN 1000mm HEIGHT. REFER TO LANDSCAPING DETAIL D13/L2.
 - EXISTING GARAGE TO BE DEMOLISHED.
 - TECHO BLOCK RETAIN WALL OR PLANTER. REFER TO LANDSCAPING DETAIL D10/L2.
 - TYPICAL BICYCLE RACK. REFER TO LANDSCAPING DETAIL D8/L2.
 - 100mm GALVANIZED CONCRETE FILLED BOLLARD.
 - PAD MOUNT TRANSFORMER BY HYDRO OTTAWA. REFER TO ELECTRICAL.
 - EXISTING RESIDENTIAL BUILDING TO BE DEMOLISHED.
 - ENTRANCE CANOPY.
 - PRIVATE FIRE HYDRANT. REFER TO SITE SERVICING PLAN.
 - LANDSCAPED STEPPED TERRACES. REFER TO LANDSCAPING DETAIL D16/L3.
 - SHALLOW CONCRETE CURBED WINDOW WELL WITH SOFT LANDSCAPING. CONNECT TO PERMEABLE DRAIN.
 - WOOD FENCE. REFER TO DETAIL 3 A/0.2.
 - BACKLESS WOOD BENCHES. REFER TO LANDSCAPING DETAIL D10/L2.
 - STAINLESS STEEL BOLLARDS. REFER TO LANDSCAPING DETAILS D12/L2.
 - CONCRETE CURB / PAVED SIDEWALK. REFER TO DETAIL 4 A/0.2.
 - MANHOLE COVER.
 - COURTYARD PLANTERS. REFER TO LANDSCAPING DETAIL D15/L2.
 - BICYCLE RACK.
 - ENTRANCE TO GARBAGE ROOM.
 - ENTRANCE TO BIKE ROOM.
 - SIAMSESE CONNECTION.
 - PIER STONE CLADDING FROM SALVAGED STONE ON CONCRETE CORE.
 - LIGHT SCONCE.
 - GALVANIZED WIRE MESH GATE WITH 50X50mm GALVANIZED STEEL FRAME.
 - 100X100mm GALVANIZED STEEL POSTS POURED IN CONCRETE. BACKFILL COMPACT WITH 25mm AGGREGATE.
 - 100X100mm WOOD POST.
 - 25X60mm FIRST 4 CEDAR BOARDS. 20mm GAP.
 - 25X120mm CEDAR BOARDS 20mm GAP.
 - WOOD POST POURED IN CONCRETE BACKFILL WITH 25mm AGGREGATE.
 - LOCK.
 - SIDE GATE. REFER TO DETAIL 3 A/0.2.
 - VERTICAL 2X4" POST.
 - TYPICAL, STAINLESS STEEL FASTENERS.
 - HOT LAID ASPHALT.
 - 38mm RADIUS.
 - 25MPA CONCRETE CURB.
 - COMPACTED GRANULAR FILL.
 - PERMEABLE PAVERS BY UNILOCK. REFER TO LANDSCAPING DETAIL D6-L2.
 - VARIES. REFER TO CIVIL.
 - GALVANIZED WIRE MESH FIXED PANEL WITH 50X50mm GALVANIZED STEEL FRAME.
 - TECHO BLOCK RETAINING WALL WITH DECORATIVE WOOD SCREEN 1200mm HEIGHT. REFER TO LANDSCAPING DETAIL D13/L2.
 - PRECAST CONCRETE CAP.
 - CONCRETE CAP.

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5 LOCATION MAP
A-0.2 N.T.S.

LOTS 13, 14 And 15
(East Side Russell Avenue)
REGISTERED PLAN 32846
CITY OF OTTAWA
Based on Annis, O'Sullivan, Vollebek Ldt.
Field Work Completed May 8, 2013

Zoning RH [2146]
Minimum rear yard setback: 0
Minimum interior side yard setback: 1.9m
Minimum distance of a permitted projection from a rear lot line: 0
Maximum building height: 12.3m
Maximum number of dwelling units: 58
Total max. gross floor area for non residential uses: 135.5m²

Total Site AREA: 1446 m²
Landscape Proposed Area: 441 m² 30.5% of Site Area
Maximum Building Height Proposed: 12.27 m
Storey Proposed: 4
Total Building Area: 795 m²
Proposed Lot Coverage: 55%
Proposed Gross Area: 2950 m²
First floor: 746 m²
Second floor: 795 m²
Third floor: 778 m²
Fourth floor: 631 m²
Non residential space provided at Ground floor 109m²

Parking By Law Requirements
Parking Calculations:
Parking Summary:
Total required for all uses: 10 spaces
Parking provided: 6 spaces + 4 Visitors parking total : 10 spaces

Bicycle Parking
Minimum number - 66 Spaces
Maximum vertical spaces: 37
Maximum number in landscaped area: 43
Provided bicycle parking:
23 interior (6 vertical, 17 horizontal)
43 Exterior (31 vertical, 12 Horizontal)
Total provided = 66 Spaces

Amenities space (Section 137)
Required 6 m² per unit - 58 Units = 348m²
Outdoor Amenity Area
Courtyard 52m² | In front of Church 53m² | Rear North East 10m²
Provided at Roof top 111m²
Indoor
Room 119 - 26.5m² | Room 117 - 85m² | Room 122 - 18.5m²
Total Provided 356m²

Waste Collection
A 59 sq.m. Garbage Room is located at the first floor.
4 x 3 Cu. Yd. Bins are provided for garbage.
4 x 2 Cu. Yd. Bins are provided for recycling.
2 x 240 L. Bins are provided for compost.
Private collection as needed.

LEGEND

- PROPERTY LINE
- SET BACK
- DEMOLITION UNLESS OTHERWISE INDICATED
- PROPOSED 4 STOREY ADDITION
- RENOVATED EXISTING
- PERMEABLE PAVING
- ADDITION ON EXISTING WALLS
- MH-ST MAINTENANCE HOLE (STORM SEWER)
- MH-S MAINTENANCE HOLE (SANITARY)
- MH MAINTENANCE HOLE (UNIDENTIFIED)
- UP UTILITY POLE
- CB CATCH BASIN
- T/G TOP OF GRATE
- GM GAS METER
- LS LIGHT STANDARD
- Δ SIGN
- F.F.E. FINISH FLOOR AT ENTRANCE
- BF BOARD FENCE
- Ø DIAMETER
- +45.00 TOP OF CONCRETE CURB ELEVATION
- EXISTING ELEVATION
- NEW ELEVATION
- OHV OVERHEAD UTILITY WIRES
- MAIN DOOR / EXIT DOOR
- I.F.F. INTERIOR FINISH FLOOR
- TURNING RADIUS FOR HEAVY VEHICLES
- CONCRETE
- LAWN / LANDSCAPE
- INDICATES VISITORS PARKING
- SIAMSESE CONNECTION
- FIRE HYDRANT
- NEW TREES AND PLANTING REFER TO LANDSCAPING
- FIRE ACCESS
- SIGHT TRIANGLE

Robertson Martin Architects
216 Pretoria Ave., Ottawa, ON, K1S1K2
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SEAL: [Professional Seal of Robert Martin, Architect, Licence 5672]

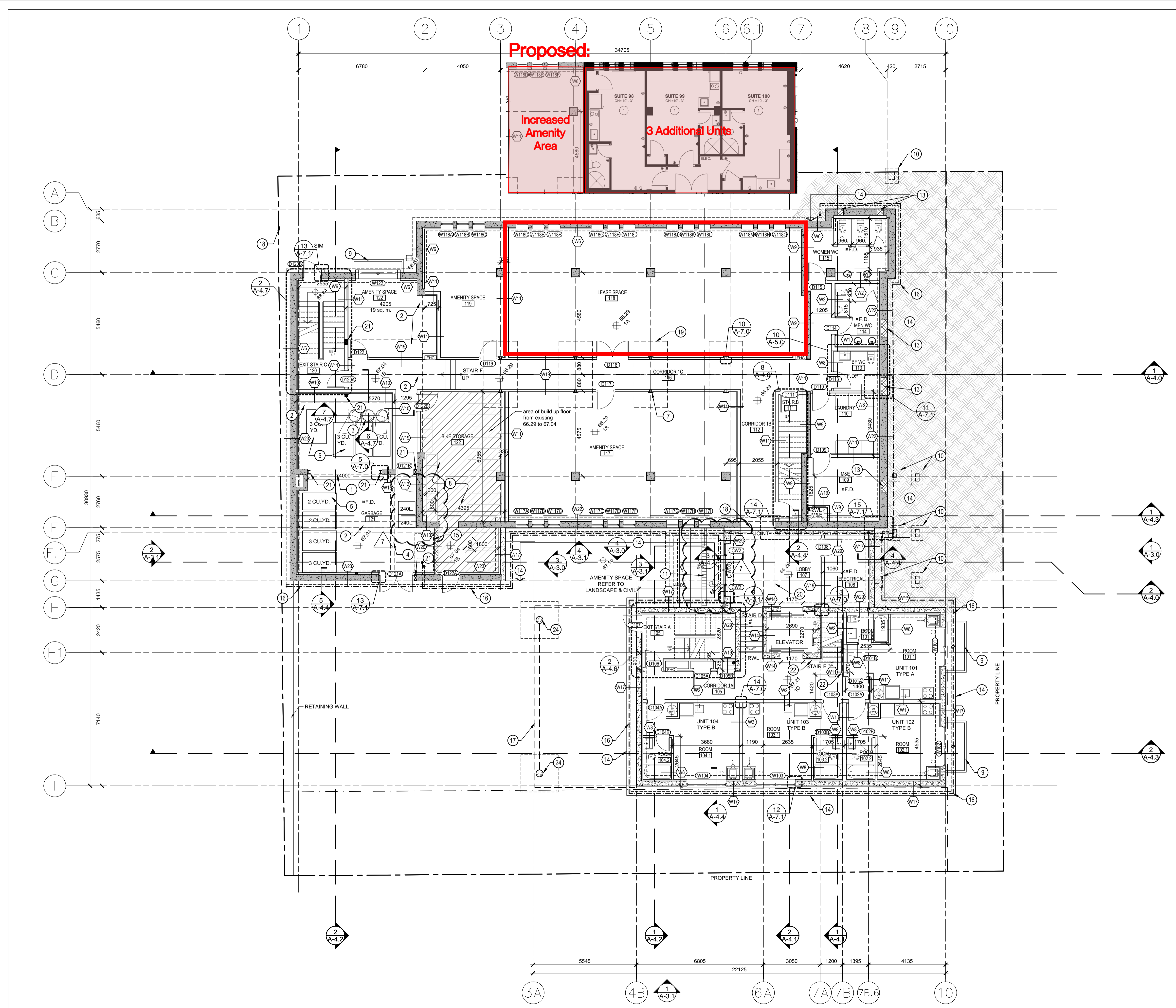
Committee of Adjustment
Received | Reçu le
2024-06-28
City of Ottawa | Ville d'Ottawa
Comité de dérogation

APPROVED REFUSED
DATE _____
John Smit, MCIP RPP, Manager, Development Review Urban Services

| | | |
|---|----------------------------|------------|
| 8 | ISSUED FOR TENDER | 2014/10/28 |
| 7 | ISSUED FOR PERMIT REVISION | 2014/10/10 |
| 6 | ISSUED FOR PERMIT | 2014/08/19 |

PROJECT: ST. CLEMENT'S APARTMENTS
DRAWING: 87 MANN AVENUE OTTAWA, ONTARIO

SITE PLAN
DESIGNED BY: RM, LB
APPROVED BY: RM
DRAWN BY: LB
DATE: APRIL 2014
SCALE: AS SHOWN
RMA PROJECT NUMBER: 13330
SHEET NUMBER: A-0.2



1 FIRST FLOOR PLAN
A-2.1 1:100

NOTES

- 1 OPENING IN EXISTING WALL. REFER TO STRUCTURAL.
- 2 DASHED LINE INDICATES EXISTING CONCRETE BEAM ABOVE. REFER TO STRUCTURAL.
- 3 CHUTE SYSTEM FOR GARBAGE.
- 4 DASHED LINE INDICATES EXISTING WALL DEMOLITION. REFER TO STRUCTURAL.
- 5 GARBAGE BINS. SHOWN FOR REFERENCE.
- 6 TRANSFORMER ON CONCRETE PAD, REFER TO ELECTRICAL.
- 7 TYPICAL HSS COLUMN. REFER TO STRUCTURAL.
- 8 AREA OF BUILD UP FLOOR. EXISTING FLOOR HEIGHT: 66.29, NEW FLOOR FINISH HEIGHT 67.04, REFER TO STRUCTURAL.
- 9 CONCRETE CURB.
- 10 FOUNDATION FOR PIER - REFER TO DETAIL 2 / A0.2 & STRUCTURAL.
- 11 TRENCH DRAIN. REFER TO CIVIL.
- 12 GALVANIZED STEEL CANOPY ABOVE.
- 13 INFILL EXISTING OPENING IN CONCRETE WALL WITH REINFORCED CONCRETE BLOCK. REFER TO STRUCTURAL.
- 14 EXTENT OF FOUNDATION WATERPROOFING & INSULATION.
- 15 WEEPING PIT USE SUPREMA BLIND SIDING WATERPROOFING.
- 16 WEEPING TILE.
- 17 DASHED LINE INDICATES BUILDING ABOVE.
- 18 HORIZONTAL EXPANSION CONTROL SYSTEM. WABO® NBS-600C SEISMAX PLUS II FLOOR.
- 19 DASHED LINE INDICATES NEW FOUNDATION. REFER TO STRUCTURAL.
- 20 DASHED LINE INDICATES OVERHEAD SLAB.
- 21 NEW COLUMN. REFER TO DETAIL 5 / A7.0 & STRUCTURAL.
- 22 BOTTOM HANDRAIL EXTENSION 1 TREAD DEPTH + 300mm.

PLAN ENLARGEMENTS
FOR UNIT TYPE A REFER TO 1 / A-5.0
FOR UNIT TYPE B REFER TO 2 / A-5.0

- LEGEND
- CONCRETE
 - EXISTING ELEMENT
 - CONCRETE BLOCK WALL
 - RAIN WATER LEADER
 - FIRE HOSE CABINET
 - HEATER
 - 30 GAL HOT WATER TANK
 - WEEPING TILE

Robertson Martin Architects
216 Pretoria Ave.,
Ottawa, ON, K1S1X2
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Fax: 613-567-9462
Email: mail@robertsonmartin.com



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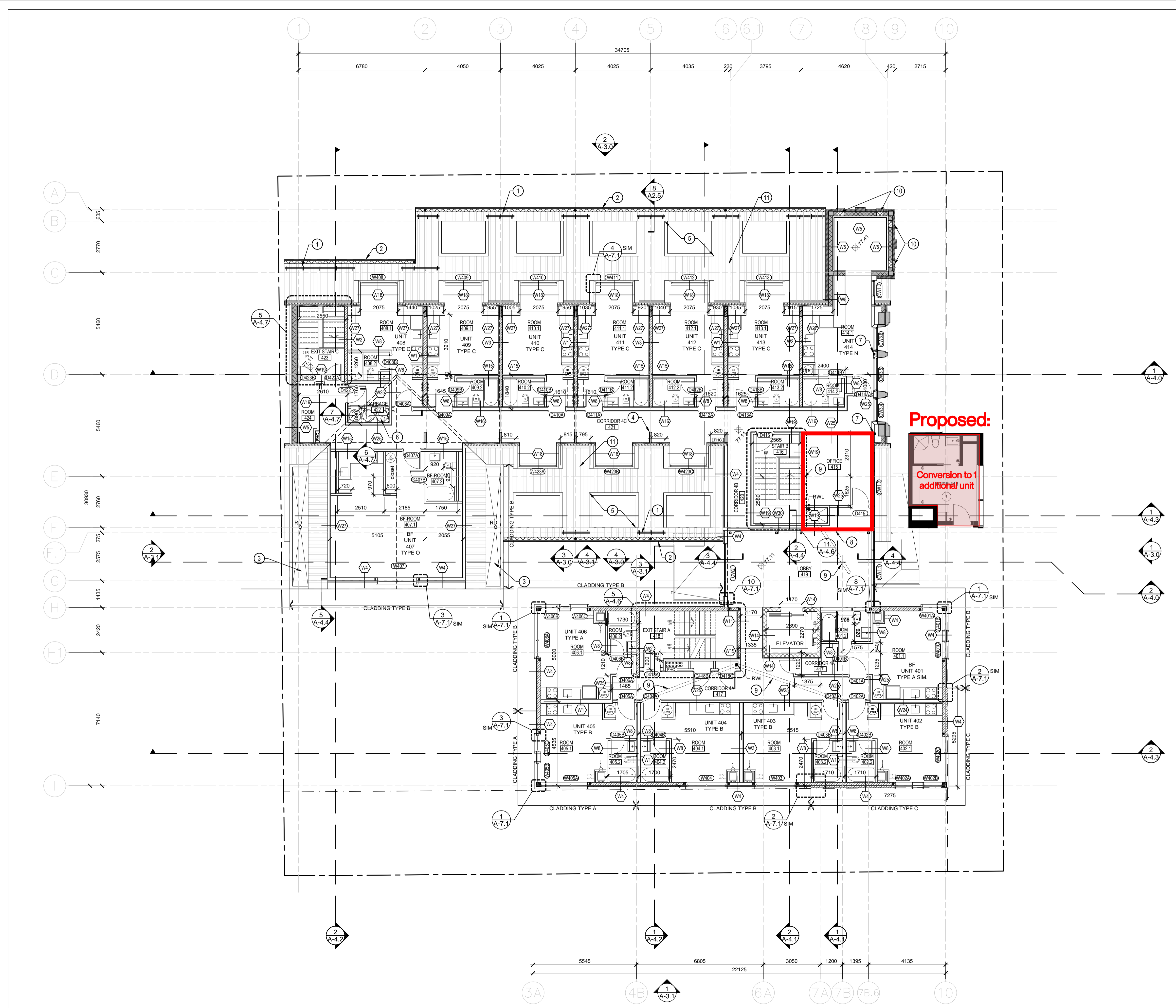
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| 7 | ISSUED FOR PERMIT REVISION | 2014/10/10 |
| 6 | ISSUED FOR PERMIT | 2014/08/19 |

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ALL DIMENSIONS TO BE CHECKED AND VERIFIED.

PROJECT: ST. CLEMENT'S APARTMENTS

87 MANN AVENUE, OTTAWA, ONTARIO
DRAWING: FIRST FLOOR PLAN

DESIGNED BY: RM, LB APPROVED BY: RM
DRAWN BY: LB
DATE: APRIL, 2014 SCALE: AS SHOWN
RMA PROJECT NUMBER: 13330 SHEET NUMBER: A-2.1



NOTES

- ① TYPICAL - TWO HOLE SNOW & ICE GUARD WITH FOUR SUPPORTS BY IDEAL ROOFING. REFER TO STRUCTURAL FOR SNOW GUARDS BLOCKING.
- ② HEAT TRACE GUTTER - REFER TO ELECTRICAL.
- ③ CONCEALED GUTTER WITH HEAT TRACE.
- ④ EXISTING WOOD STRUCTURE.
- ⑤ TYPICAL - DORMER FLAT ROOF (MEMBRANE).
- ⑥ GARBAGE CHUTE.
- ⑦ NEW COLUMN. REFER TO STRUCTURAL.
- ⑧ EXPANSION JOINT. REFER TO STRUCTURAL.
- ⑨ ROOF DRAIN ABOVE & RWL SLOPED TO CONNECT TO RWL DOWN PIPE.
- ⑩ INFILL EXISTING OPENING IN CONCRETE WALL WITH REINFORCED CONCRETE BLOCK. REFER TO STRUCTURAL.
- ⑪ TYPICAL - MAIN PITCHED ROOF AREAS TO BE CLAD IN 'COMMERCIAL RIB' METAL ROOFING BY IDEAL ROOFING.

PLAN ENLARGEMENTS
 FOR UNIT TYPE A REFER TO 1/A-5.0
 FOR UNIT TYPE B REFER TO 2/A-5.0
 FOR UNIT TYPE C REFER TO 3/A-5.0
 FOR UNIT TYPE N REFER TO 6/A-5.1
 FOR UNIT TYPE O REFER TO 7/A-5.1

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| 8 | ISSUED FOR TENDER | 20141028 |
| 7 | ISSUED FOR PERMIT REVISION | 20141010 |
| 6 | ISSUED FOR PERMIT | 20140819 |

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 ALL DIMENSIONS TO BE CHECKED AND VERIFIED



LEGEND

- SHEAR WALL - REFER TO STRUCTURAL
- EXISTING ELEMENT
- CONCRETE BLOCK WALL
- RAIN WATER LEADER
- FIRE HOSE CABINET
- HEATER
- 30 GAL HOT WATER TANK
- ROOF DRAIN

PROJECT: ST. CLEMENT'S APARTMENTS

87 MANN AVENUE OTTAWA, ONTARIO

FOURTH FLOOR PLAN

DESIGNED BY: RM, LB APPROVED BY: RM
 DRAWN BY: LB

DATE: MAY, 2013 SCALE: AS SHOWN
 RMA PROJECT NUMBER: 13330 SHEET NUMBER: A-2.4

1 A-2.4
 FOURTH FLOOR PLAN
 1:100